



WHITNEY OAKS

A L I V I N G L E G E N D

GENERAL DEVELOPMENT PLAN

&

ASSOCIATED DOCUMENTS

Table of Contents

- Section I Ordinance 747
 Approval of General Development Plan
 General Development Plan Guidelines
- Section II Planning Commission Resolution No. 97-94
 Approval of Specific Plan Use Permit (SPU-97-16)
 Setbacks for Phase I
- Section III Resolution No. 96-268
 Approval of Design Guidelines DR96-02

SECTION I

Ordinance 747
Approval of General Development Plan
General Development Plan Guidelines

ORDINANCE NO. 747

ORDINANCE OF CITY COUNCIL OF THE CITY OF ROCKLIN
REPEALING ORDINANCE NOS. 627 & 735 (STANFORD OAKS GENERAL
DEVELOPMENT PLAN) AND APPROVING THE
WHITNEY OAKS GENERAL DEVELOPMENT PLAN
(Whitney Oaks /PDG 96-03)

The City Council of the City of Rocklin does resolve as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. A mitigated negative declaration of environmental impacts has been approved for this project.

B. The proposed general development plan is consistent with and implements the policies of the City of Rocklin's General Plan, including the Housing Element.

C. The area is physically suited to the uses authorized in the general development plan.

D. The proposed general development plan is compatible with the land use/uses existing and permitted on the properties in the vicinity.

E. The City has considered the effect of the proposed general development plan amendment on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

Section 2. Ordinance Nos. 627 & 735 relating to the Stanford Oaks General Development Plan are hereby repealed.

Section 3. The City Council of the City of Rocklin hereby approves the Whitney Oaks General Development Plan (PDG) 96-03 attached hereto and incorporated by reference herein as Exhibits A (General Development Plan map), and B (Whitney Oaks General Development Plan Text) subject to the following conditions.

The Whitney Oaks General Development Plan shall be modified to incorporate the following:

Land Use

1. Applicable Tentative Subdivision Maps shall be conditioned as follows: Final Maps for lots less than 5,000 square feet and located within the RD-4M, RD-5.0, RD-6.5, RD 7.5, and RD 8.0 shall not be recorded until the details of the development are approved by the Planning Commission and/or the City Council through the Specific Plan Use Permit process.
2. In accordance with the developer's proposal, all Tentative Subdivision Maps in the RD-4-M District shall be conditioned on being restricted, in accordance with Civil Code section 51.3 and the Federal Fair Housing Act of 1988, to require that at least one resident of each dwelling unit be 55 years of age or older and that no one under 45 years of age (except as permitted in section 51.3) may be a resident in any such dwelling unit. Such restrictions shall be recorded with the final maps, and included in the Project CC&Rs.
3. Lot 824, as shown on Attachment 2, shall have a minimum rear setback of 72 feet, measured from the rear of the lot.
4. Building heights on lots 5-8; 12-16; 808-815; 821-831; 877-879; 882-885 and 892-893 as shown on Attachment 2, shall be limited to a maximum of 20 feet, measured from finished grade to the roof peak.
5. The Business-Professional site shall be subject to the following restrictions:
 - A. Maximum building size shall not exceed gross 13,000 square feet;
 - B. The parking and building shall be oriented towards the golf course in order to minimize potential impacts on the Estates Subdivision.
6. Hotel/Lodging shall be a permitted use in the Retail Commercial District.
7. The building setback line from any established slope easement shall be a minimum of 20 feet for yard area, except in the RD-4M where a minimum of 15 feet is required. The minimum can be increased by the City in order to maintain privacy to rear yards of downhill lots or in order to maintain scenic views as determined by the City Council.

8. All areas designated on the General Development Plan Map as open space, including drainage areas, slope areas, and archaeological sites not contained within a public park, shall remain in private ownership. All Open Area (OA) designations, with the exception of the golf course, shall be included in Homeowners Association (HOA) established by the developer of subsequent parcels. Applicant shall dedicate to City, at City's request, drainage easements, access easements, and open space or conservation easements as necessary to ensure proper use of these areas and access for emergency vehicles and personnel.

Schools

9. The project shall comply with the Rocklin General Plan and all Ordinances with respect to school facilities.

Fire Service

10. Appropriate fire breaks and access to open space areas shall be designed to the satisfaction of the Rocklin Fire Chief.

Traffic and Circulation

11. There shall be no direct connection to Spring Valley Road from Crest Drive. Any indirect connection shall be for emergency and secondary access.
12. Prior to approval of any subsequent entitlements, as part of the environmental assessment, the applicant shall prepare a traffic analysis under the direction of the City Engineer. The analysis shall determine, among other things, that there is ample roadway capacity on and off-site to handle anticipated traffic volumes consistent with the City's General Plan Level of Service standards. On and off-site roadway improvements such as Park Drive, including those in the City's Capital Improvement Plan, may be required to be constructed as part of the approval of the specific entitlement. The developer may petition the City Council for reimbursement for the cost of improvements in excess of the developer's proportionate share.

If all or a portion of Park Drive or any other General Plan roadway located within the Whitney Oaks project area is constructed by the City or another developer, subsequent entitlements shall be conditioned to require reimbursement of the City or the other developer of a share proportionate to the benefit to the Whitney Oaks project.

13. Private streets and access drives shall comply with the following standards:
 - a. The minimum pavement width for private streets shall be 28 feet, provided there is no on-street parking. If on-street parking is provided, the minimum width shall be 36 feet for parking on both sides of the street.
 - b. Secondary access drives for multi-family or cluster housing may be installed with a minimum full travel pavement width of 20 feet, provided parking is prohibited. When a portion of the access drive is utilized for off-street parking, the minimum back-up length shall be twenty-five (25) feet.
 - c. Garage doors for multi-family or cluster housing shall either be four to six feet (with automatic garage doors) or 20 feet or more from the access drive (without automatic garage door openers). If the driveway is greater than 20 feet, the driveway may be utilized for parking.
14. Garage doors for single family detached housing shall be setback at least 20 feet from the edge of roadways or access drives.

Parks

15. All tentative subdivision maps, conditional use permits, or parcel maps on the property shall be conditioned for annexation into Rocklin Community Facilities District No. 5 for the purpose of public maintenance of public parks within the Whitney Oaks project.
16. All lands designated in the General Development Plan for parks shall be dedicated in fee title to the City of Rocklin. The Park site shall be free of any physical condition or any title encumbrance to the land that would prevent or unreasonably restrict its use as a park site, except that the 11.6 acre park at the northeast corner of the site shall incorporate a reserve pond owned and maintained by the golf course owner, but made available for public use. Dedication of all park acreage shall be made and accepted with the approval of the Final Map or Parcel Map in which the property to be dedicated is located, or as an off-site dedication where the dedication is reasonably related to the Final Map or Parcel Map.

Hillside and Bluff Protection

17. Development on slopes in excess of 20% shall only be permitted upon granting of Design Review approval by the Planning Commission.

The exterior hillside fronting on Rawhide Road in excess of 20% slope gradient shall be left as undeveloped open space.

Biological Resources/Wetlands Preservation

18. Subsequent developments shall be required to conduct a field survey and physically delineate the boundaries of wetlands, riparian areas, archaeological sites and open space areas for verification by the City or other responsible agencies.
19. Open space is to be left in private ownership for maintenance purposes. In the event open space is dedicated to the City, an appropriate assessment mechanism shall be provided to fund the maintenance operations.

Noise

20. Specific Plan Use Permits for residences which back onto Park Drive, Crest Drive, Whitney Oaks Drive, North Whitney Boulevard, and Pebble Beach Drive shall be conditioned to provide for the following features:
 - A. Air conditioning or other suitable mechanical ventilation shall be provided to allow residents to close windows for desired acoustical isolation.
 - B. All windows and sliding glass doors shall be weather-stripped or mounted in low air-infiltration design frames meeting ANSI air infiltration standards.

Notice of Design Guidelines

21. Each Tentative Map or conditional use permit shall be conditioned as follows
 - A. Prior to or concurrently with recordation of the first final map or building permit issuance, a document shall be recorded against the title of each individual lot within the project, stating that all projects are subject to the approved Whitney Oaks Design Guidelines.
 - B. The Whitney Oaks Design Guidelines shall be incorporated by reference into the project's Covenants, Conditions, and Restrictions (CC&Rs) and shall include language indicating that the Guidelines are available in the City of Rocklin Community Development Department office.

22. Effective Date

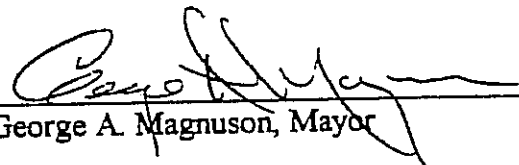
This approval shall not become effective until and unless GPA 96-03 is approved.

Section 4. Within 15 days of the passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Council members voting for and against the ordinance, to be published in the Placer Herald. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within 15 days, shall cause a summary of the ordinance, prepared by the City Attorney and with


the names of the City Council members voting for and against the ordinance, to be published in the Placer Herald, and shall post in the office of the City Clerk a certified copy of the full text of the ordinance, along with the names of those City Council members voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code section 36993(c)(1) are met.

PASSED AND ADOPTED this 12th day of November, 1996, by the following roll call vote:

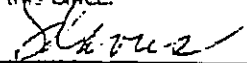
AYES: Councilmembers: Huson, Dominguez, Yorde, Magnuson
NOES: Councilmembers: None
ABSENT: Councilmembers: None
ABSTAIN: Councilmembers: Lund


George A. Magnuson, Mayor

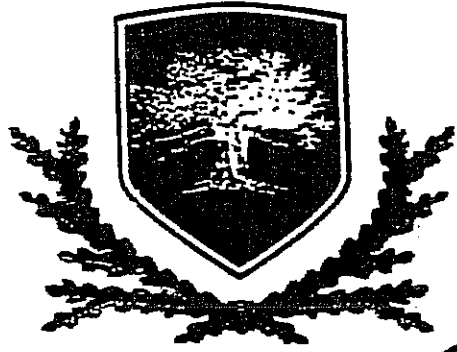
ATTEST:



City Clerk
GTD:ka2
e:\clerk\ord\z9603b
First Reading: 10-17-96
Second Reading: 11-12-96
Effective Date: 12-12-96

The foregoing instrument is a correct copy of the original document on file in this office.
Attest: 

City Clerk, City of Rocklin



WHITNEY OAKS

A L I V I N G L E G E N D

GENERAL DEVELOPMENT PLAN

Approved on Nov. 12, 1996

OFFICIALLY APPROVED

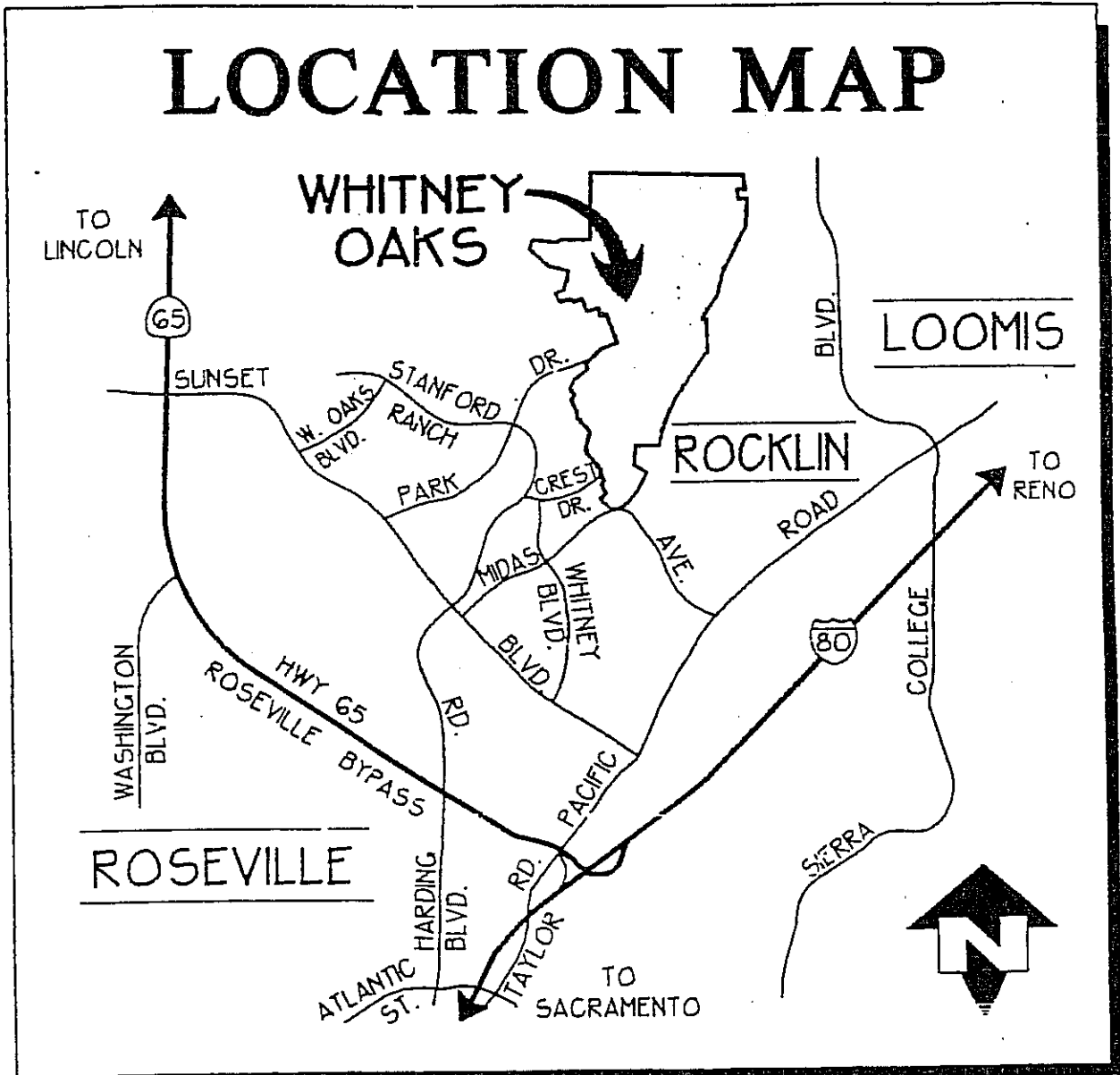
APPROVED BY [Signature]
ON 10/17/98 First Reading

SECTION 1 - INTRODUCTION

1.1 Location

The Whitney Oaks General Development Plan Area encompasses approximately 1,063 acres of land within the north east portion of the City of Rocklin. The site is located adjacent to The City of Lincoln to the north, Placer County to the east, and the existing neighborhoods of Clover Valley to the south east and Stanford Ranch to the west.

Area Location Map



1.2 - HISTORY

The General Development Plan for this project was originally approved in 1990, when the project was then known as Stanford Oaks. The original plan provided for the development of 2,385 residential units, a golf course and related facilities, public parks, schools and a fire station. In 1995 the property was acquired by a new owner and renamed Whitney Oaks. Subsequently tentative maps and revisions to the GDP have now been processed and approved by the City that allow the development in the southern portion of the property. While these approvals have been generally consistent with the original General Development Plan, changes have been made to some of the development standards for the project.

1.3 - PURPOSE

The Whitney Oaks General Development Plan has been designed to better integrate the natural topography with future development and reduce the overall impacts to natural resources found on site. The revised plan consolidates the development standards in a more useable form and combines all previous approvals in a single document.

The proposed General Development Plan still incorporates a maximum development threshold of 2,385 residential units. However the arrangement of the development has been modified to take advantage of the physical characteristics found on site and the real estate market that is anticipated over the next five to eight years.

1.4 - SUBSEQUENT APPROVALS

Subsequent Development approvals including Tentative Subdivision Maps and Specific Plan Use Permits must comply with the General Development Plan and the Whitney Oaks Design Guidelines, approved by City Council Resolution No. 96-268.

SECTION 2 - GENERAL DEVELOPMENT PLAN STANDARDS

2.1 - Planned Development Zone

The purpose of the Whitney Oaks Planned development is to establish standards that will regulate and guide development of the property. The maximum number of residential units in the project shall not exceed 2,385.

2.2 - Interpretation

All provisions of the Rocklin Municipal Code Chapter 17 (Zoning Code) shall apply to this project unless otherwise specified in this General Development Plan. Whenever there is a conflict between the Rocklin Municipal Code and the General Development Plan, the provisions of the General Development Plan shall apply.

2.3 - Zoning Districts

The following zoning districts are included in the Whitney Oaks Planned Development:

| | |
|---------------------------------|---|
| RD - 0.5 through RD- 3.0 | Low Density Residential 0.5 to 3.0 dwelling units per gross acre. |
| Purpose: | The intent of this district is to provide for low density, single family detached residential units, with minimum lot sizes ranging from 8,000 square feet to 12,500 square feet. |
| RD - 3.5 through RD- 8.0 | Medium Density Residential 3.5 - 8.0 dwelling units per gross acre. |
| Purpose: | The intent of this district is to provide for medium density, single family detached or attached residential units, with a minimum lot size ranging from 4,000 square feet to 8,000 square feet. |
| RD- 8.5 through RD-15 | Medium High Density Residential 8.5 - 15 dwelling units per gross acre. |
| Purpose: | The intent of this district is to provide for medium high density, multi-family attached residential units, apartments, townhomes, condominiums, or cluster designs. Minimum lot sizes are 2,500 square feet for single family attached homes and 2 acres for multi-family. |
| RD-20 | High Density Residential 20 dwelling units per gross acre. |
| Purpose: | The intent of this district is to provide for medium high density, multi-family attached residential units, apartments, townhomes, condominiums, or cluster designs. Minimum lot sizes are 2 acres for multi-family. |
| C | Commercial |
| Purpose: | This district is intended to provide opportunities for neighborhood serving commercial uses. |
| BP | Business and Professional |
| Purpose: | This district is intended to provide opportunities for office and professional business uses, preferably neighborhood oriented offices such as doctors, dentists offices. |

| | |
|-----------------|--|
| GC | Golf Course |
| Purpose: | This district is intended to provide recreation, open space, and protection of wetland features. Allowed uses include golf course, driving range, clubhouse and related facilities. |
| OS | Open Space Zone |
| Purpose: | This District is intended to preserve steeper portions of the project with oak woodlands, riparian areas and other environmentally sensitive areas. The open space areas will serve as a permanent oak tree preserve with specific areas accessible to the public. |
| Park | Park Facilities |
| Purpose: | This District will provide areas for passive and active recreational opportunities. |

2.4 - Permitted and Conditionally Permitted Uses (All Residential Uses)

The following tables identify the permitted and conditionally permitted uses in each applicable zoning category.

2.4.1 - Single Family Residential

| Uses | RD- 0.5- 3.0 | RD-3.5 - 4.5 | RD- 5.0-8.0 | RD-15 - 20 |
|--------------------------------|--------------|--------------|-------------|------------|
| Single family detached | P | P | P | P |
| Single family attached | - | - | P | P |
| Accessory uses and structures | P | P | P | P |
| Duplex | - | - | P | I |
| Churches, Schools | U | U | U | U |
| Neighborhood Recreation Center | U | U | U | U |
| Secondary Residential Uses | U | U | U | U |
| Community / Residential Care | U | U | U | U |

P = Permitted Use
 U = Conditionally Permitted Use
 - = Prohibited

2.4.2 - Multi-Family Residential

| Uses | RD-15 | RD-20 |
|--------------------------------------|-------|-------|
| Apartments, Townhouses, Condominiums | P | P |
| Accessory uses and structures | P | P |
| Triplex | P | P |
| Churches, Schools | U | U |
| Rooming Houses and Boarding Houses | U | U |
| Lodges and Rest Homes | U | U |
| Neighborhood Recreation Center | U | U |
| Community / Residential Care | U | U |
| Mobile Home Park | U | U |

2.4.3 - Non-Residential Uses

| Uses | Bus./Prof. | Comm. | Golf Course |
|--|------------|-------|-------------|
| Antique Store | - | P | - |
| Arts & Crafts, Hobby Store | - | P | - |
| Household Appliance Store | - | P | - |
| Jewelry Store | - | P | - |
| Convenience Store(no gas station) | - | C | - |
| Coin Operated Laundry | - | P | - |
| Confectionery Store | - | P | - |
| Soda Fountain/Ice Cream Shop | - | P | - |
| Toy Store | - | P | - |
| Flower Shop | - | P | - |
| Photographer Studio | - | P | - |
| Pick Up Station For Laundry, Cleaning | - | P | - |
| Radio, VCR, TV Repair | - | P | - |
| Shoe Repair | - | P | - |
| Photo Shop | - | P | - |
| Veterinary Clinic | - | P | - |
| General Office | P | - | - |
| Professional Office | P | - | - |
| Banking Insurance Financial | P | C | - |
| Computer Related Services | P | C | - |
| Medical / Dental | P | P | C |
| Hotel / Lodging | - | P | C |
| Interior Commercial Recreation | - | C | C |
| Record Store | - | P | - |
| Drug Store | - | P | - |
| Stationary Store | - | P | - |
| Hardware Store | - | P | - |
| Gift Shop | - | P | P |
| Apparel Store | - | C | - |
| Personal Services (beauty / barber Salon dry cleaners etc.) | - | P | - |
| Video Stores | - | P | C |
| Bar/Liquor Store | - | C | C |
| Book Store | - | P | - |
| Variety Stores | - | P | - |
| Bakery | - | P | - |
| Restaurant | - | P | P |
| Sporting Goods | - | P | P |
| Post Office | - | P | - |
| Convenience Stores | - | C | - |
| Day Care Facilities | C | P | - |
| Travel Agency | P | P | - |
| Athletic Club | - | C | P |
| Pet Shop | - | P | - |
| Churches | C | C | - |
| Clubhouse | C | C | P |
| Golf Driving Range | - | C | P |
| Shopping Center | - | C | - |

| | | | |
|---------------------------------|---|---|---|
| Commercial cluster | - | U | U |
| Mixed Use (Residential & Comm.) | - | U | P |
| Golf Cart Storage and repair | - | - | |

The following uses are prohibited in the Commercial Zoning District.

- Arcade
- Heavy Equipment Sales & Service
- Auto Body/Paint Shop
- Indoor Skating Rink
- Auto Repair Shop, Light or Heavy
- Liquor Store
- Auto Sales/Service
- Locker Plant
- Auto Service Station
- Massage Parlor
- Billiard Room
- Mini-Storage
- Bowling Alley
- Outdoor Storage & Sales
- Commercial Parking Lot
- Plumbing Shop
- Public Utility Bldgs. (Warehouse, Storage)
- Creamery
- Sex Related Entertainment Businesses
- Drive-Thru Restaurants
- Sheet Metal Shop
- Dry Cleaner/Laundry Plant
- Temporary Business for Recycling
- Gasoline Station
- Theaters (Movie)
- Tree Surgeon Establishments (with yard areas)

SECTION 2.5 - SINGLE FAMILY RESIDENTIAL STANDARDS

2.5.1 - Minimum Lot Standards - Low Density Residential

Table 1

| | RD-0.5 | RD-2.0 | RD-2.5 | RD-3.0 |
|-----------------------------|---------------|---------------|---------------|---------------|
| Max. Units per gross | 0.5 | 2.0 | 2.5 | 3.0 |
| Min. lot area (sq. ft.) (1) | 12,500 | 12,500 | 8,500 | 8,000 |
| Min. lot width | | | | |
| Detached interior | 70 ft. | 70 ft. | 70 ft. | 70 ft. |
| Detached corner | 75 ft. | 75 ft. | 75 ft. | 75 ft. |
| Setbacks | | | | |
| Front (2) | 25 ft. | 25 ft. | 25 ft. | 25 ft. |
| Side, interior | 10 ft. | 10 ft. | 10 ft. | 10 ft. |
| Side, street | 10 ft. | 10 ft. | 10 ft. | 10 ft. |
| Rear | 20 ft. | 20 ft. | 20 ft. | 20 ft. |
| Rear adj. to golf | 15 ft. | 15 ft. | 15 ft. | 15 ft. |
| Max. lot coverage (3) | 35% | 35% | 35% | 35% |
| Max. building height | | | | |
| Principal (4) | 30 ft. | 30 ft. | 30 ft. | 30 ft. |
| Accessory | 14 ft. | 14 ft. | 14 ft. | 14 ft. |

Special Area Regulations, Whitney Oaks Phase One Tentative Map

1. Lots 1 through 42 of the Whitney Oaks Phase 1 Tentative Subdivision Map shall have a minimum lot size of 7,500 square feet and an average lot size 12,500 square feet. See Exhibit 1 on page 13.
 2. Lots 24 through 30 of the Whitney Oaks Phase 1 Tentative Subdivision Map shall have front yard setbacks of 20 feet, provided that the setback for the garage portion of the house is 25 feet or more. See Exhibit 1 on page 13.
 3. Lot Coverage for lots 24 through 30 as shown on the Whitney Oaks Phase 1 Tentative Subdivision Map shall not exceed forty (40) percent of the lot area. See Exhibit 1 on page 13.
 4. Structures on the following lots shall be limited to 20 feet in height, measured from finished grade to the roof peak. Parcel B, lots 203 through 209 and 50% of lots 5 through 15. See Exhibit 1 on page 13 and 14.
- Include exceptions in Phase 2. i.e., adjacent to estates subdivision.

Special Area Regulations, Whitney Oaks Phase Two Tentative Map

1. Structures on the following lots shall be limited to 20 feet in height, measured from finished grade to the roof peak. Lots 5,6,7,8,12,13,14,15,16,892 and 893. See Exhibit 1 on page 15.
2. Structures on the following lots shall be limited to 20 feet in height, measured from finished grade to the roof peak. Lots 808-815 and 818-826. See exhibit 1 on page 16.
3. Structures on the following lots shall be limited to 20 feet in height, measured from finished grade to the roof peak. Lots 827- 831, 877-879 and 882-885. See exhibit 1 on page 17.

2.5.2 - Minimum Lot Standards - Medium Density Residential

Table 2

| | RD-3.5 | RD-4.0 | RD-4.5 | RD-4.0-M | RD-5.0 | RD-6.5 | RD-7.5 | RD-8.0 |
|-----------------------------|----------|----------|----------|----------|----------|--------|--------|--------|
| Max. Units per gross acre | 3.5 | 4.0 | 4.5 | 4.0 | 5.0 | 6.5 | 7.5 | 8.0 |
| Min. lot area (sq. ft.)(1) | | | | | | | | |
| Interior | 8,000 | 6,500 | 6,000 | 5,000 | 5,500 | 5000 | 4,500 | 4,000 |
| Corner | 8,500 | 7,000 | 6,500 | 5,500 | 5,500 | 5,500 | 5,000 | 4,500 |
| Attached interior | — | — | — | — | 3,500 | 3,000 | 2,500 | 2,500 |
| Attached corner | — | — | — | — | 4,000 | 3,500 | 3,000 | 3,000 |
| Min. lot width | | | | | | | | |
| Detached interior | 80 ft. | 65 ft. | 60 ft. | 50 ft. | 60 ft. | 50 ft. | 45 ft. | 40 ft. |
| Detached corner | 85 ft. | 70 ft. | 65 ft. | 55 ft. | 65 ft. | 55 ft. | 50 ft. | 45 ft. |
| Attached interior | — | — | — | — | 35 ft. | 35 ft. | 35 ft. | 35 ft. |
| Attached corner | — | — | — | — | 40 ft. | 40 ft. | 40 ft. | 40 ft. |
| Setbacks | | | | | | | | |
| Front (2) | 20 ft. | 20 ft. | 20 ft. | 17 ft.* | 20 ft. | 17 ft. | 17 ft. | 17 ft. |
| Front Average** | 22.5 ft. | 22.5 ft. | 22.5 ft. | 20. ft. | 22.5 ft. | — | — | — |
| Side, interior | 5 ft. | 5 ft. | 5 ft. | 5 ft. | 5 ft. | 5 ft. | 5 ft. | 5 ft. |
| Side, street | 10 ft. | 10 ft. | 10 ft. | 10 ft. | 10 ft. | 10 ft. | 10 ft. | 10 ft. |
| Rear | 20 ft. | 20 ft. | 20 ft. | 20 ft. | 20 ft. | 15 ft. | 15 ft. | 15 ft. |
| Rear adj. to golf | 15 ft. | 15 ft. | 15 ft. | 15 ft. | 15 ft. | 15 ft. | 15 ft. | 15 ft. |
| Rear adj. to OS. | | | | 15 ft. | | | | |
| Max. lot coverage (3) | 40 % | 40 % | 40 % | 40 % | 40 % | 45% | 45% | 45 % |
| Max. building height | | | | | | | | |
| Principal (4) | 30 ft. | 30 ft. | 30 ft. | 30 ft. | 30 ft. | 30 ft. | 30 ft. | 30 ft. |
| Accessory | 14 ft. | 14 ft. | 14 ft. | 14 ft. | 14 ft. | 14 ft. | 14 ft. | 14 ft. |

* The minimum setback for the garage portion of the building shall be 20 feet; between adjacent lots, a minimum front setback variation of 2 feet is required for the building.

** Average is calculated per block.

SECTION 2.6 - MULTI-FAMILY RESIDENTIAL STANDARDS

2.6.1 - Minimum Lot Standards - High Density Residential

Table 3

| | RD-15 | RD-20 |
|--|--------------|--------------|
| Max. units per gross acre | 15 | 20 |
| Min. lot area (apartments, townhouse, & condos) | 2 acres | 2 acres |
| Min. lot width | | |
| Interior | 70 ft. | 70 ft. |
| Corner | 80 ft. | 80 ft. |
| Max. lot coverage | 65% | 65% |
| Max. # of stories | 3 | 3 |
| Max. building height | | |
| Principal | 30 ft. | 30 ft.* |
| Accessory | 14 ft. | 14 ft. |

* The height may be exceeded with approval of a conditional use permit.

2.6.2 Multi -Family Setbacks

| <u>Min. Setback From</u> | <u>First Story</u> | <u>Second Story</u> | <u>Parking</u> |
|--------------------------|--------------------|---------------------|----------------|
| Public Street | 20 ft. | 25 ft. | 15 ft. |
| Open Space/Park | 15 ft | 20 ft. | 20 ft. |
| Building to Building | 15 ft | 20 ft. | NA |
| Any Property Line | 20 ft. | 20 ft. | NA |

2.6.3 Parking (All Residential Uses)

Off-street parking shall comply with Section 17.66 of the Rocklin Municipal Code.

2.7 - COMMERCIAL AND BUSINESS AND PROFESSIONAL STANDARDS

2.7.1 Building Height and Lot Coverage

| | <u>Bus. & Professional</u> | <u>Commercial</u> |
|-------------------|--------------------------------|-------------------|
| Max. Bldg. Height | 30 ft. | 30 ft. |
| Max. Lot Coverage | 65 % | 65% |

2.7.2 Setbacks

Business and Professional

| <u>Min. Setback From</u> | <u>First Story</u> | <u>Second Story</u> | <u>Parking</u> |
|--------------------------|--------------------|---------------------|----------------|
| Public Street | 20 ft. | 25 ft. | 15 ft. |
| Multi-Family | 15 ft. | 15 ft. | 5 ft. |
| Single Family | 10 ft. | 15 ft. | 5 ft. |
| Open Space/Park | 15 ft. | 15 ft. | 5 ft. |
| Building to Building | 15 ft. | 15 ft. | NA |
| Any Property Line | 10 ft. | 15 ft. | NA |

Commercial

| <u>Min. Setback From</u> | <u>First Story</u> | <u>Second Story</u> | <u>Parking</u> |
|--------------------------|--------------------|---------------------|----------------|
| Public Street | 20 ft. | 20 ft. | 15 ft. |
| Single Family | 20 ft. | 20 ft. | 10 ft. |
| Building to Building | 15 ft. | 15 ft. | NA |
| Any Property Line | 15 ft. | 20 ft. | NA |

2.8 - GOLF COURSE STANDARDS

2.8.1 - Area Regulations

1. Height - Buildings shall not exceed 40 feet in height.
2. Screening - Maintenance facilities shall be located and/or screened to obscure views of these facilities from adjacent properties.
3. Other development standards for the golf course, club house and ancillary facilities shall be established as part of the specific plan use permit approval.

2.9 - OPEN SPACE

2.9.1 - Purpose

1. Protect the wooded hillside and the open drainage areas to the extent practicable.
2. Provide opportunities for public access based on topographic constraints, public safety and security issues.
3. Provide opportunities for natural drainage ways and points for emergency access.

No permanent buildings or structures may be placed within the open space zone including open type fences and similar structures unless a delineation of a structure limit line within an open space easement is defined at the time of a Tentative Map or Specific Plan Use Permit and approved by the City of Rocklin.

SECTION 3 - DESIGN GUIDELINES

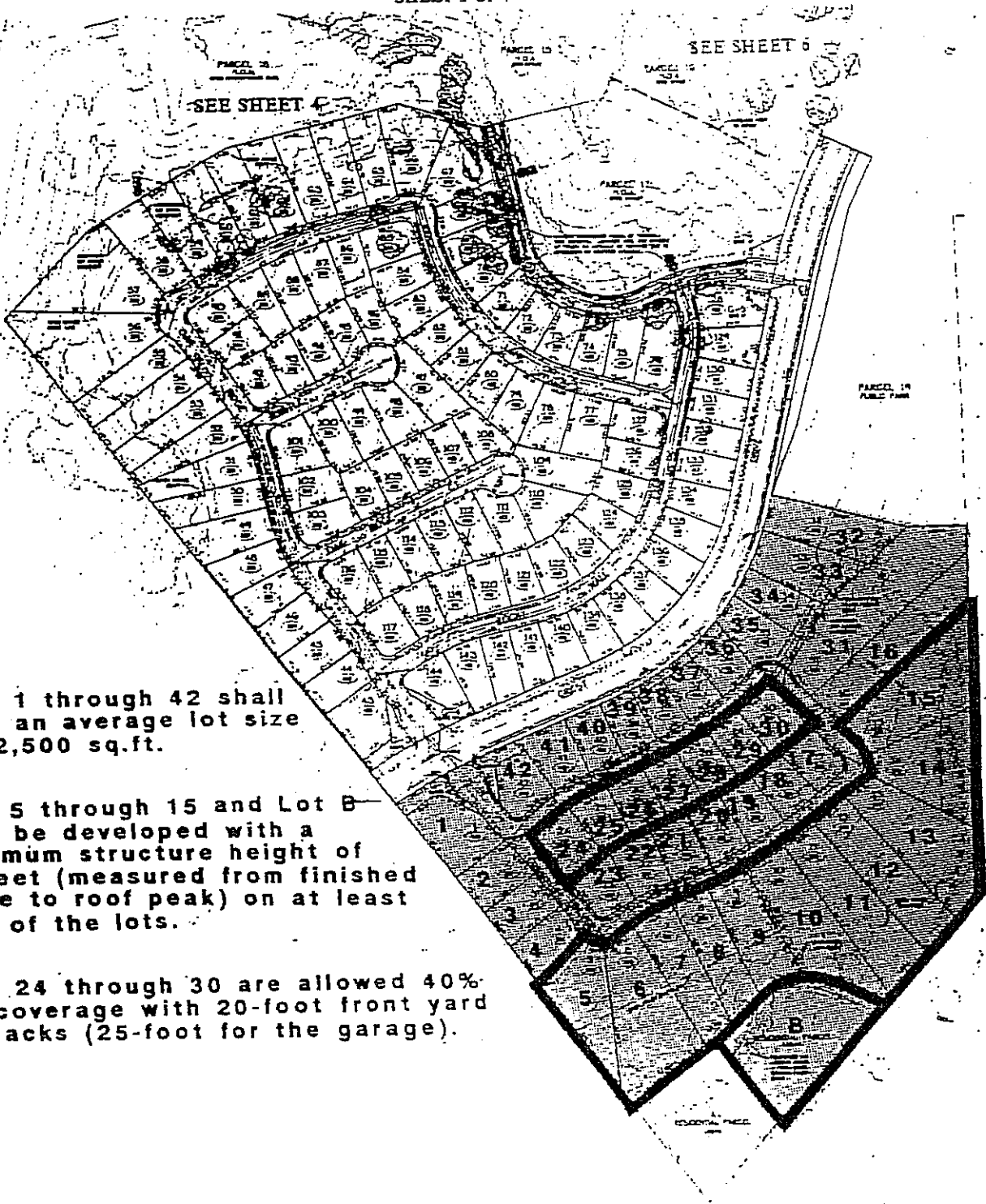
See Whitney Oaks Development Guidelines under separate cover.

STANFORD OAKS

CITY OF ROCKLIN, PLACER COUNTY, CALIFORNIA

NOVEMBER 1995

SHEET 3 OF 7



Lots 1 through 42 shall have an average lot size of 12,500 sq.ft.

Lots 5 through 15 and Lot B shall be developed with a maximum structure height of 20-feet (measured from finished grade to roof peak) on at least 50% of the lots.

Lots 24 through 30 are allowed 40% lot coverage with 20-foot front yard setbacks (25-foot for the garage).

STANFORD OAKS

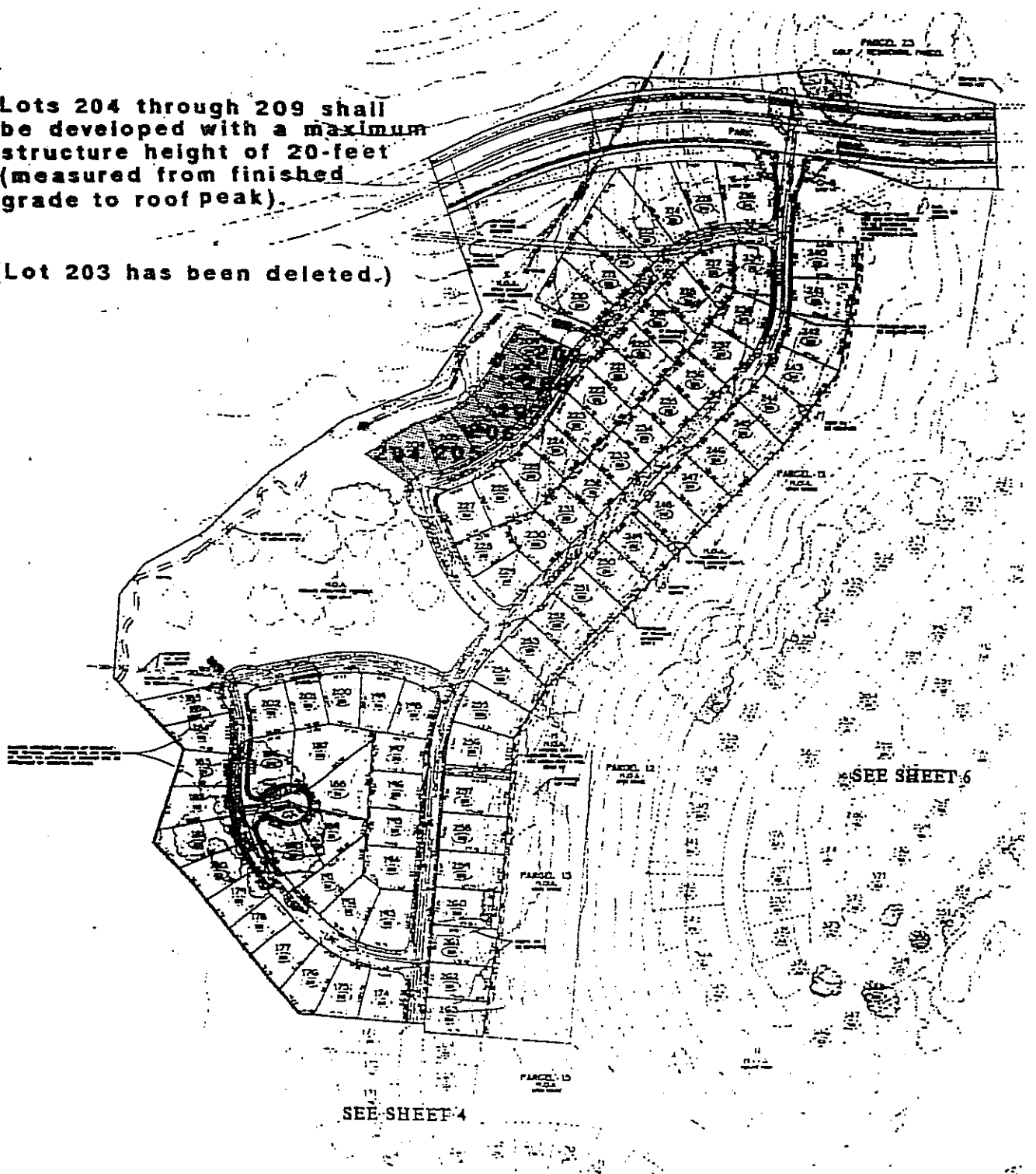
CITY OF ROCKLIN, FLACHER COUNTY, CALIFORNIA

NOVEMBER 1995

SHEET 5 OF 7

Lots 204 through 209 shall be developed with a maximum structure height of 20-feet (measured from finished grade to roof peak).

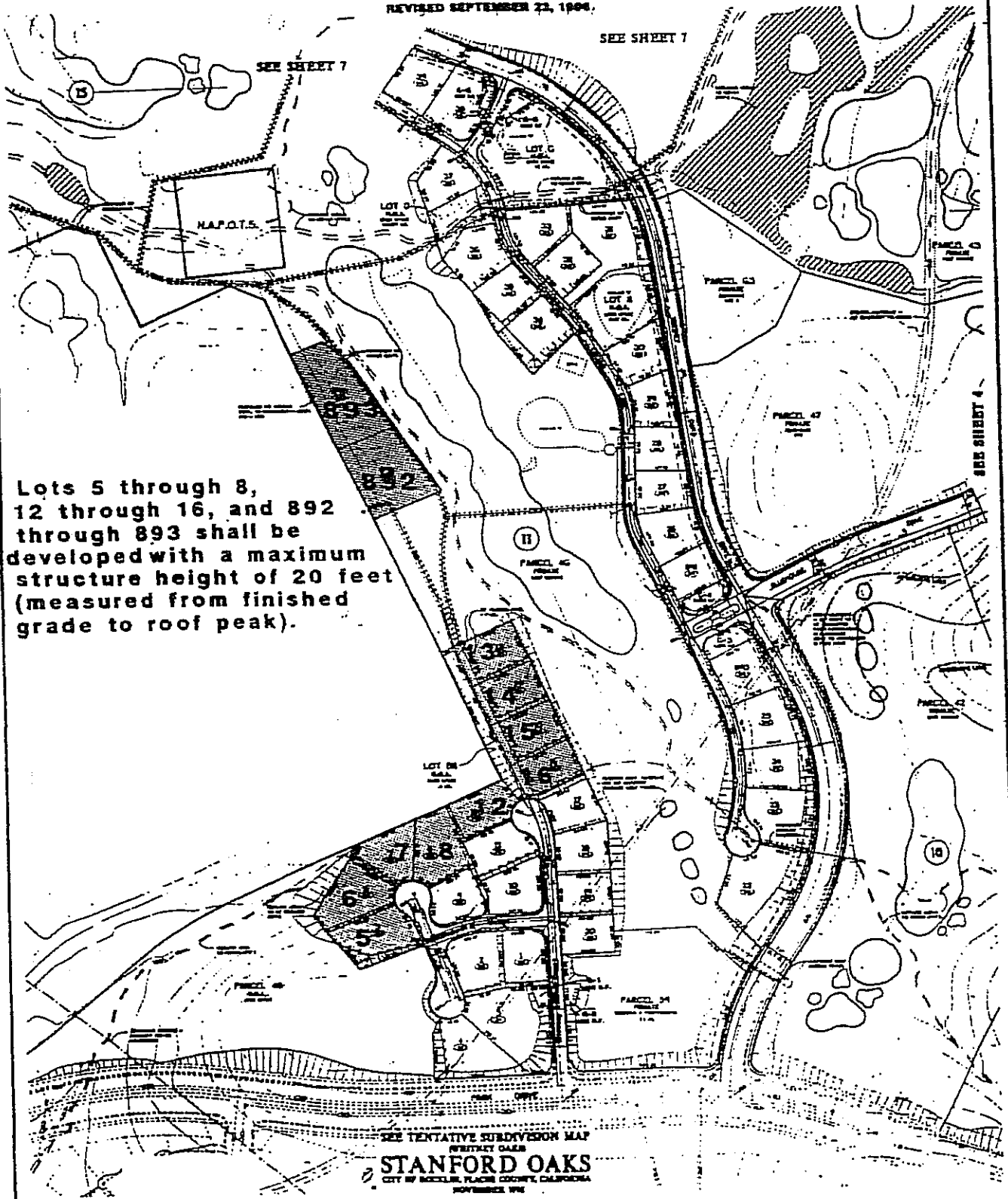
(Lot 203 has been deleted.)



WHITNEY OAKS

(STANFORD OAKS)
CITY OF ROCKLIN, PLACER COUNTY, CALIFORNIA
JULY 1996

SHEET 3 OF 13
REVISED SEPTEMBER 22, 1996



Lots 5 through 8, 12 through 16, and 892 through 893 shall be developed with a maximum structure height of 20 feet (measured from finished grade to roof peak).

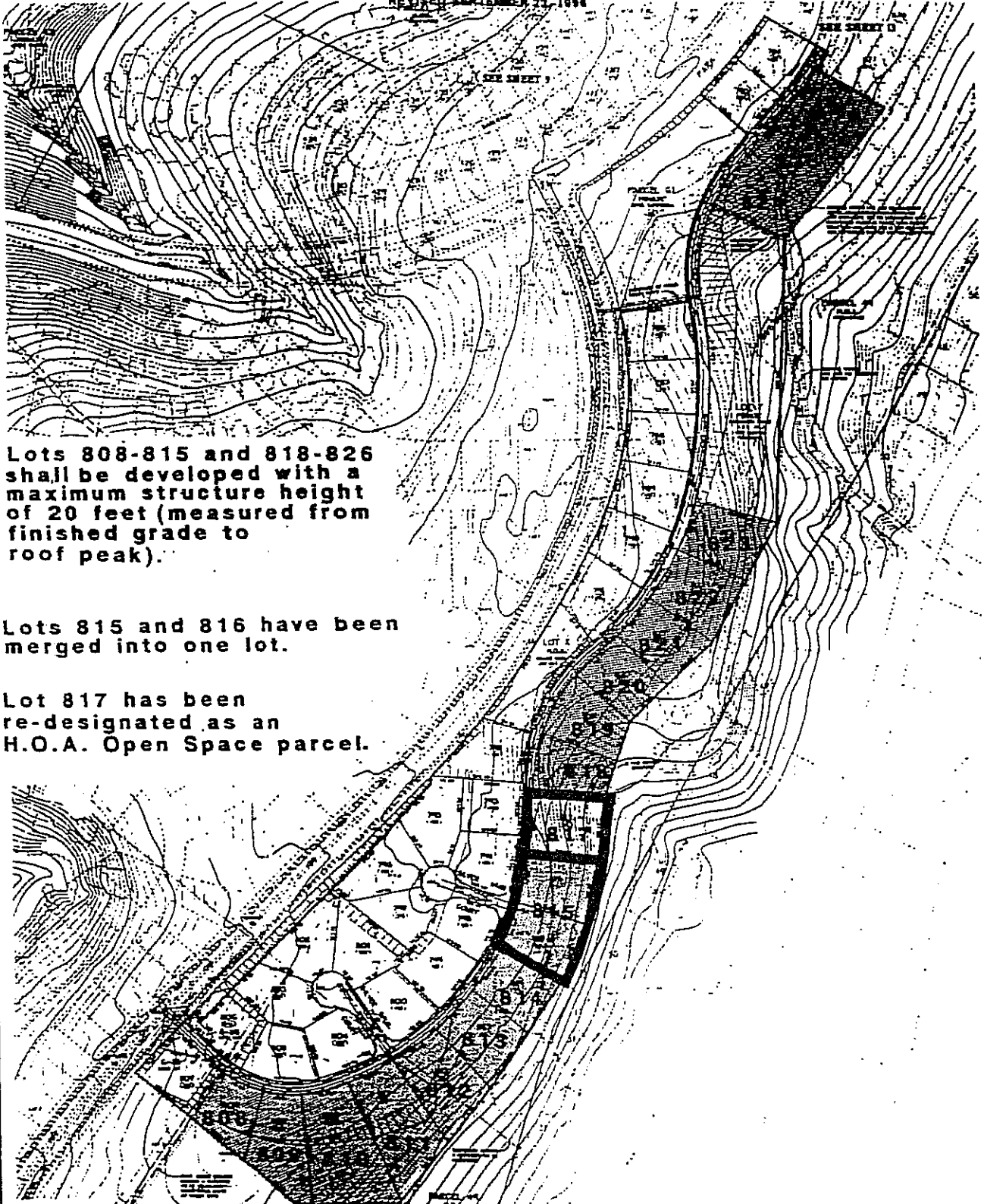
WHITNEY OAKS

(STANFORD OAKS)
CITY OF ROCKLIN, PLACER COUNTY, CALIFORNIA

MARCH 1996

SHEET 12 OF 13

REVISED SEPTEMBER 22, 1996



Lots 808-815 and 818-826 shall be developed with a maximum structure height of 20 feet (measured from finished grade to roof peak).

Lots 815 and 816 have been merged into one lot.

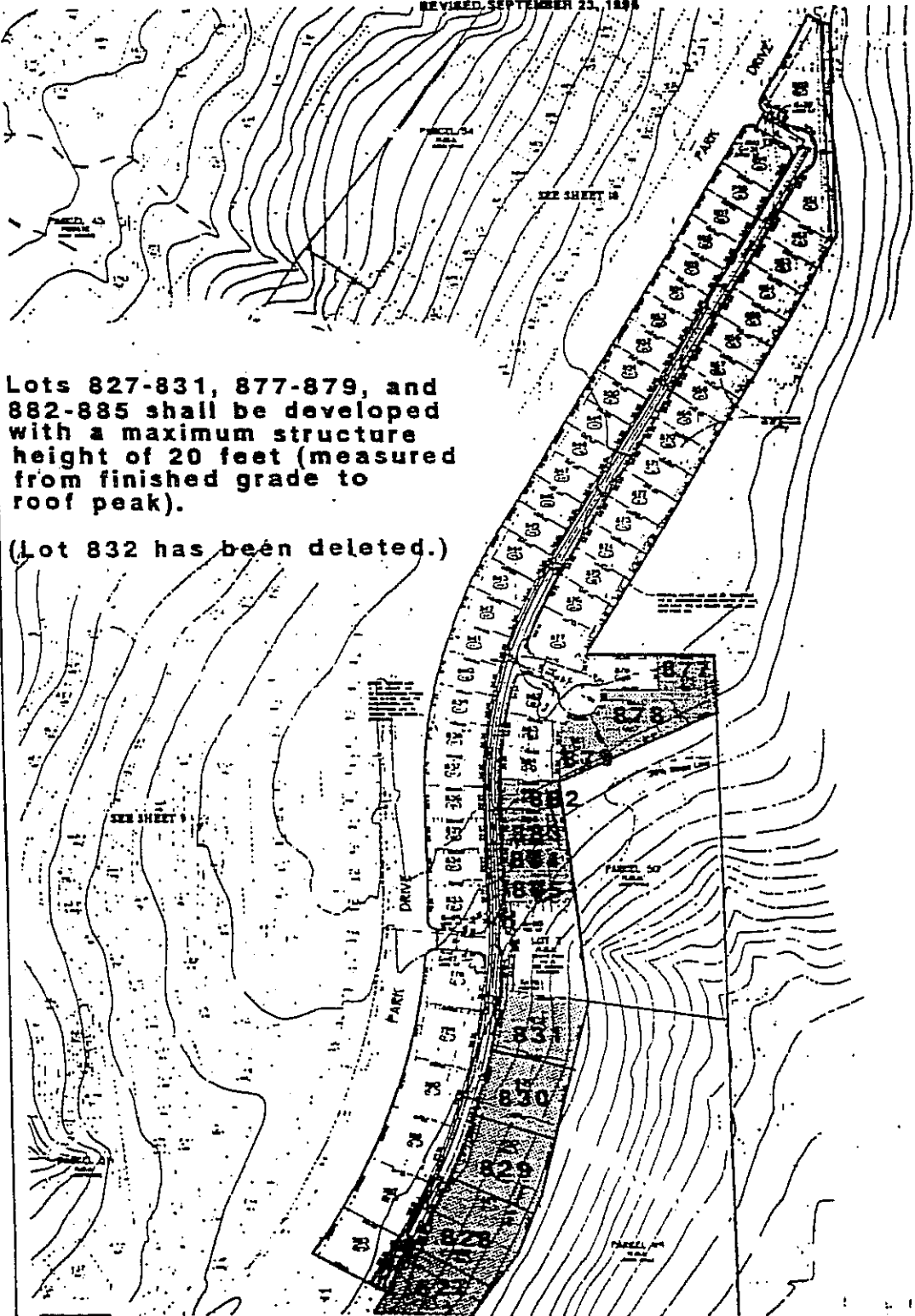
Lot 817 has been re-designated as an H.O.A. Open Space parcel.

WHITNEY OAKS GENERAL DEVELOPMENT PLAN AMENDMENT
LOTS WITH SPECIAL RESTRICTIONS Page 5 of 5

WHITNEY OAKS

(STANFORD OAKS)
CITY OF ROCKLIN, PLACER COUNTY, CALIFORNIA
MARCH 1996

SHEET 13 OF 13
REVISED SEPTEMBER 23, 1995



Lots 827-831, 877-879, and 882-885 shall be developed with a maximum structure height of 20 feet (measured from finished grade to roof peak).

(Lot 832 has been deleted.)

SECTION II

PC Resolution No. 97-94
Approval of Specific Plan Use Permit SPU-97-16
Phase I Setbacks:

PLANNING COMMISSION RESOLUTION NO. 97-74

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN
APPROVING A
SPECIFIC PLAN USE PERMIT
WHITNEY OAKS PHASE I
(SPU-97-16)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. A Notice of Exemption has been approved for this Project.

B. The establishment, maintenance, and operation of the proposed uses and buildings or structures will not, under the circumstances of this particular case, be detrimental or injurious to the health, safety or general welfare of persons residing or working within the neighborhood of the proposed use, to property and improvements in the neighborhood, or to the general welfare of the City.

C. The establishment, operation, and maintenance of the uses and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The specific plan use permit for Whitney Oaks, Phase I (SPU-97-16) is hereby approved as depicted and further described in Exhibit A, attached hereto and by this reference incorporated herein, subject to the conditions listed below. Unless expressly stated otherwise, the applicant/developer shall be solely responsible for satisfying each condition and the conditions must be satisfied prior to issuance of the building permit.

A. **Notice to Applicant of Fees & Exaction Appeal Period.**

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d)(a), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions.

1. Noise

All residences which back onto Park Drive, Crest Drive, Whitney Oaks Drive, North Whitney Boulevard, and Pebble Beach Drive shall be constructed with the following:

- A. Air conditioning or other suitable mechanical ventilation shall be provided to allow residents to close windows for desired acoustical isolation.
- B. All windows and sliding glass doors shall be weather-stripped or mounted in low air-infiltration design frames meeting ANSI air infiltration standards.

2. Grading

All lot grading shall conform to the approved improvement plans for this subdivision, to the satisfaction of the City Engineer. Any changes to the approved grading plan for any of the lots shall be submitted prior to building permit issuance and shall be to the satisfaction of the City Engineer.

3. Landscaping

- A. The front yard and street side yard landscaping for each lot, as shown on Exhibit A, shall adhere to the standards set forth in the General Development Plan for Whitney Oaks, to the satisfaction of the Community Development Director.
- B. The landscaping for each lot shall be installed prior to approval of the final inspection of the structure, to the satisfaction of the Community Development Director.
- C. The applicant shall offer a landscape alternative which offers a Xeroscape landscape.

4. Setbacks

- A. The front yard setbacks for the subdivision shall be as shown on Exhibit A, attached. Any request for change in the approved setback configuration shall be made in writing to the Community Development Director, and shall show evidence of adherence to the General Development Plan requirements.
- B. The rear and side yard setbacks shall be three feet from the toe or top of slope along the side yard property boundary and a minimum of ten feet from the toe or top of slope along the rear property boundary to the satisfaction of the Community Development Director.

5. **Special Condition**

- A. Buildings shall be limited to single story and slab-on-grade foundations on Lots 170, 171 and 172, to the satisfaction of the Community Development Director.
- B. Prior to approval of a final inspection for homes on Lots 170, 171, & 172 a screening fence shall be built at the top of slope in the rear yard of these parcels to the satisfaction of the Community Development Director. Said fence shall be a minimum of 6 foot in height and shall extend to within 10 feet of the side property lines on each lot.

6. **Temporary Sales Trailers**

The Community Development Director may approve the use of temporary sales trailers, for up to 12 months, within the project area, subject to such standards and conditions as deemed necessary to ensure aesthetic qualities, public health, and safety.

7. **Effective Date**

This specific plan use permit shall expire in two years from the date of approval by the Planning Commission unless the applicant applies for and receives an extension in accordance with the Rocklin Municipal Code. Following the issuance of the first building permit, this specific plan use permit shall run with the land.

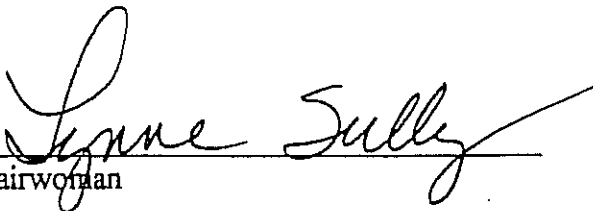
PASSED AND ADOPTED this 5th day of August, 1997, by the following roll call vote:

AYES: Commissioners Coleman, Penney, Niederberger, Barber, Sully


NOES: None

ABSENT: None

ABSTAIN: None



Chairwoman

ATTEST:


Secretary

BVF/gblf:\word\reso\1997\spu9716b

EXHIBIT A

Specific Plan Use Permit SPU-97-16: Whitney Oaks Phase I

Documents for the specific plan use permit for Whitney Oaks Phase I are located in the Planning Department Project File SPU-97-16.

WHITNEY OAKS

PHASE I

SETBACK EXHIBIT

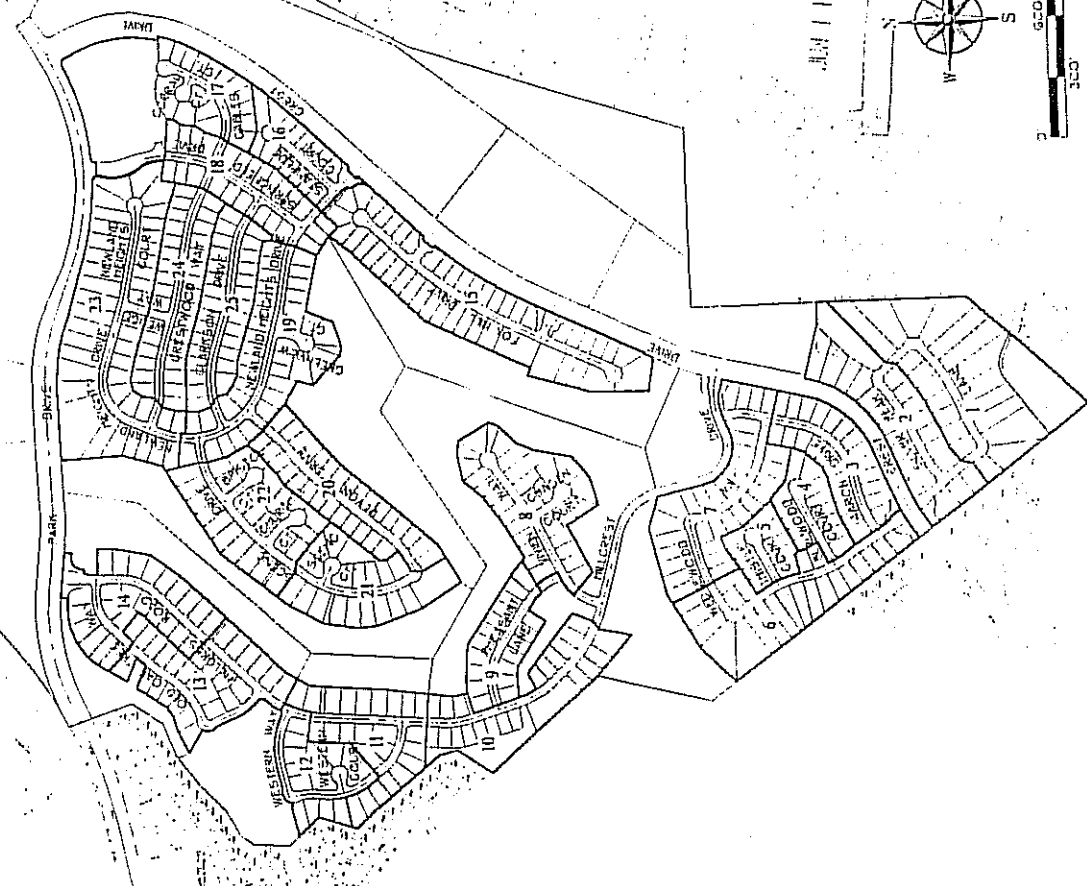
JUNE 5, 1997



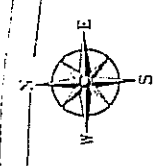
EXHIBIT A
 FILE NO. SPU-97-16

CITY COUNCIL APPROVED

APPROVED BY Planning Commission
 ON 5/13/97



JUN 11 1997



0 300 600

NOTES:

SIDEYARD SETBACKS ARE AS FOLLOWS:
 - 10' STREET SIDEYARD SETBACK MEASURED FROM R/W

- 5' SIDEYARD SETBACK MEASURED FROM PROPERTY LINE OR 4' SIDEYARD SETBACK MEASURED FROM TOE OF SIDEYARD SLOPE/WALL. *(IN ALL CASES SIDEYARD SETBACK LINES ARE A MIN. OF 5' FROM THE PROPERTY LINE PER THE GENERAL DEVELOPMENT PLAN. * IN THE CASE OF BLOCKS 1 & 2 THE SIDEYARD SETBACKS WILL BE 10' & 8' RESPECTIVELY (PER GENERAL DEVELOPMENT PLAN THE SIDEYARD SETBACK IN BLOCKS 1 & 2 WILL BE AT LEAST 10' FROM PROPERTY LINE).

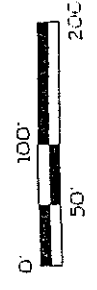
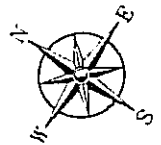
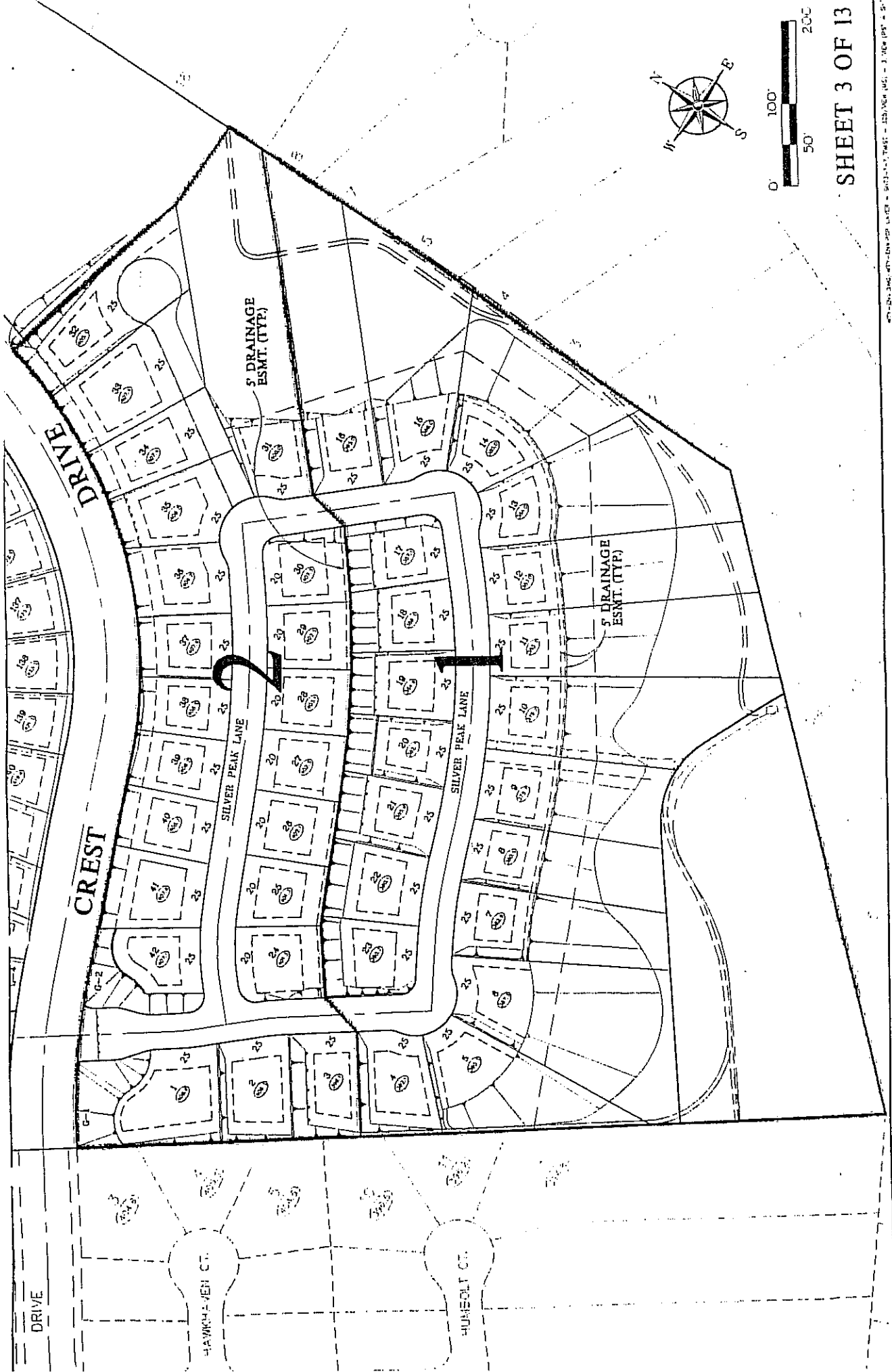
FRONTYARD SETBACKS ARE AS FOLLOWS:

- VARIES FROM 20' TO 29' FROM R/W WITH A 2' VARIATION BETWEEN LOTS WHEREVER POSSIBLE.
 - EACH BLOCK HAS AN AVERAGE FRONTYARD SETBACK OF AT LEAST 22.5' *
 * 22.5' AVG. DOES NOT APPLY TO BLOCKS 1 & 2 WHERE SETBACK IS 25' ON ALL LOTS EXCEPT LOTS 24-30.

REARYARD SETBACKS ARE AS FOLLOWS:

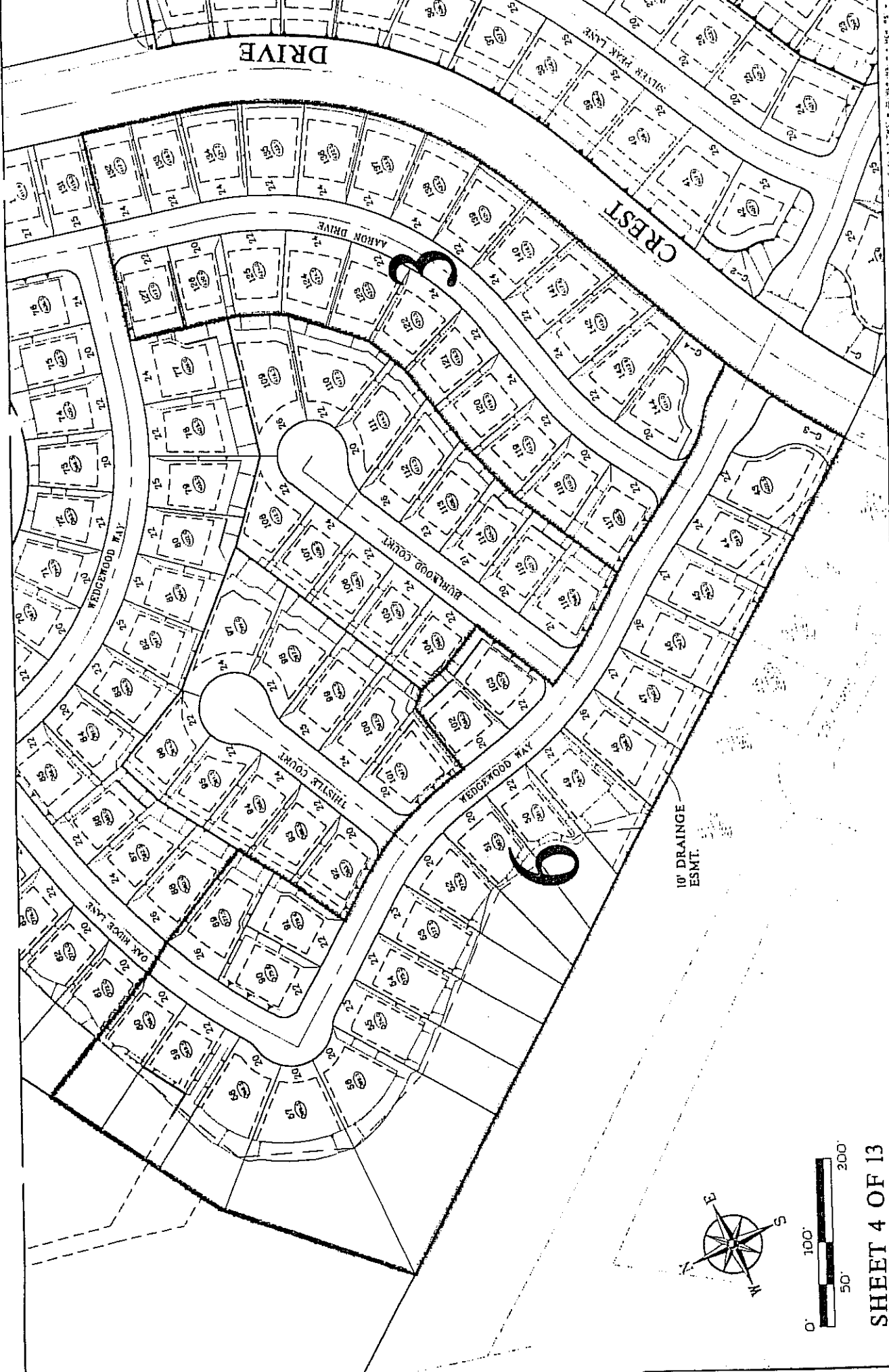
- 20' REARYARD SETBACK MEASURED FROM PROPERTY LINE OR 15' REARYARD SETBACK FROM TOE OF REARYARD SLOPE/WALL. (IN ALL CASES REARYARD SETBACK LINES ARE A MIN OF 20' FROM PROPERTY LINE PER THE GENERAL DEVELOPMENT PLAN).
 - REARYARD SETBACK LINES ALONG RIDGE LOTS ADJACENT TO OPEN SPACE ARE PLACED AT THE TOP OF REARYARD SLOPE OR IN THE CASE OF NON-GRADED LOTS AT 90' FROM R/W.
 - 20' REARYARD SETBACKS ADJACENT TO REARYARD DRAINAGE SYSTEMS INCLUDE DRAINAGE EASEMENTS. WHERE REARYARD DRAINAGE SYSTEMS UTILIZE "V" DITCHES, THE 20' REARYARD SETBACKS IS MEASURED FROM DITCH EDGE.

| BLOCK NO. | LOTS | MIN STEK | MAX STEK | AVG. STEK. | SHT NO. |
|-----------|------|----------|----------|------------|---------|
| 1 | 20 | 25' | - | 25' | 3 |
| 2 | 22 | 25' | - | 25' | 3 |
| 3 | 24 | 20' | 24' | 22.50' | 4 |
| 4 | 13 | 20' | 26' | 22.54' | 5 |
| 5 | 10 | 20' | 25' | 22.50' | 5 |
| 6 | 23 | 20' | 21' | 22.52' | 4 |
| 7 | 32 | 20' | 21' | 22.50' | 5 |
| 8 | 28 | 21' | 21' | 22.50' | 6 |
| 9 | 18 | 20' | 25' | 22.50' | 6 |
| 10 | 21 | 20' | 21' | 22.52' | 6 |
| 11 | 24 | 20' | 29' | 22.58' | 7 |
| 12 | 14 | 20' | 21' | 22.50' | 7 |
| 13 | 21 | 20' | 26' | 22.51' | 8 |
| 14 | 24 | 20' | 21' | 22.50' | 8 |
| 15 | 44 | 20' | 26' | 22.50' | 9 |
| 16 | 15 | 20' | 28' | 22.53' | 10 |
| 17 | 11 | 20' | 21' | 22.53' | 10 |
| 18 | 24 | 20' | 25' | 22.50' | 10 |
| 19 | 37 | 20' | 25' | 22.51' | 11 |
| 20 | 29 | 20' | 21' | 22.52' | 12 |
| 21 | 18 | 20' | 25' | 22.50' | 12 |
| 22 | 25 | 20' | 26' | 22.52' | 12 |
| 23 | 41 | 20' | 26' | 22.51' | 13 |
| 24 | 32 | 21' | 21' | 22.50' | 13 |
| 25 | 29 | 21' | 25' | 22.52' | 11 |
| | 611 | | | | |

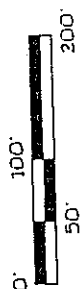
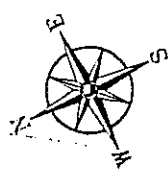


SHEET 3 OF 13

15'-0" DIA. 3/4" WT. 1/4" DIA. PER LAYER = 510'-0" x 117'-0" TYP. = 125'-0" DIA. = 1'-0" DIA. 15' = 5'

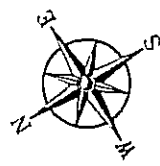


10' DRAINAGE
ESMT.

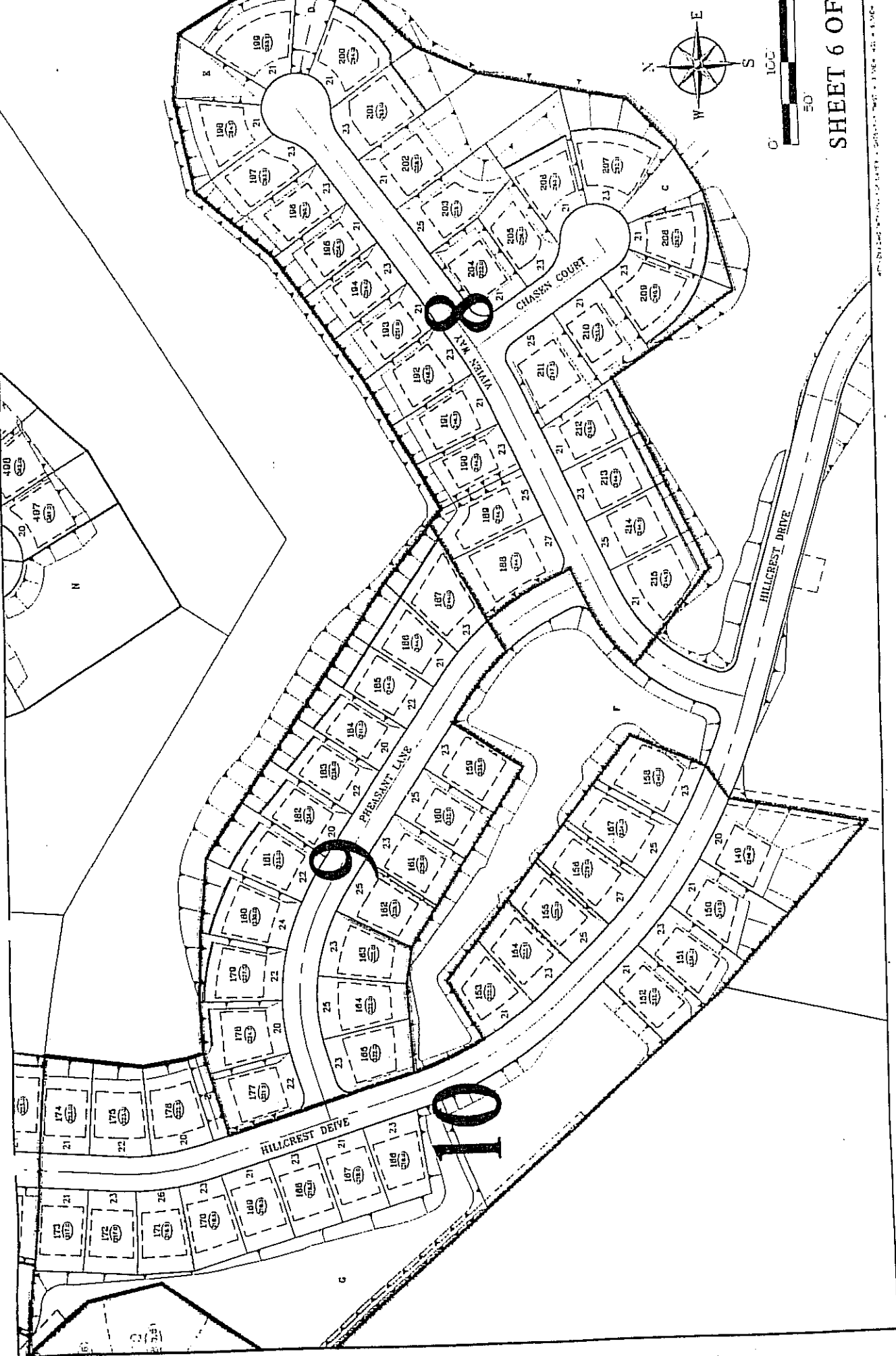


SHEET 4 OF 13

NOT TO SCALE - SEE PLAN FOR DIMENSIONS AND NOTES

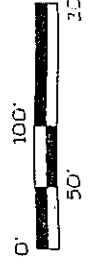
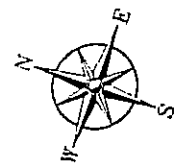


SHEET 5 OF 13



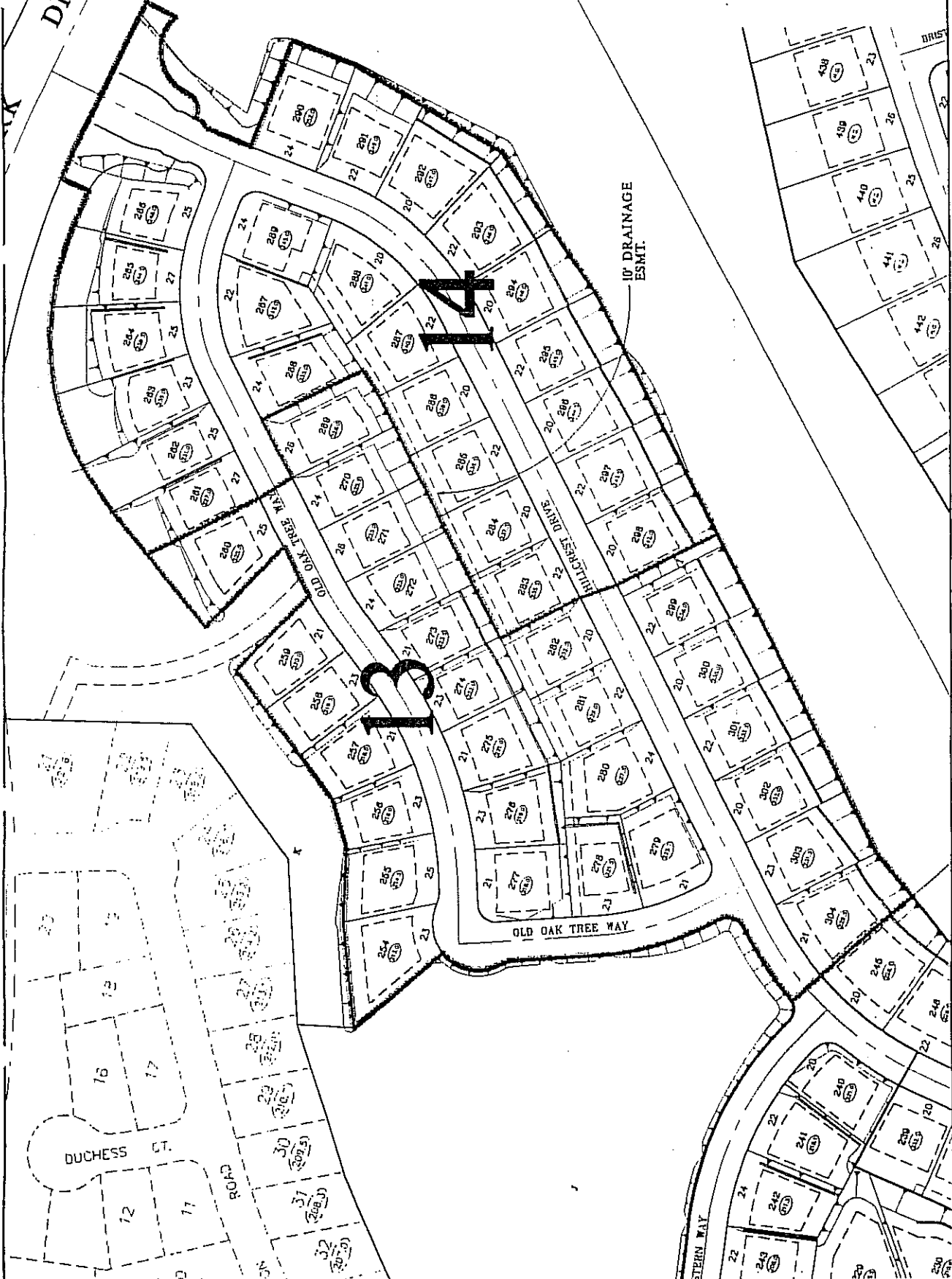
DATE: 10/15/01

DRIVE



SHEET 8 OF 13

ATTENTION: WITH-DRAWN LATER - 8/13/03 - 100' WIDE (US) - 5' WIDE (US) -



10' DRAINAGE ESMT.

B

4

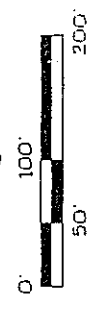
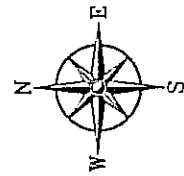
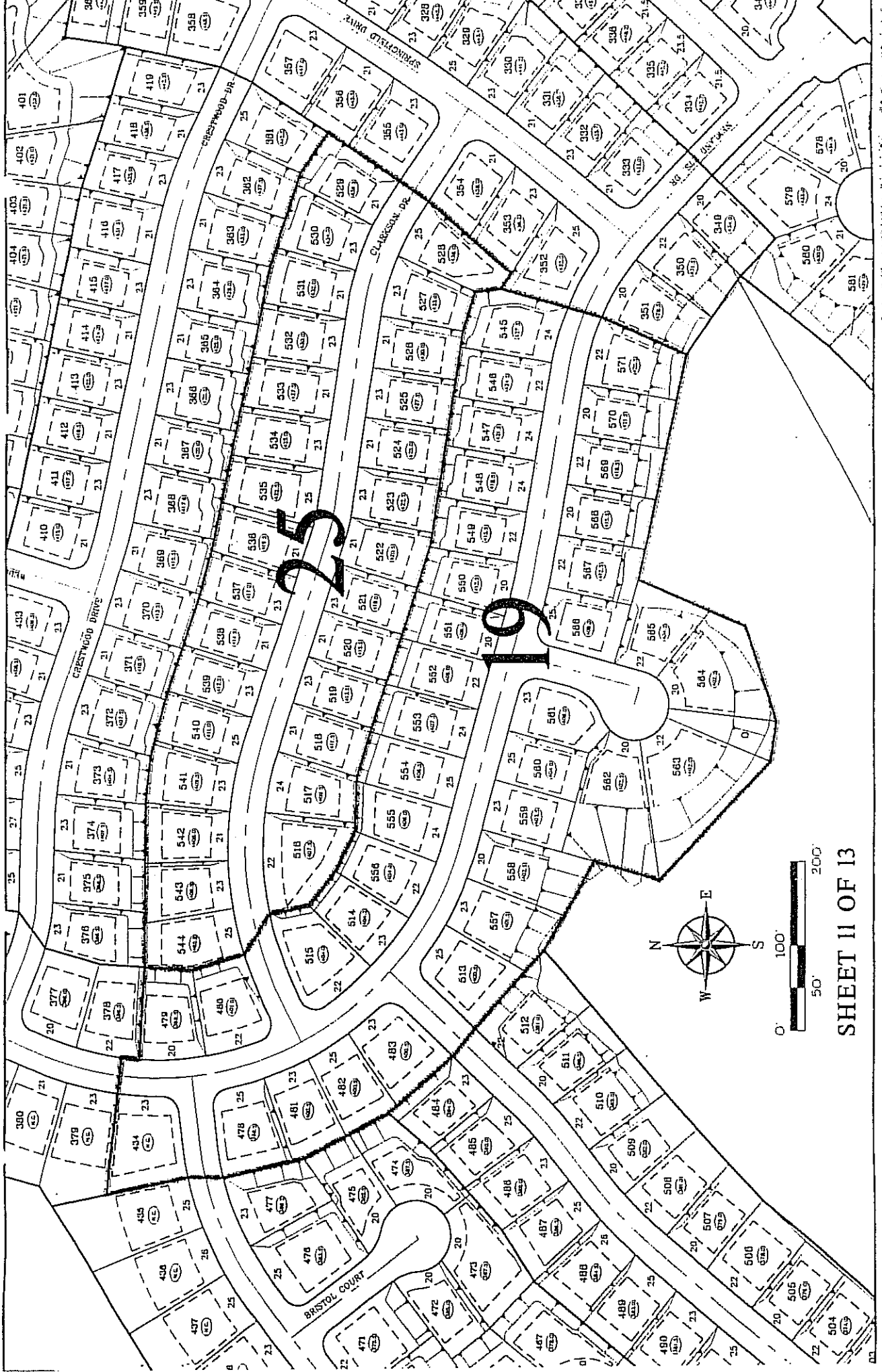
DUCHESS CT.

ROAD

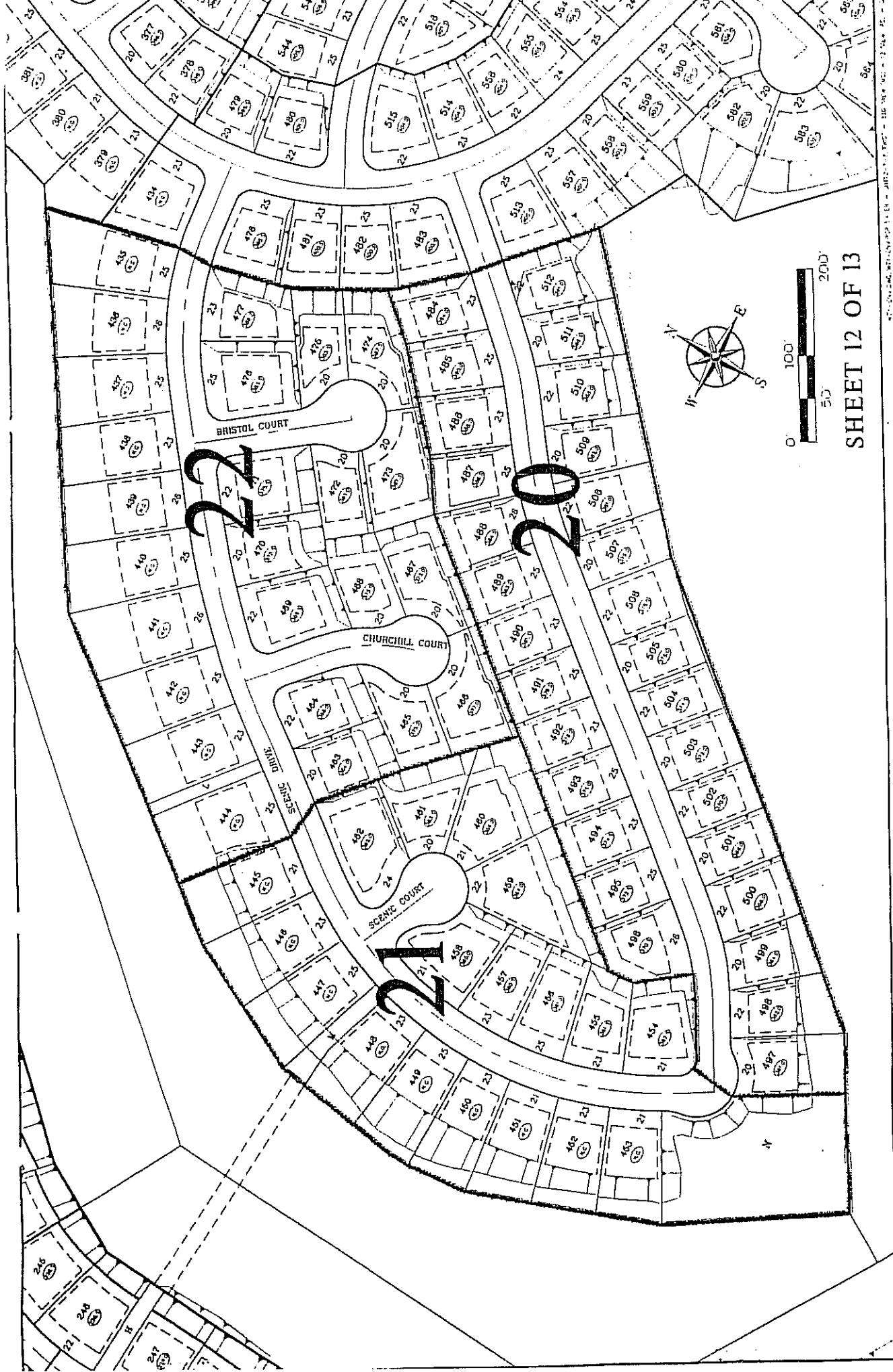
OLD OAK TREE WAY

HILLCREST DRIVE

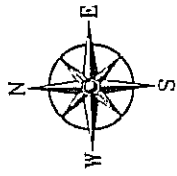
EASTERN WAY



SHEET 11 OF 13

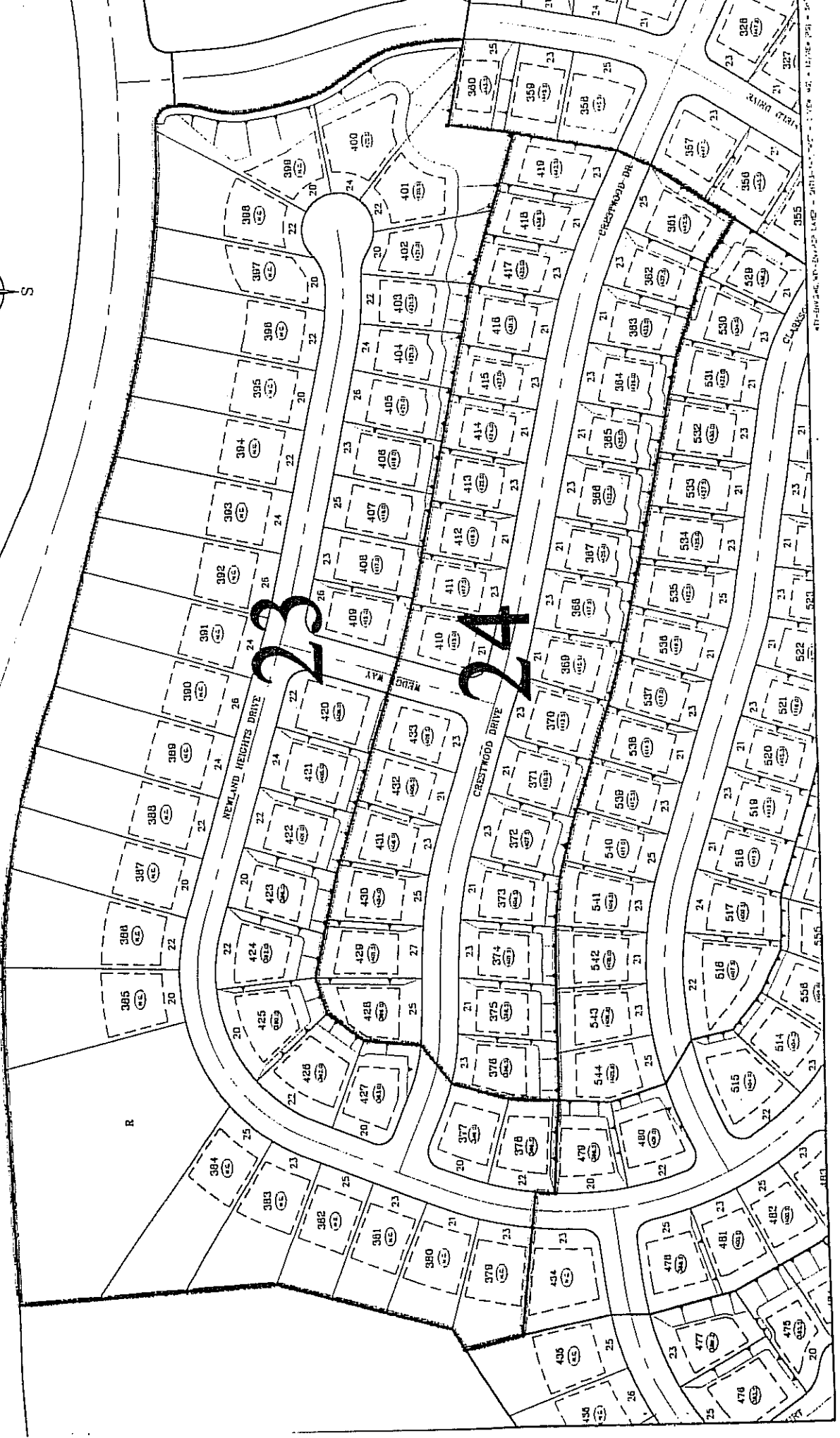


SHEET 12 OF 13



PARK

DRIVE



SECTION III

Resolution No. 96-268
Approval of Design Guidelines dr-96-02

RESOLUTION NO. 96-268

RESOLUTION OF THE CITY COUNCIL OF
THE CITY OF ROCKLIN APPROVING
THE WHITNEY OAKS DESIGN GUIDELINES
(Whitney Oaks/DR 96-04)

The City Council of the City of Rocklin does resolve as follows:

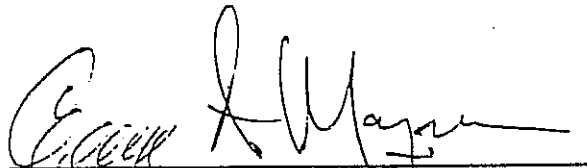
Section 1. A mitigated negative declaration of environmental impact has been approved for this project.

Section 2. The City Council hereby approves the Whitney Oaks Design Guidelines (DR 96-04), as shown in Exhibit A, attached hereto and by this reference incorporated herein, subject to the following conditions:

1. Prior to the issuance of the first building permit within the Whitney Oaks project, a document shall be recorded against the title of each individual lot within the project, stating that all projects are subject to the approved Whitney Oaks Design Guidelines. The document shall further state that the Guidelines are available in the City of Rocklin Community Development Department office.
2. The Whitney Oaks Design Guidelines shall be incorporated by reference into the project's Covenants, Conditions, and Restrictions (CC&Rs). The CC&Rs shall include language indicating that the Guidelines are available in the City of Rocklin Community Development Department office.

PASSED AND ADOPTED this 17th day of October, 1996, by the following roll call vote:

| | | |
|----------|-----------------|-----------------------------------|
| AYES: | Councilmembers: | Yorde, Dominguez, Huson, Magnuson |
| NOES: | Councilmembers: | None |
| ABSENT: | Councilmembers: | None |
| ABSTAIN: | Councilmembers: | Lund |


George Magnuson, Mayor

ATTEST:


City Clerk

GTD:kal
e:\clerk\reso\dr9604b

The foregoing instrument is a correct copy of the original document on file in this office.

Attest: 
City Clerk, City of Rocklin

EXHIBIT A

FILE NO. DDP-96-04

WHITNEY OAKS

Design Guidelines

OFFICIALLY APPROVED

APPROVED BY City Council
ON 10/17/96 6-8

Prepared for:

Live Oak Enterprises, Inc.
110 Blue Ravine Road
Suite 162
Folsom, CA 95630
Ph. (916) 353-1700
FAX (916) 353-1730

Table of Contents

Credits 1
Design Review Procedures 2
General Development Guidelines 4
Guidelines for Residential Development
 Site Development 9
 Driveways 10
 Privacy & Security Fencing 11
 Landscape 13
 Grading 14
 Hardscape & Planting Materials 16
 Architecture 18
 Custom Homes 19
 Massing & Forms 20
 Materials & Colors 21
 Equipment Screening 22
 Mailboxes and Lighting 23
APPENDIX 24



Credits

Whitney Oaks is a development of Live Oak Enterprises for Cal Stanford Oaks LLC:

Contributions to these guidelines include:

Live Oak Enterprises, Inc.

-Jonathan Cohen

Don Burton

Peter Bridges

Williams + Paddon, Architects + Planners, Inc.

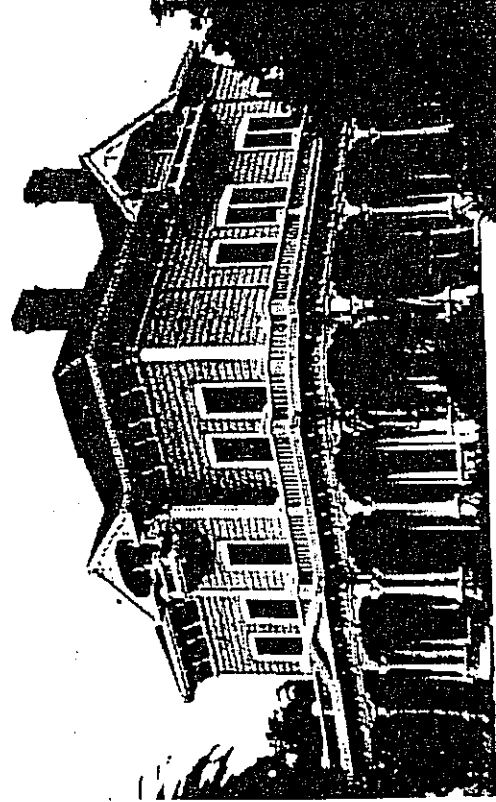
Steve Fuhrman and Company/Wayne Kelly

Vail Engineering

Intercommunications, Inc.

Vierra Moore Santos

George Djan - City of Rocklin



Original Joal Parker Whitney Mansion

Design Review Procedures

It is the applicant's responsibility to comply with all laws and ordinances, and neither compliance with these guidelines nor the approval of the Design Review Committee constitute a representation that the proposed project meets said requirements.

Applicability

These Design Guidelines are applicable to new construction projects as well as to proposed additions and modifications to structures and landscape elements by existing homeowners.

Design Review Committee

The Design Review Committee shall be comprised of representatives from the following

- a. Live Oak Enterprises
- b. Vierra, Moore, and Santos Associates
- c. Williams + Paddon Architects, Inc.
- d. Steven Fuhrman + Company/Wayne Kelly

Review Process

Applications for Design Review approval shall be submitted to the Whitney Oaks Homeowners Association (HOA) Management along with the applicable application fee. The applicant is encouraged to request a Conceptual Review of preliminary plans to determine if the proposed design is consistent with the Project design intent. Design Review and Approval shall consist of the following steps:

Purpose and Intent

The purpose of these guidelines is to:

- 1. Ensure a high standard for development in Whitney Oaks and to establish parameters for design that encourage unique design solutions.
- 2. Provide residents and property owners with a flexible set of principles that encourage diversity while establishing a cohesive sense of community with respect for the Heritage and Character of Whitney Oaks.
- 3. Encourage property improvements by ensuring that future adjacent development be held to comparable standards
- 4. Assist the City of Rocklin staff, and Whitney Oaks Design Review committee in their development review responsibilities by providing a checklist of important issues and considerations, while at the same time protecting property owners from arbitrary design review decisions.

How to use guidelines

These guidelines should be used in conjunction with all applicable City ordinances, maps and use permit conditions of approval, as well as any other applicable requirements. Where these guidelines conflict with City requirements, the stricter of the two shall apply.

Project Submittal Checklist

1. **Conceptual Design Review (Optional)**
 In order to save the applicant unnecessary costs associated with design, upon request the DRC will review a conceptual design for general compliance with the intent of these guidelines.
2. **Preliminary Design Review**
 The applicant shall submit the materials shown in the Project Submittal Checklist. The DRC will review and approve the design or recommend changes based on the project's compliance with the Guidelines.
3. **Construction Documents Review**
 The applicant shall submit 5 copies of the full project construction documents for review for compliance with the Preliminary Design Review.
4. **Site Inspection**
 The DRC shall inspect the project upon completion to review for compliance with approved submittals.

The following is required for **Preliminary Design Review** Submittal:

- Location map** - indicating location of property within the development, assessor's parcel number, and Name, Address, and Telephone number and fax number for both the owner and architectural designer.
- Site / Grading Plan** - 1" = 20'-0" minimum scale, showing property lines, dimensions, setback requirements, and existing topography. Indicate proposed grading and drainage. Show proposed driveways and structures with grade elevations.
- Landscape Plan** - 1" = 20'-0" minimum scale. Indicate all proposed plant material, groundcover, type of irrigation, hardscape, fence design and locations.
- Floor Plans** - 1/4" = 1'-0" scale preferred. include plans for all levels.
- Calculation of Square Footage** - Methodology provided in Appendix.
- Roof Plan** - Show roof pitch and direction.
- Exterior Elevations** - Show all elevations with existing and finished grades clearly indicated. Note all exterior materials, roof slopes, and heights above finish grade.
- Materials Samples Board** - Provide actual samples of all primary exterior materials and chips of paint colors.

General Development Guidelines

The Whitney Oaks General Development Guidelines serve to establish conceptual design parameters for the entire project and insure a sense of community.

- f. Each neighborhood should be accessible from a major collector or arterial road with sufficient design capacity to accommodate the neighborhood, as well as other traffic generated by adjacent uses.

Guidelines applicable to all residential areas include:

- a. Residential areas will be designed as "neighborhood clusters" with distinct boundaries defined by open space corridors, drainage systems, the local street system, or adjacent commercial and business-professional or public uses.
- b. The circulation system within the neighborhood clusters will emphasize an internal circulation network for both pedestrians and vehicles, and will minimize through traffic.
- c. The neighborhood street pattern should provide access to the neighborhood school or park.
- d. A mix of architectural design is encouraged in individual neighborhoods.
- e. High density developments should be compatible with and not adversely affect the existing or planned development.

Circulation Guidelines

- a. All public streets will be developed to the City of Rocklin standards of Rights-of-Way and pavement width.
- b. Residential areas should be designed to provide for safe and convenient pedestrian routes throughout the neighborhood, and to nearby schools, recreation and public transportation.
- c. Bicycle and pedestrian paths should be landscaped to provide shade and wind protection wherever possible.
- d. Class I bikeways (separated from vehicular traffic) and pedestrian pathways should be accommodated in the open space corridors to the maximum extent allowed by topographic, land use, maintenance, improvement costs, and security constraints.

Open Space and Parks Guidelines

Open space in Whitney Oaks consists of linear corridors comprised of natural drainageways and riparian woodland, and oak wooded hillsides.

1. Increases runoff will require erosion control techniques which need to be integrated with the overall landscape design. Drainage solutions shall conform to the natural character of the landscape and minimize change to the existing state of creek channels.
2. On-site retention areas will be used where feasible to minimize the peak hour concentration of off-site runoff and to replenish local ground water.
3. All existing oak trees shall be identified on a Specific Development Plan and be retained wherever possible.
4. New planting should draw upon native and non-native riparian species, and should be treated in informal groves to approximate to character of indigenous plants.
5. Landscape treatment of the open space corridor should be compatible with and extend into adjacent land use sites where feasible.

Streetscape Guidelines:

Street design standards include the elements which comprise the streetscape including paving, lighting, street furniture, and landscaping.

1. Street trees should be located along major thoroughfares and within major activity center parking lots to provide shade, foliage to soften the hard streetscape, and a canopy "ceiling" to help define a pedestrian scale. Although a variety of trees can survive as effective street trees, a single species of trees should be dominant on any particular street for visual continuity and harmony.
2. Street landscaping should provide periodic openings to distant views of surrounding hillsides and landmark structures, as well as short range views.
3. Special paving treatment, such as brick, precast concrete pavers in slab or in sand, should be used where special character paving emphasis is desired. Precast concrete pavers in slab could be used for crosswalks at key entryways and intersections subject to City approval.
4. Pedestrian areas should be well lighted with low scale, vandal resistant fixtures.

6. Hillside and Open Space Corridors.
 - a. Interior hillsides in excess of 30 percent slope gradient are to be left as undeveloped open space. Development on slopes between 20 - 30% shall only be permitted upon the granting of Design Review approval.
 - b. Linear pathways, bikeways, jogging trails, and unimproved picnic areas may be located within the hillside open space easement at the discretion of the City.
 - c. Parcel boundary lines shall be located at the upper elevation of a slope area such that the slope is included in the adjacent downslope parcel.
 - d. Houses overlooking Rawhide Road shall be placed as far away from the rear property line as feasible.
7. Public Parks
 - a. Neighborhood parks should be designed to provide small facilities to meet the daily recreation and leisure needs of the local neighborhood. Such facilities may include tot lots, picnic areas, walking paths, restrooms, and small play fields, can similar facilities.
 - b. Neighborhood parks are located to be accessible to the neighborhoods they serve. Pedestrian and local street patterns are to be designed to lead to the neighborhood park.
 - c. Parks should have frontage on roads, to allow access and surveillance.
 - d. Neighborhood parks should incorporate unusual land forms, groves, rock outcroppings, stream courses, and other natural features that add interest and diversity to accommodate passive recreation, nature walks, adventure play and other informal activities.
 - e. All parks should contain sufficient useable ground, in terms of slope and other terrain features, to accommodate the active recreation facilities that are appropriate to the park size and location.

Parking Area and Private Drive Access Standards

1. For the convenience of homeowners and guests, parking spaces shall be located as close as reasonably possible to the unit or the communal facility it is intended to serve.
2. Private access drives should provide vehicular access at two points if possible. Access drives which have but one point of access shall not exceed one hundred fifty feet in length, unless approved otherwise by the Fire Chief.
3. A directory and unit location shall be installed at each major entry of planned unit development projects as an aid to emergency personnel and a convenience to visitors.

City of Rocklin General Development Guidelines

The following guidelines are generally applicable to all new developments within the City of Rocklin and shall be applied to Whitney Oaks where appropriate.

1. Locating or siting of the proposed structure and/or addition to an existing structure.
 - a. Height and scale of each building shall be compatible with its site and buildings in the surrounding area.
 - b. Where natural or existing topographic patterns contribute to the beauty and unity of the building site and surrounding development, they shall be preserved and incorporated into the plan.
 - c. Every effort shall be made to preserve oak trees...
 - d. Structures shall be oriented in such a way as to take advantage of known atmospheric conditions (such as wind, sun, etc.) for purposes of heating and cooling, so as to conserve energy.
2. Relation to development
 - a. Proposed buildings of different architectural styles relative to surrounding buildings shall be made compatible by such methods as screening, site breaks, color or materials.

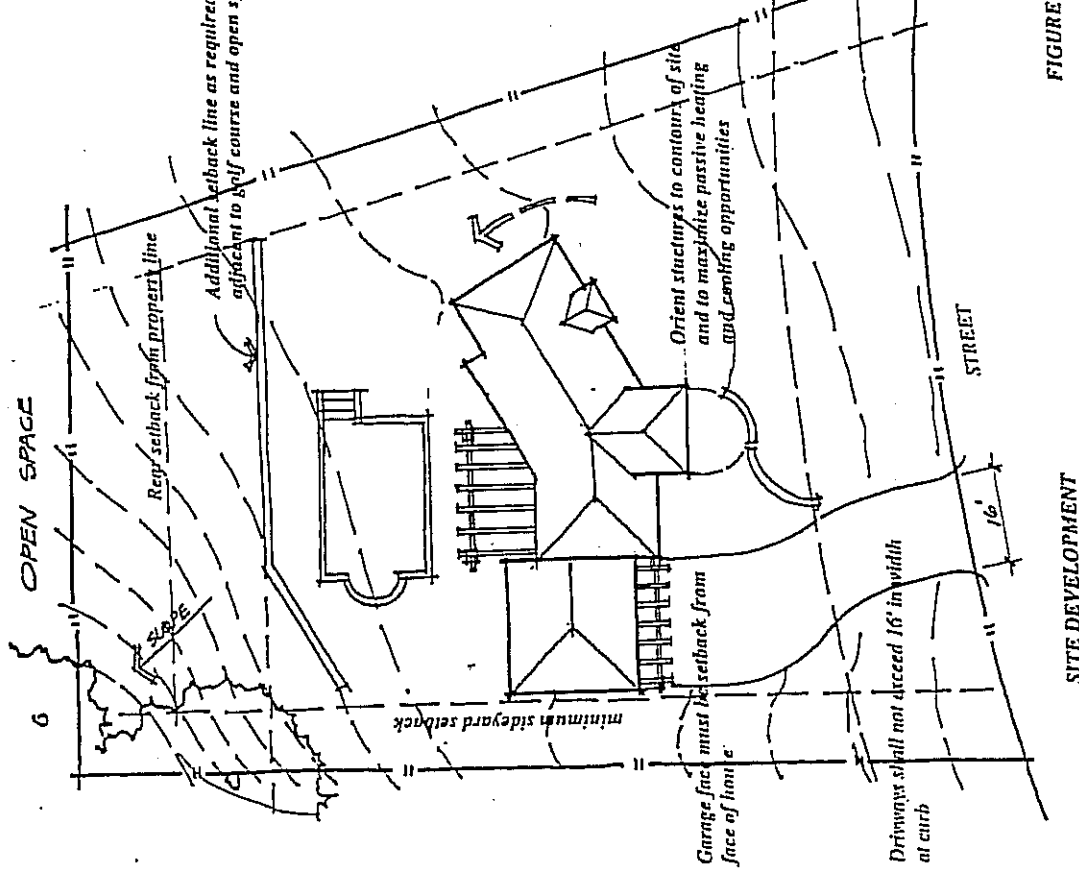
- b. Building shading of adjacent properties shall be considered.
 - c. Lighting standards and fixtures shall be of a design and size compatible with the building and with adjacent areas. Lighting shall be restrained in brilliance and glare directed to adjacent dwellings shall be avoided.
 - d. "ROW" buildings shall be discouraged. Variable siting of individual buildings may be used to prevent a monotonous appearance. Cluster development shall have offset setback and varying angles to streets.
3. Building Elevations
- a. Monotony of texture, building line or mass shall be avoided.
 - b. Offsetting plans shall be encouraged, including variation in roof plans and variations of exterior building walls.
 - c. A mixture of exterior building materials shall be encouraged.
 - d. Roof flashing, rain gutters, vents, mechanical equipment and other roof protrusions shall be incorporated into building design such that they are screened from view.
4. Parking and Landscaping
- a. Parking areas shall be treated with decorative elements, building wall extensions, planting, berms and other innovative means in order to break up large expanse of paved areas.
 - b. Parking lots areas abutting public rights of way shall be screened from the street by a landscaped area wide enough to include earth berms.
 - c. Landscaped areas susceptible to injury by motor traffic shall be protected by appropriate curbs, tree guards and other devices.
 - d. Existing topographic or natural patterns and existing trees shall be incorporated into landscaping design wherever possible.
 - e. Parking areas shall be landscaped in such a way as to achieve an ultimate shaded area of 40 percent after 10 years 15 years.
 - f. All landscaped areas shall have irrigation systems.
 - g. Service yards, refuse areas and similar places which tend to be unsightly, shall be screened by solid fencing, plantings or a combination of fencing and plantings.

Guidelines for Residential Development

Site Planning

To preserve and enhance the character of Whitney Oaks, the site design and landscape should adhere to the following criteria:

1. Structures shall be located to preserve views both to and from the golf course and hillside viewsheds and to respect the views of neighboring lots.
2. Structures shall be oriented to maximize passive cooling and heating opportunities.
3. Lots or parcels which abut golf course may contain nondevelopment areas extending into the lot or parcel, and shall be subject to restrictions prohibiting improvement including fences.
4. All grading shall comply with the City of Rocklin requirements and standards. Grading plans indicating existing and proposed grades and drainage patterns shall be submitted to the DRC for review and comment, and prior to submittal to the City of Rocklin.
5. Minimize impacts to existing site features, landforms, and desirable vegetation through careful siting and use of stepped footings and floor level changes. Strive to adapt the house to the site rather than the site to the house.
6. There shall be no guest houses on Production Home lots.
7. Locate and orient buildings to maximize privacy impacts to adjacent properties.



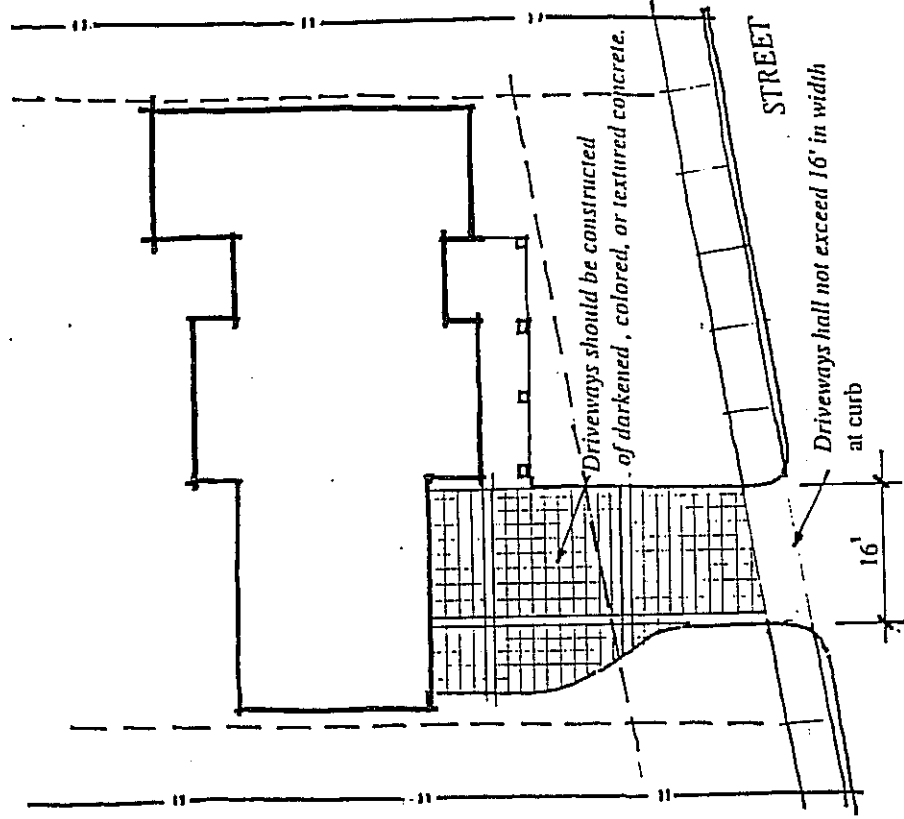
FIGURE

SITE DEVELOPMENT

Driveways

In order to minimize their visual impact on the natural features of a lot, specific attention shall be given to driveway location, width, design, slope, and construction materials.

1. Driveway width shall be a maximum of 16'-0" at curb and continue back a minimum of 10'-0" from curb before any increase in pavement width.
2. Driveways should be constructed of darkened or colored concrete, textured or stamped concrete, interlocking pavers, or other materials that reduce the visual impact.
3. Driveway alignment and slope should conform to the natural topography as much as possible in order to minimize cut and fill slopes.



DRIVEWAYS

FIGURE B

Privacy & Security Fencing

Fences, soundwalls, and their materials, details, and locations are critical to the overall quality and public image of Whitney Oaks as a community. Privacy fencing can be considered opaque, or solid, and security fencing as referenced herein is open or transparent. Privacy fencing materials can be transparent when used along with screen planting shrubs to 6'0" height.

Fencing is generally not encouraged at Whitney Oaks, however due to individual needs for privacy, security, safety, and screening purposes it is recognized that it may be necessary. By the nature of their visual impact on the entire community all proposed fencing and soundwalls must be reviewed and approved by the Whitney Oaks DRC.

General Requirements:

1. All privacy and security fencing must be consistent with the current design details and requirements that are included in these guidelines and/or provided by the DRC. Builders and/or homeowners are required to contact the DRC for current details and requirements.
2. Where applicable, fences that may interfere with views from neighboring lots will be discouraged and every effort should be made to preserve view corridors when siting fences.
3. Chain link fencing is not permitted at Whitney Oaks.

4. Fencing or walls proposed for the purpose of delineating or screening the immediate front entry patio of a residence may be permitted but must be reviewed and approved by the DRC. Fencing or walls, if proposed for a front entry, are encouraged to range from 18 in. to no more than three feet in height.

Security Fencing Types:

Type A - Village Entries.

- Lots contiguous to Village entries shall have solid 5 foot maximum height stone privacy wall and wrought iron gates. See Appendix. pg. A3

Type B - Rear yard, Uphill lots adjacent to open space corridors.

- Lots contiguous to open space areas and visible from public street rights of way shall have 30" high by 18" wide field stone or simulated stone veneer over concrete stem wall with 36" high black wrought iron panel above. See Appendix. pg. A4

Type C - Rear yard, downhill lots and open space lots adjacent to street right of way.

- Lots adjacent to open space areas, but not visible from street right of way, (generally downhill), and open space areas adjacent to street right of way shall have 5" high wrought iron fence. See Appendix. pg. A4

Type G - Rear and side yard lots adjacent to Golf Course.

- Rear yards abutting the golf course are not permitted to be fenced along the back property line. Back property line fencing shall consist of 30" high by 18" wide field stone wall. See Appendix. pg. A7
- Fencing for immediate pool deck areas and solid privacy type fencing for immediate rear patio areas are encouraged to be limited at 5 feet in height, and is not permitted within a 30 foot setback area from the rear property line that is contiguous with the golf course.

Privacy Fencing Types:

- Type E -** Rear and side yards adjacent to one another and down slope lots adjacent to open space.
 - "Good Neighbor" fence shall be stained wood and a maximum 6"0" in height. See Appendix. pg. A6
 - Face panels of fence shall alternate, except in the case where fence is adjacent to open space, then all face panels shall be oriented towards open space corridor.
- Side yard fencing must be setback a minimum of 2'0" from the front facing residence wall.

Type F - Fences adjacent to existing residential development.

- Existing fence shall remain at discretion of builder and approval of DRC.

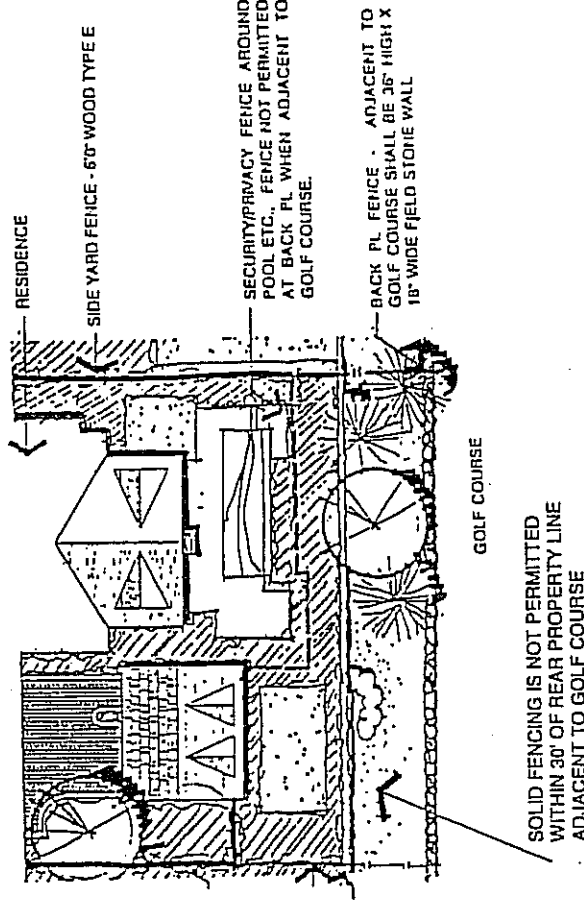


FIGURE C

Landscape

Landscape Features - The development of any landscape features (pools, spas, decks, gazebos, courts, fountains, etc.) within the lot subject to the following guidelines:

1. Pools, spas, water features, decks, and detached structures should be engineered by appropriate licensed professionals. Pools and spas shall be located in rear yard areas only. Layout and finish specifications of all accessory landscape features shall be reviewed and approved by DRC.
2. Overhead structures should be setback a minimum of 10'0" from the side and rear property lines, except in the case where rear or side of lot is adjacent to open space or golf course, where the setback shall be 25'0". Construction materials and detailing shall complement the architecture of the house.
3. Structures are encouraged to be recessed into the grade wherever possible in order to diminish their height and/or step (in levels) with the natural terrain. A "blending" of building form with the natural land form and vegetation is desirable. Additional landscaping may be required in order to integrate structures into the natural setting.
4. Foundations and underside of structures on hillsides must be screened with landscaping in order to avoid exposed underfloor areas.

Landscaping - The following is an outline of landscape design principles that can be used by each homeowner/builder to insure that regardless of individual appear or preference, all of the residences will complement each other and complement the rural fabric of the Whitney Oaks Community.

1. Landscape features that responds to or "blend" with the natural character of the land and the adjacent land uses (ie. open space, golf course, and park areas) is encouraged.
2. Whitney Oaks historical ranching operations included orchard crops. In an effort to incorporate some of the historical aspects of the ranch the use of ornamental fruit trees, and/or fruit producing trees wherever practical, is encouraged as an underlying theme for the community as a whole.
3. Protect existing trees in construction areas during the grading and construction phases. Use appropriate precautions to minimize compaction and/or concentrated drainage within the drip line zones of these trees. Tree protection means and methods shall comply with the City of Rocklin requirements. Grading within the drip line of any existing tree that is designated to remain in place is not permitted.
4. Protect and maintain desirable native vegetation, wherever possible, in order to preserve the overall natural character Whitney Oaks and minimize erosion.

Grading

Grading of custom home lots shall conform to the following criteria:

1. Concentrated runoff onto adjacent properties is not permitted except where a natural drainage condition previously exists. Drainage easements which occur on individual lots shall not be interrupted or blocked by any obstructions.
2. Grading of a lot should be limited to the immediate area in proximity to the structure and access drive or driveway areas.
3. Drainage criteria shall emphasize reducing erosion, runoff, and adverse affects to water quality in natural drainage channels.
4. Minimize cuts and fills on the lot and "blend" contours into the natural terrain. Flatter slopes (3:1 or less) are desirable, and encouraged, wherever possible. The top, toe, and slope corners should be rounded to soften obvious "man-made" appearances.
5. Retaining walls may be used as a means of adapting to varied topographic conditions and shall be made of compatible colors, textures and materials with those of either the residence, or adjacent environment. Use of natural materials (ie. rock, native stone veneers, or heavy wood timbers) are encouraged. Crib wall and standard concrete ("precision") block are generally unacceptable unless faced with suitable materials. Materials shall be reviewed and approved by the DRC.

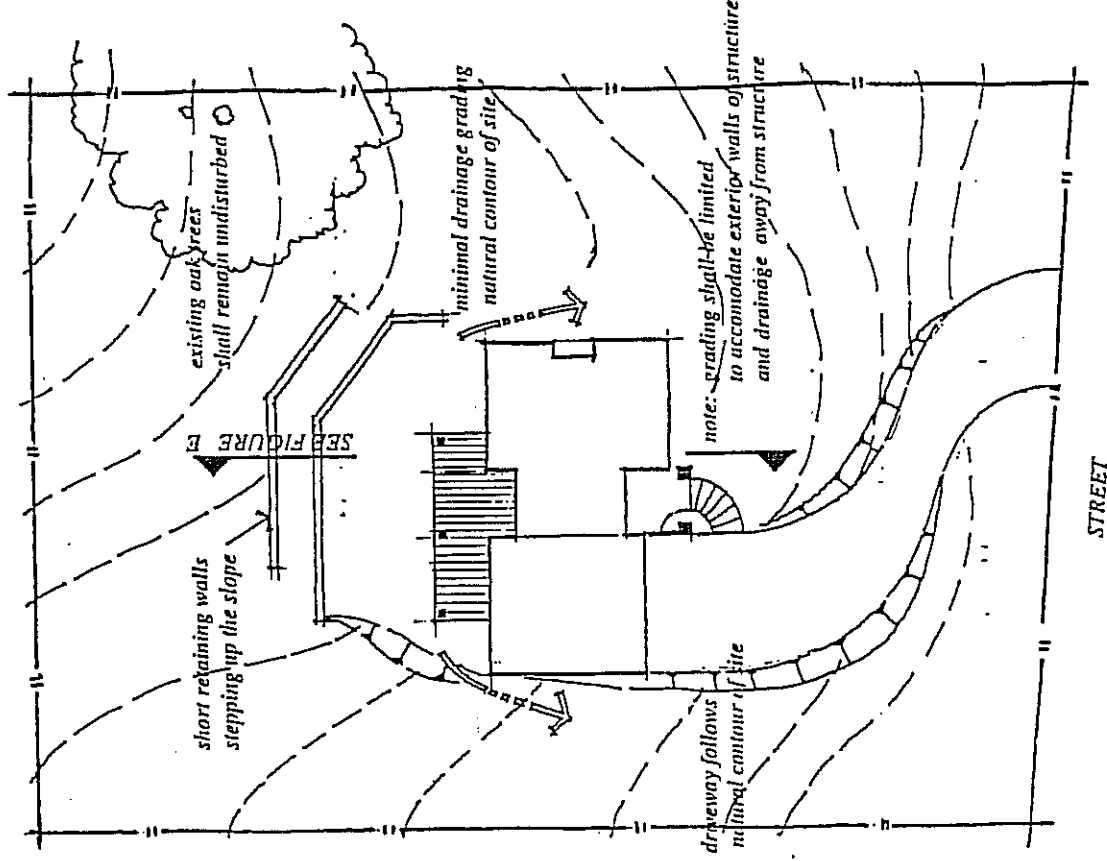


FIGURE D

6. Benched walls which are visible to the public shall not exceed 36" in height for each wall. The horizontal distance between each bench shall be a minimum of 24"
7. Terrace building floor levels and step foundations of structures to conform to hillsides whenever possible.

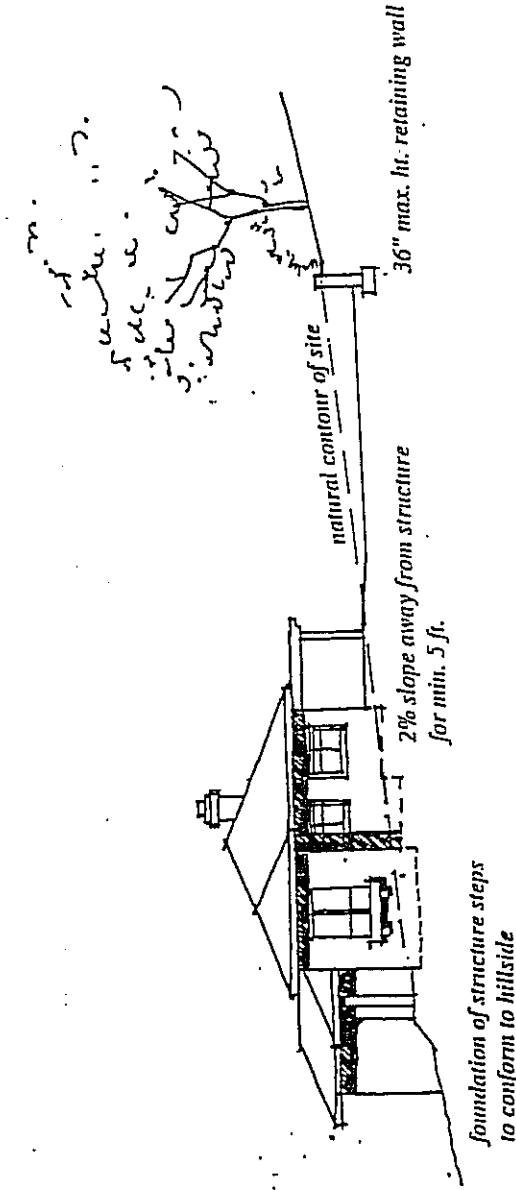


FIGURE E

Hardscape and Planting Materials

All paving and surface materials should be non-reflective and blend and complement the architecture. The use of stone pavers, interlocking pavers, brick, crushed stone, asphalt, colored and textured concrete are encouraged.

Plant materials for "Sunset Western Garden Book" Zones 8 & 9 are appropriate for use at Whitney Oaks. Additional plant lists are included in the Appendix on pages 13 and 14 of this guideline as suggested materials for specific use areas, soil types, and overall Whitney Oaks thematic use. Plant selection should respond directly to functional use, adaptability to local soils, and climate, aesthetic value, and be grouped according to their water needs.

1. All graded slope banks are to be re-vegetated with appropriate materials in order to minimize erosion.
2. Use of native (or related drought tolerant) type materials are to be used on all slopes adjacent to open space areas.
3. Emphasis should be placed on the use of indigenous and drought tolerant materials, wherever possible. Use of turf and "introduced" species will be permitted but should be limited to smaller areas or areas designed to provide accent for the project or specific lot or site.

4. Plantings should also be designed with emphasis on natural and/or "flowing" forms that relate to the overall setting of Whitney Oaks. Formal landscape with strong geometry should be avoided.

5. Each property owner is responsible for developing a foreground which accentuates the immediate intimate views and complements the long vista, preserves view corridors and considers views of neighbors. Plant selection shall keep in mind the eventual size in relation to the architecture and spatial characteristics of the complete planting scheme.

6. When screening undesirable elements plantings should be massed and combined with a layering of materials rather than a "wall" of one shrub or placing a wall or fence. Vines and espaliers attached to a open fence may be used in place of larger shrubs if space is limited.

7. Side and rear yard slopes - Planting and irrigation for side slopes within lot lines should be provided and maintained by homeowner. An erosion control groundcover, and trees and shrubs should be used to stabilize soil from surface erosion and soil slumping.

Minimum Tree requirements - Provide a total of (4) caliper inches per front yard lot. The following credits for tree per container size are as follows:

- 15 Gallon - 1" caliper
- 24" Box - 2" caliper
- 36" Box - 3" caliper
- 48" Box - 4" caliper
- Above 48" - As measured

1. All of the soils in this project are shallow, with a hard rock subsurface. Generally the soils in Whitney Oaks will require the application of nitrized organic compost, agricultural gypsum to loosen heavy clay soils, and humus based fertilizer to provide proper Nitrogen, Potassium, Phosphorus elements. All materials shall be worked into the top six inches of soil.
2. The use of imported topsoil may be required where existing topsoil was removed during mass grading operations and was not replaced in sufficient depths.

Irrigation - Whitney Oaks is located in an arid climate therefore the application of additional water to planted will be required. The use of an automatic irrigation system for each lot is required.

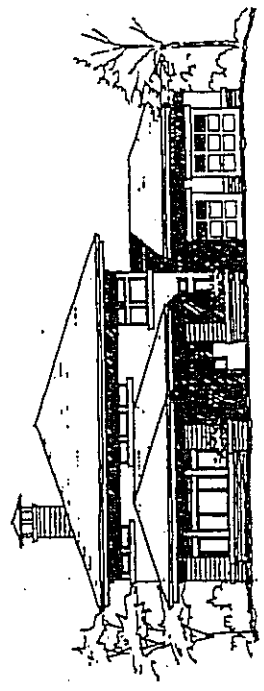
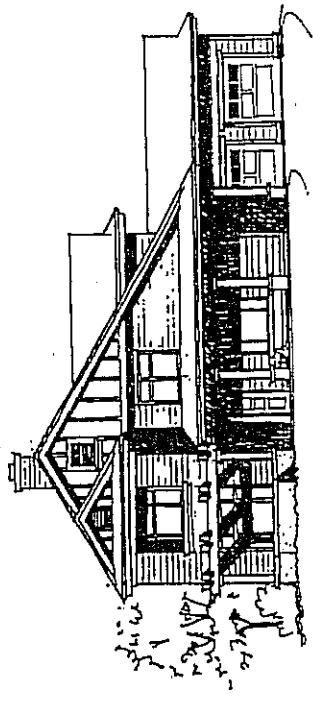
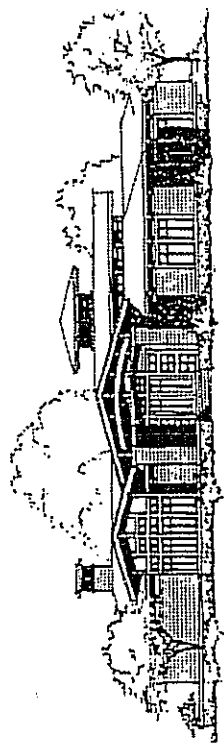
1. The use of native and drought tolerant plant materials are encouraged. See Western Garden Book for plant lists of native and drought tolerant materials. Plant materials with similar growth requirements and should be grouped and irrigated together, especially in transition areas adjacent to open space areas and parks.

Architecture

The underlying theme or style proposed for Whitney Oaks is a contemporary interpretation of styles of architecture that were popular and prevalent at the turn of the last century. These styles include what are often referred to as Craftsman, Shingle, and Prairie styles of architecture. A mix of architectural design is encouraged in individual neighborhoods.

- **Craftsman** style is typified by low pitched, gable ended roofs with broad overhangs. Structural elements such as beams and rafter tails are often purposely expressed. Full width or partial porches frequently have roofs supported on square or tapered columns bearing on a masonry pedestal or base.
- The **Shingle** style incorporated wide porches, shingled surfaces and asymmetrical forms. It may incorporate gambrel roofs, lean-to additions, classical columns, and Palladian windows. It also may utilize stone or masonry lower stories while this is an unusually fee-form and variable style, it demands that design attention be given to proportion, rhythm and scale.
- The **Prairie** Style is typified by low pitched roofs, usually hipped with widely over hanging eaves. It is usually two stories with one-story wings or porches. The eave, cornice, and facade detailing emphasizes horizontal lines. A masonry fireplace and chimney often anchor the structure to the site.

Variations of these or other styles will be subject to review by the DRC.



"Ornament clarifies the voice of the structure, indicated its position in the society, and rewards our attention. the most valuable ornament does not simply transmit transition, but transforms our expectations."

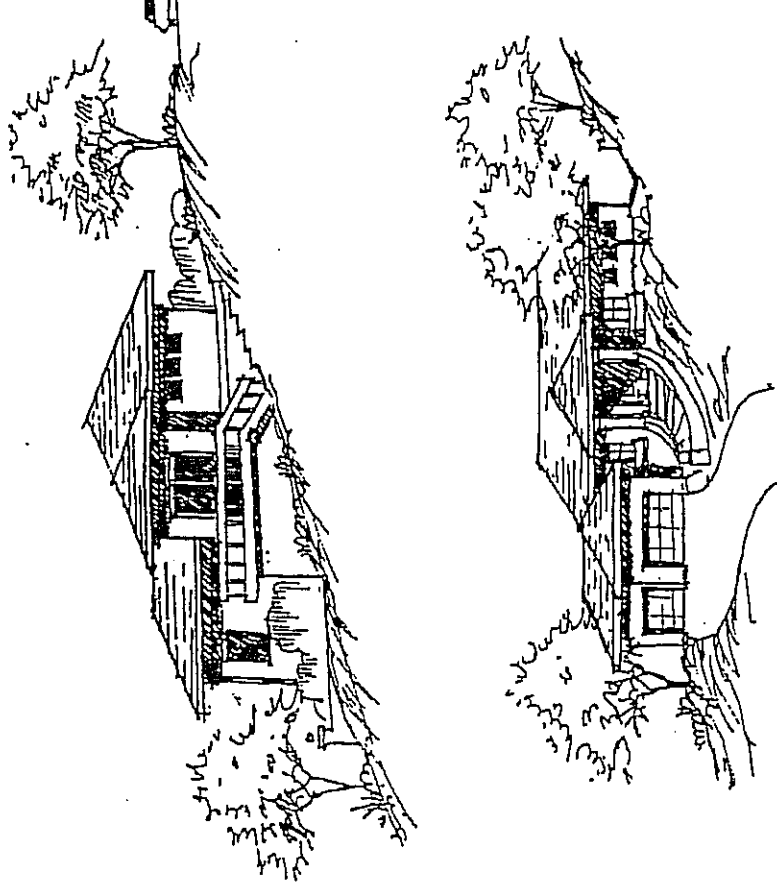
Charles Moore

Custom Homes

Custom homes should draw their inspiration from the General Design Concept outlined previously in this document. The architectural styles outlined for Production Homes will also serve as a base for the architectural pallet and vocabulary. However, given the unique characteristics of the Custom Home, it is anticipated that designs will exhibit greater variety of architectural expression and style.

Custom homes should be designed to be much more responsive to the unique characteristics and opportunities of each site. Designs that respond to and complement naturally occurring site features (such as rock out croppings, tree canopy, topographical features) will be afforded more freedom of stylistic interpretation.

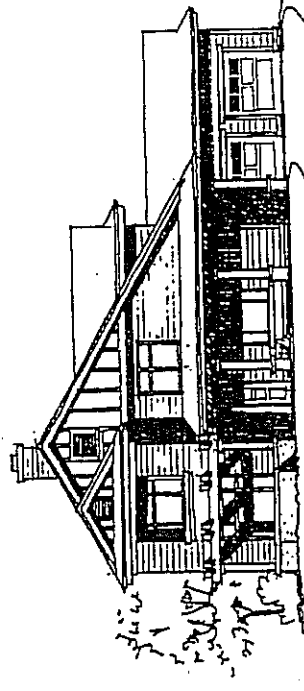
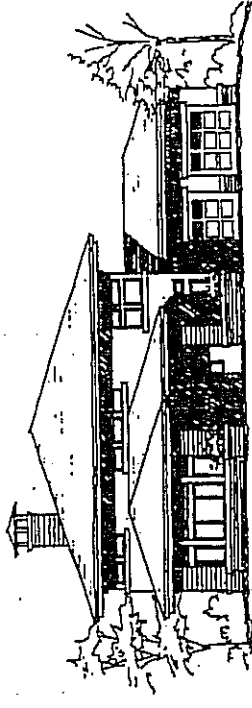
Designs should seek to achieve a sophisticated image through careful attention to proportion, detail, and appropriate ornament. Excessive massing that imposes upon the streetscape or open space is strongly discouraged.



Massing & Forms

Buildings should strive to maintain simple forms utilizing character elements that reflect the overall theme of Whitney Oaks.

1. Broad overhangs and protective porches are encouraged to provide shade from hot summer sun and cover from cool winter rains. They help create a desirable transition from indoors to out.
2. Garage fronts shall not be the prominent feature of the street elevation. On large custom lots, whenever possible, garage doors should be placed to the side of the house away from direct view from the street.
3. Building facades should be designed to avoid straight, blank walls. Two story wall surfaces should be articulated to give scale and to break up a flat appearance.
4. Avoid downhill cantilevers and tall support poles for overhanging areas.
5. Minimize perception of building bulk by:
 - reducing areas of maximum height
 - varying height of roof elements
 - stepping structure to conform to slope

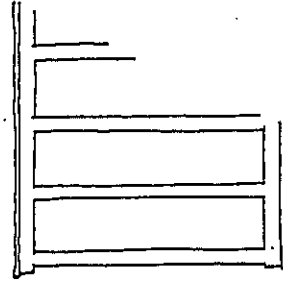


"...it is inconceivable that we should be so unfeeling or careless as to neglect color. Appropriate color should be the aim, but most certainly color"

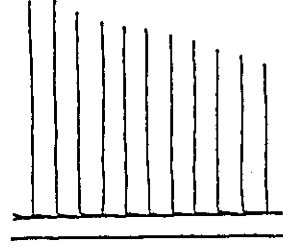
Charles Greene c. 1905

Materials and Colors

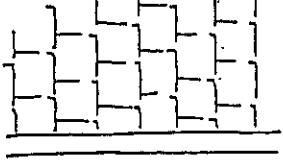
1. Exterior finishes. Dominant exterior materials should favor natural materials such as wood, shingles, dark brick, stone or colored plaster with sufficient texture and detail. Colors should favor earthtones and natural finishes. Use of materials such as plywood, T1-1, and exposed grey concrete block are strongly discouraged.
2. Roofs. Dark toned roofs such as fire-treated shakes, slate, dark concrete shakes, or dark heavy-but composition shingle roofs are acceptable.
3. Accent Colors. Articulation of form and key building elements can be achieved through the use of accent colors soft or muted tones that complement the natural surroundings such as hunter-green, redwood and copper patina are encouraged. Intense colors and bold primary colors are discouraged.



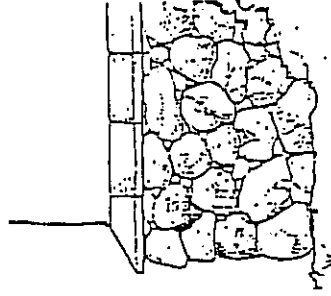
Board & Batten



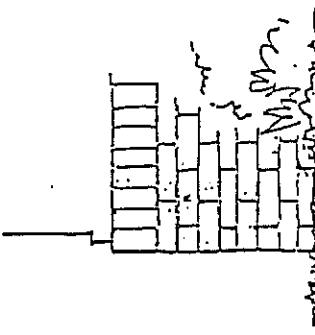
Horiz. lap siding



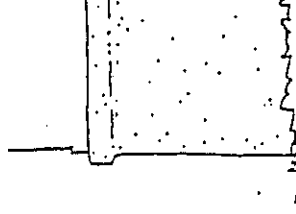
Shingles



Stone

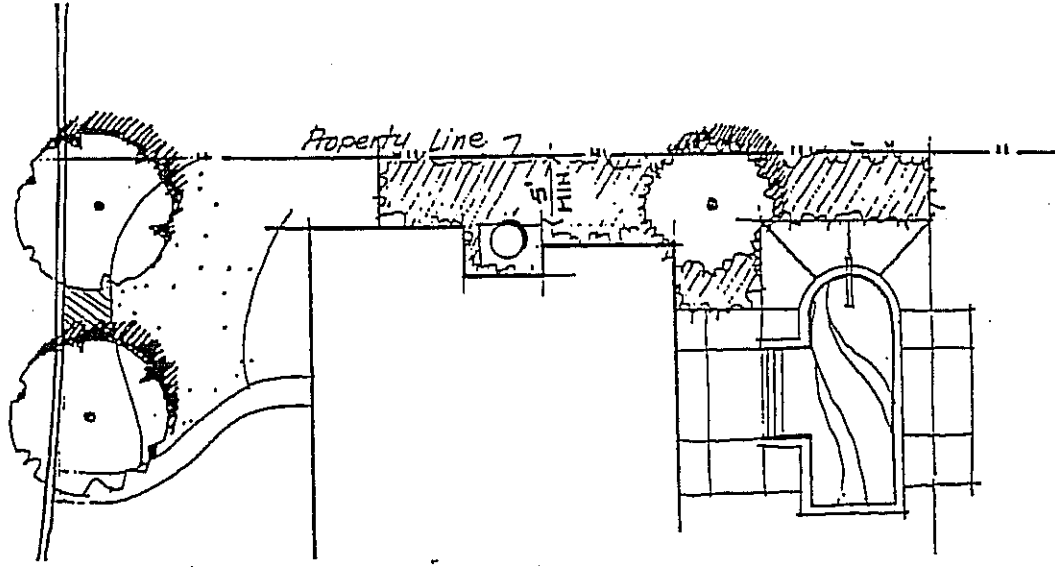


Brick



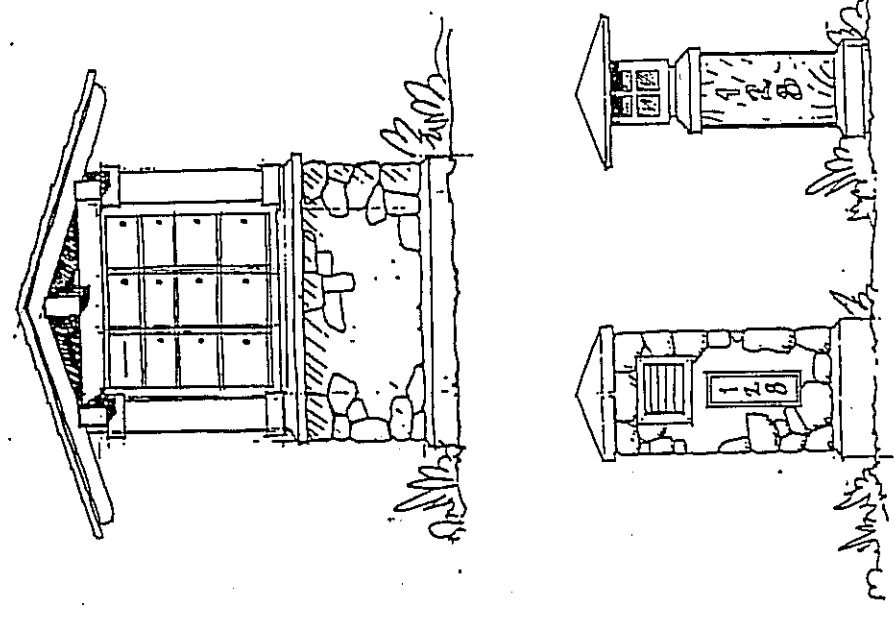
Stucco

Equipment Screening



1. No rooftop mounted equipment is allowed.
2. Ground mounted equipment shall be screened from the street.
3. All mechanical equipment, including pool filters and pumps, shall be located at least 5' from adjacent property lines.
4. Provide location for garbage containers out of view from both the street and neighbors.

Mailboxes and Lighting



1. Cluster mailboxes will be required within neighborhoods. These shall be designed as integral elements of the neighborhood in locations that will accommodate pull out for at least 2 cars.
2. Street lighting within neighborhoods will be limited to low level pedestal lights and address markers. Pole mounted lights will occur at street intersections only.
3. Individual residences may use low wattage incandescent fixtures, on a limited basis, that provide sparkle to the street. However, security lighting or other bright area type lighting must use cut-off luminaries so light source is not visible from adjacent properties. Wall packs and mercury vapor lights are expressly prohibited. Exterior lighting must be approved by the DRC.
4. Low voltage landscape lighting that highlights unique site features and landscape treatments is encouraged.

Appendix