

HOPE AND DREAMS

STATION 1

WHAT ARE
 ***YOUR***
ULTIMATE DESIRES
FOR THE
SUNSET WHITNEY
RECREATION AREA?

FEEL FREE TO DREAM BIG!

SITE HISTORY

STATION 2

What a
beautiful
place
to
live!



Sunset California

RESIDENTIAL



SUNSET'S most scenic land is reserved for residential areas, each with fine homes restricted to an individual price range. Large lots, gently winding streets, the deep shade of ancient oaks, all contribute to the quiet beauty of the residential neighborhoods.

COMMUNITY FACILITIES



Other nearby areas accommodate the facilities needed for modern, convenient family living — schools, churches, stores, shopping centers, commercial and professional buildings.

RECREATION

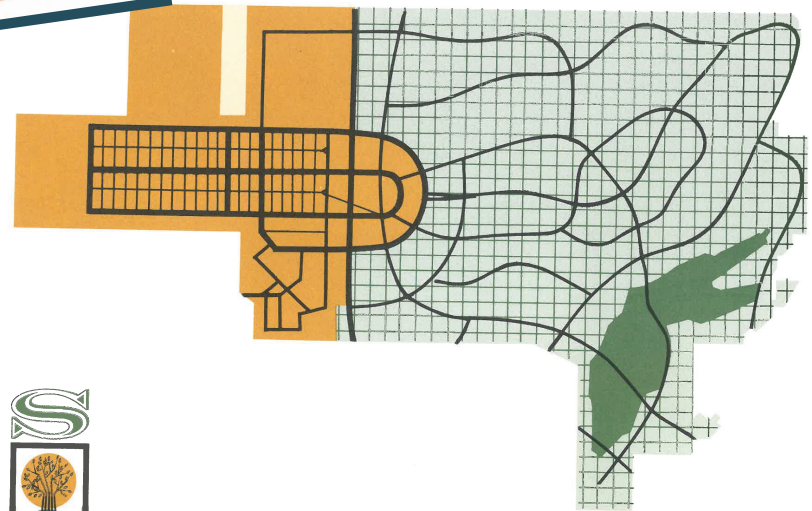
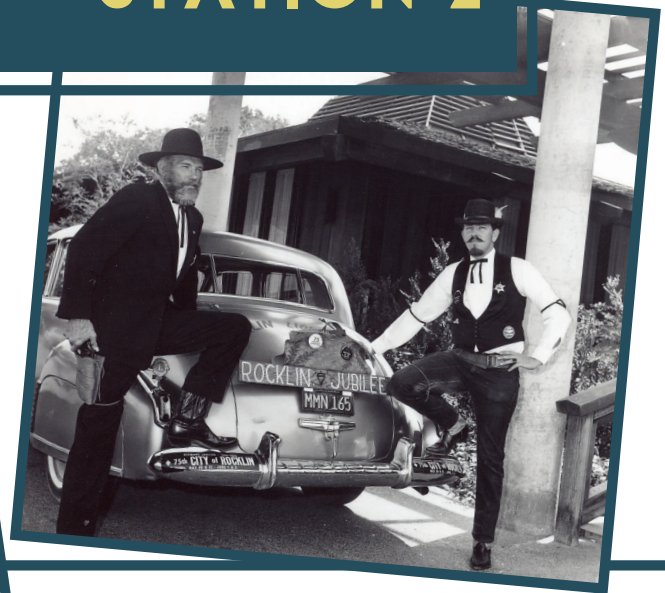


Social and recreational activities in SUNSET center around the magnificent new SUNSET Oaks Country Club with its 18-hole Championship golf course and spacious Clubhouse. Such club facilities as an Olympic-size swimming pool, tennis courts, and children's playground mean fun and enjoyment for the whole family. In addition, SUNSET offers riding stables, hiking trails and picnic spots galore . . . limitless opportunities for leisure-time recreation.

INDUSTRIAL



A modern industrial park, entirely separate and distinct from the commercial and residential areas, offers selected industries an opportunity to participate in the dynamic growth of the Sacramento area and contribute to the economic stability of the community.



EXPERTLY PLANNED . . . to preserve its beauty for you

SUNSET, California is an advanced concept in community development . . . a preplanned municipality in which business, industry, residence and recreation are so integrated that each segment complements and enhances the other.

Residential Areas
Future Residential Area
Industrial Area
Airport

A BRIEF HISTORY OF THE SUNSET WHITNEY GOLF COURSE

<i>Early 1960s</i>	Sunset International Petroleum Corporation begins building a development on 12,000 acres known as Sunset City and intended to be home to 100,000 residents. According to a sales brochure, Sunset was intended to be a “self-contained, private-for-you community of fine homes, schools, parks and recreation facilities, convenient shopping, and highly selective industrial installations.” This included the 18-hole Sunset Oaks Country Club.
<i>June 1963</i>	The Sunset Oaks golf course, built to PGA competition standards, opens for play.
<i>October 1964</i>	California touring golf pro Bob McAllister won the first (and only) Sunset Camellia Open.
<i>1965</i>	Due to slow home sales, Sunset International Petroleum begins selling off property to other developers.
<i>1966</i>	National Golf Courses Corporation buys Sunset Oaks Golf Course and changes the name to Sunset Whitney Ranch and later the Sunset Whitney Country Club.
<i>1978-2005</i>	Sunset Whitney Country Club is owned and operated by Gary Kaveney.
<i>1987</i>	The area known as Sunset Whitney including the golf course is annexed into the City of Rocklin from Placer County.
<i>2005</i>	Golf course sold to Thomas Holdings LLC.
<i>January 2009</i>	Golf course owner Thomas Holdings LLC files for Chapter 11 bankruptcy reorganization.
<i>August 2009</i>	Golf course up for auction, but no bids.
<i>2009</i>	Golf course closes.
<i>June 2011</i>	The bank-owned golf course is purchased for \$2.5 million and converted from a private to public course and later renamed the Rocklin Golf Club.
<i>August 2015</i>	Golf course closes permanently.
<i>December 2017</i>	City of Rocklin purchases former golf course.
<i>2018 and beyond</i>	Help us write the future for the former golf course, now the Sunset Whitney Recreation Area!

SUNSET WHITNEY DEMOGRAPHICS

Families with Kids



Young kids(under 6)

22%

598



Young and old kids

23.1%

629



Older kids(6 and older)

54.9%

1,494



WORKING NAME

On January 10, 2018, the Parks, Recreation and Arts Commission agreed upon the working name of “Sunset Whitney Recreation Area.” The name Sunset Whitney has long been associated with the property by residents as the name of the golf course for most of its years of existence. The phrase “Recreation Area” differentiates this space from a traditional park and helps frame expectations about what type of area this will be. Recreation Area is used by many agencies including local, state and national entities and traditionally indicates an outdoor area offering activities utilizing the natural features of the land such as hiking, biking, camping, boating and with minimal developed amenities. These spaces in their natural state often also support local wildlife. Recreation area was also preferred in comparison to other terms such as “open space” “protected area” or “preserve” as these terms typically indicate that there are limitations on the accessibility and use of the land.

COMMUNITY BENEFITS

STATION 3

SOCIAL BENEFITS:

- Improvement of physical health
- Learning and teaching
- Rest, relaxation, and revitalization contributes to mental well-being
- The opportunity to interact with other individuals in the community
- An increase in the awareness of the natural environment

ECONOMIC BENEFITS:

- Contributing to a healthy and productive working environment
- Providing an attraction for tourism
- Making a community more desirable for businesses and residential development
- Increasing values of nearby properties

ENVIRONMENTAL BENEFITS:

- Acquiring land for parks and open space helps assure the long-term preservation of environmentally significant land.
- Protects wildlife and plant communities and increases biodiversity
- Reduces congestion
- Enhances air quality
- Reduces sediment load, toxins, and excess nutrients that enters the waterway
- Reduces the rate and amount of stormwater runoff that causes flooding and erosion
- Non-motorized methods of transportation
- Reduction in greenhouse gasses

HOW DOES OPEN SPACE BENEFIT THE COMMUNITY?

Parks and open spaces provide the opportunity for participation in, and enjoyment of, a wide range of outdoor recreational experiences.

COMMUNITY BENEFITS:

- Open spaces provide children a place to play, imagine and learn about nature
- Contributes toward a high quality of life
- Provides a sense of community and opportunity to interact with others
- Reduces alienation, loneliness and anti-social behaviors
- Opportunities for community involvement and shared management and ownership of community resources
- Integrated and accessible recreation services
- Community pride

INDIVIDUAL BENEFITS:

Individual overall well-being and health are positively impacted by low-impact recreational activities.

- Hiking, fishing, picnicking, bird watching, etc.
- Experience and observe nature
- Provide opportunities for learning and living a more balanced productive life
- Relaxation, rest, and revitalization through recreation is essential for stress management



OAK



EUCALYPTUS



OLIVE

**OTHER TREE SPECIES
THAT YOU MAY FIND ON SITE:**

CHINESE ELM	PISTACHE
MULBERRY	CEDAR
WILLOW	COTTONWOOD
MODESTO ASH	WHITE BIRCH
STONE PINE	CREPE MYRTLE



REDWOOD

ASSESSING THE AREA

STATION 4

HISTORIC BRIDGES	CLUBHOUSE BUILDINGS	WALKING BRIDGES	FRONTAGE
			
2 of the famous 12 bridges can be found on this property. The City envisions working with the Historic Society to uncover and highlight these important connections to the past.	Significant vandalism has occurred and the buildings will require substantial allocation of time and resources in order to become safe for the public. Possible future opportunities for revenue generation from building rental.	Walking bridges serve to connect portions on the trail and are in various stages of disrepair. These bridges will need to be restored to ensure that trails are safe for public use.	The frontage of this property requires irrigation. The irrigation system is in need of repair/replacement which will also need to be addressed for future planting of trees or shrubs.
TENNIS COURTS	WATER RESOURCES	TREES	TRAILS
			
Tennis court behind the clubhouse building is in relatively good condition. Will need resurfacing, weed control and fence repair. Continuing maintenance.	Opportunity for interpretative signage, educational opportunities, fishing pond. *Would require substantial work to ensure that the pond levels stayed consistent.	"Planting of new trees to replace dead/ diseased trees removed for safety of the community. *Tree planting requires installation of sustainable irrigation, staff time and the cost of trees to be planted."	This property has just short of 5 miles of paved walking trails in various stages of disrepair. The pathway will need ongoing attention to maintain free of weeds, grinding lifted points which could pose trip hazards, and repair areas of past erosion.
TUNNELS/DRAINAGE	BRIDGE CONNECTING JSP	WILDLIFE	CLAY TENNIS COURTS
			
	Comments have been received expressing a desire for a connector bridge between Johnson-Springview Park and the Sunset Whitney Recreation Area. The example shown is the Farron Street bridge which required extensive coordination with environmental protection authorities and cost approximately \$300,000 to design and install.	The Sunset Whitney recreation Area is home to a variety of wildlife and habitat areas which provide an opportunity for conservation and education.	The clay tennis court area remains intact however the clay surface has disintegrated and weeds and vegetation have taken over the space. Clay tennis courts require specialized and intensive daily and ongoing maintenance.

FINANCES

STATION 5

FUNDING BACKGROUND

Acquired December 2017 for \$5.8 million.

initial payment of \$2.8 million made
six annual payments of \$531,015.96,
will be made beginning Dec 2018.

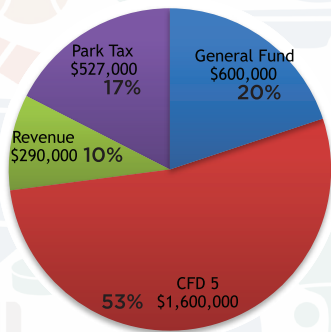
INITIAL PAYMENT FUNDED BY:

\$1,100,000 Oak tree mitigation funds
\$ 480,000 West Oak parcel Sale proceeds (Kathy Lund parcel)
\$1,220,000 Lease Revenue Bond proceeds

ANNUAL PAYMENTS TO BE FUNDED BY:

\$1,294,438 Current and future oak tree mitigation
\$1,891,657 Current and future park impact fees
Funds may be supplemented with grant funds if awarded

PARKS BUDGET 16/17



Why Not a Golf Course?

- ▶ Too costly to rehab & operate as golf course
- ▶ Community needs for parks & open space
- ▶ Declining interest in golf nationwide

Cost of a Golf Course

- ▶ property not maintained as a golf course for two years thus expensive to rehab it
- ▶ significant ongoing costs to maintain and staff a Golf course

The United States Golf Association (USGA) estimates a typical 18-hole golf course has well over a million dollars' worth of equipment.

Table 1. SAMPLE EQUIPMENT INVENTORY FOR AN 18-HOLE GOLF FACILITY

The following list of equipment has been compiled from a survey of 18-hole golf courses. It is intended to provide a general idea of the types and quantities of equipment that might be required for a new 18-hole golf course. The list is not exhaustive and is intended to be used as a guide only. The actual equipment requirements for a specific course will vary significantly based on the course's design, location, and other factors.

Category	Equipment	Quantity	Unit Cost	Total Cost
Clubhouse	Clubhouse	1	\$1,000,000	\$1,000,000
	Locker room	1	\$200,000	\$200,000
	Pro shop	1	\$100,000	\$100,000
	Bar	1	\$50,000	\$50,000
	Restroom	1	\$20,000	\$20,000
	Storage building	1	\$50,000	\$50,000
	Tram	1	\$100,000	\$100,000
	Cart	1	\$50,000	\$50,000
	Scoreboard	1	\$10,000	\$10,000
	Signage	1	\$10,000	\$10,000
Tees	Tees	18	\$100,000	\$1,800,000
	Cart paths	18	\$50,000	\$900,000
	Greenhouse	18	\$50,000	\$900,000
	Greenhouse	18	\$50,000	\$900,000
	Greenhouse	18	\$50,000	\$900,000
	Greenhouse	18	\$50,000	\$900,000
	Greenhouse	18	\$50,000	\$900,000
	Greenhouse	18	\$50,000	\$900,000
	Greenhouse	18	\$50,000	\$900,000
	Greenhouse	18	\$50,000	\$900,000
Fairways	Fairways	18	\$100,000	\$1,800,000
	Fairways	18	\$100,000	\$1,800,000
	Fairways	18	\$100,000	\$1,800,000
	Fairways	18	\$100,000	\$1,800,000
	Fairways	18	\$100,000	\$1,800,000
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	Fairways	18	\$100,000	\$1,800,000
	Fairways	18	\$100,000	\$1,800,000
	Fairways	18	\$100,000	\$1,800,000
Rough	Rough	18	\$100,000	\$1,800,000
	Rough	18	\$100,000	\$1,800,000
	Rough	18	\$100,000	\$1,800,000
	Rough	18	\$100,000	\$1,800,000
	Rough	18	\$100,000	\$1,800,000
	Rough	18	\$100,000	\$1,800,000
	Rough	18	\$100,000	\$1,800,000
	Rough	18	\$100,000	\$1,800,000
	Rough	18	\$100,000	\$1,800,000
	Rough	18	\$100,000	\$1,800,000
Bunkers	Bunkers	18	\$100,000	\$1,800,000
	Bunkers	18	\$100,000	\$1,800,000
	Bunkers	18	\$100,000	\$1,800,000
	Bunkers	18	\$100,000	\$1,800,000
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	Bunkers	18	\$100,000	\$1,800,000
	Bunkers	18	\$100,000	\$1,800,000
	Bunkers	18	\$100,000	\$1,800,000
Transferrability	Transferrability	18	\$100,000	\$1,800,000
	Transferrability	18	\$100,000	\$1,800,000
	Transferrability	18	\$100,000	\$1,800,000
	Transferrability	18	\$100,000	\$1,800,000
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	Transferrability	18	\$100,000	\$1,800,000
Sprinklers and Irrigation	Sprinklers and Irrigation	18	\$100,000	\$1,800,000
	Sprinklers and Irrigation	18	\$100,000	\$1,800,000
	Sprinklers and Irrigation	18	\$100,000	\$1,800,000
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	Sprinklers and Irrigation	18	\$100,000	\$1,800,000
	Sprinklers and Irrigation	18	\$100,000	\$1,800,000
Sheds	Sheds	18	\$100,000	\$1,800,000
	Sheds	18	\$100,000	\$1,800,000
	Sheds	18	\$100,000	\$1,800,000
	Sheds	18	\$100,000	\$1,800,000
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	Sheds	18	\$100,000	\$1,800,000
	Sheds	18	\$100,000	\$1,800,000
	Sheds	18	\$100,000	\$1,800,000
Trucks and Trucks	Trucks and Trucks	18	\$100,000	\$1,800,000
	Trucks and Trucks	18	\$100,000	\$1,800,000
	Trucks and Trucks	18	\$100,000	\$1,800,000
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	Trucks and Trucks	18	\$100,000	\$1,800,000
	Trucks and Trucks	18	\$100,000	\$1,800,000
Utility Equipment	Utility Equipment	18	\$100,000	\$1,800,000
	Utility Equipment	18	\$100,000	\$1,800,000
	Utility Equipment	18	\$100,000	\$1,800,000
	Utility Equipment	18	\$100,000	\$1,800,000
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	Utility Equipment	18	\$100,000	\$1,800,000
	Utility Equipment	18	\$100,000	\$1,800,000
Small Equipment and Tools	Small Equipment and Tools	18	\$100,000	\$1,800,000
	Small Equipment and Tools	18	\$100,000	\$1,800,000
	Small Equipment and Tools	18	\$100,000	\$1,800,000
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	Small Equipment and Tools	18	\$100,000	\$1,800,000

Community Needs

Parks and Recreation conducted two surveys asking the community about what park amenities they would like. Highest rated amenity:

- ▶ trails

When this property was purchased, the intent for this site was to serve many public purposes, including:

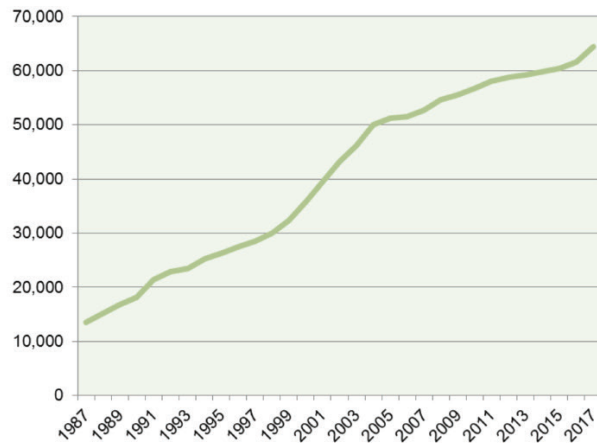
- ▶ recreational park
- ▶ trail
- ▶ open space



OVERCOMING OBSTACLES

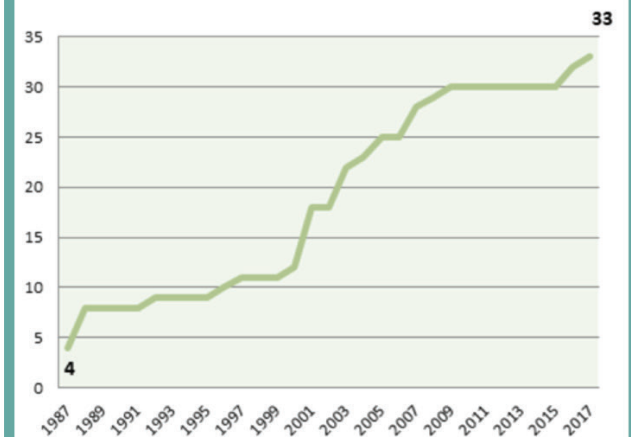
STATION 6

**Population
1987-2017**



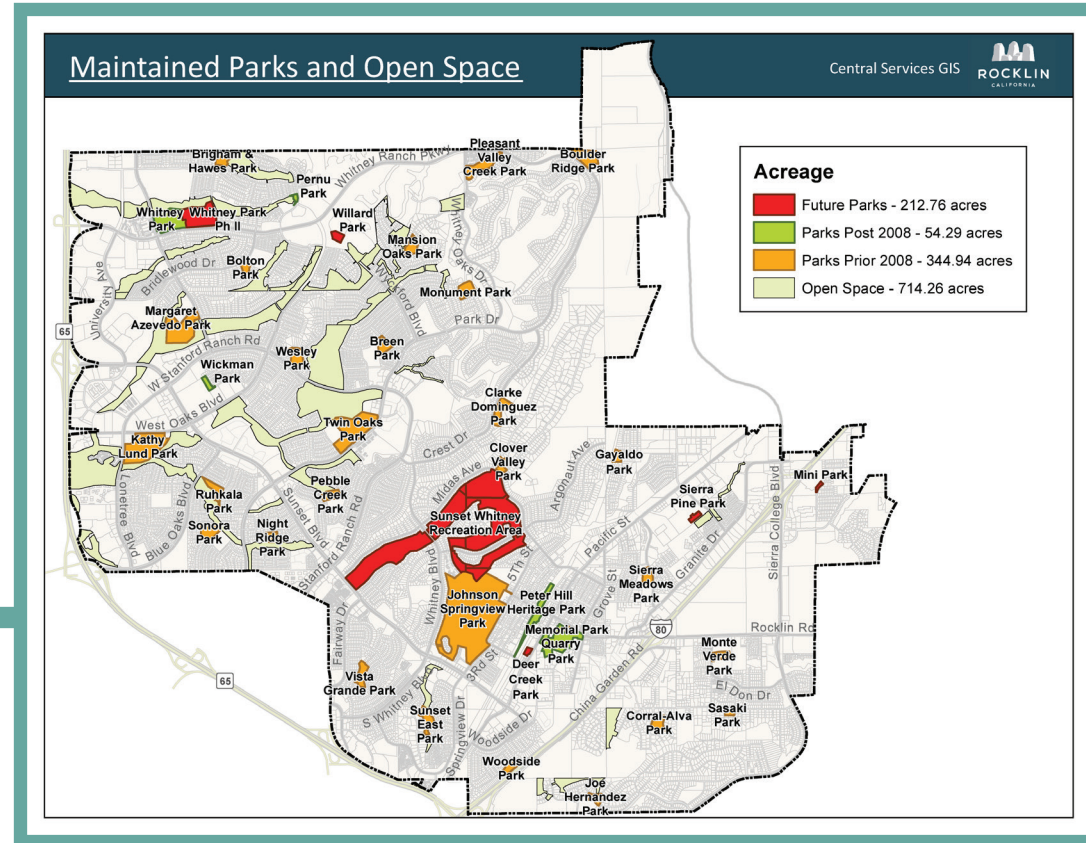
*OUR
PARK
SPACE*

**Park Growth In Rocklin
1987-2017**



ACREAGE

Park Name	Total Acreage
Parks Pre 2008	
Johnson-Springview	134.26
Kathy Lund	29.97
Margaret Azevedo	24.20
Twin Oaks	30.28
Bolton	2.99
Boulder Ridge	10.16
Breen	5.94
Brigham & Hawes	3.58
Clark Dominguez	8.00
Clover Valley	3.72
Corral-Alva	5.29
Gayaldo	2.62
Joe Hernandez	3.52
Mansion Oaks	5.72
Memorial	1.08
Monte Verde	4.04
Monument	7.35
Night Ridge	3.91
Pebble Creek	4.68
Pleasant Valley Creek	9.61
Ruhkala	5.40
Sasaki	1.64
Sierra Meadows	4.85
Sonora	7.61
Sunset East	7.04
Vista Grande	6.13
Wesley	7.80
Woodside	3.55
Total Acreage	344.94
Parks Post 2008	
Christine Anderson	0.89
Pernu	1.07
Peter Hill Heritage Park	10.24
Quarry Park	21.99
Sunset Whitney Recreation Area	183.72
Wickman	2.23
Whitney Phase I	18.76
Total Acreage	238.90
Future Parks	
Deer Creek Park	1.30
Sierra Pine	2.03
Veterans Park (Location Unknown)	1.00
Whitney Phase II	20.81
Willard Park	3.01
Total Acreage	28.15
Grand Totals	
Acreage	611.99



AMENITIES

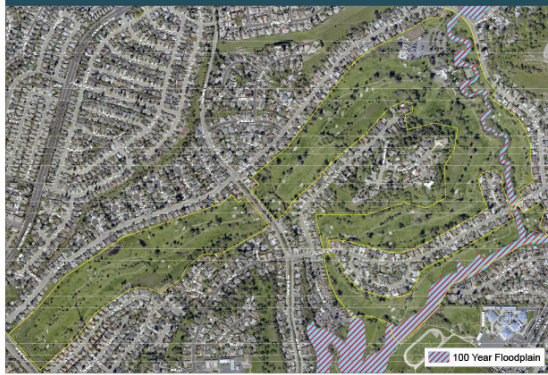
	playground	dog park	picnic tables	covered picnic area	grills	water spraygrounds	baseball	basketball	roller hockey	sand volleyball	skate park	soccer	tennis	pickleball
ROCKLIN CALIFORNIA														
Johnson-Springview - 5480 5th St														
Kathy Lund - 6101 W Oaks Blvd														
Margaret Azevedo - 1900 Wildcat Blvd														
Twin Oaks - 5500 Park Dr														
Whitney - 1801 Whitney Ranch Pkwy														
Bolton - Bridlewood Dr and Anvil Cir														
Boulder Ridge - Park Dr and Black Oak Pl														
Breen - 2842 Shelton St														
Brigham & Hawes - Telegraph Hill Dr														
Clarke Dominguez - 3098 Crest Dr														
Clover Valley - 4298 Clover Valley Rd														
Corral-Alva - Brookshire Dr														
Gayaldo - Attkin Dairy Rd and Lemon Hill Dr														
Joe Hernandez - 6901 Ballantrae Way														
Mansion Oaks - 5255 Pacific St														
Memorial - 3980 Rocklin Rd														
Monte Verde - 4651 El Don Dr														
Monument - 4401 Hood Rd														
Night Ridge - 6299 Night Ridge Way														
Pebble Creek - 5839 Pebble Creek Dr														
Pernu - Old Ranch House Rd														
Peter Hill Heritage - Rocklin Rd and Front St														
Pleasant Valley Creek - Whitney Oaks Dr														
Quarry Park - 4000 Rocklin Rd														
Ruhkala - 2160 Arnold Dr														
Sasaki - 5014 Southside Ranch Rd														
Sierra Meadows - 2530 Sierra Meadows Dr														
Sonora - 2101 Great Divide Way														
Sunset East - 5953 Willowynd Dr														
Vista Grande - 5639 Onyx Dr														
Wesley - 5376 Wesley Rd														
Wickman - Monroe Ct														
Woodside - 3300 Westwood Dr														

PARK AMENITIES

Environmental Considerations

The SWRA contains some elements that have to be considered when exploring opportunities for short and longer term features that are desired for this space. The SWRA contains portions of Clover Valley Creek and Antelope Creek that represent both an asset but also potential constraints to how the property is utilized. There are regulatory floodplains associated with the creeks that limit where and how the placement of structures or other improvements can occur, as the City must protect the floodplain areas from encroachment that would impede flood flows or pose a hazard to occupants/visitors. In addition to the creeks that traverse the SWRA, there are also wetland areas that are regulated by such agencies as the U.S. Army Corps of Engineers and the California Department of Fish and Wildlife. It must be understood that improvements proposed in and around the creeks and wetland areas could trigger the need for the City to enter into a permitting process with those agencies which could require additional time and expense.

SWRA Floodplain



Farron Street Bridge

Comments have been received expressing a desire for a connector bridge between Johnson-Springview Park and the Sunset Whitney Recreation Area. The example shown is the Farron Street bridge which required extensive coordination with environmental protection authorities and cost approximately \$300,000 to design and install.

The Farron street Bridge was constructed in 2009, and costs are presumed to have increased due to inflation and cost of supplies.

Installation of a similar bridge connecting Johnson-Springview and the Sunset Whitney Recreation Area will require substantial analysis of the environmental impacts to surrounding habitat due to potential construction activities as well as collaboration with environmental protection agencies such as Department of Fish and Game and the Army Corps of Engineers.

Requirements:

- Design Drawings
- CEQA analysis
- Riparian Oak Woodland Habitat Mitigation Plan
- Site work
- Fabrication of bridge
- Placement of bridge in place by crane



What Else Needs to be Considered When Thinking About Improvements to the Sunset Whitney Recreation Area?

Grants

Though staff closely monitors and makes application to any grant opportunities that can contribute funds toward Rocklin Park priorities or projects; we have found that many of the grant opportunities are allocated with preference given toward disadvantaged communities.

Although our projects are well thought out and competitive, due to Rocklin's demographics, staff has found it challenging to compete for grant monies in the same arena as those disadvantaged or parks-deficient communities.

Staffing Considerations

Even with minimal maintenance, adding 184 acres of space requires a lot of work! When thinking about projects, we need to consider the following:

- Is this a one-time or infrequent project or is it ongoing?
- Does the work need to be done by city staff or should it be contracted out?

Factors the go into this decision include:

- Technical knowledge or expertise needed
- Capacity of existing staff
- Equipment or supplies required
- If contracted out, how much staff time is needed for contract preparation and oversight?
- How will the additional staff or contract work be paid for?
- Will other projects or parks be impacted in any way?

Ongoing Maintenance, Repair & Replacement

Even if funding is identified for the construction of a project or amenity, there are other factors to consider.

- What are the ongoing maintenance costs?
- When will the items need to be repaired or replaced?

Prevailing Wage

Prevailing wages must be paid to all workers employed on a public works project when the cost of the project is over \$1,000. If an awarding body elects to initiate and enforce a labor compliance program, that has been approved by the Director of the Department of Industrial Relations, for every public works project under the authority of the awarding body, prevailing wages are not required to be paid for any public works project of \$25,000 or less when the project is for construction work, or for any public works project of \$15,000 or less when the project is for alteration, demolition, repair, or maintenance work.

WHAT'S NEXT?
STATION 7

THANK YOU!

WE GREATLY

APPRECIATE



PARTICIPATION

&

MAKING A DIFFERENCE

IN OUR COMMUNITY!

NEXT STEPS

Sign up to be a volunteer today at rocklin.ca.us/volunteer

Sign up for our *e-newsletters* to get all the updates

Check out the website rocklin.ca.us/SunsetWhitneyRecreationArea
for FAQ's, next meetings and more info!

**GET INVOLVED
AND
VOLUNTEER
TODAY!!!**



SIGN UP AT



ROCKLIN.CA.US/VOLUNTEER