



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: January 28, 2025

Project Name and Requested Approvals:

Walker's Office Supply

Administrative Design Review (ADR2025-0001)

Staff Description of Project:

The project is a request for an Administrative Design Review to construct an industrial building within the Rocklin Ranch Industrial Park.

The proposed development is a one-story, 30-foot-tall tilt-up concrete industrial building spanning 40,000 square feet. It includes approximately 7,600 square feet of office space, 6,600 square feet of showroom space, and 25,000 square feet of warehouse space.

Location:

The property is an undeveloped 2.5-acre site bounded by Delmar Ave to the west, Alvis Ct to the north, industrial property to the east, and the Town of Loomis to the north. The Assessor Parcel Number (APN) is 045-390-020.

Land Use Designation(s)/Zoning:

The property is designated Light Industrial (LI) in the Rocklin General Plan. The property is zoned Planned Development Light Industrial (PD-LI) in the Rocklin Ranch Industrial Park General Development Plan.

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The property owner is Jarrod Anderson with Walker's Office Supplies, INC. and the applicant is Larry Farinha.

Attached Information:

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>

2020
INDEX TO CITY OF ROCKLIN UNIVERSAL APPLICATION DOCUMENTS

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APPLICATION SUBMITTAL REQUIREMENTS / CHECK-IN SHEET

To be Returned with the Application Package

To be Completed by Staff Planner (Completed by: BVF)

Project Name: Walkers Office Supply Date: 05/10/2024

Required*	FORMS & DOCUMENTS:	Received
X	Completed Application Form (p. 3-5)	
X	Completed Agent Authorization Form (one per authorized agent) (p. 6)	
X	Completed Notification of Owners of Mineral Rights (p. 7)	
X	Completed Notice of Department of Fish and Game Filing Fees (p. 8)	
X	Completed Hazardous Waste and Substances Statement (p. 9)	
X	Completed Mitigation for Air Quality Impacts Statement (p. 10-11)	
X	Completed Environmental Information Sheet (p. 12-16)	
X	Completed Formatting and Minimum Requirements checklist (p. 17-23)	
X	One Preliminary Title Report for all subject properties (current within six months)	
--	Soil Report	
	STANDARD EXHIBIT SETS:	
X	One CD or USB Flash Drive of All Project Exhibits and submission materials	
X	Two Sets 11" x 17" Reductions of All Project Exhibits for the initial submittal	
X	<i>** All plan sets to be collated, stapled into single sets, and folded to 8-1/2" x 11"</i>	
X	<i>Exhibit Sets to include the following sheets as applicable:</i>	
X	Site Plan	
X	Preliminary Grading and Drainage	
X	Preliminary Landscape Plan (include symbols, quantities, botanical names, container sizes, and average height based on American Standards for Nursery Stock)	
X	Elevations of All Four Sides of All Buildings	
X	Architectural and Site Details (trash enclosures, bike racks, special building treatments)	
X	Building Sections and Roof Plans	
X	Rough Floor Plans	
X	Elevations of Sign Design	
X	A Stormwater Control Plan and draft Operation and Maintenance Plan consistent with the requirements of the City of Rocklin Post Construction LID Manual (www.rocklin.ca.us/LID)	
--	Tentative Map (separate set from design review/use permit, if applicable)	
	SPECIAL EXHIBITS:	
X	Color and Material Boards for Buildings and Signs (maximum size: 8½" x14")	
X	Colored Building Elevations	
X	Colored Sign Elevations	

X	Colored Landscaping Plan	
X	Color Renderings (11" x 17" Reductions)	
X	Photo-simulations (11" x 17" Reductions)	
X	Architectural Consistency Statement	
	ADDITIONAL INFORMATION (as may be required; may include, but is not limited to, the following):	
--	Tree Survey/Arborist Report	
--	Wetland/Riparian Delineation/ Biological Recourse Assessment	
--	Archeological/Cultural Survey	
--	Traffic Study	
--	Phase 1 Site Assessment	
--	Photometric Study	
--	Noise Study	
X	Air Quality / Green House Gas	

* Unless waived by a Staff Planner

Additional Submittal Information

- Note 1:** All use permits and design review applications shall include a site plan, building exterior elevations, preliminary landscape plans, rough floor plans, preliminary grading plans, a color and materials board, and colored elevations and landscaping plans.
- Note 2:** The applicant shall be responsible for contacting the Army Corps of Engineers, to determine whether a wetland delineation is needed, and the Fish and Game Department, regarding floodplains and riparian areas, prior to application submittal.
- Note 3:** Any dedication resulting in transfer of ownership from a private party to the City will require a Phase One Hazardous Materials Study in accordance with current ASTM standards and shall be transferred with free and clear title.
- Note 4:** The City requests that the property owner or property manager notify tenants of the proposed project and the date, time, and location of the public hearing.
- Note 5:** Applicants are strongly encouraged to conduct neighborhood and/or property owners' association meetings prior to the City scheduling the project for public hearing.



City of Rocklin

Planning Division
 3970 Rocklin Road
 Rocklin, California 95677
 Phone (916) 625-5160 FAX (916) 625-5195

**UNIVERSAL
 APPLICATION
 FORM**

NAME OF PROJECT: _____

LOCATION: _____

ASSESSOR'S PARCEL NUMBERS: _____

DATE OF APPLICATION (STAFF): _____ **RECEIVED BY (STAFF INITIALS):** _____

FILE NUMBERS (STAFF): _____ **FEES:** \$3,293.00

RECEIPT NO.: _____

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 05-10-2024

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

General Plan Amendment (GPA) Fee:	Tentative Subdivision Map (SD) Fee:	Use Permit (U) Minor (PC Approval – New Bldg) Fee: Minor (PC Approval – Existing Bldg) Fee: Major (CC Approval) Fee:
BARRO Zone Application (BZ) Fee:	Rezone (Reclassification) (Z) Fee:	Variance (V) Fee:
General Development Plan*(PDG) Fee:	Tentative Parcel Map (DL) Fee:	Design Review (DR) / Specific Plan Use Permit Commercial Fee: \$2,822.00 Residential Fee: Signs Fee:
Concurrent Application (2 or more entitlements) Fee:	Oak Tree Preservation Plan Permit Planning Commission Fee: City Council Fee:	Modification to Approved Projects Fee: File Number: _____
Environmental Requirements: (STAFF)	Exempt - \$471.00 Negative Declaration – 15162 Determination -	Mitigated Negative Declaration – EIR – See Fee Schedule

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: _____	Acres: _____	_____ Pub. Sewer	_____ Pub. Sewer
Proposed: _____	Square Feet: _____	_____ Septic Sewer	_____ Septic Sewer
ZONING:	Dimensions: _____	_____ Pub. Water	_____ Pub. Water
Existing: _____	No. of Units: _____	_____ Well Water	_____ Well Water
Proposed: _____	Building Size: _____	_____ Electricity	_____ Electricity
	Proposed Parking: _____	_____ Gas	_____ Gas
	Required Parking: _____	_____ Cable	_____ Cable
	Access: _____		

PROJECT REQUEST:

The project consists of developing an undeveloped lot at 4011 Alvis Ct in Rocklin CA for a new Warehouse and Offices for Walkers Office Supply, an established business currently operating from 4041 Alvis Ct. Rocklin CA. The parcel consists of 2.5 acres of undeveloped land that has water, sewer and storm drain connections stubbed into the lot from Alvis Ct. The proposed building will be a concrete tilt up building of 39,375 Square feet. There will be 26,000 +/- Square feet of unconditioned warehouse space and 13,375 +/- Square feet of conditioned office space with two restrooms. Entrances to the project will be from Alvis Ct and Del Mar Ave. Parking will be on the North and South sides of the building. A landscape buffer is proposed on the Northern Property line as well as Alvis Ct. and Del Mar Ave.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Walkers Office Supply Inc.

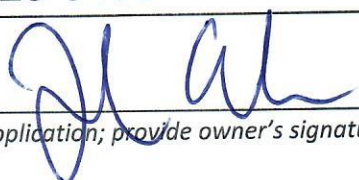
ADDRESS: 4041 Alvis Ct

CITY: Rocklin STATE: CA ZIP: 95677

PHONE NUMBER: 530-823+8737

EMAIL ADDRESS: Laura@walkersoffice.com

FAX NUMBER: 530-823-6406

SIGNATURE OF OWNER 
(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT
(If different than owner): Larry Farinha

CONTACT: Larry Farinha

ADDRESS: 2280 Grass Valey Hwy #174

CITY: Auburn STATE: CA ZIP: 95603

PHONE NUMBER: 530-906-2809

EMAIL ADDRESS: Larry@Aero-West.net

FAX NUMBER: _____

SIGNATURE OF APPLICANT Larry Farinha

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Walkers Office Supply
Location: 4011 Alvis CT Rocklin CA 95677
Assessors Parcel Number(s): 045-390-020-000

Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):
All Necessary

Name of person and / or firm authorized to represent property owner (Please print):
Larry Farinha

Address: 2280 Grass Valley Hwy # 174
City: Auburn State: CA Zip: 95603

Phone Number: 530-906-2809 Fax Number: _____

Email Address: larry@aero-west.net

The above named person or firm is authorized as:

Agent () Buyer (_____) Lessee (_____)

The above named person or firm is authorized to (check all that are applicable):

(_____) File any and all papers in conjunction with the aforementioned request, including signing the application

() Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.

() Sign any and all papers in my stead, with the exception of the application form.

The duration and validity of this authorization shall be:

() Unrestricted (_____) Valid until:

Owners Authorization Signature & Date:

Signature:  Date: 1/2/2025

Owners Name (Please Print): Jarred Walker Jarrod Anderson

Owners Address: 4041 Alvis CT

City: Rocklin State: CA Zip: 95677

Phone Number: 530-823-8737

Email Address: Laura@walkersoffice.com

**NOTIFICATION OF
OWNERS OF MINERAL RIGHTS**

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

See page 24 of this application for instructions on how to submit mailing labels.

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

There **are** _____ / **are not** _____ (check one) owner(s) of record of preserved mineral rights on the subject property and I, _____, the applicant or applicant's representative, **have** _____ / **have not** _____ (check one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

Larry Farinka

Signature

Date

**STATE OF CALIFORNIA
DEPARTMENT OF FISH AND GAME
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount *no later than the day of the final scheduled public hearing for the proposed project.*

PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

I, _____, the applicant or applicant's representative, have read the information above and understand its meaning.

Larry Farinka

Signature

Date

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, _____ is, _____ is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: _____ Date of list: _____

Type of problem:

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: _____

Applicant: *Larry Farinka*

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site: <http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

Applicant's Name (printed)

Larry Farinha

Applicant's Signature

Date



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL INFORMATION SHEET (To be completed by applicant)

LOCATION OF PROJECT (ADDRESS) _____

CITY: _____ STATE: _____ ZIP: _____

ASSESSORS PARCEL #: _____

NAME OF PROJECT: _____

CONTACT/APPLICANT NAME: _____

ADDRESS: _____

CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ EMAIL: _____

Project Description - Describe in detail. Add separate sheet if necessary.

Property size: _____ Square Feet _____ Acres

Land Use: _____ Existing _____ Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification:

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible:

City of Rocklin Planning Commission SPU-98-02 / DR 98-05

OTHER REQUIRED PERMITS OR APPROVALS:

Table with 3 columns: Permit or Approval Agency, Address, Contact Person/Phone

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more:

SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?

2. What are the surrounding land uses?
East _____ West _____ North _____ South _____
3. Is the project proposed on land which contains fill or a slope of 10% or more? _____
4. Are there any existing erosion problems? _____
5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? _____
If so, describe in detail, or refer to attached soils report.

6. Grading, excavating or filling activities - Quantity of cubic yards to be:
 - a. Moved within the site: _____
 - b. Deposited on the site: _____
 - c. Removed from the site: _____
 - d. Disposal site: _____

7. Are there any streams or permanent water courses on the site? _____
Describe:

8. Will the proposed project change drainage patterns or the quality of groundwater? _____
If so explain. If not, why not:

9. Will the project affect any drainage channel, creek, pond or any other water body? _____
Describe below:

10. Is any portion of the property located in a flood plain? _____
If so describe:

11. Are there any jurisdictional wetlands or vernal pools on the site? _____
If so how will they be impacted by the project?
12. Are there any trees or shrubs on the project site? _____
What types? _____
Are any to be removed or transplanted? _____
State the location of transplant site: _____
State the number & species to be removed: _____
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source?
15. What type of equipment will be associated with the project during construction?
- During permanent operation?
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? _____
If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties:
18. Will the project create any new light source, other than street lighting? _____
If yes, describe below:
19. Is this property covered by a Williamson Act contract? _____
20. Has this property ever been used for agricultural purposes? _____
If so, for what purpose and when?
21. Does the project involve the use of routine transport or disposal of hazardous materials? _____
22. Are there any known mineral resources of value to the region and the residents of the state located on the site?
If so, what types? _____
23. How close is the nearest school? _____

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: _____

Building height measured from ground to highest point in feet: _____

Number of floors/stories: _____

Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground:

Project site coverage: Building _____ sq.ft. _____ %

Landscaping _____ sq.ft. _____ %

Paving _____ sq.ft. _____ %

Exterior building materials: _____

Exterior building colors: _____

Wall and/or fencing material: _____

Total number of off-street parking spaces required: _____ Provided: _____

Total number of bicycle parking spaces: _____

25. Is there any exposed mechanical equipment associated with the project? _____

Location and screening method:

26. RESIDENTIAL PROJECTS

Total lots _____

Total dwelling units _____

Density/acre _____

Total acreage _____

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): _____

Oriented to: Regional _____ City _____ Neighborhood _____

Hours of operation: _____

Total occupancy/Building capacity: 196

Gross floor area: _____ Number of fixed seats: _____

Number of employees (total): _____ Employees per shift: _____ Number of Shifts: _____

Number of visitors/customers on site at busiest time (best estimate): _____

Other occupants (specify): _____

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? _____
29. Will the proposed use involve any toxic or hazardous material? _____
Is the project site within 2,000 feet of an identified hazardous/toxic site? _____
Is the project site within 2,000 feet of a school or hospital? _____
If the project involves any hazardous material, explain:
30. How many new residents is the project estimated to generate? _____
31. Will the project generate a demand for additional housing? _____
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project?
Current: _____ Estimated: _____
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? _____
If yes, explain:
34. How close is the project to the nearest public park or recreation area? _____
35. What school districts will be affected by this project? _____
36. Describe energy-efficient features included in the project
37. Describe how the following services or utilities will be provided:
Power and Natural Gas: _____
Telephone: _____
Water: _____
Sewer: _____
Storm Drainage: _____
Solid Waste: _____
38. Will the project block any vista or view currently enjoyed by the public? _____
39. Are there any known historic or significant building features on or near the site? _____
If so, will the project result in any impact to the building?
40. Are there any archaeological features on the site? _____
If so, will the project result in any impact to these features?

FORMATTING AND MINIMUM INFORMATION REQUIREMENTS
To Be Completed By Applicant

INSTRUCTIONS: The following are the formatting and minimum information requirements for the applicable exhibits and documents submitted as a part of all applications. Please check off the line indicating the information has been included and / or formatting requirements met and **submit this checklist with your application**. Mark the line *N/A* if the item is not applicable.

EXHIBIT SETS (Copies of all project drawings stapled together as follows, except tentative maps)

- 1. All project maps and drawings collated together
- 2. Sets stapled together along the left margin
- 3. Each set folded to 8-1/2" x 11" (If there are too many sheets to staple and fold to 8 1/2" x 11" in a single set the plan sets may be broken into two to three subsets, each subset to be stapled, folded to 8 1/2" x 11", and labeled as "1 of ___", "2 of ___", etc. as appropriate, and the subsets rubber banded together into units.)
- 4. Full sized and 11" x 17" reduced sets collated in the same order and including the same sheets
- 5. All sheets in the 11" x 17" reduced sets clearly legible
- 6. For the initial submittal and re-submittals, provide 2 sets of full size and 2 sets of 11" x 17" reduced size drawings (Additional copies to be provided when requested by the City for referral and final, pre-hearing submittals.)

COLORED EXHIBITS (Full size drawings, colored)

- 1. Exhibits rolled not mounted
- 2. Colors as close as possible to the true colors proposed to be used

MATERIALS SAMPLE BOARD (Accurate samples of colors and materials for ALL finishes proposed)

- 1. Maximum size not to exceed 8-1/2" x 14" (May be a series labeled with the project name and numbered "1 of ___", "2 of ___", etc.)
- 2. Actual chips, samples, and swatches (preferred) or colors shown as close as possible to the true colors proposed to be used
- 3. Manufacturer name and product name and identification number called out

SITE PLAN (A plot plan drawn to scale showing the following)

- 1. Proposed and existing structures (including those to be relocated or removed)
- 2. Square footage of structures and area of all parcels or pads
- 3. Dimensions (i.e. property lines, driveways, structures)
- 4. Natural features (Trees to stay and be removed, rock outcroppings, quarries, etc.)
- 5. All property lines, including those on-site, those immediately off-site and those across any street.
- 6. Circulation
- 7. All existing and proposed public right-of-way improvements
- 8. North arrow

- ___ 9. Vicinity map
- ___ 10. Reciprocal driveways, if appropriate
- ___ 11. Trash enclosures. (Auburn Placer Disposal to approve location and size.)
- ___ 12. Landscaped areas
- ___ 13. Prominent features including structures and natural features of surrounding properties
- ___ 14. All existing and proposed easements (i.e. open space, floodplain, scenic, proposed abandonments, etc., including name of person or group to own and maintain area)
- ___ 15. Location, size, and height of pole lights, signs, street lights, flag poles
- ___ 16. Scale (Scale shall be shown in printed text and with a bar scale).
- ___ 17. Project notes including:
 - Owner;
 - Developer;
 - Engineer/Architect;
 - Service Providers;
 - General Plan and Zoning;
 - Assessors Parcel Number(s);
 - Land Area;
 - Building Area;
 - Parking including calculations for parking requirements (The general parking lot design shall be consistent with City of Rocklin Improvement Standards, including size, dimensions, driveway widths, and required landscaping)

DISABLED ACCESS REQUIREMENTS FOR SITE PLANS

- ___ 1. Accessible route of travel requirements (per Title 24):
 - At least one accessible route within the boundary of the site shall be provided from public transportation stops, public streets, or sidewalks
 - The accessible route of travel shall be the most practical direct route between the accessible entrance to the site and accessible building entrance and accessible site facilities
 - The accessible route of travel shall be provided to all entrances and exterior ground floor exits along normal paths of travel, as well as to the trash enclosure(s)
 - When more than one building or facility is located on a site, the accessible route of travel shall be provided between buildings and accessible facilities
 - The accessible route of travel shall be at least 48 inches wide and have a cross slope no greater than 1/4 inch per foot (1 inch vertical per 50 inches horizontal)
 - The accessible route of travel shall be provided in such a way that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own
 - Clearly delineate all accessible routes and accessible parking areas and include sufficient grade call outs to assure compliance with required slopes
- ___ 2. Accessible parking area requirements:
 - Accommodate required number of handicap spaces
 - One-quarter inch per foot slope in any direction, maximum
 - Reasonable distance to entrance
 - Equally dispersed throughout project for multiple buildings

Questions or clarification of the Disabled Access requirements should be addressed by the Building Department. Sites that require variation from the guidelines will be handled on a case by case basis.

PHASING PLAN

- ___ 1. A complete phasing plan including improvements to be completed at each phase.
- ___ 2. Interim dead-end streets more than 150' in length require a temporary turn-around.

PRELIMINARY GRADING AND DRAINAGE PLANS

- ___ 1. Natural features, soils and geology studies as required by the City Engineer
- ___ 2. Natural and finished contours and spot elevations where appropriate
- ___ 3. Wetland and riparian delineation
- ___ 4. Existing or proposed drainage facilities including detention basins
- ___ 5. Standard utilities (i.e. storm drains, sewer, and water)
- ___ 6. Amount of cut and fill in cubic yards
- ___ 7. Identified archeological sites including mortar beds
- ___ 8. Typical street gradients in percentages
- ___ 9. Existing and proposed public right-of-way improvements
- ___ 10. Spot elevations immediately off-site
- ___ 11. 100 year flood plains
- ___ 12. Proposed retaining walls
- ___ 13. North arrow
- ___ 14. Scale (Scale shall be shown in printed text and with a bar scale)

PRELIMINARY LANDSCAPING PLAN

- ___ 1. Planting schedule that includes quantities, botanical and common names of all plants used, symbols for all plants, minimum container size (specify 15 gallon size for trees and 5 gallon for shrubs), and the average height range for trees in the specified container size (based on the American Standards for Nursery Stock).
- ___ 2. Detailed planting plans are required for entrances to multifamily residential, commercial, and industrial projects
- ___ 3. Indicate use of granite in landscaping/freestanding signage, plants will not block signs
- ___ 4. Parking lot shading provided at 1 tree located every 5 spaces
- ___ 5. Provide calculations demonstrating that at least 20% of a non-residential site is in landscaping
- ___ 6. Berming or masonry screening walls three feet high along rights-of-way where adjacent to proposed parking or driveway aisles. Provide line of sight cross sections from streets and parking areas including medians and entrances to assure traffic safety
- ___ 7. Year round color and screening
- ___ 8. Utility features such as manholes, pipes, and ditches are to be kept out of the landscape planter areas to the extent possible. In instances where such features are proposed in the landscape areas, they should be located in a way that minimizes impacts to anticipated tree locations or the establishment of trees, shrubs, and ground cover.
- ___ 9. Drought resistant plantings, use of appropriate plant materials, meets requirements of the Water Conservation in Landscaping Act
- ___ 10. Fencing, materials and location
- ___ 11. Indicate preserved oak trees and tree preservation techniques implemented
- ___ 12. Scale (Scale shall be shown in printed text and with a bar scale)

BUILDING ELEVATIONS

- ___ 1. All four elevations of each proposed building labeled to include directional and other information to clarify orientation (i.e. North/Granite Drive Elevation). Designs should depict compatibility with neighboring structures and terrain
- ___ 2. Building height
- ___ 3. At least one elevation calling out colors and materials
- ___ 4. Location of mechanical equipment and screening (Cross sections and roof plan)
- ___ 5. Lighting specifications (manufacture name, fixture type and identification information, and proposed wattage). Submittal of cut sheets is encouraged
- ___ 6. Scale (Scale shall be shown in printed text and with a bar scale)
- ___ 7. For multi-building projects, provide a key plan on each sheet

FLOOR PLAN

- ___ 1. Dimensions
- ___ 2. Square footage
- ___ 3. Intended uses
- ___ 4. Scale (Scale shall be shown in printed text and with a bar scale)

OAK TREE PRESERVATION PLAN

- ___ 1. All existing oak trees located on site (Tree Survey)
- ___ 2. All trees labeled with corresponding number from arborist report
- ___ 3. Schedule of trees by number, type, size, condition, and removal information
- ___ 4. All trees to be removed should have an X through the center
- ___ 5. Spot elevation of tree at base
- ___ 6. Scale (Scale shall be shown in printed text and with a bar scale)

SIGN ELEVATION

- ___ 1. Elevations of all signs (Freestanding and building-mounted)
- ___ 2. Location(s) of wall sign(s) on building(s)
- ___ 3. Sign height dimensioned
- ___ 4. Sign length dimensioned
- ___ 5. Call out all materials and colors
- ___ 6. Location of all freestanding signs on site plan
- ___ 7. Type of illumination specified
- ___ 8. Scale (scale shall be shown in printed text with a bar scale)

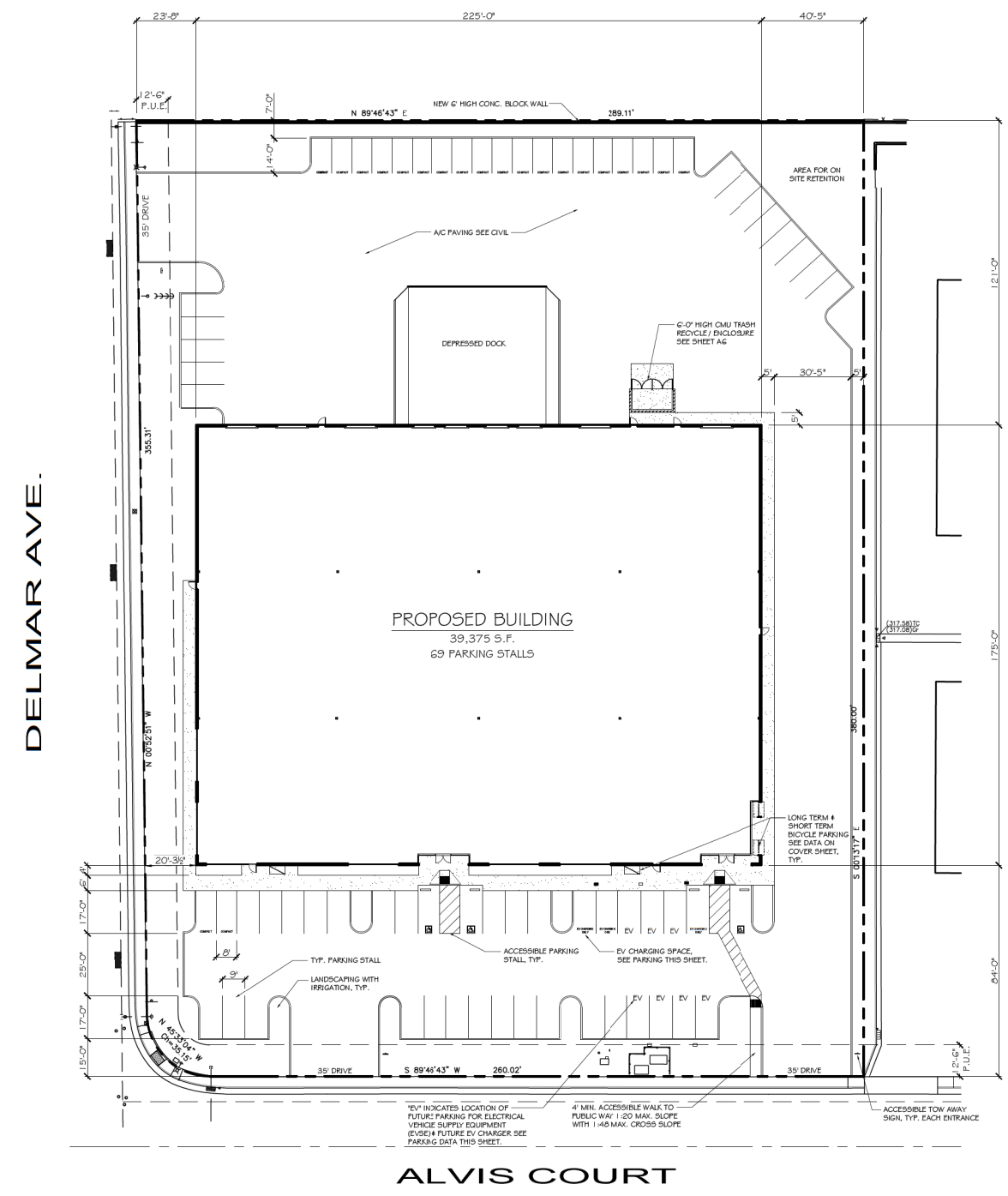
TENTATIVE PARCEL MAP

- ___ 1. The scale of the tentative parcel map should be 1" = 50 feet unless otherwise permitted by the City Engineer
- ___ 2. All dimensions shown in feet and hundredths of a foot
- ___ 3. If more than three sheets are necessary to show the entire subdivision, an index map shall be included on one of the sheets
- ___ 4. Scale (Scale shall be shown on each sheet in both printed text and with a bar scale)
- ___ 5. North arrow on each sheet
- ___ 6. Title sheet shall be provided except where the size of the subdivision permits the information required to be included on the same sheet as the map of the subdivision.
- ___ 7. All existing property lines with dimensions
- ___ 8. All proposed property lines with dimensions
- ___ 9. Parcel area (Square footage and/or acreage) for each proposed parcel
- ___ 10. The adjacent public rights-of-way, with dimension(s) of the right of way
- ___ 11. All existing structures
- ___ 12. All oak trees and granite outcroppings
- ___ 13. Riparian boundary (as identified by a qualified biologist)
- ___ 14. 100 year floodplain boundaries
- ___ 15. All existing and proposed easements
- ___ 16. Archeological features
- ___ 17. Surrounding land uses, particularly locations of structures and driveways

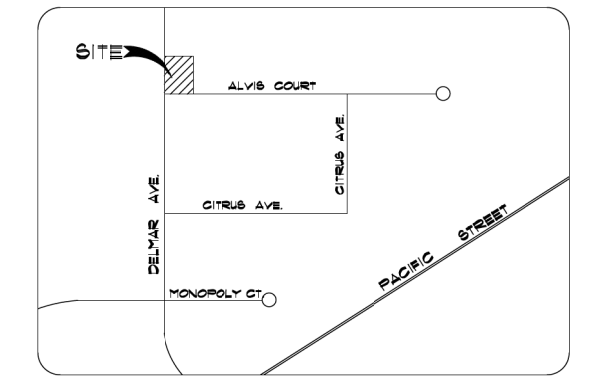
TENTATIVE SUBDIVISION MAP

- ___ 1. Project notes including:
 - Proposed subdivision name;
 - Service Providers;
 - General Plan and Zoning;
 - Assessors Parcel Number;
 - Land Area;
 - North Arrow;
 - Existing Land Use;
 - Proposed Land Use
- ___ 2. Names, addresses and telephone numbers of record owners and subdivider of the land.
- ___ 3. Name, address, and phone number of the persons, firm, or organization that prepared the map and the applicable registration or license number.
- ___ 4. A vicinity or key map of appropriate scale covering sufficient adjoining territory so as to clearly indicate the nearest street intersections, major access streets, property lines of other adjacent properties in the ownership of the subdivider, and other significant features which will have a bearing on the proposed subdivision and its location in relationship to surrounding areas.
- ___ 5. The scale of the map shall be at least one inch equals one hundred feet. The scale shall be shown as both printed text and with a bar scale on each page.
- ___ 6. No single sheet shall exceed 72 inches in length and 54 inches in width. The minimum sheet shall be 18 inches in width and 26 inches in width.
- ___ 7. Boundaries of the subdivision with sufficient information to locate the property

- ___ 8. The boundaries and dimensions of all lots, with all lots consecutively numbered.
- ___ 9. The minimum, maximum, and average lots sizes shall be stated.
- ___ 10. Name of all adjacent subdivisions, if any, and property lines sufficient to show their relationship to the proposed subdivision
- ___ 11. Contour lines at intervals of not more than 2 feet, unless waived by the City Engineer. Topographic information shall be sufficient to fully show the configuration of the land and any and all depressions that may present drainage problems, and shall extend beyond the tract boundaries where necessary to show drainage conditions on surrounding property which may affect the subdivision.
- ___ 12. Lots exceeding a 25% slope shall be so noted.
- ___ 13. The location of all railroad rights of way and grade crossings
- ___ 14. Approximate location of all existing wells, abandoned wells and sumps, including septic systems or other underground systems
- ___ 15. The location of any active or abandoned quarries
- ___ 16. An indication of any physical restriction or condition in the subdivision which affects the use of the property
- ___ 17. All structures, including fences and signs, within the subdivision, dimensioned and distanced to the other structures and to existing and proposed street and lot lines, present and future use of all structures to be noted
- ___ 18. The locations, widths, and purposes of all existing and proposed easements for utilities, drainage, and other public purposes, whether private or public, shown by dashed lines, within and adjacent to the subdivision, including proposed building setback lines
- ___ 19. The location of all potentially dangerous areas, including geologically hazardous areas, and areas subject to inundation or flood hazard adjacent to the property involved and the proposed method of providing storm water drainage and erosion control.
- ___ 20. The location of all ponds, reservoirs, streams and tributaries and their respective floodplains
- ___ 21. The location and general description of any trees with a diameter of 6 inches or greater with notations as to their retention or destruction. Where groves of trees exist, the perimeter of the canopy shall be shown symbolically on the map.
- ___ 22. The location of any significant natural features and/or possible historical or archeological site or remains, including but not limited to, natural springs, caves, Indian grinding rocks, petroglyphs, burial sites, historical buildings and/or their ruins, and significant rock outcroppings
- ___ 23. The boundaries and dimensions of all lots, a number assigned to each lot, and the total number of lots.
- ___ 24. The location, width, and existing/proposed names or designations of all existing or proposed streets, alleys, pedestrian ways and other rights of ways, including but not limited to bikeways, paths, etc. whether public or private. Any change in existing street names shall be specifically requested in writing
- ___ 25. Any modification being requested in accordance with the provisions of Rocklin Municipal Code 16.36 which is shown on the tentative map shall be clearly labeled and identified as to nature and purpose
- ___ 26. The location of all natural and man-made improvements to all properties surrounding the subdivision, including but not limited to off-site natural contours, finished grades, buildings, existing road improvements, and property lines. Cross sections are encouraged or may be required to illustrate elevation differences between the project and existing adjacent development.



SITE PLAN
 1"=30'-0"
 REF. NORTH



LOCATION MAP
 N.T.S.
 NORTH

PROPOSED BUILDING
 4001 Alvis Court Rocklin, CA

This project involves the construction of a 1-story tilt-up concrete building with interior office, showroom, warehouse and site improvements.

APN: 045-390-020
 Zone: PD-L1
 Codes: 2022 Editions of the C.B.C., CALGreen Code, C.F.C., C.M.C., C.P.C. # 2022 C.E.C. (CEC T-24) and all applicable county code amendments.

Occ. Group(s) "B" office (7,640 s.f.) "M" showroom (6,635 s.f.) "S1" warehouse (25,000 s.f) non-separated occupancy

Construction Type: Type III-B with automatic sprinkler system throughout the building with NFPA 13 Standard

Stories: 1

Building Height: 30'-0"

Parcel Area: 108,899 s.f.

Actual Area: 39,375 s.f.

Allowable Area: Per CBC Table 506.2, 70,000 s.f. allowed without frontage increase. 39,375 ok.

Parking:	Office/Showroom: 14,275 s.f. 1/250	=	57
	Warehouse: 25,100 s.f. 1/200	=	12
	Minimum Spaces Required	=	69

Standard 9' x 19'	=	35
Compact 9' x 16'	=	21
Standard Accessible	=	2
EVC spaces 9'x19' (see below)	=	2
EV capable spaces with EVCS	=	7
EVC van accessible space	=	1
Van Accessible 9' x 19'	=	1
Parking Spaces Provided	=	69

For location of EVC locations see site plan.
 Provide 1 -dual # 1-single, Electrical Vehicle Charger (EVC)

Bicycle Parking: Provide 2-2 bicycle lockers and 2-2 bicycle racks. See site plan.

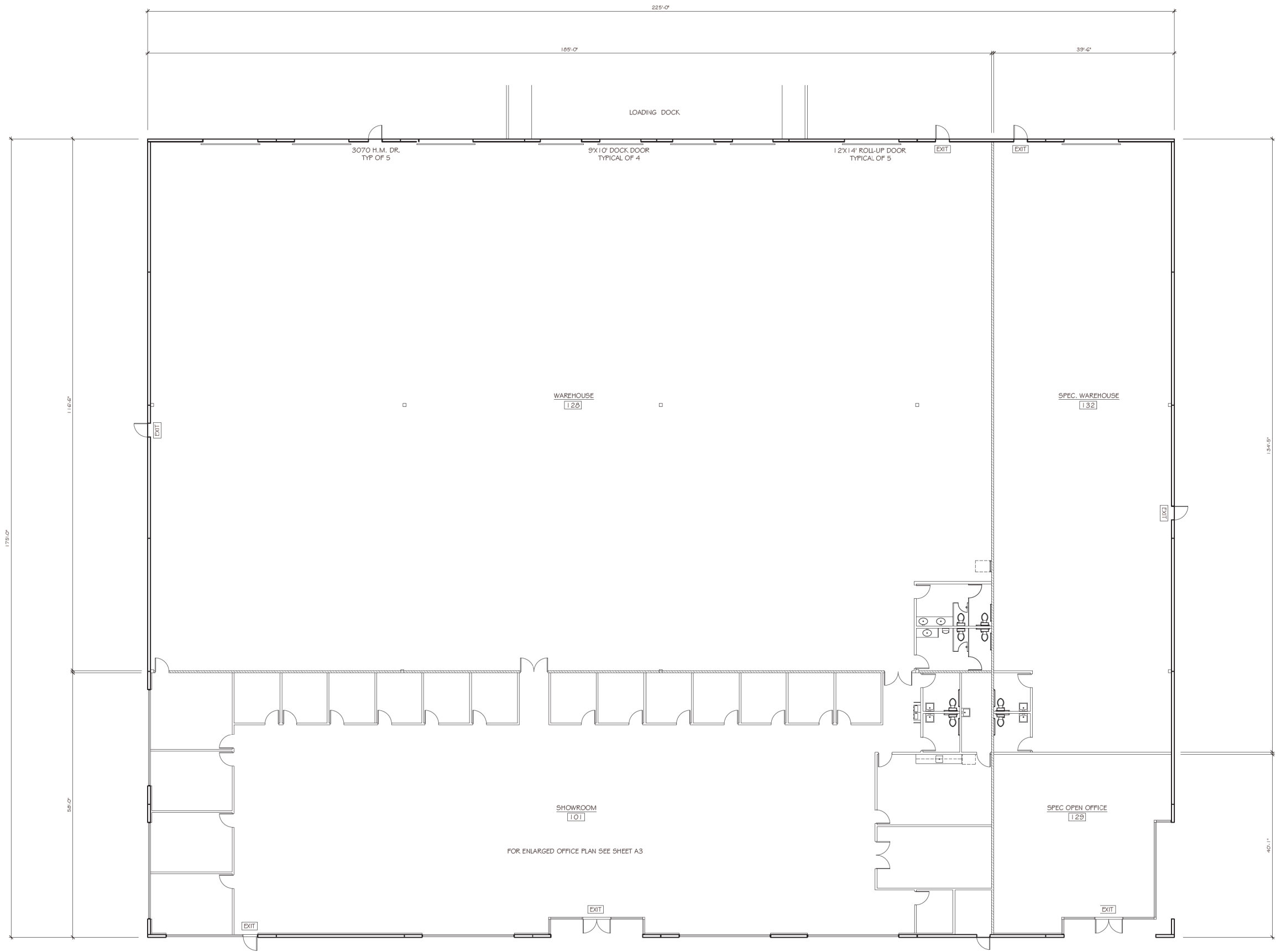
REVISIONS	BY

Leo McGlade & associates, inc.
 3417 Arden Way Sacramento, CA 95825 (916) 488-8380

SITE PLAN

PROPOSED BUILDING
 4001 ALVIS COURT
 ROCKLIN, CALIFORNIA

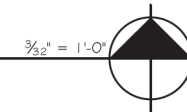
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Scale	AS NOTED
Drawn	R. J.
Job	24-15-W117
Sheet	A1



OVERALL FLOOR PLAN

WALL LEGEND

-  NEW INTERIOR PARTITION
-  NEW FULL HEIGHT INTERIOR PARTITION



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OVERALL FLOOR PLAN

PROPOSED BUILDING

4001 ALVIS COURT
 ROCKLIN, CALIFORNIA

Date	11-5-24
Scale	AS NOTED
Drawn	R. J.
Job	24-15-W117
Sheet	A2

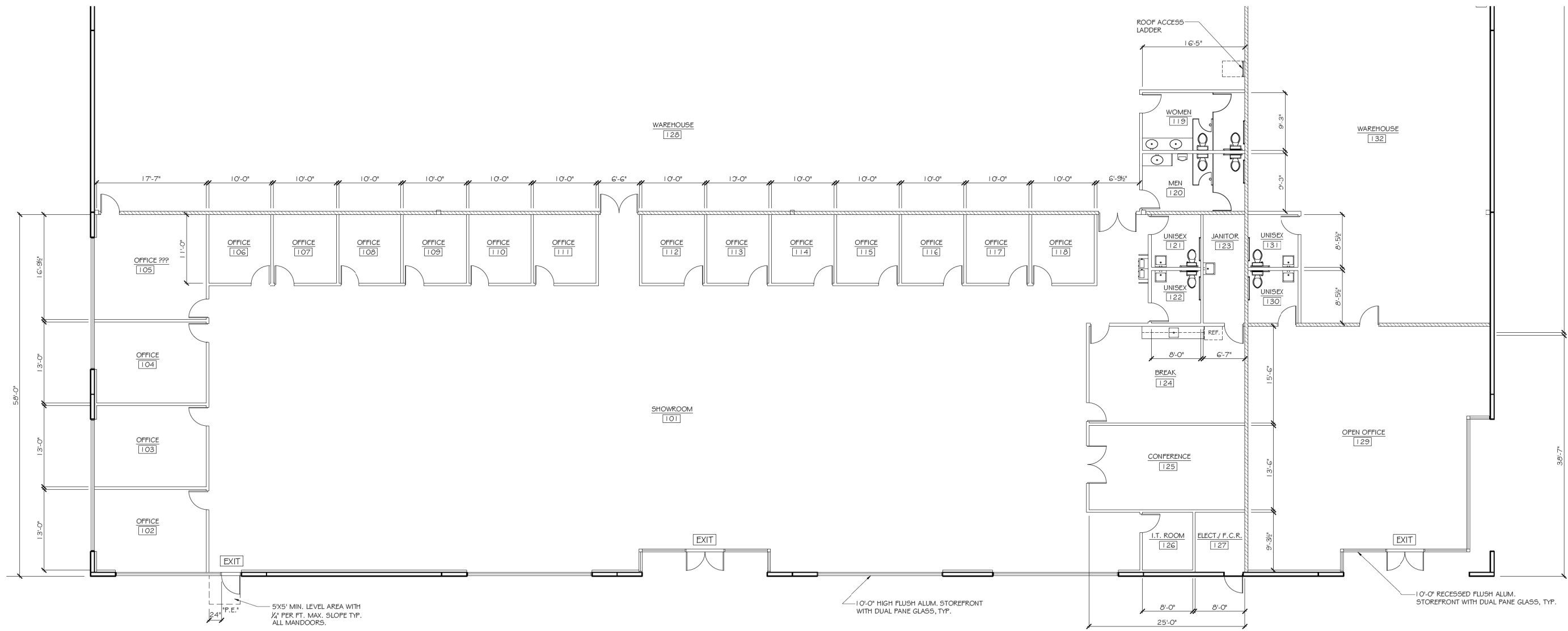
REVISIONS	BY

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 3417 Arden Way Sacramento, CA 95825 (916) 488-8380

OFFICE / SHOWROOM FLOOR PLAN

PROPOSED BUILDING
 4001 ALVIS COURT
 ROCKLIN, CALIFORNIA

Date 11-5-24
 Scale AS NOTED
 Drawn R. J.
 Job 24-15-W117
 Sheet **A3**



FLOOR PLAN

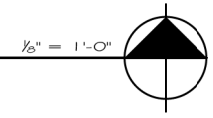
WALL LEGEND

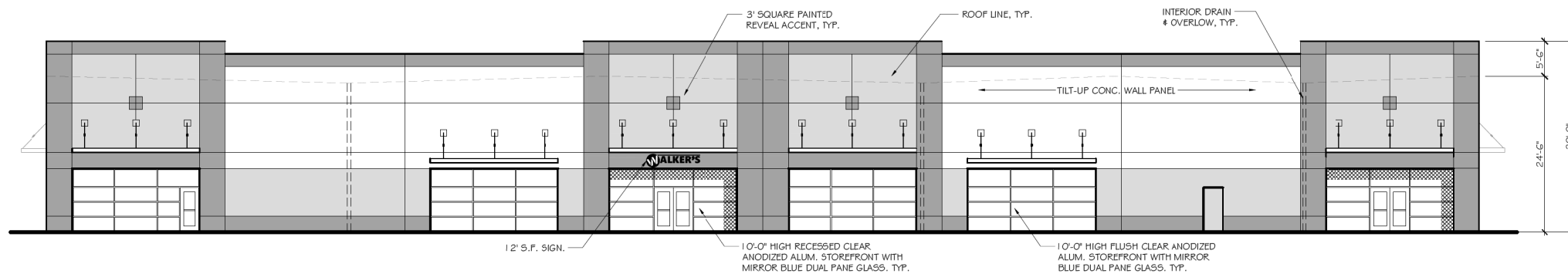
- NEW INTERIOR PARTITION
- NEW FULL HEIGHT INTERIOR PARTITION

24" P.E.
 5X5' MIN. LEVEL AREA WITH 1/4" PER FT. MAX. SLOPE TYP. ALL MANDOORS.

10'-0" HIGH FLUSH ALUM. STOREFRONT WITH DUAL PANE GLASS, TYP.

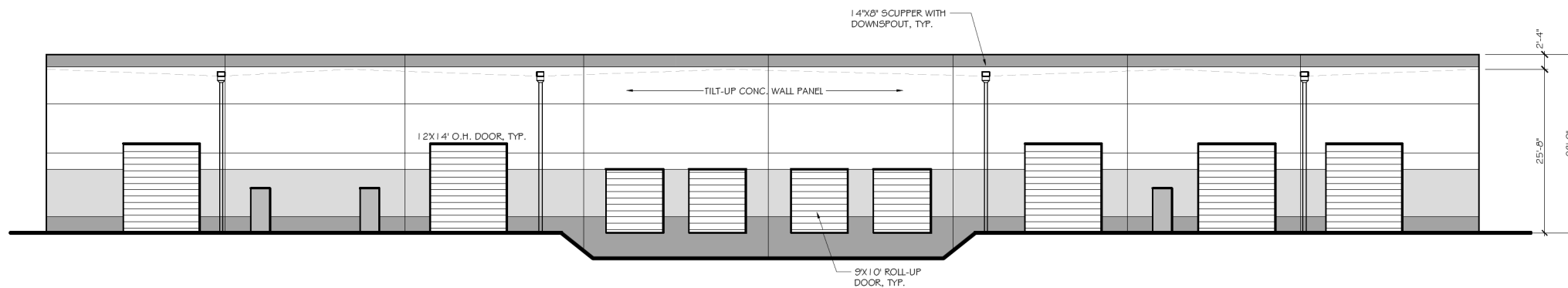
10'-0" RECESSED FLUSH ALUM. STOREFRONT WITH DUAL PANE GLASS, TYP.





SOUTH ELEVATION

$\frac{3}{32}'' = 1'-0''$

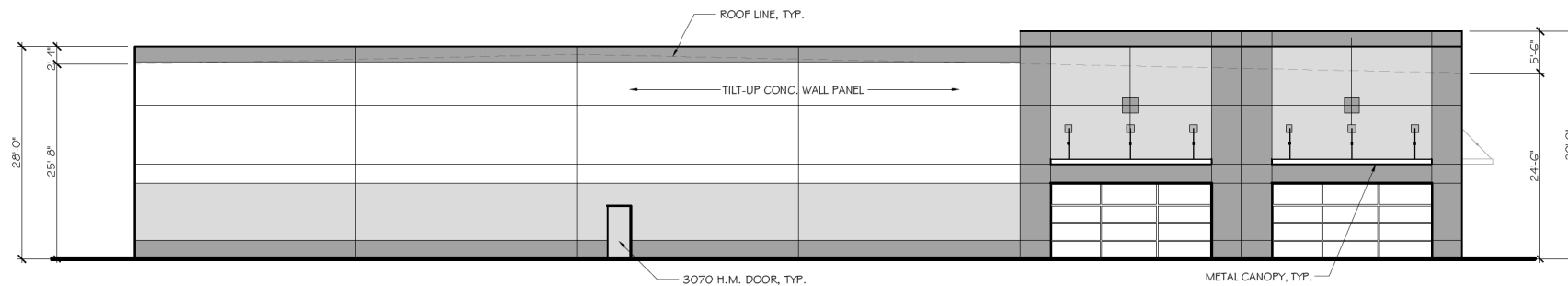


NORTH ELEVATION

$\frac{3}{32}'' = 1'-0''$

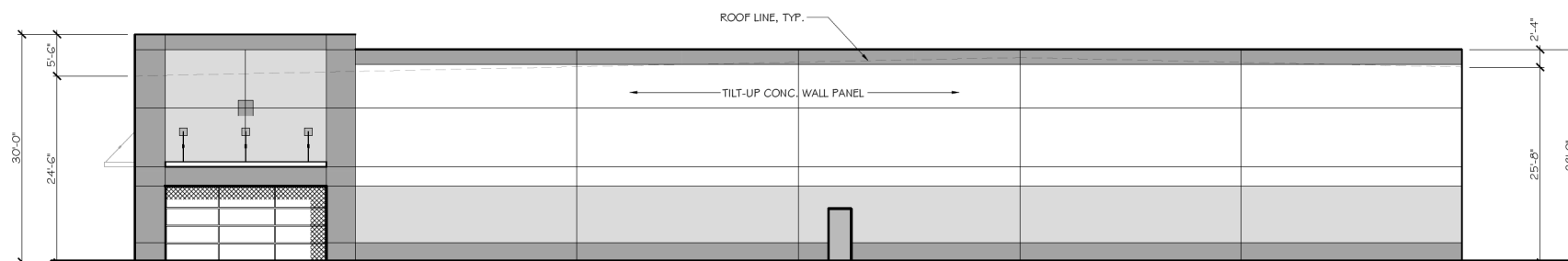
COLOR LEGEND

- GLIDDEN PROFESSIONAL A1858 - WOOD SMOKE
- GLIDDEN PROFESSIONAL A1781 - WAYSIDE INN
- GLIDDEN PROFESSIONAL A1832 - MANSARD STONE



WEST ELEVATION

$\frac{3}{32}'' = 1'-0''$



EAST ELEVATION

$\frac{3}{32}'' = 1'-0''$

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ELEVATIONS

PROPOSED BUILDING

4001 ALVIS COURT
ROCKLIN, CALIFORNIA

Date	11-5-24
Scale	AS NOTED
Drawn	R. J.
Job	24-15-W117
Sheet	A4

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COLOR ELEVATIONS
& MATERIALS BOARD

PROPOSED BUILDING
 4001 ALVIS COURT
 ROCKLIN, CALIFORNIA

Date 11-5-24
 Scale AS NOTED
 Drawn R. J.
 Job 24-15-W117
 Sheet
A5



10'-0" HIGH CLEAR ANODIZED ALUM. STOREFRONT WITH MIRROR BLUE DUAL PANE GLASS.

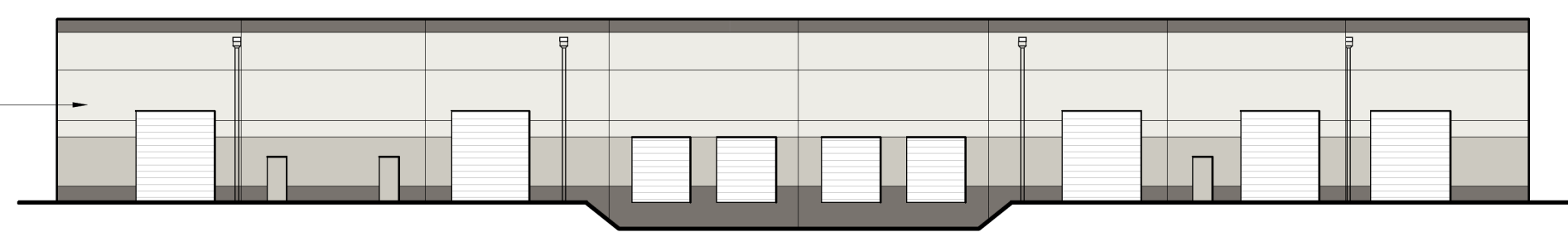


SOUTH ELEVATION

3/32" = 1'-0"



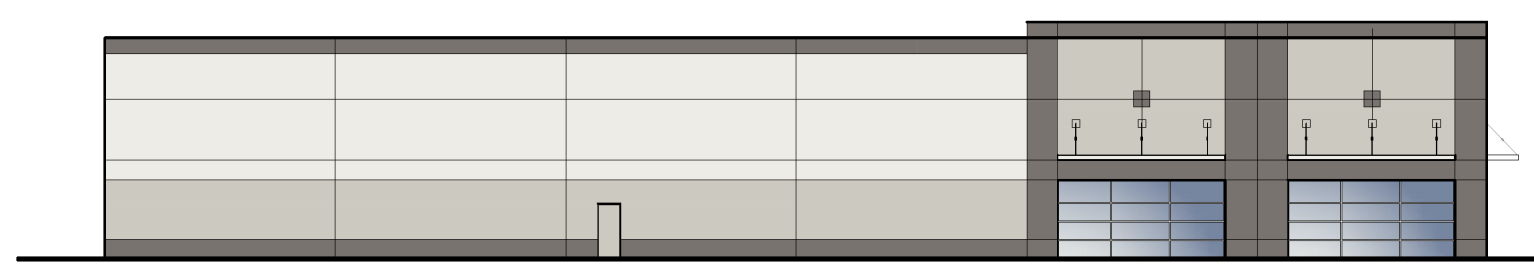
TILT-UP CONCRETE WALL PANEL SEE COLOR LEGEND FOR PAINT COLOR.



NORTH ELEVATION

3/32" = 1'-0"

- COLOR LEGEND**
- SHERWIN-WILLIAMS EXTRA WHITE (SW7006)
 - SHERWIN-WILLIAMS REPOSE GRAY (SW7015)
 - SHERWIN-WILLIAMS GAUNTLET GRAY (SW7019)

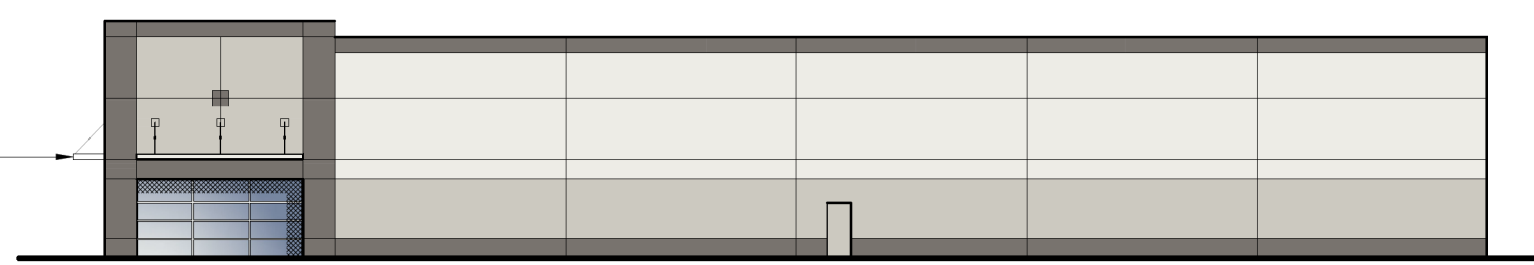


WEST ELEVATION

3/32" = 1'-0"

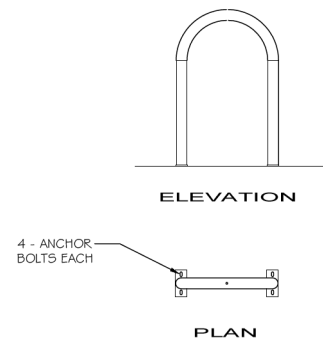


METAL CANOPY: PAINT SHERWIN-WILLIAMS EXTRA WHITE (SW7006)



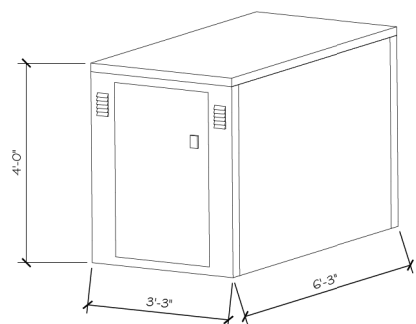
EAST ELEVATION

3/32" = 1'-0"

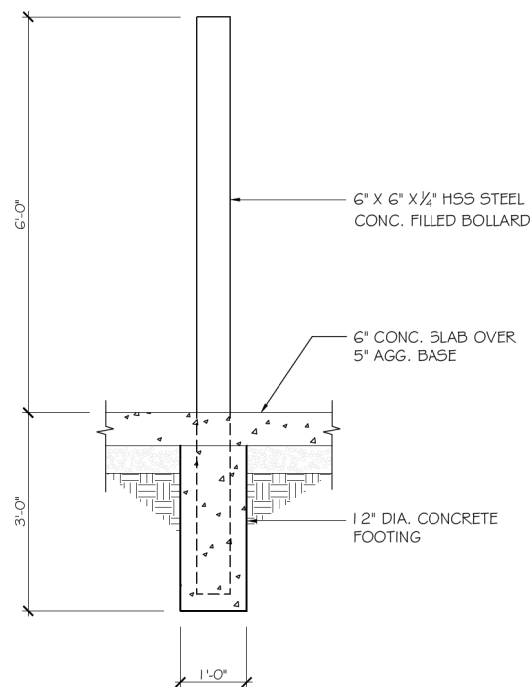


**INVERTED "U" BIKE RACK
DERO HOOP RACK OR EQUAL**

WALL SETBACK: FOR HOOPS SET PARALLEL TO THE WALL, A MINIMUM OF 24" SHOULD BE LEFT BETWEEN THE WALL AND THE RACK. 36" IS THE RECOMMENDED SETBACK. FOR HOOPS INSTALLED PERPENDICULAR TO THE WALL, A 28" SETBACK IS THE MINIMUM DISTANCE. 36" IS RECOMMENDED.

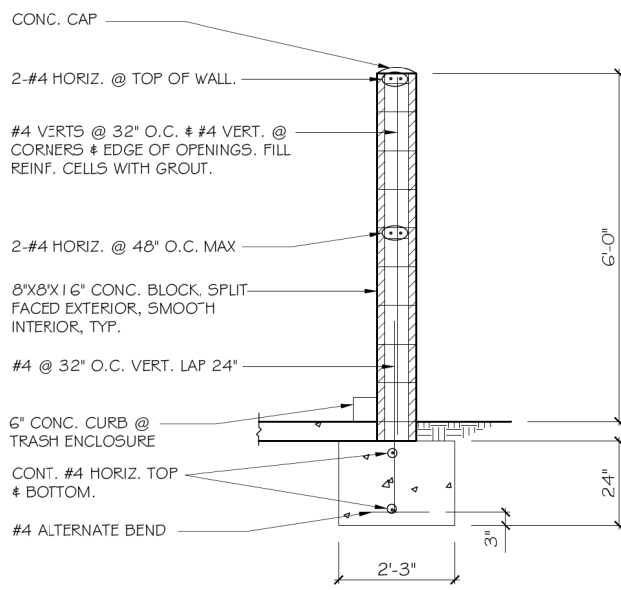


**BIKE LOCKER
DURA BIKE LOCKER MODEL:DL2**



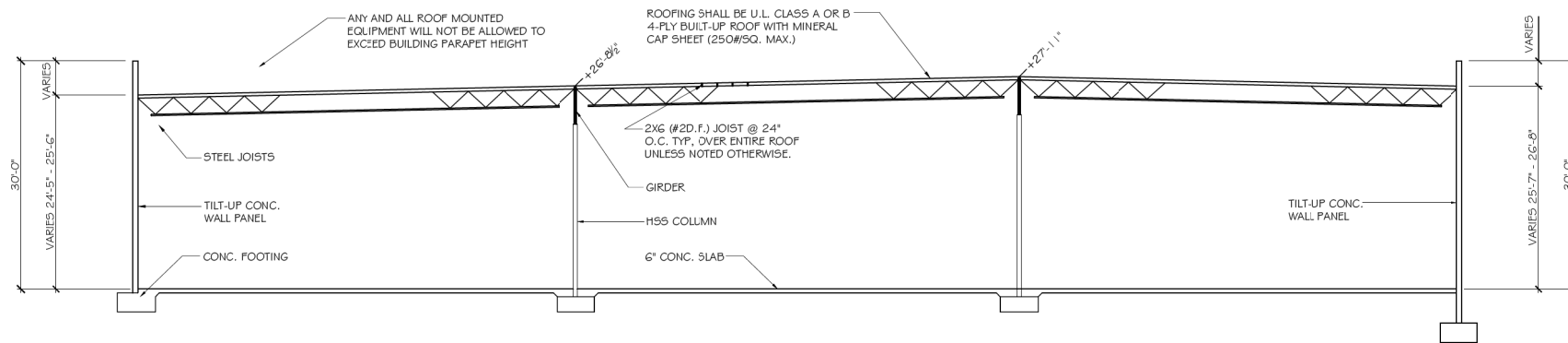
SECTION

3/4" = 1'-0" **B**
A5



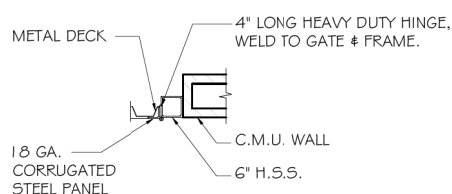
SECTION

N.T.S. **C**
A5

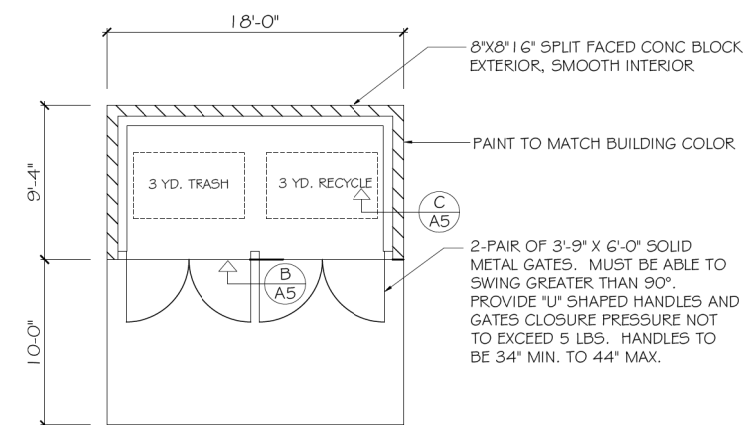


TYPICAL CROSS SECTION

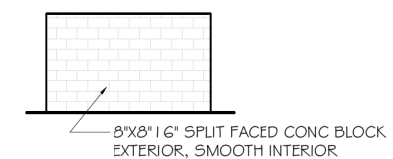
3/8" = 1'-0" **A**
A5



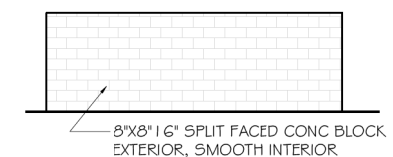
HINGE DETAIL
N.T.S.



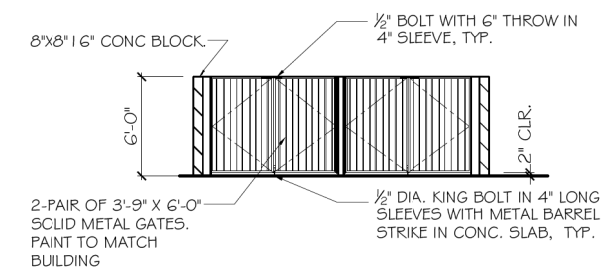
PLAN OF TRASH ENCLOSURE N.T.S.



SIDE ELEVATION N.T.S.



REAR ELEVATION N.T.S.



FRONT ELEVATION N.T.S.

NOTES
ALL GATES SHALL BE OPENABLE FROM THE INSIDE WITHOUT ANY USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

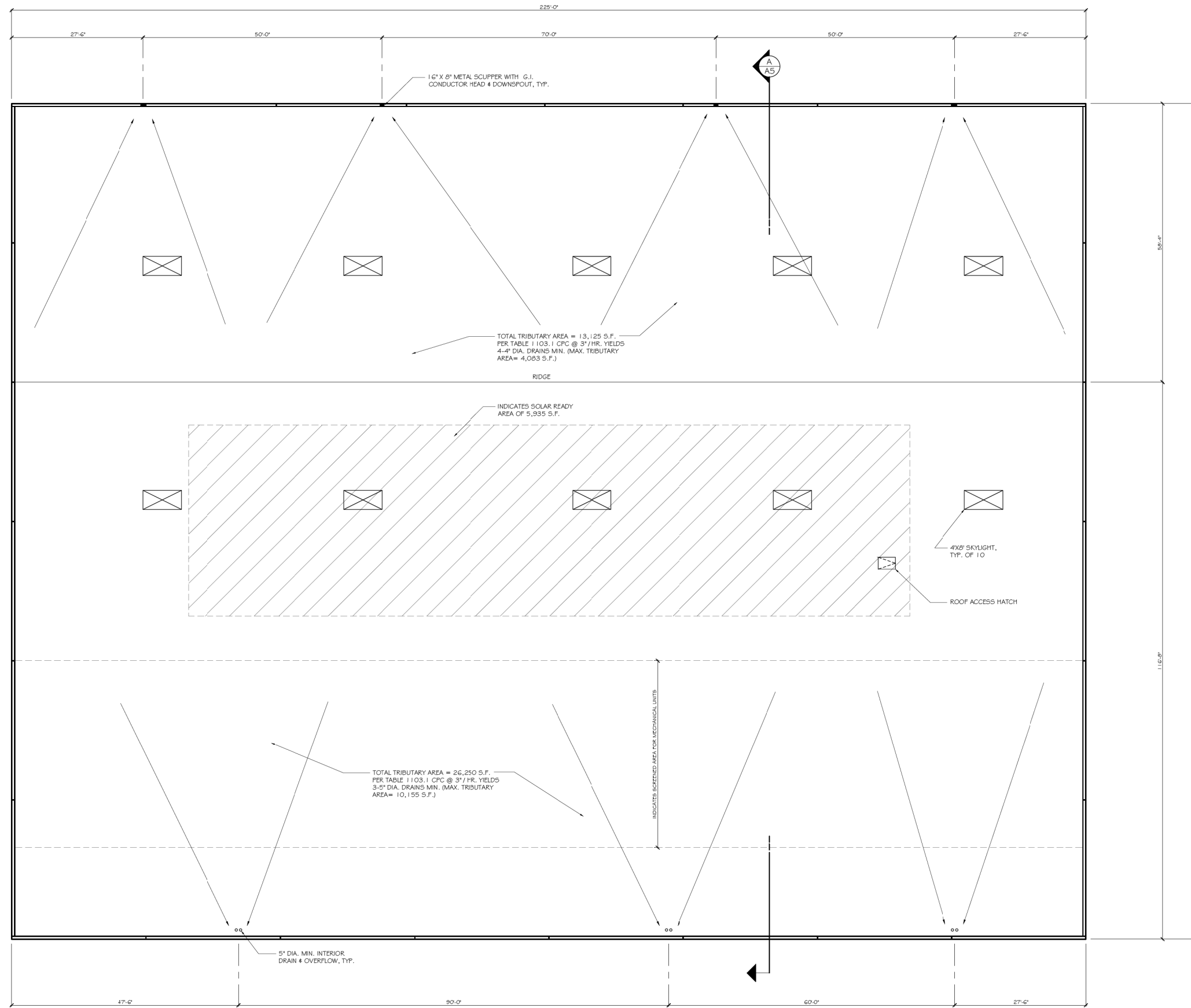
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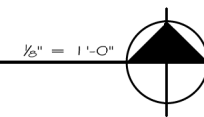
**CROSS SECTION
TRASH ENCLOSURE**

PROPOSED BUILDING
4001 ALVIS COURT
ROCKLIN, CALIFORNIA

Date 11-5-24
Scale AS NOTED
Drawn R.J.
Job 24-15-W117
Sheet **A5**



ROOF PLAN



REVISIONS	BY

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ROOF PLAN

PROPOSED BUILDING
 4001 ALVIS COURT
 ROCKLIN, CALIFORNIA

Date	11-5-24
Scale	AS NOTED
Drawn	R.J.
Job	24-15-W117
Sheet	A6

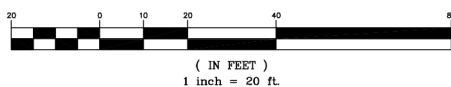
ABBREVIATIONS

- AC Asphaltic Concrete
- APN Assessor's Parcel Number
- BW Back of Walk
- C&G Curb and Gutter
- CF Curb Face
- Ch Chord
- C1 Curb Inlet
- CIP Capped Iron Pipe
- CL Center Line
- Conc Concrete
- DI Drop Inlet
- DS Downspout
- Elev Elevation
- EP Edge of Pavement
- Ex Existing
- Fd Found
- FF Finish Floor
- FG Finish Grade
- FL Fine Hydrant
- FL Flowline
- FS Finish Surface
- Ft Foot, Feet
- Gr Grate
- HP High Point
- Ht Height
- MH Manhole
- Mtr Meter
- P Property Line
- PUE Public Utility Easement
- R, Rad Radial, Radius
- RCE Registered Civil Engineer
- RD Roof Drain
- Ret Retaining, Retained
- ROW Right of Way
- RW Retaining Wall
- SD Storm Drain
- Sf Square Feet
- SS Sanitary Sewer
- TC Top of Curb
- TF Top of Footing
- TW Top of Wall
- Vlt Vault
- W, Wtr Water
- Wd Wood
- WI Wrought Iron
- WV Water Valve

SYMBOL & LINE LEGEND

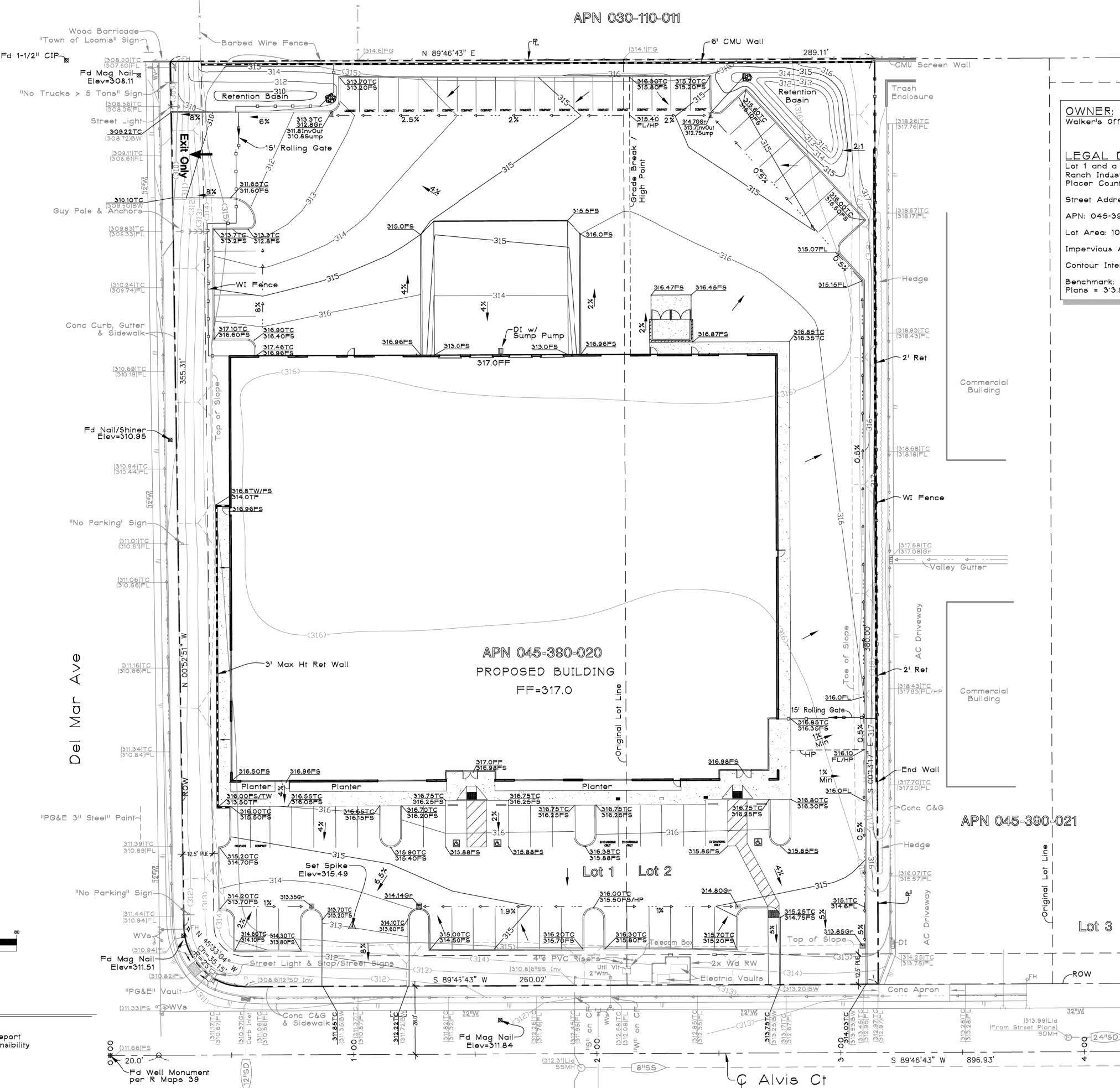
- Fire Hydrant
- Street Light
- Monument found as noted
- Power Pole
- Survey Control Point
- Tree
- Pr DI w/ Flag and Fossil Filter
- Property Line
- Centerline
- Edge of Pavement
- Flow Line
- SD, SS Pipe size/direction
- Ex Spot Elevation
- Pr Spot Elevation
- Ex Contour w/ Elevation
- Pr Contour w/ Elevation

GRAPHIC SCALE



GRADING PLAN

Boundary info from Record Data
 This survey has been prepared without use of a Title Report unless referenced herein. Greg Cook assumes no responsibility for any easements which may affect this property.



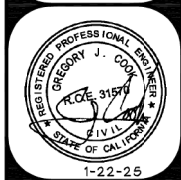
OWNER:
 Walker's Office Supplies, Inc

LEGAL DESCRIPTION:
 Lot 1 and a portion of Lot 2, Rocklin Ranch Industrial Park No. 2 (R Maps 39), Placer County, CA

Street Address: 4011 Alvis Court
 APN: 045-390-020
 Lot Area: 108,900sf : 2.500± Acres
 Impervious Area: 92,466sf : 2.123± Acres
 Contour Interval: 1 foot
 Benchmark: SDMH Lid from Street Imp Plane = 33.99

Eng. No.	County Approval	By	Date

ENGINEER
GREGORY J. COOK R.C.E.
 P.O. BOX 18442
 SOUTH LAKE TAHOE, CA 96151
 530-544-7774

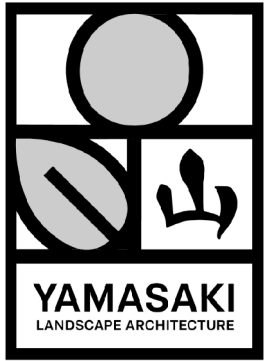


Commercial Building for:
Walker's Office Supplies, Inc
 4011 Alvis Ct
 Rocklin, CA
 APN: 045-390-020

project no. Hal-drawn
 S.A.M.
 date January 22, 2025
 scale 1"=20'

sheet **C1**
 of sheets

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1223 HIGH STREET
AUBURN, CALIFORNIA 95603
530.885.0040
www.yamasaki-la.com

LANDSCAPE DEVELOPMENT PLANS

**WALKER'S
OFFICE SUPPLIES**

4001 ALVIS COURT
ROCKLIN, CA

Client/Subconsultant:

Project Mgr: JMA

Drawn By: JMA

Scale: 1"=20'-0"

Date: 10/10/24

File Name: WO PL

No. Date Revision

△

These drawings are instruments of service and are the property of Yamasaki Landscape Architecture. All designs and other information on the drawings are for the use on the specified project and shall not be used otherwise without the express written permission of Yamasaki Landscape Architecture.

Seal



Sheet Title

PLANTING PLAN

Sheet No

L1.1

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	H X W	WATER USE	
TREES						
	CED DEO	Cedrus deodara / Deodar Cedar	15 gal	50'x30'	LOW	
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	24" box	20'x20'	LOW	
	PIS RED	Pistacia x 'Red Push' / Red Push Pistache	15 gal	35'x30'	LOW	
	PLA COL	Platanus x acerifolia 'Columbia' / Columba London Plane Tree	15 gal	40'x30'	MED	
POTENTIAL SHRUBS						
	CAL DWA	Callistemon viminalis 'Little John' / Dwarf Weeping Bottlebrush	5 gal	4'x4'	LOW	
	CIS PRO	Cistus salviifolius 'Prostratus' / Sageleaf Rockrose	5 gal	2'x5'	LOW	
	GRE NOE	Grevillea x 'Noellii' / Grevillea	5 gal	5'x5'	LOW	
	MAH SOF	Mahonia eurybracteata 'Soft Caress' / Soft Caress Mahonia	5 gal	3'x4'	MED	
	NAN GUL	Nandina domestica 'Gulf Stream' / Heavenly Bamboo	5 gal	2'x2'	LOW	
	RHA EVE	Rhamnus californica 'Eve Case' / California Coffeeberry	5 gal	6'x7'	LOW	
	RHA UMB	Rhaphiolepis umbellata 'Minor' / Gulf Green™ Indian Hawthorn	5 gal	4'x4'	LOW	
POTENTIAL GRASSES						
	MUH CAP	Muhlenbergia capillaris 'Regal Mist' / Munly	1 gal	3'x3'	LOW	
	MUH RIG	Muhlenbergia rigens / Deer Grass	1 gal	4'x4'	LOW	
POTENTIAL VINES						
	FIC PUM	Ficus pumila / Creeping Fig	5 gal	1'x6'	MED	
POTENTIAL GROUND COVERS						
	ACA LOW	Acacia redolens 'Low Boy' / Low Boy Bank Catclaw	1 gal	2'x6'	LOW	72" o.c.
	COT LOW	Cotoneaster dammeri 'Lowfast' / Lowfast Bearberry Cotoneaster	1 gal	1.5'x6'	LOW	60" o.c.
BIOSWALE						
	BIO HYD	Biofiltration Hydroseed / Drought Toleran: Fescue Blend	Hydroseed			

PLANTING NARRATIVE

The proposed landscape plant palette consists of low water use shrubs, groundcover, trees, and ornamental grasses that are considered low maintenance and hardy. Choice of plants is guided by considerations of solar exposure and climate conditions of the site. Plant selection aims for longevity by selecting plants that are long lived varieties of trees, shrubs, groundcover, and grasses.

Shrubs and groundcover are minimum #1 size. Trees are minimum #15 size. Plant materials shall be spaced to provide substantial cover, but also to allow adequate room to mature into their natural form and ultimate size without required pruning.

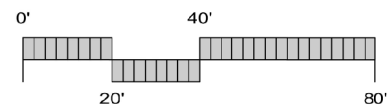
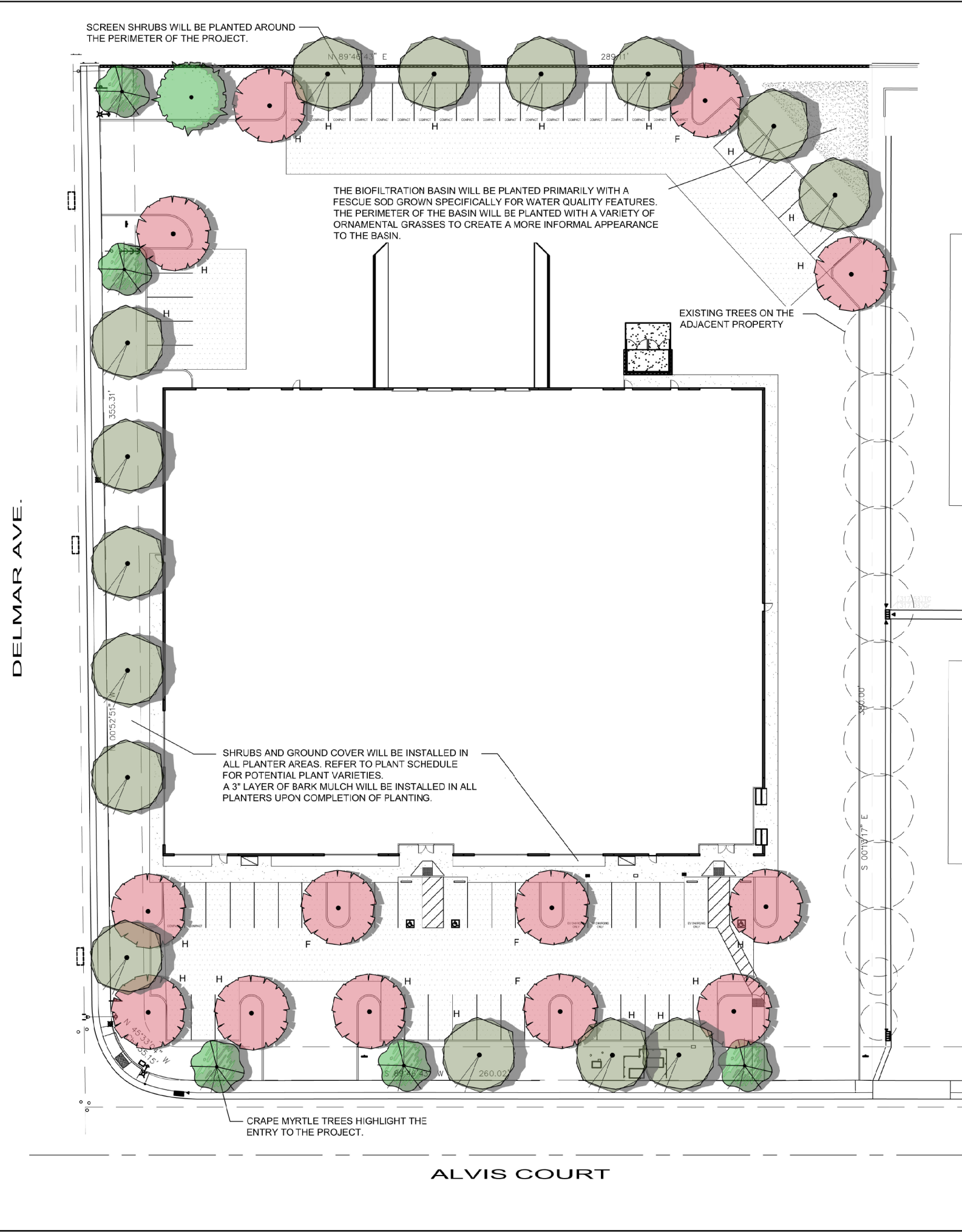
IRRIGATION NARRATIVE

The irrigation system will be serviced by a new point of connection. The irrigation design will consist of low volume inline drip irrigation. Proposed trees shall utilize bubbler irrigation to encourage deep root watering. The overall irrigation system will be designed with a smart irrigation controller. A weather sensor will be used to automatically adjust duration of application in accordance with recent weather conditions based on evapotranspiration. Maximum water allowance will be determined by State code. To also be consistent with the planting design, the irrigation design will create separate irrigation stations by hydrozone, locating plants of different water and solar needs into groups.

PARKING LOT SHADE CALCULATIONS

TREE CODE	SHADE (SF)	QTY	(F)100%	QTY	(TQ)75%	QTY	(H)50%	QTY	(Q)25%
PIS CHI	962	4	3848		0	9	4329		0
PLA COL	962		0		0	10	4810		0

PARKING LOT AREA (SF)	20,710
SHADE REQUIRED (50%)	10,355
SHADE PROVIDED (SF)	12,987
SHADE PROVIDED	63%



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November 19, 2024

**Rocklin Ranch Industrial Park - Architectural Consistency Statement
For: 4001 Alvis Court Proposed Building**

The proposed project is located within the Rocklin Ranch Industrial Park. The statement below provides a detailed architectural consistency statement explaining how the building design aligns with the design guidelines of the Rocklin Ranch Industrial Park.

The proposed project is consistent with the Rocklin Ranch Industrial Park in the following ways:

The site plan is located on a “turf island” with a landscape strip provided where the office portion is located between the parking area. Parking is provided and adequate for on-site maneuvering for emergency and warehouse operations. Parking is also screened by landscaping at the office area with landscaping and change of elevation provided for the truck staging and loading area which is provided at the rear of building, which is in line with guidelines.

The building color scheme features contrasting light and dark gray tones in horizontal and vertical bands and areas, with darker lower and upper bands to provide contrast. These color areas are defined by the use of vertical and horizontal reveal bands to add visual appeal and depth. To break up the monotony of a large industrial building, it is also provided with the articulation at top of the building with varying heights. To create visual character and interest the building surface is provided with metal canopies at the storefront windows. To provide additional depth and staggering of the building plane, some of the storefronts are also recessed from the main body of the building.

Screening of all roof top equipment is provided by a parapet of varying height, continuous around the whole perimeter of the building. The trash enclosure, located in the rear of the building, is designed with decorative split faced block and painted to match the building color.

It can be noted that proposed building has many more building features consistent with the Rocklin Ranch Industrial Park design guidelines than the existing buildings located within the park.