



## New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

**Application Received:** September 25, 2024

**Project Name and Requested Approvals:**

Victory Lane Center

BARRO Zone Design Review (BZ2024-0004)  
Environmental (ENV2024-0014)

**Staff Description of Project:**

The project is a request for a Design Review to construct an approximately 4,700 square foot multi-tenant building and associated site improvements, pursuant to the Business Attraction, Retention, and Revitalization (BARRO) Overlay Zone. The building would include three tenant spaces. One of the tenant spaces would include a drive-thru for a Dunkin' restaurant. A second tenant would be a Baskin Robbins restaurant. The third tenant has not yet been identified, but is anticipated to be a small restaurant or retail business consistent with the zoning, according to the project application.

**Location:**

The project site is approximately 0.7 acres of an approximately 2.5-acre vacant parcel at the northwest corner of Stanford Ranch Road and Victory Lane. The Assessor's Parcel Number (APN) is 017-190-045. The proposed development area is separated by the remainder of the parcel by an existing drive aisle. The site is located within the BARRO Zone, as identified by the Rocklin Municipal Code Zoning Map.

**Land Use Designation(s)/Zoning:**

The property is designated Business Professional/Commercial/Light Industrial (BP/COMM/LI) in the Rocklin General Plan. The property is zoned Planned Development Business Professional / Commercial (PD-BP/C).

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

**Compliance with the California Environmental Quality Act:**

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

**Applicant & Property Owner:**

The applicant is Melvin R. Higginbotham; the owner is Victory Rig LLC.

**Attached Information:**

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

## UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Victory Lane Center

LOCATION: NW Corner of Stanford Ranch Rd & Victory Lane, Rocklin, CA

ASSESSOR'S PARCEL NUMBERS: 017-190-045

DATE OF APPLICATION (STAFF): 9/25/24 RECEIVED BY (STAFF INITIALS): NRA

FILE NUMBERS (STAFF): BZ 2025-0004 FEES: ~~\$15,643.00~~ \$3,971

RECEIPT NO.: R60085

### Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 02.05.2024

### THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

<input type="checkbox"/> General Plan Amendment (GPA) Fee:	<input type="checkbox"/> Tentative Subdivision Map (SD) Fee:	<input type="checkbox"/> Use Permit (U) <input type="checkbox"/> Minor (PC Approval – New Bldg) Fee: <input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee: <input type="checkbox"/> Major (CC Approval) Fee:
<input checked="" type="checkbox"/> BARRO Zone Application (BZ) Fee: <u>\$3,500</u>	<input type="checkbox"/> Tentative Parcel Map (DL) Fee:	<input type="checkbox"/> Variance (V) Fee:
<input type="checkbox"/> Rezone (Reclassification) (Z) Fee:	<input type="checkbox"/> Design Review (DR) <input checked="" type="checkbox"/> Commercial Fee: <u>\$15,171.00</u> <input type="checkbox"/> Residential Fee: <input type="checkbox"/> Signs Fee:	<input type="checkbox"/> Oak Tree Preservation Plan Permit <input type="checkbox"/> Planning Commission Fee: <input type="checkbox"/> City Council Fee:
<input type="checkbox"/> General Development Plan*(PDG) Fee:	<input type="checkbox"/> Concurrent Application (2 or more entitlements) Fee:	<input type="checkbox"/> Modification to Approved Projects Fee: File Number: _____

Environmental Requirements: (STAFF)  Exempt - ~~\$442.00~~ 471  Negative Declaration -  Mitigated Negative Declaration -  EIR - See Fee Schedule

15162 Determination -



**UNIVERSAL APPLICATION FORM (CONT.)**

GENERAL PLAN DESIGNATION:	PROPERTY DATA:		UTILITIES:	
			EXISTING	PROPOSED
Existing: _____	Acres:	2.542 (Net)	<input checked="" type="checkbox"/> _____ Pub. Sewer	<input checked="" type="checkbox"/> _____ Pub. Sewer
Proposed: _____	Square Feet:	110729 (Net)	_____ Septic Sewer	_____ Septic Sewer
<b>ZONING:</b>	Dimensions:	_____	<input checked="" type="checkbox"/> _____ Pub. Water	<input checked="" type="checkbox"/> _____ Pub. Water
Existing: _____	No. of Units:	_____	_____ Well Water	_____ Well Water
Proposed: _____	Building Size:	4673	<input checked="" type="checkbox"/> _____ Electricity	<input checked="" type="checkbox"/> _____ Electricity
	Proposed Parking:	22	<input checked="" type="checkbox"/> _____ Gas	<input checked="" type="checkbox"/> _____ Gas
	Required Parking:	21	<input checked="" type="checkbox"/> _____ Cable	<input checked="" type="checkbox"/> _____ Cable
	Access:	_____		

**PROJECT REQUEST:**

PROJECT DESCRIPTION: CONSTRUCT A 4673 SF MULTI-TENANT BUILDING ON THE CORNER OF STANFORD RANCH ROAD AND VICTORY LANE. THE PARCEL, APN: 017-190-045-000, IS CURRENTLY VACANT AND UNDEVELOPED. IT IS BORDERED BY STANFORD RANCH RD AND VICTORY LANE. AN EXISTING INTERIOR DRIVEWAY DIVIDES THE PROPERTY TO PROVIDE ACCESS TO THE ADJACENT SHOPPING CENTER.

THE PROPOSED BUILDING WOULD INCLUDE THREE TENANT SPACES, ONE WITH A DRIVE-THRU LANE. THE DRIVE-THRU TENANT WOULD BE DUNKIN', THE ADJACENT, MIDDLE TENANT WOULD BE A BASKIN-ROBBINS. THE THIRD TENANT HAS NOT YET BEEN SELECTED, BUT WE WOULD ANTICIPATE IT BEING A SMALL RESTAURANT OR RETAIL BUSINESS. THE REMAINING PORTION OF THE PROPERTY WILL BE DEVELOPED AT A LATER DATE UNDER SEPARATE PERMIT.

*(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)*

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Victory Rig LLC

ADDRESS: 4142 E Commerce Way #100

CITY: Sacramento STATE: Ca ZIP: 95834

PHONE NUMBER: \_\_\_\_\_

EMAIL ADDRESS: cirrusdevelopers@gmail.com

FAX NUMBER: \_\_\_\_\_

SIGNATURE OF OWNER Randeep Chawla Digitally signed by Randeep Chawla  
Date: 2024.08.30 09:18:08 -07'00'

*(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)*

NAME OF APPLICANT  
(If different than owner): Melvin R Higginbotham

CONTACT: Melvin Higginbotham

ADDRESS 11584 Francis Dr

CITY: Grass Valley STATE: CA ZIP: 95949

PHONE NUMBER: 530-263-5899

EMAIL ADDRESS: MelH.Architect@gmail.com

FAX NUMBER: \_\_\_\_\_

SIGNATURE OF APPLICANT MEL HIGGINBOTHAM Digitally signed by MEL HIGGINBOTHAM  
Date: 2024.08.29 16:12:33 -07'00'



AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Victory Lane Center  
Location: NW Corner of Stanford Ranch Rd & Victory Ln  
Assessors Parcel Number(s): 017-190-045  
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):  
BARRO Zone Entitlement Approval

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Name of person and / or firm authorized to represent property owner (Please print):  
Melvin R Higginbotham, Architect

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Address: 11584 Francis Dr  
City: Grass Valley State: CA Zip: 95949  
Phone Number: 530-263-5899 Fax Number: \_\_\_\_\_  
Email Address: MelH.Architect@gmail.com  
The above named person or firm is authorized as:  
Agent () Buyer (\_\_\_\_\_) Lessee (\_\_\_\_\_)

The above named person or firm is authorized to (check all that are applicable):  
() File any and all papers in conjunction with the aforementioned request, including signing the application  
() Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.  
(\_\_\_\_\_) Sign any and all papers in my stead, with the exception of the application form.  
The duration and validity of this authorization shall be:  
(\_\_\_\_\_) Unrestricted () Valid until: \_\_\_\_\_

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Owners Authorization Signature & Date:  
Signature: Randeep Chawla Digitally signed by Randeep Chawla Date: 2024.08.30 09:18:45 -07'00' Date: 08/29/24  
Owners Name (Please Print): Randeep Chawla for Victory Rig LLC  
Owners Address: 4142 E Commerce Way #100  
City: Sacramento State: Ca Zip: 95834  
Phone Number: \_\_\_\_\_  
Email Address: cirrusdevelopers@gmail.com

**NOTIFICATION OF OWNERS OF MINERAL RIGHTS**

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

**See page 24 of this application for instructions on how to submit mailing labels.**

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

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There are X / are not \_\_\_\_\_ (check one) owner(s) of record of preserved mineral rights on the subject property and I, \_\_\_\_\_, the applicant or applicant's representative, have \_\_\_\_\_ / have not \_\_\_\_\_ (check one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

Randeep Chawla Digitally signed by Randeep Chawla  
Date: 2024.08.30 09:19:07 -07'00'  
Signature

08/29/24  
Date

**STATE OF CALIFORNIA  
DEPARTMENT OF FISH AND GAME  
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount *no later than* the day of the final scheduled public hearing for the proposed project.

**PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.**

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

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I, Melvin R Higginbotham, the applicant or applicant's representative, have read the information above and understand its meaning.

MEL  
HIGGINBOTHAM

Signature

Digitally signed by MEL  
HIGGINBOTHAM  
Date: 2024.08.29 16:13:14 -07'00'

8/29/24

Date

**HAZARDOUS WASTE AND SUBSTANCES STATEMENT**

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, \_\_\_\_\_ is,  is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: \_\_\_\_\_ Date of list: \_\_\_\_\_

Type of problem:

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 8/29/2024

Applicant: Melvin Higginbotham

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site: <http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

## MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

**MITIGATION FOR AIR QUALITY IMPACTS (CONT.)**

**MITIGATIONS**

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

**Melvin Higginbotham**

Applicant's Name (printed)

**MEL HIGGINBOTHAM**  
Digitally signed by MEL HIGGINBOTHAM  
Date: 2024.08.29 16:14:54 -07'00'

---

Applicant's Signature

**8/29/24**

Date



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL INFORMATION SHEET (To be completed by applicant)

LOCATION OF PROJECT (ADDRESS) NW Corner of Stanford Ranch Rd & Victory Ln
CITY: Rocklin STATE: CA ZIP:
ASSESSORS PARCEL #: 017-190-045
NAME OF PROJECT: Victory Lane Center
CONTACT/APPLICANT NAME: Melvin R Higginbotham
ADDRESS: 11584 Francis Dr
CITY: Grass Valley STATE: CA ZIP: 95949
PHONE: 530-263-5899 EMAIL: MelH.Architect@gmail.com

Project Description - Describe in detail. Add separate sheet if necessary.

PROJECT DESCRIPTION: CONSTRUCT A 4673 SF MULTI-TENANT BUILDING ON THE CORNER OF STANFORD RANCH ROAD AND VICTORY LANE. THE PARCEL, APN: 017-190-045-000, IS CURRENTLY VACANT AND UNDEVELOPED. IT IS BORDERED BY STANFORD RANCH RD AND VICTORY LANE. AN EXISTING INTERIOR DRIVEWAY DIVIDES THE PROPERTY TO PROVIDE ACCESS TO THE ADJACENT SHOPPING CENTER. THE PROPOSED BUILDING WOULD INCLUDE THREE TENANT SPACES, ONE WITH A DRIVE-THRU LANE. THE DRIVE-THRU TENANT WOULD BE DUNKIN', THE ADJACENT, MIDDLE TENANT WOULD BE A BASKIN-ROBBINS. THE THIRD TENANT HAS NOT YET BEEN SELECTED, BUT WE WOULD ANTICIPATE IT BEING A SMALL RESTAURANT OR RETAIL BUSINESS. THE REMAINING PORTION OF THE PROPERTY WILL BE DEVELOPED AT A LATER DATE UNDER SEPARATE PERMIT.



Table with 2 columns: Property size (Square Feet, Acres) and Land Use (Existing, Proposed). Values: 110729 (Net) Square Feet, 2.542 (Net) Acres, Vacant Existing, Restaurant Proposed.

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification:

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible:

OTHER REQUIRED PERMITS OR APPROVALS:

Table with 3 columns: Permit or Approval Agency, Address, Contact Person/Phone. Two empty rows for data entry.

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more:

Vacant

**SITE CHARACTERISTICS**

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?  
None
  
2. What are the surrounding land uses?  
East High School West Retail North High School South Vacant Land
  
3. Is the project proposed on land which contains fill or a slope of 10% or more? No
  
4. Are there any existing erosion problems? No
  
5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? No  
If so, describe in detail, or refer to attached soils report.
  
  
6. Grading, excavating or filling activities - Quantity of cubic yards to be:
  - a. Moved within the site: TBD
  - b. Deposited on the site: TBD
  - c. Removed from the site: TBD
  - d. Disposal site: TBD
  
7. Are there any streams or permanent water courses on the site? No  
Describe: \_\_\_\_\_
  
8. Will the proposed project change drainage patterns or the quality of groundwater? No  
If so explain. If not, why not: \_\_\_\_\_
  
9. Will the project affect any drainage channel, creek, pond or any other water body? No  
Describe below: \_\_\_\_\_
  
10. Is any portion of the property located in a flood plain? No  
If so describe: \_\_\_\_\_



11. Are there any jurisdictional wetlands or vernal pools on the site? No  
If so how will they be impacted by the project? \_\_\_\_\_
12. Are there any trees or shrubs on the project site? Yes, shrubs  
What types? Unknown  
Are any to be removed or transplanted? Yes  
State the location of transplant site: N/A  
State the number & species to be removed: Unknown, TBD
13. Will the project affect the habitat of any endangered, threatened, or other special status species?  
Unknown, TBD
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source?  
Yes, there will be a drive-thru lane.
15. What type of equipment will be associated with the project during construction?  
Grading and Construction  
  
During permanent operation?  
None
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.  
Grading and construction activities
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? No  
If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: \_\_\_\_\_
18. Will the project create any new light source, other than street lighting? Yes. Building signage and parking lot lights  
If yes, describe below: \_\_\_\_\_
19. Is this property covered by a Williamson Act contract? No
20. Has this property ever been used for agricultural purposes? No  
If so, for what purpose and when? \_\_\_\_\_
21. Does the project involve the use of routine transport or disposal of hazardous materials? No
22. Are there any known mineral resources of value to the region and the residents of the state located on the site?  
If so, what types? No
23. How close is the nearest school? Across the street

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 4673

Building height measured from ground to highest point in feet: 35

Number of floors/stories: 1

Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: N/A

Project site coverage: Building 4673 sq.ft. 4.22 %

Landscaping 7934 sq.ft. 7.17 %

Paving 15603 sq.ft. 14.09 %

Exterior building materials: Stucco

Exterior building colors: Refer to color elevations and color perspective renderings

Wall and/or fencing material: Stone

Total number of off-street parking spaces required: 21 Provided: 22

Total number of bicycle parking spaces: 3

25. Is there any exposed mechanical equipment associated with the project? No

Location and screening method:

26. RESIDENTIAL PROJECTS

Total lots N/A Total dwelling units \_\_\_\_\_  
 Density/acre \_\_\_\_\_ Total acreage \_\_\_\_\_

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Restaurant

Oriented to: Regional X City X Neighborhood X

Hours of operation: 5:00 am to 12:00 am

Total occupancy/Building capacity: TBD

Gross floor area: 4673 Number of fixed seats: TBD

Number of employees (total): TBD Employees per shift: TBD Number of Shifts: TBD

Number of visitors/customers on site at busiest time (best estimate): TBD

Other occupants (specify): TBD

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? TBD
29. Will the proposed use involve any toxic or hazardous material? No  
Is the project site within 2,000 feet of an identified hazardous/toxic site? No  
Is the project site within 2,000 feet of a school or hospital? Yes  
If the project involves any hazardous material, explain:
30. How many new residents is the project estimated to generate? N/A
31. Will the project generate a demand for additional housing? No
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project?  
Current: 0 Estimated: TBD
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? TBD  
If yes, explain:
34. How close is the project to the nearest public park or recreation area? TBD
35. What school districts will be affected by this project? TBD
36. Describe energy-efficient features included in the project  
TBD
37. Describe how the following services or utilities will be provided:  
Power and Natural Gas: Utility Company  
Telephone: Phone Company  
Water: City  
Sewer: City  
Storm Drainage: City  
Solid Waste: Trash Company
38. Will the project block any vista or view currently enjoyed by the public? No
39. Are there any known historic or significant building features on or near the site? No  
If so, will the project result in any impact to the building?
40. Are there any archaeological features on the site? No  
If so, will the project result in any impact to these features?



**INDEX OF DRAWINGS**

- COVER SHEETS:**  
 CVR-1.0 COVER SHEET  
 CVR-2.0 COLOR PERSPECTIVE RENDERING - SE  
 CVR-2.1 COLOR PERSPECTIVE RENDERING - NE
- CIVIL:**  
 C-10 PRELIMINARY GRADING & DRAINAGE PLAN  
 C-20 PRELIMINARY UTILITY PLAN
- LANDSCAPE:**  
 L1 LANDSCAPE PLAN  
 L1a LANDSCAPE PLAN (RENDERED)
- ARCHITECTURAL:**  
 SP-1.0 ARCHITECTURAL SITE PLAN  
 SD-10 ARCHITECTURAL SITE DETAILS, TRASH ENCLOSURE AND BIKE RACK
- A-10 FLOOR PLAN - OVERALL-DIMENSIONED**  
 A-11 FLOOR PLAN - BASKIN & ROBBINS SUITE  
 A-12 FLOOR PLAN - DUNKIN SUITE
- A-4.0 ROOF PLAN**  
 A-5.0 EXTERIOR ELEVATIONS - NORTH & EAST  
 A-5.0a EXTERIOR ELEVATIONS COLOR - NORTH & EAST  
 A-5.1 EXTERIOR ELEVATIONS - SOUTH & WEST  
 A-5.1a EXTERIOR ELEVATIONS COLOR - SOUTH & WEST

**ABBREVIATION INDEX**

&	AND	FT.	FOOT	Q.T.	QUARRY TILE
@	AT	FURN.	FURNITURE	QTY.	QUANTITY
A/C	AIR CONDITIONING	GA.	GAUGE	R.A.	RADIUS
A.D.	AREA DRAIN	GALV.	GALVANIZED	RAD.	RADIUS
A.F.F.	ABOVE FINISH FLOOR	GYP. BD.	GYP. BOARD	REF.	REFRIGERATOR
ALUM.	ALUMINUM	HDWD.	HARDWOOD	REINF.	REINFORCING
ALT.	ALTERNATE	HDR.	HEADER	REV.	REVISION
APPROX.	APPROXIMATE	H.D.	HUB DRAIN	REQ'D	REQUIRED
BD.	BOARD	H.M.	HOLLOW METAL	RESIL.	RESILIENT
BLDG.	BUILDING	HORIZ.	HORIZONTAL	RCOM	RCOM
BM.	BEAM	HGT.	HEIGHT	R.O.	ROUGH OPENING
BSMT.	BASEMENT	I.D.	INSIDE DIAMETER	SCHED.	SCHEDULE
BTWN.	BETWEEN	INSUL.	INSULATION	SEC.	SECTION
BOT.	BOTTOM	INT.	INTERIOR	S.F.	SQUARE FOOT
C.L.	CENTER LINE	JT.	JOINT	SHT.	SHEET
C.T.	CERAMIC TILE	KIT.	KITCHEN	SIM.	SIMILAR
CLG.	CEILING	LAM.	LAMINATE	SPEC.	SPECIFICATION
CLOS.	CLOSET	LAV.	LAVATORY	SQ.	SQUARE
CM	CONSTRUCTION MGR.	LT.	LIGHT	S.S.	STAINLESS STEEL
CMU	CCNC. MASONRY UNIT	MAS.	MASONRY	STD.	STANDARD
COL	COLUMN	MAX.	MAXIMUM	STL.	STEEL
COMBO	DUNKIN/BASKIN TOGO'S/BASKIN TOGO'S/BASKIN TOGO'S/BASKIN TOGO'S	MECH.	MECHANICAL	STRUCT.	STRUCTURAL
		MTL.	METAL	SUSP.	SUSPENDED
		MFR.	MANUFACTURER	TEL.	TELEPHONE
CONC.	CCONCRETE	MIN.	MINIMUM	THK.	THICK
CONT.	CONTINUOUS	MISC.	MISCELLANEOUS	THRU	THROUGH
CONST.	CCONSTRUCTION	M.O.	MASONRY OPENING	T.O.P.	TOP OF PLATE
C.S.	CCONSTRUCTION SPECIFICATIONS	MTD.	MOUNTED	T.O.S.	TOP OF STEEL
		N.I.C.	NOT IN CONTRACT	T.O.SL.	TOP OF SLAB
D.B.I.	DUNKIN BRANDS INC.	NO.	NUMBER	TRT.	TREATED
DEPT.	DEPARTMENT	NOM.	NOMINAL	TYP.	TYPICAL
DTL.	DETAIL	N.T.S.	NOT TO SCALE	U.N.O.	UNLESS NOTED OTHERWISE
D.F.	DRINKING FOUNTAIN	O.A.	OVERALL	V.C.B.	VINYL COMPOSITION BASE
DIA.	DIAMETER	O.C.	ON CENTER	V.C.T.	VINYL COMPOSITION TILE
DIM.	DIMENSION	O.D.	OUTSIDE DIAMETER	VERT.	VERTICAL
DISP.	DISPENSER	OPNG.	OPENING	V.I.F.	VERIFY IN FIELD
DN.	DCWN	OPT.	OPTIONAL	V.W.C.	VINYL WALL COVERING
DR.	DCOR	O.S.B.	ORIENTED STRAND BOARD	W	WITH
D.S.	DCWN SPOUT	PL.	PLATE	W.C.	WATER CLOSET
DWG.	DRAWING	P.LAM.	PLASTIC LAMINATE	WD.	WOOD
EA.	EACH	PLUMB.	PLUMBING	W/O	WITHOUT
EL.	ELEVATION	PLYWD.	PLYWOOD	WP.	WATERPROOFING
ELEC.	ELECTRICAL	PR.	PAIR	WT.	WEIGHT
EQ.	EQUAL	PROP.	PROPERTY	WWM.	WELDED WIRE MESH
EQUIP.	EQUIPMENT	P.S.F.	PER SQUARE FOOT		
EXIST.	EXISTING	P.S.I.	PER SQUARE INCH		
EXT.	EXTERIOR	PTD.	PAINTED		
F.D.	FLOOR DRAIN	P.V.C.	POLY VINYL CHLORIDE		
FIN.	FINISH				
FL.	FLOOR				
F.O.	FACE OF				
FRP	FIBERGLASS REINFORCED PANELS				

**PROJECT DIRECTORY**

**OWNER:**  
 GURTEJ GILL  
 (650) 274-2344  
 GILLGURTEJ@YAHOO.COM

**ARCHITECT:**  
 M. HIGGINBOTHAM, ARCHITECT  
 MELVIN R. HIGGINBOTHAM  
 11584 FRANCIS DRIVE  
 GRASS VALLEY, CA 95959  
 530.263.5899  
 MelH.Architect@gmail.com

**CIVIL ENGINEER:**  
 UBORA ENGINEERING & PLANNING, INC.  
 DAVID B. BERRY, P.E.  
 3741 DOUGLAS BLVD., SUITE 385  
 ROSEVILLE, CA 95661  
 916.780.2500, EXT. 208  
 DAVE@UBORAINC.COM

**LANDSCAPE ARCHITECT:**  
 ROD SCACALOSI  
 PO BOX 2083  
 PETALUMA, CA 94952  
 707.280.8990  
 ROD@OLIVESTREETLANDSCAPE.COM

**PROJECT DATA**

**PROJECT NAME:** VICTORY LANE CENTER  
**PROJECT ADDRESS:** NW CORNER OF STANFORD RANCH RD & VICTORY LANE, LOT 28

**PROPERTY:**  
 APN: 017-190-045  
 ACREAGE: 3.28 +/- ACRES

**ZONING:** PLANNED DEVELOPMENT - BUSINESS PROFESSIONAL/COMMERCIAL (PD-BP/C)

**PROJECT DESCRIPTION:** CONSTRUCT A 4673 SF MULTI-TENANT BUILDING ON THE CORNER OF STANFORD RANCH ROAD AND VICTORY LANE. THE PARCEL APN: 017-190-045-000, IS CURRENTLY VACANT AND UNDEVELOPED. IT IS BORDERED BY STANFORD RANCH RD AND VICTORY LANE. AN EXISTING INTERIOR DRIVEWAY DIVIDES THE PROPERTY TO PROVIDE ACCESS TO THE ADJACENT SHOPPING CENTER. THE PROPOSED BUILDING WOULD INCLUDE THREE TENANT SPACES, ONE WITH A DRIVE-THRU LANE. THE DRIVE-THRU TENANT WOULD BE DUNKIN', THE ADJACENT, MIDDLE TENANT WOULD BE A BASKIN-ROBBINS. THE THIRD TENANT HAS NOT YET BEEN SELECTED, BUT WE WOULD ANTICIPATE IT BEING A SMALL RESTAURANT OR RETAIL BUSINESS. THE REMAINING PORTION OF THE PROPERTY WILL BE DEVELOPED AT A LATER DATE UNDER SEPARATE PERMIT.

**SQUARE FOOTAGE BREAKDOWN:**

MAIN BUILDING	4,673 S.F.
SUITE 2 - DUNKIN DRIVE-THRU	2,145 S.F.
SUITE 2 - BASKIN-ROBBINS	1,369 S.F.
SUITE 3 - (TBD)	1,063 S.F.
ELECTRICAL ROOM	96 S.F.

**SCOPE OF WORK**

NEW CONSTRUCTION OF 7,205 SQUARE FOOT MULTI USE BUILDING INCLUDING A C-STORE, AND DRIVE-THRU QSR, A BUILDING PAD FOR A FUTURE BUILDING EXPANSION, A FJEL CANOPY AND A PAD FOR A FUTURE CAR WASH. WORK TO ALSO INCLUDE SITE DEVELOPMENT AND LANDSCAPING.

**SEPERATE PERMITS**

1. FOOD FACILITIES THAT PREPARE, HANDLE, OR SERVE NON-PREPACKAGED POTENTIALLY HAZARDOUS FOOD SHALL HAVE AN OWNER OR EMPLOYEE WHO HAS SUCCESSFULLY PASSED AN APPROVED AND ACCREDITED FOOD SAFETY CERTIFICATION EXAMINATION, WITHIN 60 DAYS. PLEASE OBTAIN A VALID FOOD MANAGER CERTIFICATION. IF AN OWNER OR EMPLOYEE IS ALREADY IN POSSESSION OF A VALID FOOD MANAGER CERTIFICATION, PLEASE PROVIDE A COPY OF THE CERTIFICATION TO EL DORADO COUNTY ENVIRONMENTAL MANAGEMENT DEPARTMENT FOR REVIEW.

**DEFERRED SUBMITTALS**

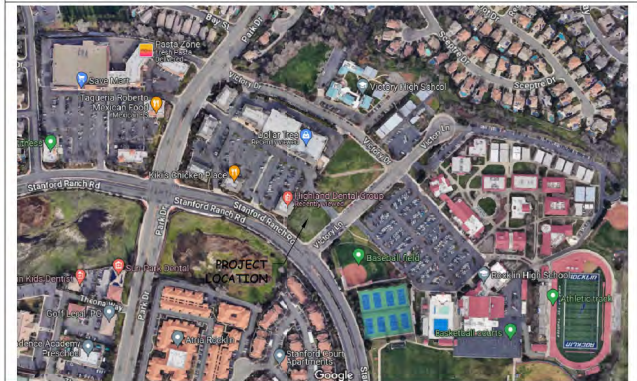
**CONDITIONS**

1. FOOD FACILITIES THAT PREPARE, HANDLE, OR SERVE NON-PREPACKAGED POTENTIALLY HAZARDOUS FOOD SHALL HAVE AN OWNER OR EMPLOYEE WHO HAS SUCCESSFULLY PASSED AN APPROVED AND ACCREDITED FOOD SAFETY CERTIFICATION EXAMINATION, WITHIN 60 DAYS. PLEASE OBTAIN A VALID FOOD MANAGER CERTIFICATION. IF AN OWNER OR EMPLOYEE IS ALREADY IN POSSESSION OF A VALID FOOD MANAGER CERTIFICATION, PLEASE PROVIDE A COPY OF THE CERTIFICATION TO EL DORADO COUNTY ENVIRONMENTAL MANAGEMENT DEPARTMENT FOR REVIEW.

**PROPOSED DEVELOPMENT**



**VICINITY MAP**



**DESIGN CODES**

ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA CODE OF REGULATIONS, TITLE-24, CALIFORNIA BUILDING STANDARDS COMMISSION (CBCS) - PARTS 1 THRU PART 12

A. PART 1 - CALIFORNIA ADMINISTRATIVE CODE  
 B. PART 2, VOLUME 1 OF 2 - CALIFORNIA BUILDING CODE (CBC)  
 C. PART 2, VOLUME 2 OF 2 - CALIFORNIA BUILDING CODE (CBC)  
 D. PART 3 - CALIFORNIA ELECTRICAL CODE (CEC)  
 E. PART 4 - CALIFORNIA MECHANICAL CODE (CMC)  
 F. PART 5 - CALIFORNIA PLUMBING CODE (CPC)  
 G. PART 6 - CALIFORNIA ENERGY CODE  
 H. PART 9 - 2016 CALIFORNIA FIRE CODE  
 I. PART 10 - CALIFORNIA CODE FOR BUILDING CONSERVATION  
 J. PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE  
 K. PART 12 - CALIFORNIA REFERENCED STANDARDS CODE (CALGreen)

ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE CALIFORNIA CODE OF REGULATIONS (CCR), OFFICE OF ADMINISTRATIVE LAW.

A. TITLE 19 C.C.R., PUBLIC SAFETY  
 B. TITLE 24 C.C.R., BUILDING STANDARDS CODE

ALL WORK SHALL COMPLY WITH THE CURRENT FOLLOWING AUTHORITIES AND THEIR STANDARDS:

A. BUILDING & SAFETY DIVISION  
 B. PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT  
 C. PUBLIC WORKS DEPARTMENT  
 D. FIRE DEPARTMENT  
 E. AMERICANS WITH DISABILITIES ACT - (ADA)

M. HIGGINBOTHAM ARCHITECT  
 LICENSE NO. C-36401

**MA**  
 DESIGN SERVICES  
 11584 FRANCIS DRIVE  
 GRASS VALLEY, CA 95949  
 (530) 263-5899  
 MelH.Architect@gmail.com

**A PROJECT FOR:**  
 GURTEJ GILL  
 CONTACT: GURTEJ GILL  
 PHONE: (650) 274-2344  
 EMAIL: gillgurtej@yahoo.com



NO	DESCRIPTION	DATE	SCALE	DRAWN	CKD	APPD
0	REVIEW SET	08/23/24				

VICTORY LANE CENTER  
 ROCKLIN, CA  
 COVER SHEET

**CVR-1.0**

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"





**DUNKIN'** & **BASKIN-ROBBINS**

VICTORY LANE CENTER ROCKLIN, CA

JULY 1, 2024

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**DUNKIN'**



SET REVISIONS	NO	DESCRIPTION	DATE	DATE	SCALE	DRAWN	CKD	APPD
0	REVIEW SET		08/23/24					

VICTORY LANE CENTER  
 ROCKLIN, CA  
 COLOR PERSPECTIVE  
 RENDERING  
 VIEW FROM THE SE

**CVR-2.0**

1 COLOR PERSPECTIVE RENDERING - VIEW FROM THE CORNER OF STANDFORD RANCH RD & VICTORY LN  
 NO SCALE NOTE:

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"





**DUNKIN' & BASKIN-ROBBINS**

VICTORY LANE CENTER ROCKLIN, CA

JULY 1, 2024

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**DUNKIN'**



SET REVISIONS	NO	DESCRIPTION	DATE	DATE	SCALE	DRAWN	CKD	APPD
0	REVIEW SET		08/23/24					

VICTORY LANE CENTER  
ROCKLIN, CA

COLOR PERSPECTIVE  
RENDERING  
VIEW FROM THE NE

**CVR-2.1**

C:\Users\MelH\OneDrive\Documents\Projects\Rocklin\Rocklin\_Victory Lane Center\Rocklin\_Victory Lane Center\_Color Perspective\_Rendering.dwg

1 COLOR PERSPECTIVE RENDERING - VIEW FROM THE NE ON VICTORY LN  
NO SCALE NOTE:

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"

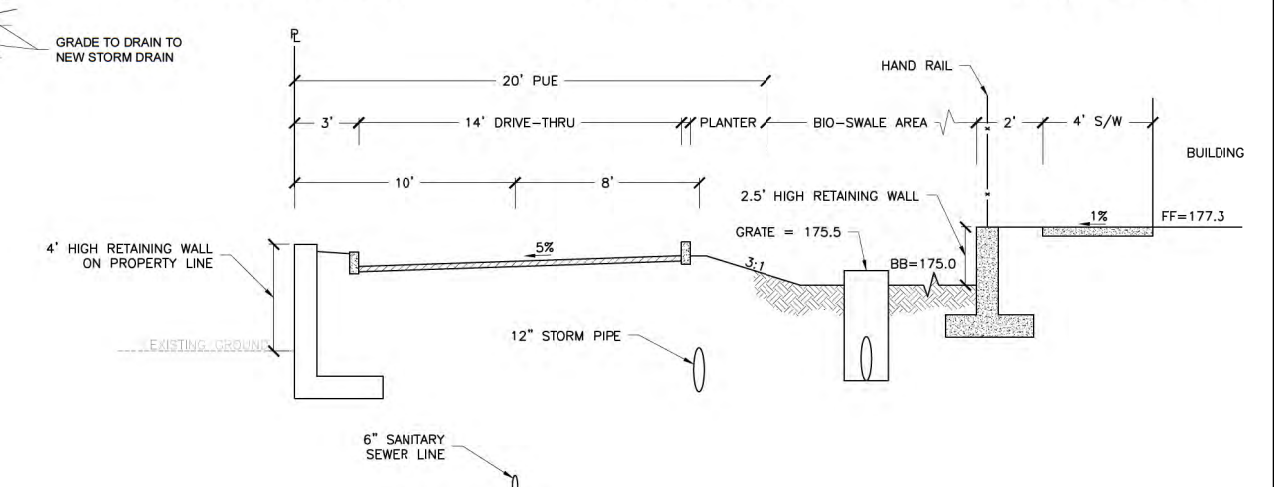
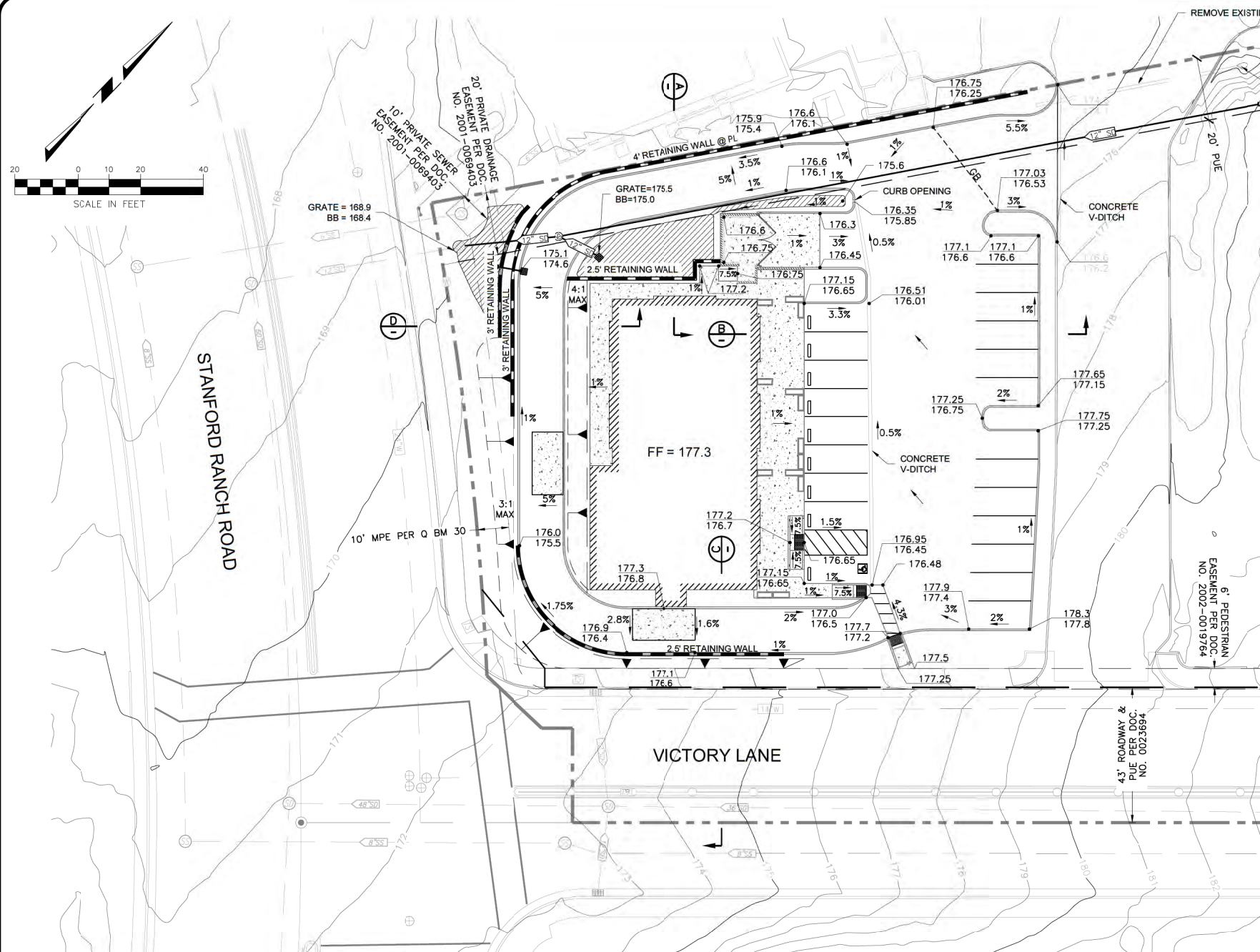


# PRELIMINARY GRADING & DRAINAGE PLAN

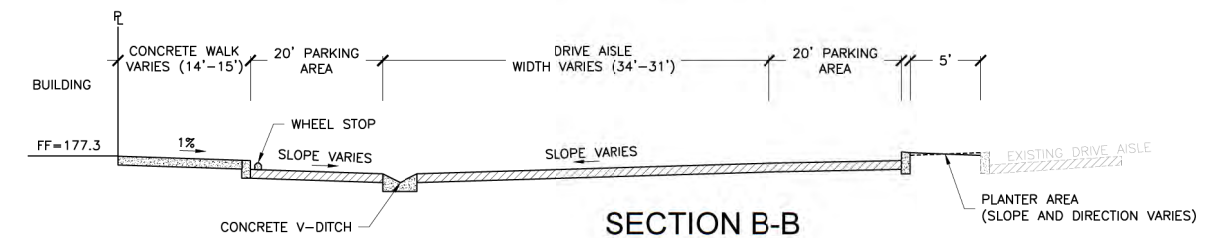
VICTORY LANE

ROCKLIN, CA

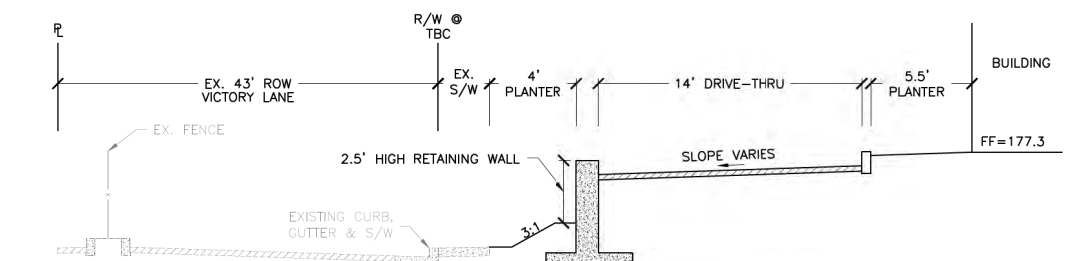
AUGUST 2024



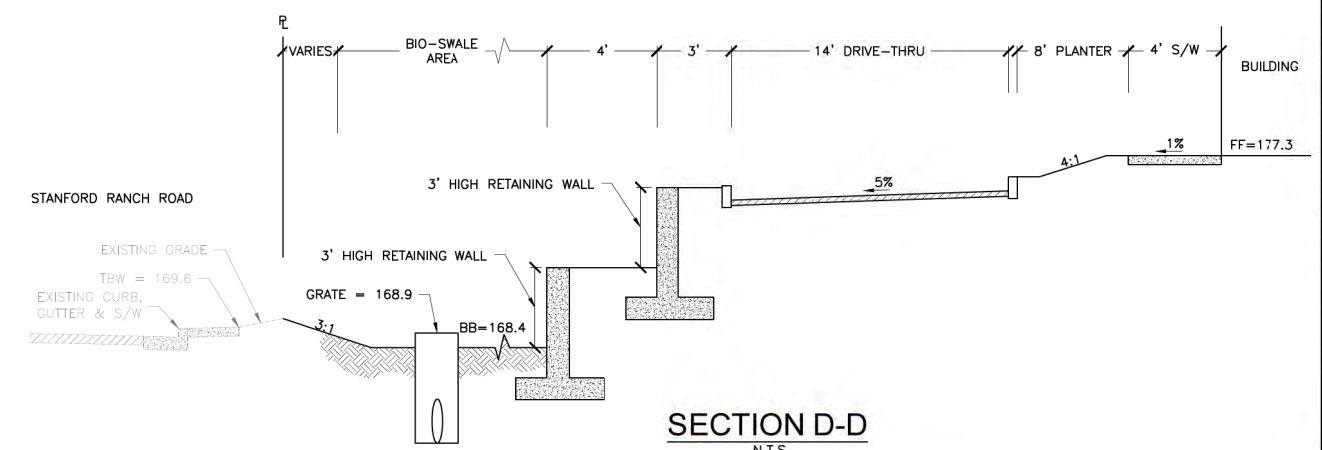
**SECTION A-A**  
N.T.S.



**SECTION B-B**  
N.T.S.



**SECTION C-C**  
N.T.S.



**SECTION D-D**  
N.T.S.

**ABBREVIATIONS**

- BB = BOTTOM OF BASIN
- FF = FINISHED FLOOR
- GB = GRADE BREAK
- PL = PROPERTY LINE
- R/W = RIGHT OF WAY
- SD = STORM DRAIN
- SS = SANITARY SEWER
- S/W = SIDEWALK
- TBC = TOP BACK OF CURB
- TBW = TOP BACK OF WALK
- W = WATER

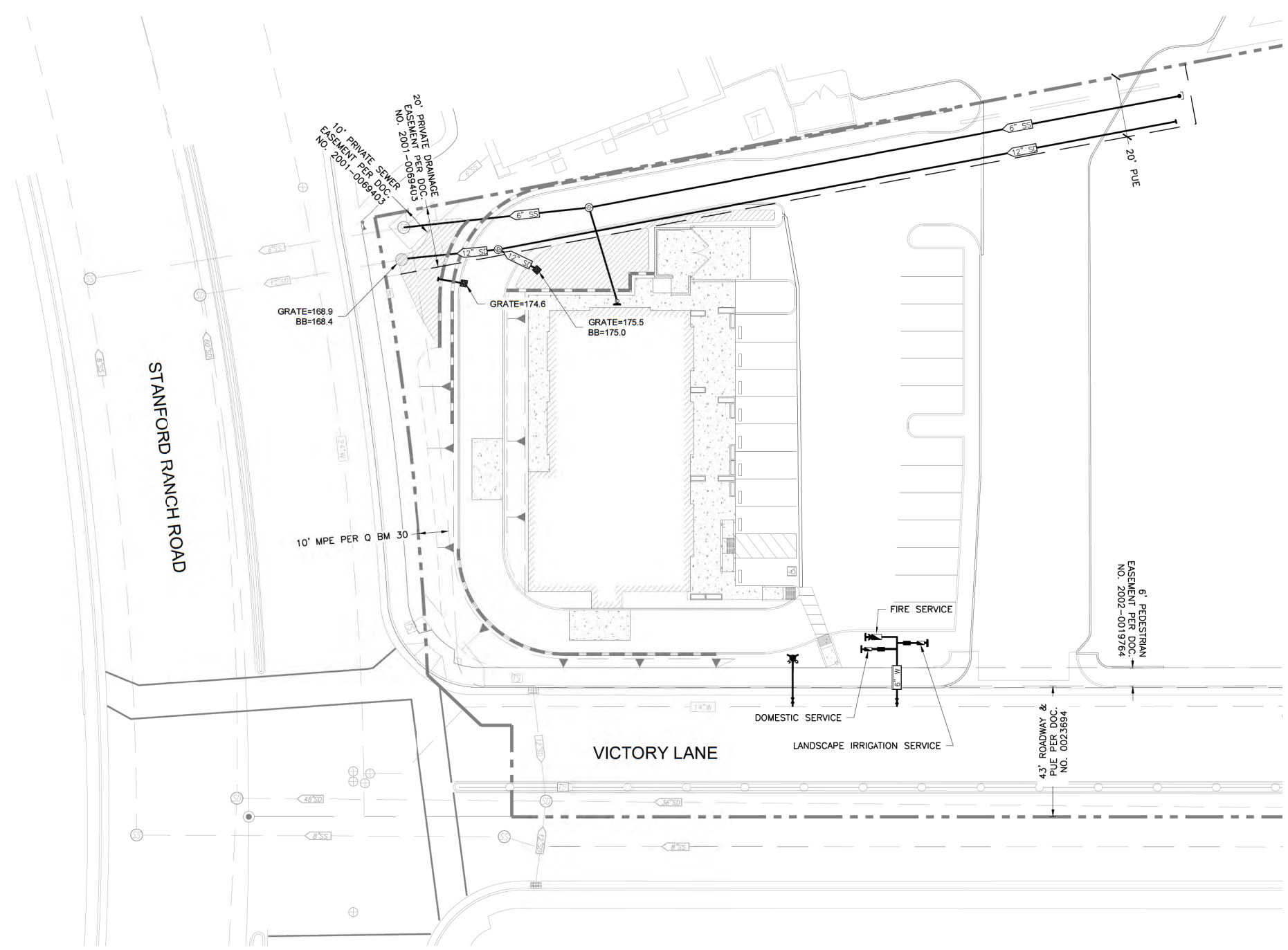
**LEGEND**

- |  |   |
|--|---|
|  | DRAINAGE FLOW DIRECTION ARROW                     |
|  | TOP OF CURB ELEVATION<br>BOTTOM OF CURB ELEVATION |
|  | RETAINING WALL                                    |
|  | WATER QUALITY TREATMENT AREA                      |
|  | STORM DRAIN MANHOLE                               |
|  | STORM DRAIN PIPE                                  |
|  | STORM DRAIN CATCH BASIN                           |
|  | PROPERTY LINE                                     |
|  | EASEMENT  |
|  | RIGHT OF WAY                                      |

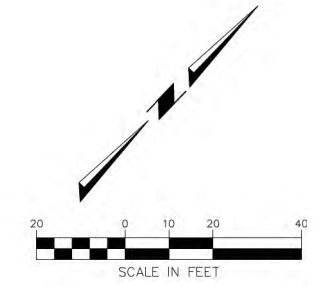
**UBORA** ENGINEERING & PLANNING  
 "EXCELLENCE"  
 3741 DOUGLAS BOULEVARD, SUITE 385  
 ROSEVILLE, CA 95661 (916) 780-2500  
 www.uborainc.com

# PRELIMINARY UTILITY PLAN

VICTORY LANE  
ROCKLIN, CA  
AUGUST 2024



PROPOSED	LEGEND	EXISTING
	WATER QUALITY TREATMENT AREA	
	STORM DRAIN MANHOLE	
	STORM DRAIN PIPE	
	STORM DRAIN CATCH BASIN	
	SANITARY SEWER MANHOLE	
	SANITARY SEWER CLEANOUT	
	SANITARY SEWER FLUSHING BRANCH	
	SANITARY SEWER PIPE	
	WATER LINE	
	FIRE PROTECTION BACKFLOW ASSEMBLY	
	FIRE HYDRANT	
	WATER VALVE	
	WATER METER & BACKFLOW DEVICE	
	PROPERTY LINE	
	EASEMENT	
	RIGHT OF WAY	



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P:\Projects\2024\10\_Victory Lane Rocklin - Data\Brent\_CAD\Victory Lane Preliminary Utility Plan.dwg



**PLANT SCHEDULE PLAN**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS
<b>TREES</b>				
	2	Acer buergerianum / Trident Maple	15 gal.	
	4	Acer rubrum 'October Glory' / October Glory Red Maple	15 gal.	Moderate
	5	Koelreuteria paniculata / Golden Rain Tree	15 gal.	Moderate
	8	Lagerstroemia indica 'Red' / Red Crape Myrtle	15 gal.	Low
	3	Ulmus parvifolia 'Drake' / Drake Elm	24" box	Moderate
<b>SHRUBS</b>				
	19	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	5 gal.	Low
	106	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal.	Low
	141	Dianella x 'DP401' / Clarify Blue™ Flax Lily	5 gal.	Low
	27	Grevillea lanigera 'Mt. Tamboritha' / Mt. Tamboritha Woolly Grevillea	5 gal.	Low
	5	Nandina domestica 'Lemon-Lime' / Lemon-Lime Heavenly Bamboo	5 gal.	Low
	25	Phomium tenax 'Firebird' / Fire Bird Flax	5 gal.	Low
	29	Salvia x 'Bee's Bliss' / Bee's Bliss Sage	5 gal.	Low
	65	Westringia fruticosa 'Morning Light' / Morning Light Coast Rosemary	5 gal.	Low
<b>VINES/ESPALLIERS</b>				
	3	Macladyena unguis-cati / Cat's Claw Creeper	5 gal.	Low

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
<b>GROUND COVERS</b>					
	89	Leymus condensatus 'Canyon Prince' / Canyon Prince Giant Wild Ryegrass	1 gal.	Low	36" o.c.
	45	Muhlenbergia rigens / Deer Grass	1 gal.	Low	36" o.c.
	68	Rosa x 'Meidiflora' / Coral Drift® Groundcover Rose	1 gal.	Low	36" o.c.
	104	Rosa x 'Meisentrill' TM / Lemon Drift Rose	1 gal.	Low	36" o.c.
	91	Tulbaghia violacea 'Dark Star' / Dark Star Society Garlic	1 gal.	Low	24" o.c.

**Water Efficient Landscape Worksheet**

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREA</b>							
SHRUBS-LOW	0.3	DRIP	0.81	0.37	7,880	2,919	9445
TREES-MODERATE	0.5	BUBBLERS	0.81	0.62	440	272	8790
<b>TOTALS</b>					<b>8,320</b>	<b>3,190</b>	<b>103245</b>

**ETAF Calculations**

Total ETAF x Area	3,190
Total Area	8,320
Average ETAF	38%

Note: Average ETAF for Regular Landscape areas must be below .55 for residential areas and .45 for non-residential areas.

Maximum Applied Water Allowance (MAWA) = (Eto) [Conversion factor] ((ETAF)(Landscape Area)) + ((1-ETAF) x SIA)  
 (52.2) (.42) (.45 x 8,320) + (1-.45) x 0 = 121171 Gal.

Estimated Total Water use (ETWU): ETWU = (Eto) [Conversion factor] ((ETAF)(Area))  
 (52.2) (.42) (3,190) = 103245 Gal.

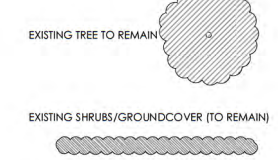
**PARKING LOT SHADE CALCULATIONS**

Symbol	Botanical Name/	Qty. @ full shade (Sq. Ft.)	Qty. @ 3/4 Shade (Sq. Ft.)	Qty. @ 1/2 shade (Sq. Ft.)	Qty. @ 1/4 shade (Sq. Ft.)	Total (Sq. Ft.)
Canopy structures	NA	NA	NA	NA	NA	0 SF
Parking Lot Shade Tree 20	0 @ 314 SF	0 @ 236 SF	10 @ 157 SF	0 @ 79 SF	1,884	1,570 SF
Parking Lot Shade Tree 30	0 @ 706 SF	0 @ 530 SF	8 @ 354 SF	0 @ 177 SF	3,874	2,832 SF
Parking Lot Shade Tree 35	3 @ 962 SF	0 @ 722 SF	1 @ 481 SF	0 @ 240 SF	481	3,367 SF
<b>TOTAL TREE SHADE</b>						<b>7,769 SF</b>
Paved Area (see hatched area on plan)						<b>TOTAL PAVED AREA = 15,149 SF</b>
						<b>50% SHADE AREA REQUIRED = 7,575 SF</b>
						<b>TOTAL SHADE PROVIDED = 7,769 SF</b>
						<b>PERCENT SHADE = 51.3 %</b>

**RAISED PLANTERS PLANT SCHEDULE**

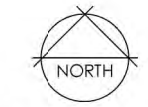
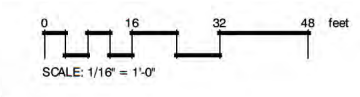
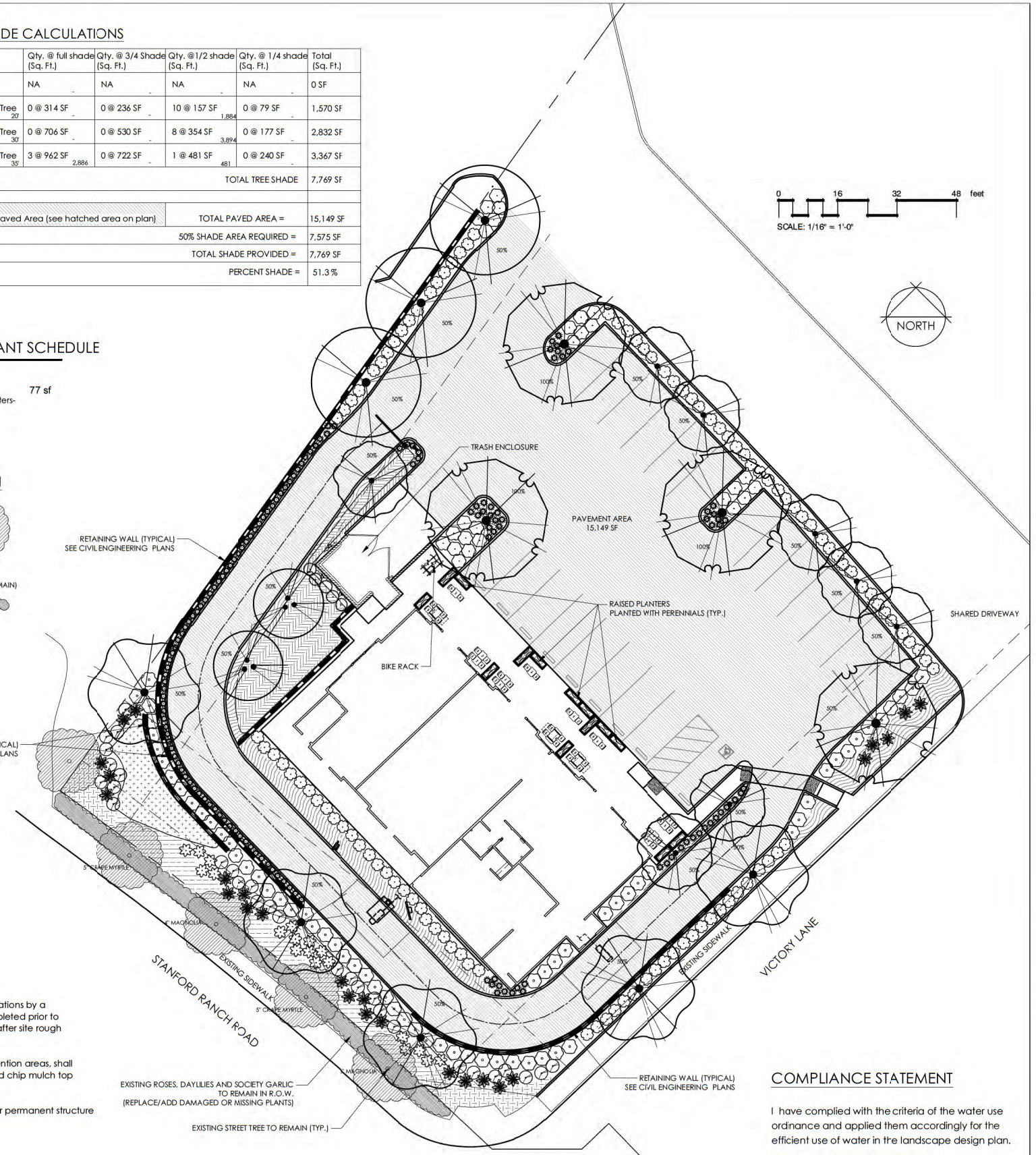
PERENNIALS  
 Perennials installed in raised planters-  
 By Owner 77 sf

**EXISTING VEGETATION**



**GENERAL NOTES**

- A soils fertility analysis report and recommendations by a certified soils analysis laboratory shall be completed prior to construction. Soil samples shall be collected after site rough grading has been completed.
- All landscape planting areas, except bio-retention areas, shall receive a minimum 3"-4" layer of organic wood chip mulch top dressing.
- All new trees located within 7' of pavement or permanent structure shall have a root barrier.



**COMPLIANCE STATEMENT**

I have complied with the criteria of the water use ordinance and applied them accordingly for the efficient use of water in the landscape design plan.

*Polmy Deccala* 6-17-24

**M. HIGGINBOTHAM ARCHITECT**  
 LICENSE NO. C-36401

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 EMAIL: gillgurtej@yahoo.com

**DUNKIN'**

**OLIVE STREET**  
 LANDSCAPE ARCHITECTURE  
 P.O. Box 2083  
 Petaluma CA 94952  
 707-260-8990  
 OliveStreetLandscape.com  
 rod@olivestreetlandscape.com

SET REVISIONS	DATE	DESCRIPTION	SCALE	DRAWN	CKD	APPD
NO DESCRIPTION	6/17/24					
0 REVIEW SET						

VICTORY LANE CENTER  
 ROCKLIN, CA

**LANDSCAPE PLAN**

**L1**



PLANT SCHEDULE PLAN

SYMBOL QTY BOTANICAL / COMMON NAME CONT WUCOLS

TREES  
 2 Acer buergerianum / Trident Maple 15 gal.

4 Acer rubrum 'October Glory' / October Glory Red Maple 15 gal. Moderate

5 Koelreuteria paniculata / Golden Rain Tree 15 gal. Moderate

8 Lagerstroemia indica 'Red' / Red Crape Myrtle 15 gal. Low

3 Ulmus parvifolia 'Drake' / Drake Elm 24' box Moderate

SHRUBS  
 19 Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass 5 gal. Low  
 106 Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush 5 gal. Low  
 141 Dianella x 'DP401' / Clarify Blue™ Flax Lily 5 gal. Low  
 27 Grevillea lanigera 'Mt. Tamboritha' / Mt. Tamboritha Woolly Grevillea 5 gal. Low  
 5 Nandina domestica 'Lemon-Lime' / Lemon-Lime Heavenly Bamboo 5 gal. Low  
 25 Phomium tenax 'Firebird' / Fire Bird Flax 5 gal. Low  
 29 Salvia x 'Bee's Bliss' / Bee's Bliss Sage 5 gal. Low  
 65 Westringia fruticosa 'Morning Light' / Morning Light Coast Rosemary 5 gal. Low

VINES/ESPALLIERS  
 3 Mactadyena unguis-cati / Cat's Claw Creeper 5 gal. Low

GROUND COVERS  
 89 Leymus condensatus 'Canyon Prince' / Canyon Prince Giant Wild Ryegrass 1 gal. Low 36" o.c.  
 45 Muhlenbergia rigens / Deer Grass 1 gal. Low 36" o.c.  
 68 Rosa x 'Meidiflora' / Coral Drift® Groundcover Rose 1 gal. Low 36" o.c.  
 104 Rosa x 'Meisentrahl TM' / Lemon Drift Rose 1 gal. Low 36" o.c.  
 91 Tulbaghia violacea 'Dark Star' / Dark Star Society Garlic 1 gal. Low 24" o.c.

Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
<b>REGULAR LANDSCAPE AREA</b>							
SHRUBS-LOW	0.3	DRIP	0.81	0.37	7,880	2,919	9445
TREES-MODERATE	0.5	BUBBLERS	0.81	0.62	440	272	8790
<b>TOTALS</b>					<b>8,320</b>	<b>3,190</b>	<b>103245</b>

ETAF Calculations

Total ETAF x Area	3,190
Total Area	8,320
Average ETAF	38%

Note: Average ETAF for Regular Landscape areas must be below .55 for residential areas and .45 for non-residential areas.

Maximum Applied Water Allowance (MAWA) = (Eto) [Conversion factor] ((ETAF)(Landscape Area)) + ((1-ETAF) x SIA)  
 (52.2) (.42) (.45 x 8,320) + (1-.45) x 0 = 121171 Gal.

Estimated Total Water use (ETWU). ETWU = (Eto) [Conversion factor] ((ETAF)(Area))  
 (52.2) (.42) (3,190) = 103245 Gal.

PARKING LOT SHADE CALCULATIONS

Symbol	Botanical Name/ Common Name	Qty. @ full shade (Sq. Ft.)	Qty. @ 3/4 Shade (Sq. Ft.)	Qty. @ 1/2 shade (Sq. Ft.)	Qty. @ 1/4 shade (Sq. Ft.)	Total (Sq. Ft.)
Canopy structures	NA	NA	NA	NA	NA	0 SF
Parking Lot Shade Tree 20	0 @ 314 SF	0 @ 236 SF	10 @ 157 SF	0 @ 79 SF	1,884	1,570 SF
Parking Lot Shade Tree 30	0 @ 706 SF	0 @ 530 SF	8 @ 354 SF	0 @ 177 SF	3,874	2,832 SF
Parking Lot Shade Tree 35	3 @ 962 SF	0 @ 722 SF	1 @ 481 SF	0 @ 240 SF	481	3,367 SF
<b>TOTAL TREE SHADE</b>						<b>7,769 SF</b>
Paved Area (see hatched area on plan)						TOTAL PAVED AREA = 15,149 SF
						50% SHADE AREA REQUIRED = 7,575 SF
						TOTAL SHADE PROVIDED = 7,769 SF
						PERCENT SHADE = 51.3%

RAISED PLANTERS PLANT SCHEDULE

PERENNIALS 77 sf  
 Perennials installed in raised planters- By Owner

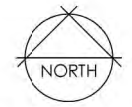
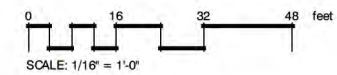
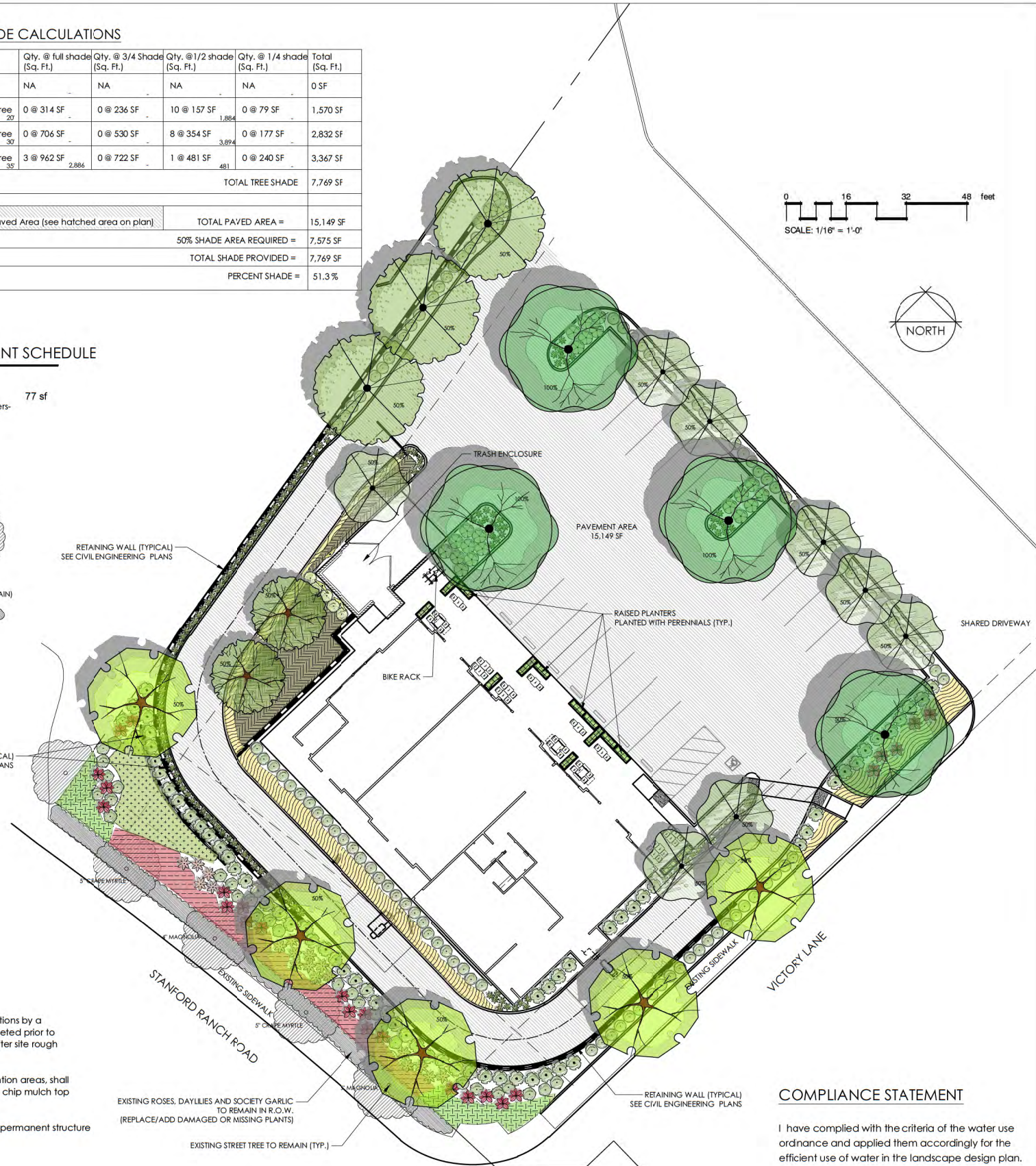
EXISTING VEGETATION

EXISTING TREE TO REMAIN  
 EXISTING SHRUBS/GROUNDCOVER (TO REMAIN)

RETAINING WALLS (TYPICAL) SEE CIVIL ENGINEERING PLANS

GENERAL NOTES

- A soils fertility analysis report and recommendations by a certified soils analysis laboratory shall be completed prior to construction. Soil samples shall be collected after site rough grading has been completed.
- All landscape planting areas, except bio-retention areas, shall receive a minimum 3"-4" layer of organic wood chip mulch top dressing.
- All new trees located within 7' of pavement or permanent structure shall have a root barrier.



COMPLIANCE STATEMENT

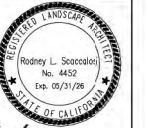
I have complied with the criteria of the water use ordinance and applied them accordingly for the efficient use of water in the landscape design plan.

*Polmy Decalora* 6-17-24

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**DUNKIN'**



**OLIVE STREET**  
 LANDSCAPE ARCHITECTURE  
 P.O. Box 2083  
 Petaluma CA 94952  
 707-260-8990  
 OliveStreetLandscape.com  
 rod@olivestreetlandscape.com

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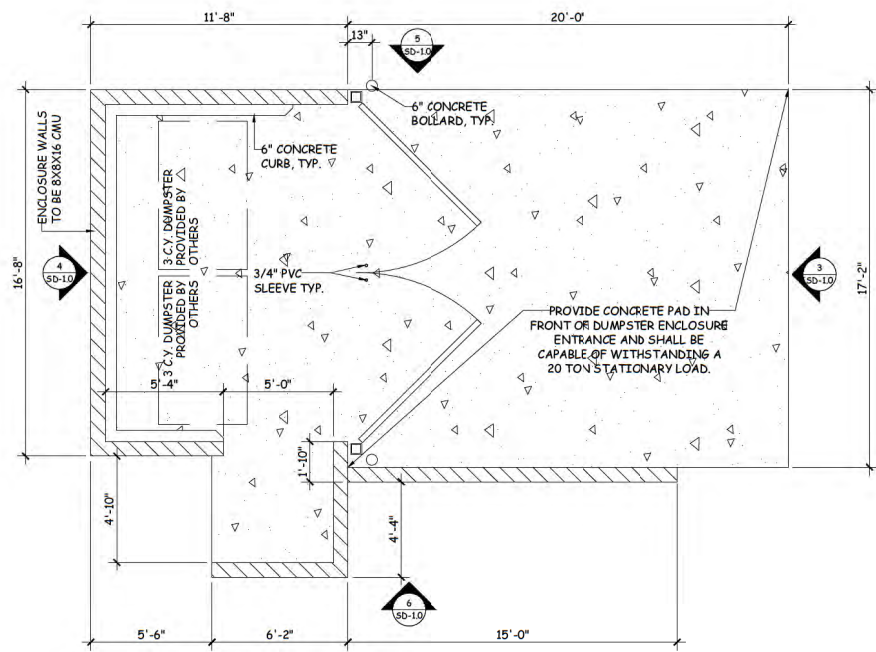
VICTORY LANE CENTER  
 ROCKLIN, CA  
**LANDSCAPE PLAN**

L1



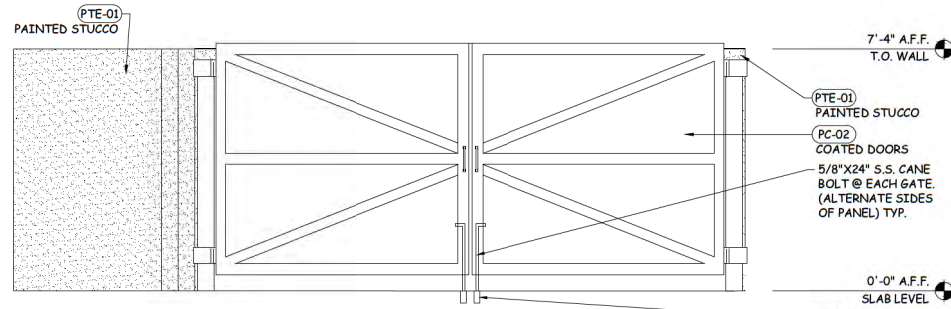






**1 TRASH ENCLOSURE PLAN**

1/4"=1'-0" NOTE:



**2 FRONT ENCLOSURE ELEVATION (NORTH)**

3/8"=1'-0" NOTE:

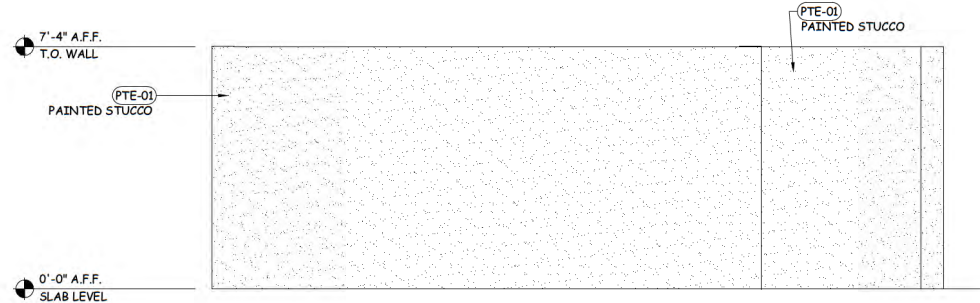
**FINISH SCHEDULE**

- PTE-C1 EXTERIOR PAINT, SHERWIN WILLIAMS, SW 7019, GAUNTLET GRAY
- PTE-C2 EXTERIOR PAINT, SHERWIN WILLIAMS, SW 7069, IRON ORE
- PC-02 POWDER COATING TO MATCH SHERWIN WILLIAMS, SW 7069, IRON ORE

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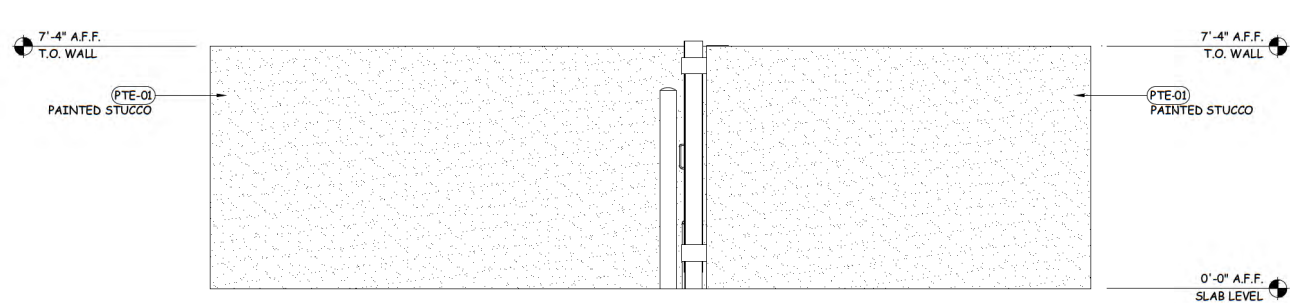
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**3 REAR ENCLOSURE ELEVATION (SOUTH)**

3/8"=1'-0" NOTE:



**4 SIDE ENCLOSURE ELEVATION (WEST)**

3/8"=1'-0" NOTE:

**1-Loop Wave Style Bike Rack - 3 Bike Capacity, Galvanized**

Upscale stylish look for downtown shopping and business districts.

- For stadiums, parks and athletic fields.
- 10-gauge galvanized steel.
- 2 3/8" diameter bar.
- Bike rack mounting hardware included.

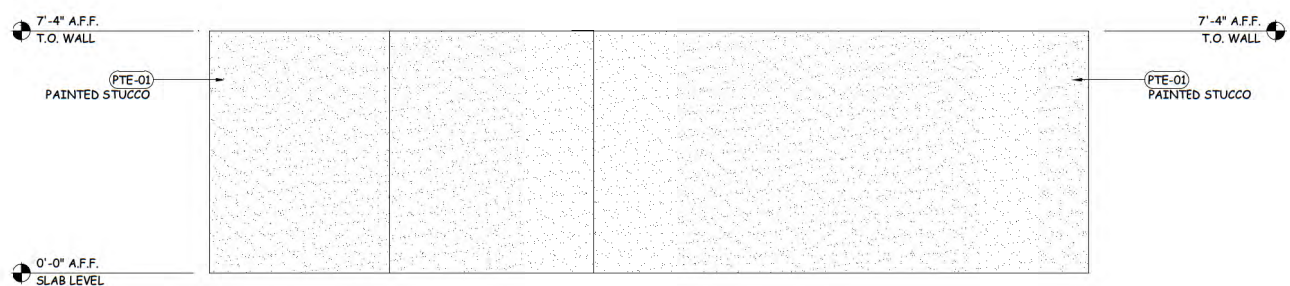
More Images

SPECIFY COLOR:

MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAP.	WT. (LBS.)	PRICE EACH	COLOR	IN STOCK SHIPS TODAY
H-2892GALV	1-Loop	22 x 2 1/2 x 34"	3	27	\$190 \$180	Galvanized	1 ADD

**6 1-LOOP BICYCLE RACK**

N.T.S. NOTE:



**5 SIDE ENCLOSURE ELEVATION (EAST)**

3/8"=1'-0" NOTE:

NO	DESCRIPTION	DATE	SCALE	DRAWN	CKD	APPD
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VICTORY LANE CENTER  
ROCKLIN, CA

**SITE DETAILS  
TRASH ENCLOSURE  
BICYCLE RACK**





**SD-1.0**

**GENERAL NOTES**

1. ALL INTERIOR DIMENSIONS ARE FINISH SURFACE TO FINISH SURFACE OR CENTER LINE OF COLUMNS, UNLESS OTHERWISE NOTED.
2. ALL WALLS TO RECEIVE A LEVEL 4 FINISH U.O.N.
3. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AS A COMPLETE SET.
4. PROVIDE BLOCKING AND BACKING AS DEFINED IN SPECIFICATIONS AT 2'-0" AFF AND 8'-0" AFF IN (E) WALLS AND NEW PARTITIONS, FOR ALL CASEWORK AND ACCESSORIES. COORDINATE WITH FIXTURE SHOP DRAWINGS.
5. PROVIDE WATER RESISTANT GYP. BD. AT ALL WET LOCATIONS.
6. ALL DOORS TO BE LOCATED 4" FROM PERPENDICULAR WALL U.O.N.
7. WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATION IN IBC TABLE 803.11
8. ELECTRICAL SWITCH, RECEPTACLE OUTLETS, AND THERMOSTATS MOUNTING HEIGHTS TO BE 48" MAXIMUM ABOVE THE FLOOR, MEASURED FROM THE TOP OF THE OUTLET BOX. 15" MINIMUM ABOVE THE FLOOR, MEASURED FROM THE BOTTOM OF THE OUTLET BOX.

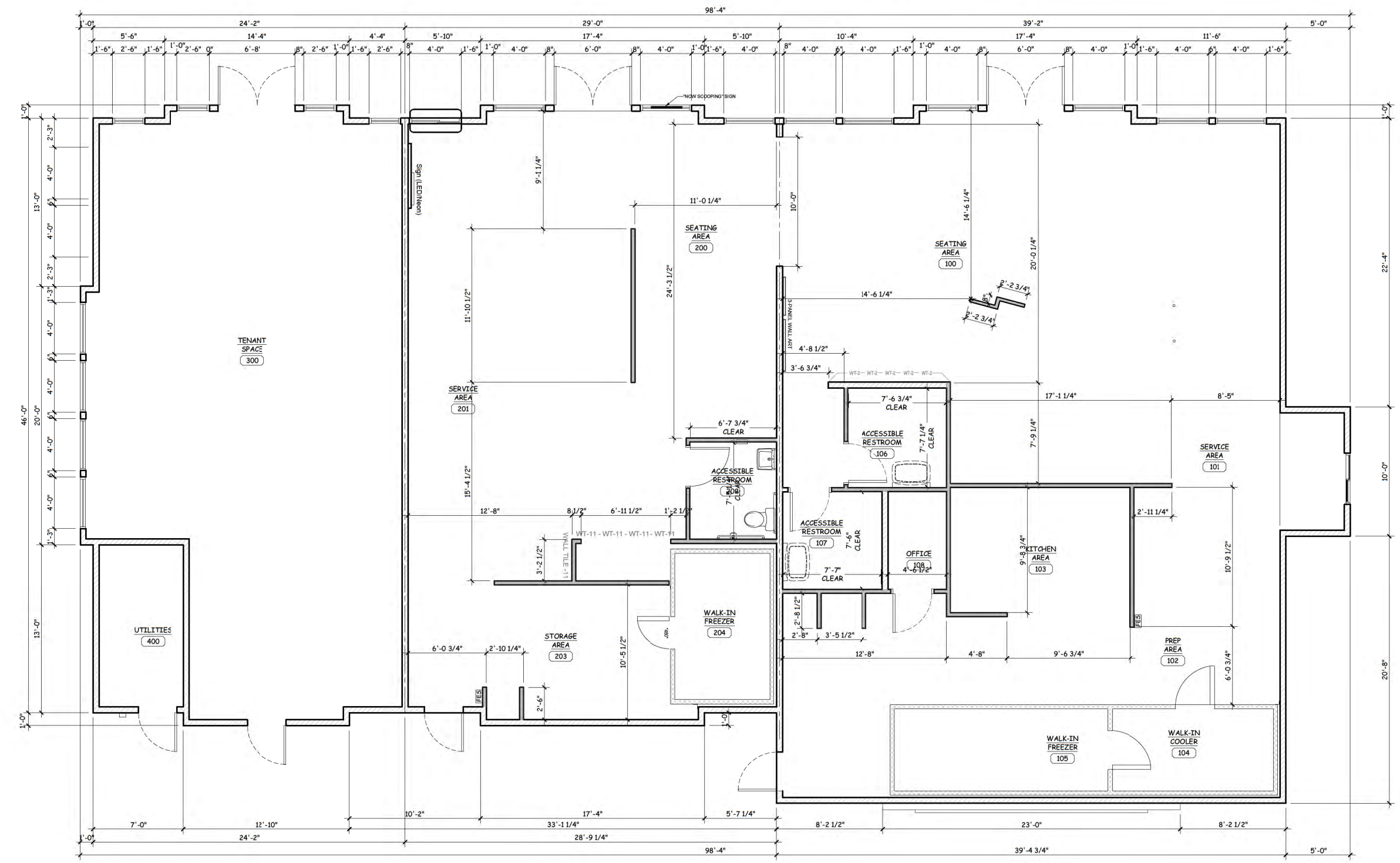
**WALL LEGEND**

NOTE: NOT ALL SYMBOLS MAY BE APPLICABLE TO, AND USED, IN THIS DRAWING

 WALL CONSTRUCTION TYPE. SEE A-8.0  
 NEW 2"x4" WALL  
 NEW 2"x6" WALL  
 NEW INSULATED COOLER WALL, SEE 17/A-7.0 FOR DETAIL.

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VICTORY LANE CENTER  
 ROCKLIN, CA  
**FLOOR PLAN**

**A-1.0**

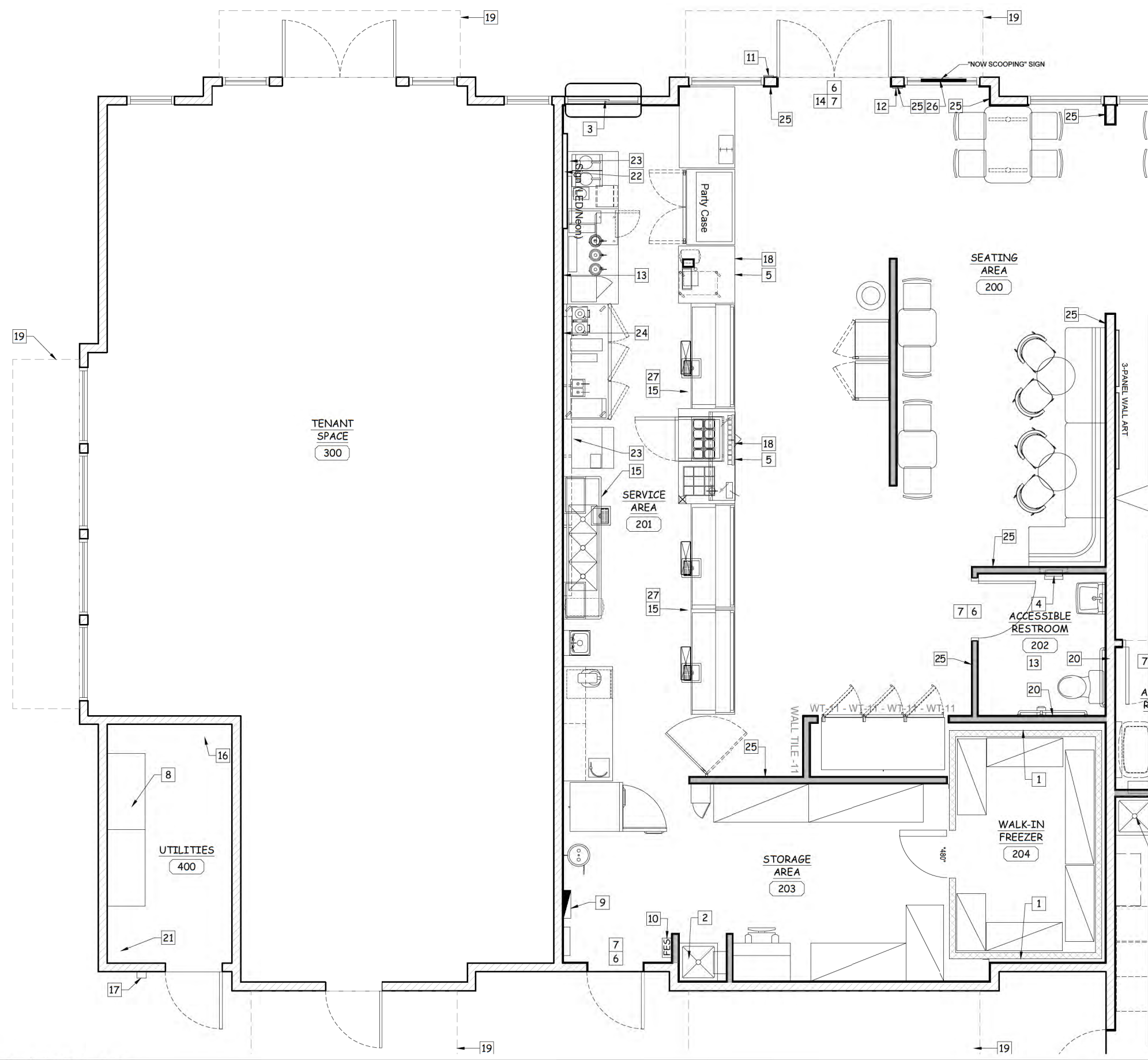
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**1 FLOOR PLAN**  
 1/4"=1'-0" NOTE:

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



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- # KEYNOTES**
1. PRE-FABRICATED COOLER WALLS, CEILING, FLOOR, DOORS AND RACKS. MAINTAIN 2" AIR SPACE BETWEEN COOLER AND ADJACENT WALLS PER MANUFACTURES SPECIFICATIONS. CONTRACTOR TO FIELD VERIFY DIMENSIONS WITH PROJECT MANAGER.
  2. MOP SINK & WATER HEATER ABOVE, 7' A.F.F. CLEAR HEIGHT MIN. SEE PLUMBING DRAWINGS.
  3. SLIDING SERVICE WINDOW.
  4. SURFACE MOUNT HAND DRYER, PREFERRED MANUFACTURER IS DYSON OR LIKE.
  5. MILLWORK SUPPLIER SHALL PROVIDE ACCESS FOR UTILITIES & CLEANING AT ALL FRONT LINE MILLWORK DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE 5 POUNDS (22.2 N) MAXIMUM.
  6. ELECTRICAL MAIN SWITCHBOARD, REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
  7. ELECTRICAL SUB-PANELS, REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
  8. FIRE EXTINGUISHERW/ A MINIMUM RATING OF 1-A:10-B:C PER CBC 906. AND CABINET: CABINET SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF WRIST TO OPEN. FIRE EXTINGUISHER MAX. HEIGHT 48" AFF. MINIMUM ONE 2A10BC CLASS FIRE EXTINGUISHER SHALL BE LOCATED W/IN 75 FEET OF TRAVEL DISTANCE. VERIFY FINAL LOCATION & CLASSIFICATION REQUIREMENTS W/ LOCAL AREA FIRE INSPECTOR.
  9. 6X6 INTERNATIONAL ADA SYMBOL MOUNTED AT ENTRY DOORS.
  10. TACTILE EXIT SIGN. SEE DETAIL 7/A0.2.2.
  11. AREAS WITH TILE WALL COVERING TO RECEIVE 1/2" DUROCK BACKING.
  12. PROVIDE "MAXIMUM OCCUPANCY" SIGNAGE CENTER MOUNTED AT 6'-0" A.F.F. & ON GYPSUM BOARD. COORDINATE FINAL LOCATION IN A CONSPICUOUS LOCATION NEAR THE MAIN EXIT OR EXIT ACCESS-DOORWAY.
  13. FLOOR SINK, REFER TO FINISH FLOOR PLAN FOR LOCATION AND PLUMBING DRAWINGS FOR DETAILS.
  14. ROOF ACCESS LADDER, PROVIDE 30"X30" CLEAR SPACE LANDING CENTERED IN FRONT OF THE LADDER.
  15. PROVIDE A KNOX COMPANY FIRE DEPARTMENT KEY BOX MODEL 3400 OR LARGER.
  16. CASEWORK BY OTHERS, MAX HEIGHT OF 34" @ CUSTOMER AREAS.
  17. AWNING ABOVE, SEE STRUCTURAL DRAWINGS FOR DETAILS AND SPECIFICATIONS.
  18. PROVIDE 2X SOLID BLOCKING FOR GRAB BAR INSTALLATION
  19. FIRE RISER, REFER TO FIRE SUPPRESSION PLANS FOR SPECIFICATIONS.
  20. PROVIDE 2" FURRED OUT WALL BEHIND DIGITAL MENU BOARDS. MINIMUM HEIGHT OF FURR OUT TO BE 30". REFERENCE DESIGN GUIDE FOR DESIGN INTENT.
  21. LED NEON WALL SIGN ON 2" GWB FURR OUT, PAINTED P-97. PROVIDE POWER OUTLET AT 6'-8" AFF, CENTERED IN FURR OUT.
  22. BACKSPLASH BEHIND BACKLINE - FRP FINISH FROM FINISHED FLOOR TO 2'-8" AFF. WITH TRANSITION STRIP. WT-10 FROM 2'-3" AFF TO BOTTOM OF GWB FUR OUT FOR MENU BOARDS.
  23. WP-10 CHAIR RAIL AND WAINSCOTTING REQUIRED AT 40" AFF.
  24. NOW SCOOPING SIGN - REQUIRES ELECTRICAL OUTLET ABOVE STOREFRONT, INSIDE THE STORE.
  25. GENERAL CONTRACTOR TO VERIFY NEW FLOOR SINK/ HUB DRAIN LOCATIONS AT DIPPER WELLS. ADJUST LOCATIONS AS REQUIRED TO REFLECT NEW EQUIPMENT LAYOUT.

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**DUNKIN'**



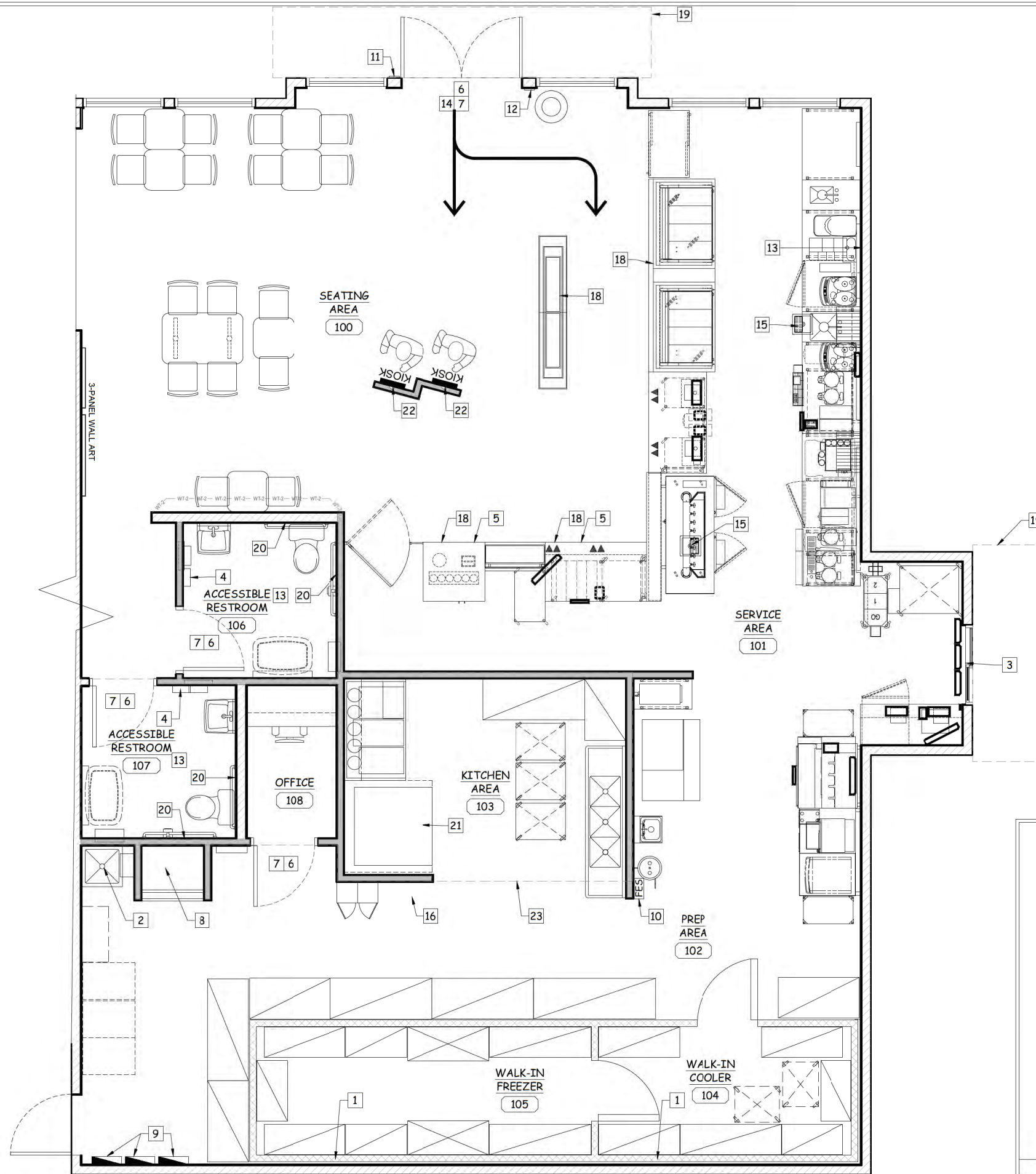
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VICTORY LANE CENTER  
 ROCKLIN, CA  
 FLOOR PLAN NOTED

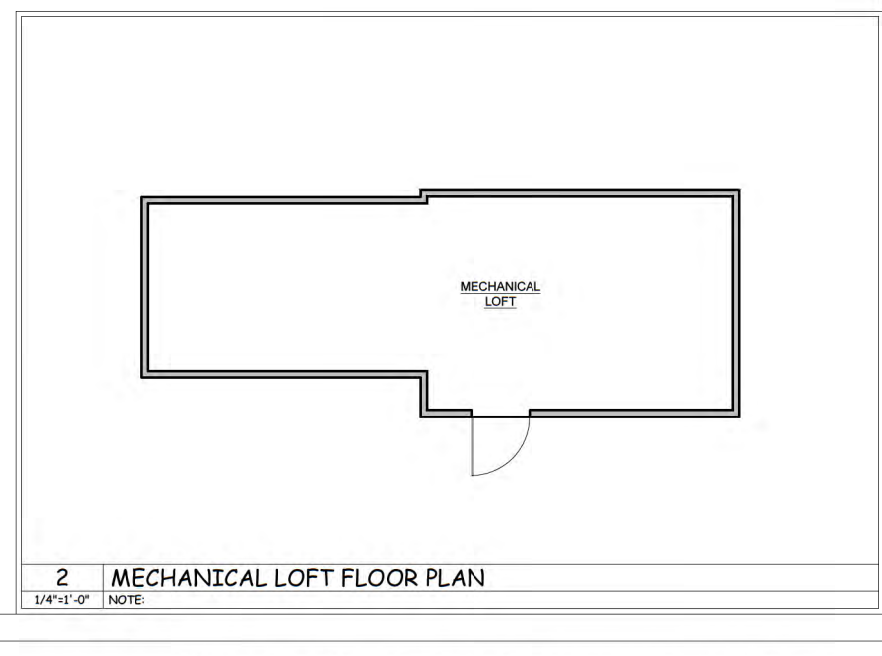
**1 FLOOR PLAN**  
 3/8"=1'-0" NOTE:

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"





- # KEYNOTES**
1. PRE-FABRICATED COOLER WALLS, CEILING, FLOOR, DOORS AND RACKS. MAINTAIN 2" AIR SPACE BETWEEN COOLER AND ADJACENT WALLS PER MANUFACTURES SPECIFICATIONS. CONTRACTOR TO FIELD VERIFY DIMENSIONS WITH PROJECT MANAGER.
  2. MOP SINK & WATER HEATER ABOVE, 7' A.F.F. CLEAR HEIGHT MIN. SEE PLUMBING DRAWINGS.
  3. SLIDING DRIVE-THRU SERVICE WINDOW.
  4. SURFACE MOUNT HAND DRYER, PREFERRED MANUFACTURER IS DYSON OR LIKE.
  5. MILLWORK SUPPLIER SHALL PROVIDE ACCESS FOR UTILITIES & CLEANING AT ALL FRONT LINE MILLWORK.
  6. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
  7. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE 5 POUNDS (22.2 N) MAXIMUM.
  8. CART WASH BAY W/ 1" ROLLOVER CURB
  9. ELECTRICAL SUB-PANELS, REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
  10. FIRE EXTINGUISHER W/ A MINIMUM RATING OF 1-A-10-B-C PER CBC 906. AND CABINET: CABINET SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF WRIST TO OPEN. FIRE EXTINGUISHER MAX. HEIGHT 48" AFF. MINIMUM ONE 2A10BC CLASS FIRE EXTINGUISHER SHALL BE LOCATED W/IN 75 FEET OF TRAVEL DISTANCE. VERIFY FINAL LOCATION & CLASSIFICATION REQUIREMENTS W/ LOCAL AREA FIRE INSPECTOR.
  11. 6X6 INTERNATIONAL ADA SYMBOL MOUNTED AT ENTRY DOORS.
  12. TACTILE EXIT SIGN. SEE DETAIL 7/A0.2.2.
  13. AREAS WITH TILE WALL COVERING TO RECEIVE 1/2" DUROCK BACKING.
  14. PROVIDE "MAXIMUM OCCUPANCY" SIGNAGE CENTER MOUNTED AT 6'-0" A.F.F. & ON GYPSUM BOARD. COORDINATE FINAL LOCATION IN A CONSPICUOUS LOCATION NEAR THE MAIN EXIT OR EXIT ACCESS-DOORWAY.
  15. FLOOR SINK, REFER TO FINISH FLOOR PLAN FOR LOCATION AND PLUMBING DRAWINGS FOR DETAILS.
  16. MECHANICAL PLATFORM LADDER.
  17. NOT USED
  18. CASEWORK BY OTHERS, MAX HEIGHT OF 34" @ CUSTOMER AREAS.
  19. AWNING ABOVE, SEE STRUCTURAL DRAWINGS FOR DETAILS AND SPECIFICATIONS.
  20. PROVIDE 2X SOLID BLOCKING FOR GRAB BAR INSTALLATION
  21. G.C. TO REVIEW OVEN SPECIFICATION SHEET PRIOR TO ROUGH FRAMING. PROVIDE MINIMUM CLEARANCE PER MANUFACTURER.
  22. PROVIDE ELECTRICAL CONDUIT TO SERVICE KIOSK, SEE ELECTRICAL PLAN FOR SPECIFICATIONS.
  23. OUTLINE OF MECHANICAL LOFT ABOVE.



**1 FLOOR PLAN**  
3/8"=1'-0" NOTE:

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VICTORY LANE CENTER  
ROCKLIN, CA

FLOOR PLAN NOTED  
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**A-1.2**

**GENERAL NOTES**

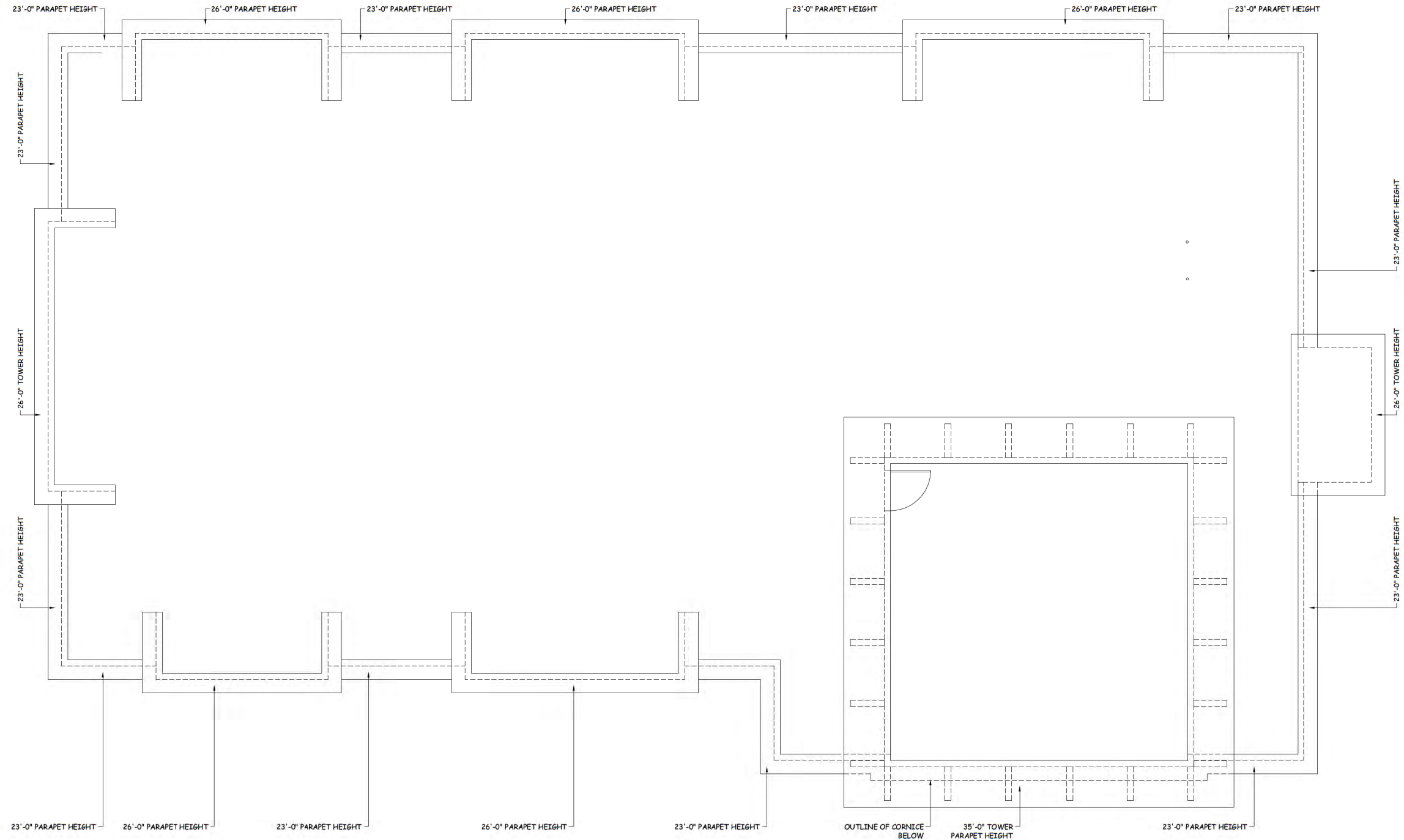
1. LOW-SLOPE ROOFING: THERMOPLASTIC SHEET MEMBRANE ROOFING INSTALLED OVER TAPERED INSULATION AS REQUIRED TO FORM RIDGES, VALLEYS, CRICKETS AND SADDLES AS REQUIRED TO ACHIEVE MINIMUM 1/2" PER FOOT PITCH OR MANUFACTURER'S MINIMUM PITCH REQUIREMENTS FOR THE APPLICATION, WHICHEVER IS GREATER. FORM SLOPES TO ELIMINATE THE POSSIBILITY OF PONDING; REFER TO WALL SECTIONS AND CONSTRUCTION TYPES.
2. ALL DIMENSIONS ARE TO THE FACE OF SHEATHING UNLESS OTHERWISE NOTED.
3. REFER TO ALL PLANS IN THIS PACKAGE FOR ADDITIONAL INFORMATION.
4. ALL EXTERIOR EXPOSED METAL FLASHING, PIPING, CONDUIT, ETC. SHALL BE PAINTED TO MATCH ADJACENT BUILDING SURFACE.
5. ALL EXTERIOR SIGNAGE IS UNDER SEPARATE PERMIT.
6. G.C. TO PROVIDE BLOCKING AND ELECTRICAL JUNCTION BOX AT ALL EXTERIOR SIGNAGE AND LIGHT LOCATIONS. G.C. TO PROVIDE W.P. ACCESS PANEL AS NECESSARY WHERE OCCURS. VERIFY EXACT LOCATIONS WITH THE SIGNAGE PROGRAM, ELECTRICAL DWG.'S AND OWNER REPRESENTATIVE.

**# KEYNOTES**

1. ROOF DRAIN W/ OVERFLOW, G.C. TO CONSTRUCT ROOF CRICKET AS NEEDED FOR PROPER DRAINAGE, REFER TO PLUMBING SHEET FOR DRAIN DETAILS.
2. PARAPET BRACING ROOF LINE, SEE STRUCTURAL DWGS FOR DETAILS.
3. G.C. TO PROVIDE ROOFING CRICKET AS NEEDED TO SLOPE TOWARD DRAIN.
4. LOW PROFILE DORMER VENT, LOCATION SHOWN FOR REFERENCE, VENTS NEED TO BE EVENLY DISPERSED THROUGH ZONES AS SPECIFIED IN CALCULATIONS BELOW.

**LEGEND**

- OUTLINE OF ROOF STRUCTURE
- - - WALL LINE BELOW



1 ROOF PLAN  
1/4"=1'-0" NOTE:

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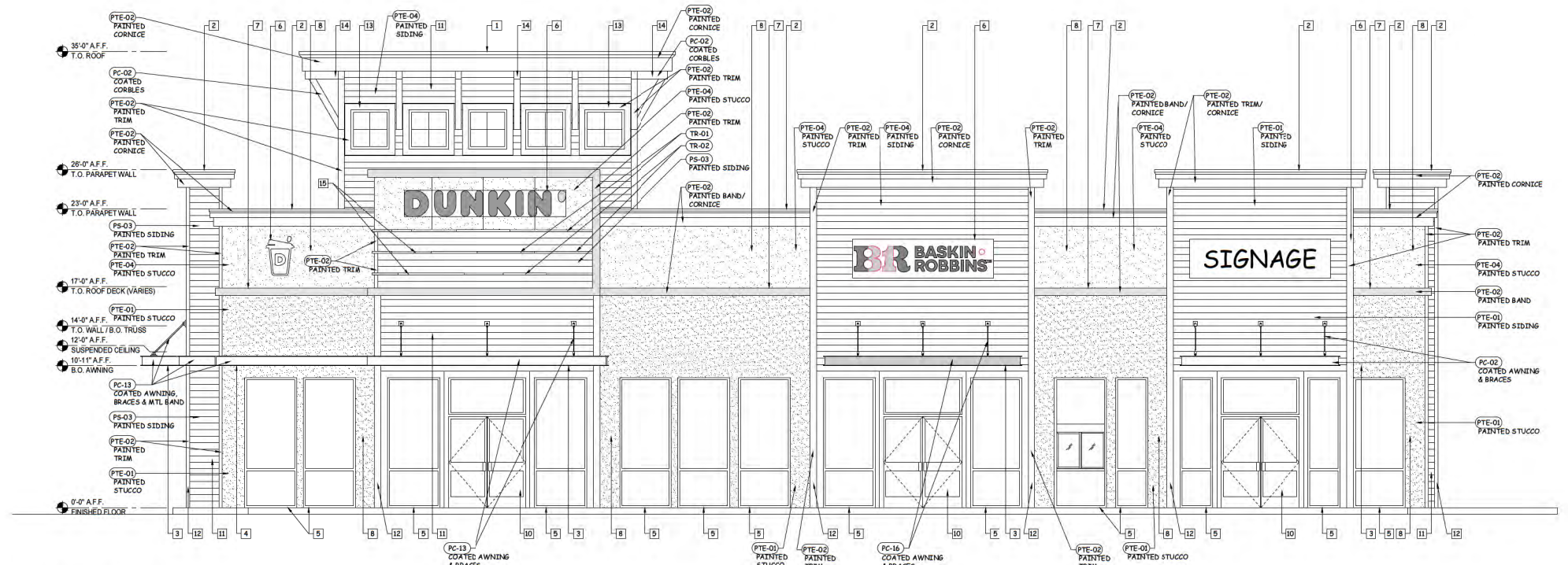
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VICTORY LANE CENTER  
ROCKLIN, CA  
ROOF PLAN

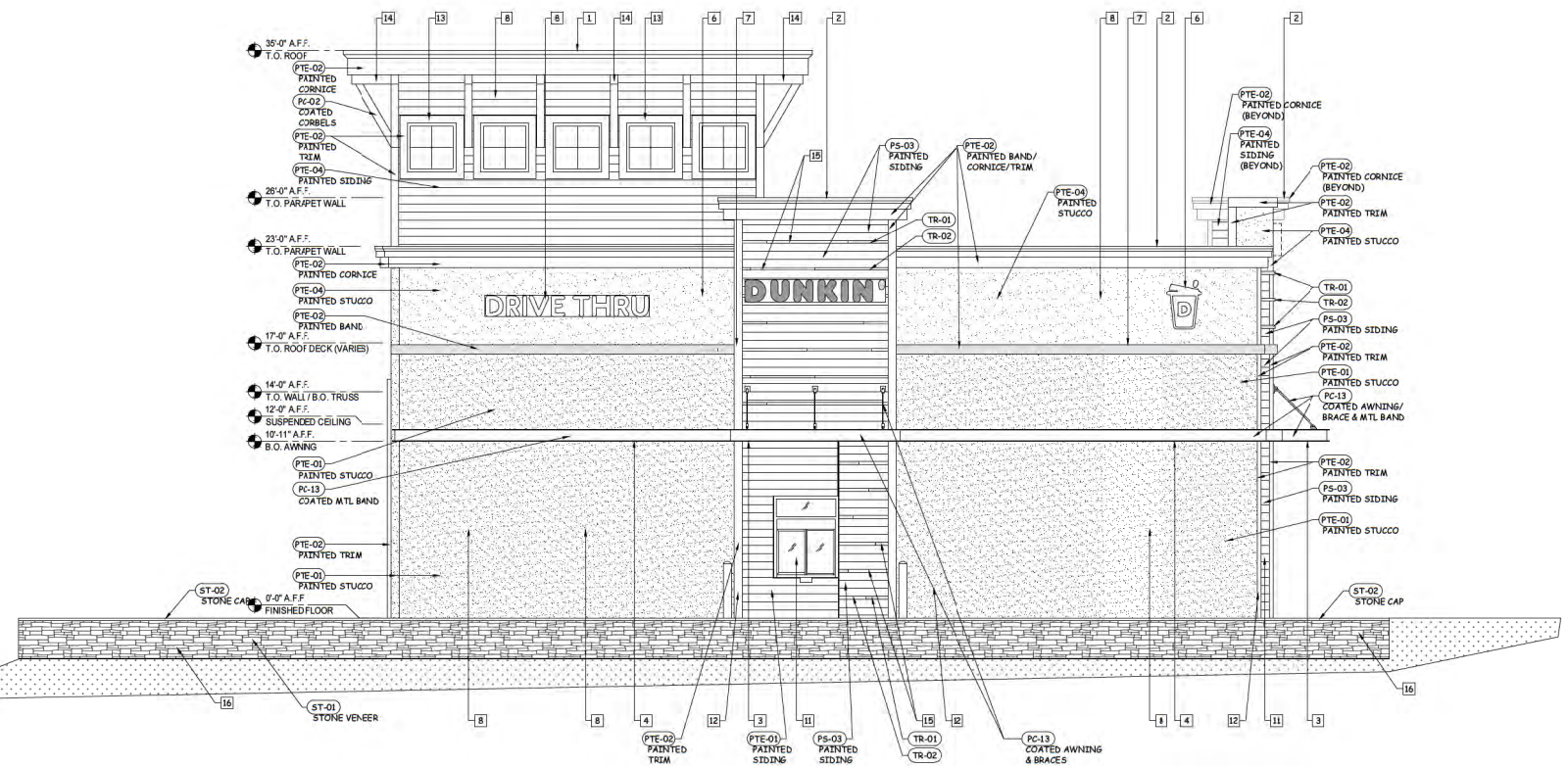
**A-4.0**

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"





**1 NORTH ELEVATION**  
3/16"=1'-0" NOTE:



**2 EAST ELEVATION**  
3/16"=1'-0" NOTE:

**FINISH SCHEDULE**

	PTE-C1 EXTERIOR PAINT, SHERWIN WILLIAMS, SW 7019, GAUNTLET GRAY
	PTE-C2 EXTERIOR PAINT, SHERWIN WILLIAMS, SW 7069, IRON ORE
	PS-03 PAINTED SIDING, WOODTONE, HONEY GLAZE
	PTE-C4 PAINT EXTERIOR, SHERWIN WILLIAMS, SW 7063, NEBULOUS WHITE
	TR-02 METAL, TAMLYN, EXTRUDED METAL CHANNEL, OFF WHITE
	PC-12 POWDER COATING TO MATCH, SHERWIN WILLIAMS, DD PINK FINISH, COLOR MATCH PMS 219 C
	PC-13 POWDER COATING TO MATCH, SHERWIN WILLIAMS, DD ORANGE FINISH #5059990
	PC-16 POWDER COATING TO MATCH SHERWIN WILLIAMS, BR PINK FINISH, COLOR MATCH PMS 212 C
	ST-01 EL DORADO STONE MOUNTAIN LEDGE "SIERRA"
	ST-02 EL DORADO STONE SPLIT EDGE SILL "COASTAL SAND"

NOTE:  
1. REFER TO SHEET 06N-2.3 & 06N-2.4 FOR MATERIAL FINISHES AND REFERENCES.

**KEYNOTES**

- CANTILEVERED LEDGE WITH SHAPED FOAM CORNICE WITH STUCCO FINISH. VERIFY SHAPE WITH ARCHITECT. INSTALL CANTED COPING METAL CAP FLASHING AT TOP OF CANTILEVERED LEDGE TO DRAIN WATER PER CODE. REFER TO FINISH SCHEDULE FOR COLORS.
- PARAPET WALL WITH FOAM CORNICE WRAPPED IN STUCCO. INSTALL CANTED COPING METAL CAP FLASHING AT TOP OF PARAPET WALL PER MANUFACTURER'S SPECIFICATIONS TO DRAIN WATER PER CODE. REFER TO FINISH SCHEDULE FOR COLORS.
- PRE-FINISHED METAL AWNING REFER TO FINISH SCHEDULE FOR COLORS.
- PRE-FINISHED METAL BAND. REFER TO FINISH SCHEDULE FOR COLORS.
- KAWNEER (OR APPROVED EQUAL) STORE FRONT GLAZING, DARK BRONZE. REFER TO WINDOW SCHEDULE FOR SIZE AND SPECIFICATIONS.
- SIGNAGE SHOWN FOR REFERENCE. ALL SIGNAGE DESIGN AND APPROVAL SHALL BE BY OTHERS UNDER SEPARATE PERMIT.
- PAINTED STUCCO BAND. REFER TO FINISH SCHEDULE FOR COLORS.
- STUCCO WALL FINISH. INSTALL 7/8" THICK 9-COAT PLASTER GEMENT COATING WITH LATH OVER WATER RESISTANT BARRIER AND STRUCTURAL WALL PANEL PER MANUFACTURER'S SPECIFICATIONS.
- METAL DOOR WITH METAL FRAME. REFER TO REFER TO FINISH SCHEDULE FOR COLORS. REFER TO DOOR SCHEDULE FOR SIZE, HARDWARE AND TYPE.
- GLASS DOOR WITH METAL FRAME SHALL MATCH STOREFRONT. REFER TO DOOR SCHEDULE FOR SIZE, HARDWARE AND TYPE.
- JAMES HARDIE HORIZONTAL CEMENTITIOUS LAP SIDING. INSTALL PER MFG. SPECIFICATIONS. REFER TO FINISH SCHEDULE FOR COLOR.
- JAMES HARDIE CEMENTITIOUS TRIM TO MATCH SIDING. REFER TO FINISH SCHEDULE FOR COLOR.
- STUCCO REVEAL. REFER TO FINISH SCHEDULE FOR COLOR.
- WELDED STEEL BRACE WITH 6X8 OUTRIGGER AND 6X6 KICKER. REFER TO FINISH SCHEDULE FOR COLOR.
- 1-1/2" X 2" EXTRUDED METAL CHANNEL. REFER TO FINISH SCHEDULE FOR COLORS.
- CMU RETAINING WALL PER CIVIL ENGINEERING. STONE FINISH TBD BY OWNER.

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VICTORY LANE CENTER  
ROCKLIN, CA

EXTERIOR ELEVATIONS  
WEST & SOUTH

**A-5.0**





**1 NORTH ELEVATION**

3/16"=1'-0" NOTE:



**2 EAST ELEVATION**

3/16"=1'-0" NOTE:

**FINISH SCHEDULE**

- PTE-C1 EXTERIOR PAINT, SHERWIN WILLIAMS, SW 7019, GAUNTLET GRAY
- PTE-C2 EXTERIOR PAINT, SHERWIN WILLIAMS, SW 7069, IRON ORE
- PC-02 POWDER COATING TO MATCH SHERWIN WILLIAMS, SW 7069, IRON ORE
- PS-03 PAINTED SIDING, WOODTONE, HONEY GLAZE
- PTE-C4 PAINT EXTERIOR, SHERWIN WILLIAMS, SW 7063, NEBULOUS WHITE
- TR-02 METAL, TAMLYN, EXTRUDED METAL CHANNEL, OFF WHITE
- PC-12 POWDER COATING TO MATCH, SHERWIN WILLIAMS, DD PINK FINISH, COLOR MATCH PMS 219 C
- TR-01 METAL, TAMLYN, EXTRUDED METAL CHANNEL, DD PINK
- PC-13 POWDER COATING TO MATCH, SHERWIN WILLIAMS, DD ORANGE FINISH #5059990
- PC-16 PAINTED COATING, SHERWIN WILLIAMS, BR PINK FINISH, COLOR MATCH PMS 212 C

NOTE:  
1. REFER TO SHEET 6N-2.3 & 6N-2.4 FOR MATERIAL FINISHES AND REFERENCES.

**KEYNOTES**

1. CANTILEVERED LEDGE WITH SHARED FOAM CORNICE WITH STUCCO FINISH. VERIFY SHAPE WITH ARCHITECT. INSTALL CANTED COPING METAL CAP FLASHING AT TOP OF CANTILEVERED LEDGE TO DRAIN WATER PER CODE. REFER TO FINISH SCHEDULE FOR COLORS.
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3. PRE-FINISHED METAL AWNING. REFER TO FINISH SCHEDULE FOR COLORS.
4. PRE-FINISHED METAL BAND. REFER TO FINISH SCHEDULE FOR COLORS.
5. KAWNEER (OR APPROVED EQUAL) STORE FRONT GLAZING, DARK BRONZE. REFER TO WINDOW SCHEDULE FOR SIZE AND SPECIFICATIONS.
6. SIGNAGE SHOWN FOR REFERENCE. ALL SIGNAGE DESIGN AND APPROVAL SHALL BE BY OTHERS UNDER SEPARATE PERMIT.
7. PAINTED STUCCO BAND. REFER TO FINISH SCHEDULE FOR COLORS.
8. STUCCO WALL FINISH. INSTALL 7/8" THICK 3-COAT PLASTER CEMENT COATING WITH LATH OVER WATER RESISTANT BARRIER AND STRUCTURAL WALL PANEL PER MANUFACTURER'S SPECIFICATIONS.
9. METAL DOOR WITH METAL FRAME. REFER TO FINISH SCHEDULE FOR COLORS. REFER TO DOOR SCHEDULE FOR SIZE, HARDWARE AND TYPE.
10. GLASS DOOR WITH METAL FRAME SHALL MATCH STOREFRONT. REFER TO DOOR SCHEDULE FOR SIZE, HARDWARE AND TYPE.
11. JAMES HARDIE HORIZONTAL CEMENTITIOUS LAP SIDING. INSTALL PER MFG. SPECIFICATIONS. REFER TO FINISH SCHEDULE FOR COLOR.
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14. WELDED STEEL BRACE WITH 6x8 OUTRIGGER AND 6x6 KICKER. REFER TO FINISH SCHEDULE FOR COLOR.

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**DUNKIN'**



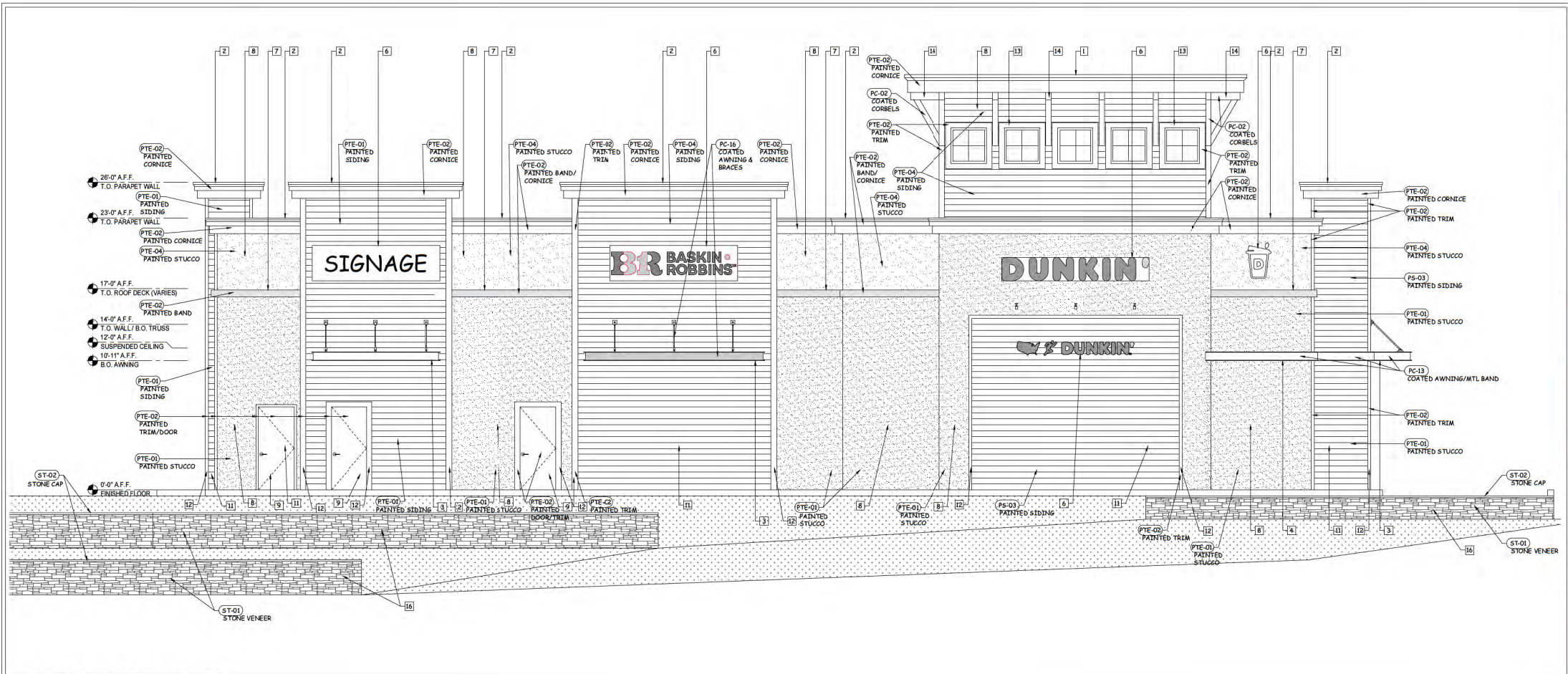
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VICTORY LANE CENTER  
ROCKLIN, CA

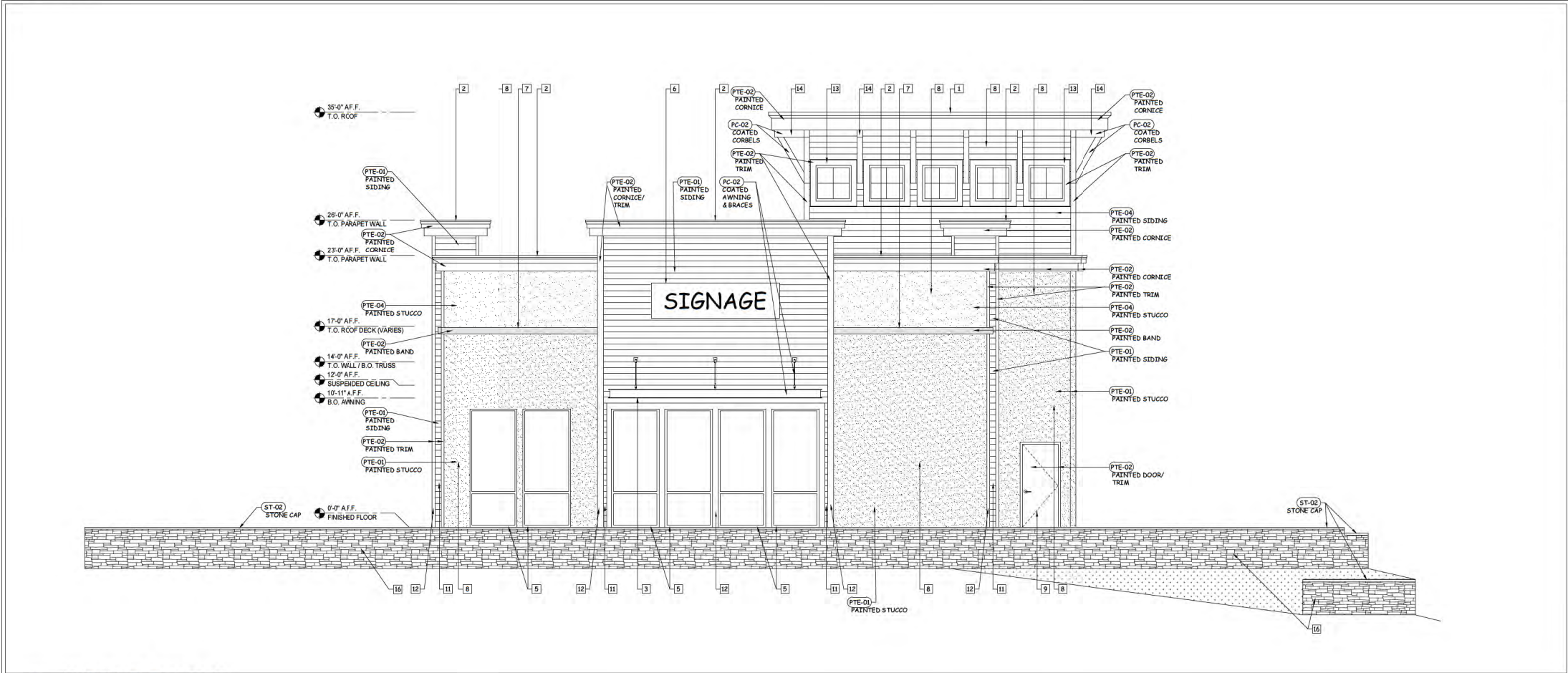
EXTERIOR ELEVATIONS  
WEST & SOUTH  
COLOR

**A-5.0a**





**1 SOUTH ELEVATION**  
3/16"=1'-0" NOTE:



**2 WEST ELEVATION**  
3/16"=1'-0" NOTE:

**FINISH SCHEDULE**

	PTE-C1 EXTERIOR PAINT, SHERWIN WILLIAMS, SW 7019, GAUNTLET GRAY
	PTE-C2 EXTERIOR PAINT, SHERWIN WILLIAMS, SW 7069, IRON ORE
	PC-02 POWDER COATING TO MATCH SHERWIN WILLIAMS, SW 7069, IRON ORE
	PS-03 PAINTED SIDING, WOODTONE, HONEY GLAZE
	PTE-C4 PAINT EXTERIOR, SHERWIN WILLIAMS, SW 7063, NEBULOUS WHITE
	TR-02 METAL, TAMLYN, EXTRUDED METAL CHANNEL, OFF WHITE
	PC-12 POWDER COATING TO MATCH, SHERWIN WILLIAMS, DD PINK FINISH, COLOR MATCH PMS 219 C
	TR-01 METAL, TAMLYN, EXTRUDED METAL CHANNEL, DD PINK
	PC-13 POWDER COATING TO MATCH, SHERWIN WILLIAMS, DD ORANGE FINISH #5059990
	PC-16 POWDER COATING TO MATCH SHERWIN WILLIAMS, BR PINK FINISH, COLOR MATCH PMS 212 C
	ST-01 EL DORADO STONE MOUNTAIN LEDGE "SIERRA"
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NOTE:  
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**KEYNOTES**

- CANTILEVERED LEDGE WITH SHAPED FOAM CORNICE WITH STUCCO FINISH. VERIFY SHAPE WITH ARCHITECT. INSTALL CANTED COPING METAL CAP FLASHING AT TOP OF CANTILEVERED LEDGE TO DRAIN WATER PER CODE. REFER TO FINISH SCHEDULE FOR COLORS.
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VICTORY LANE CENTER  
ROCKLIN, CA

EXTERIOR ELEVATIONS  
WEST & SOUTH

**A-5.1**





**1 SOUTH ELEVATION**

3/16"=1'-0" NOTE:



**2 WEST ELEVATION**

3/16"=1'-0" NOTE:

**# FINISH SCHEDULE**

- PTE-C1 EXTERIOR PAINT, SHERWIN WILLIAMS, SW 7019, GAUNTLET GRAY
- PTE-C2 EXTERIOR PAINT, SHERWIN WILLIAMS, SW 7069, IRON ORE
- PC-Q2 POWDER COATING TO MATCH SHERWIN WILLIAMS, SW 7069, IRON ORE
- PS-03 PAINTED SIDING, WOODTONE, HONEY GLAZE
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- TR-Q2 METAL, TAMLYN, EXTRUDED METAL CHANNEL, OFF WHITE
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- TR-O1 METAL, TAMLYN, EXTRUDED METAL CHANNEL, DD PINK
- PC-13 POWDER COATING TO MATCH, SHERWIN WILLIAMS, DD ORANGE FINISH #5059990
- PC-16 PAINTED COATING, SHERWIN WILLIAMS, BR PINK FINISH, COLOR MATCH PMS 212 C

NOTE:  
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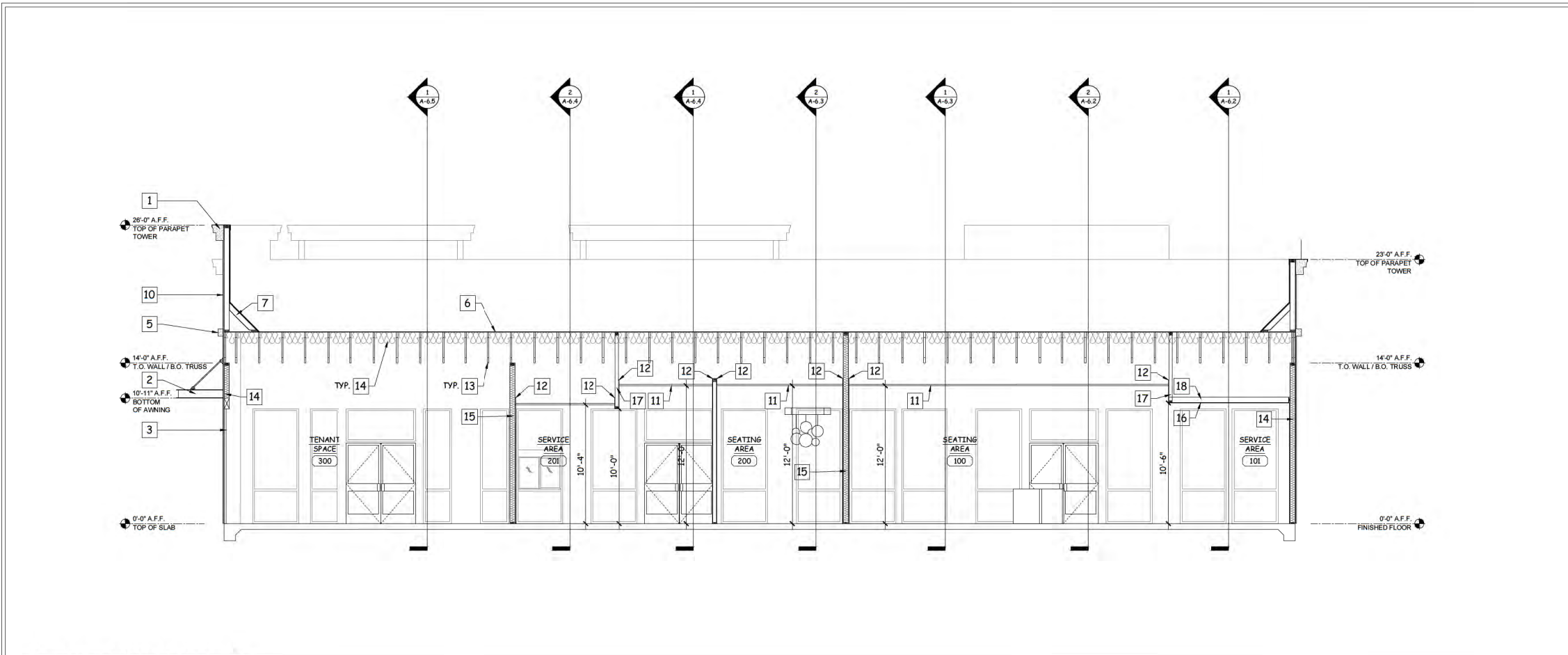
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VICTORY LANE CENTER  
ROCKLIN, CA

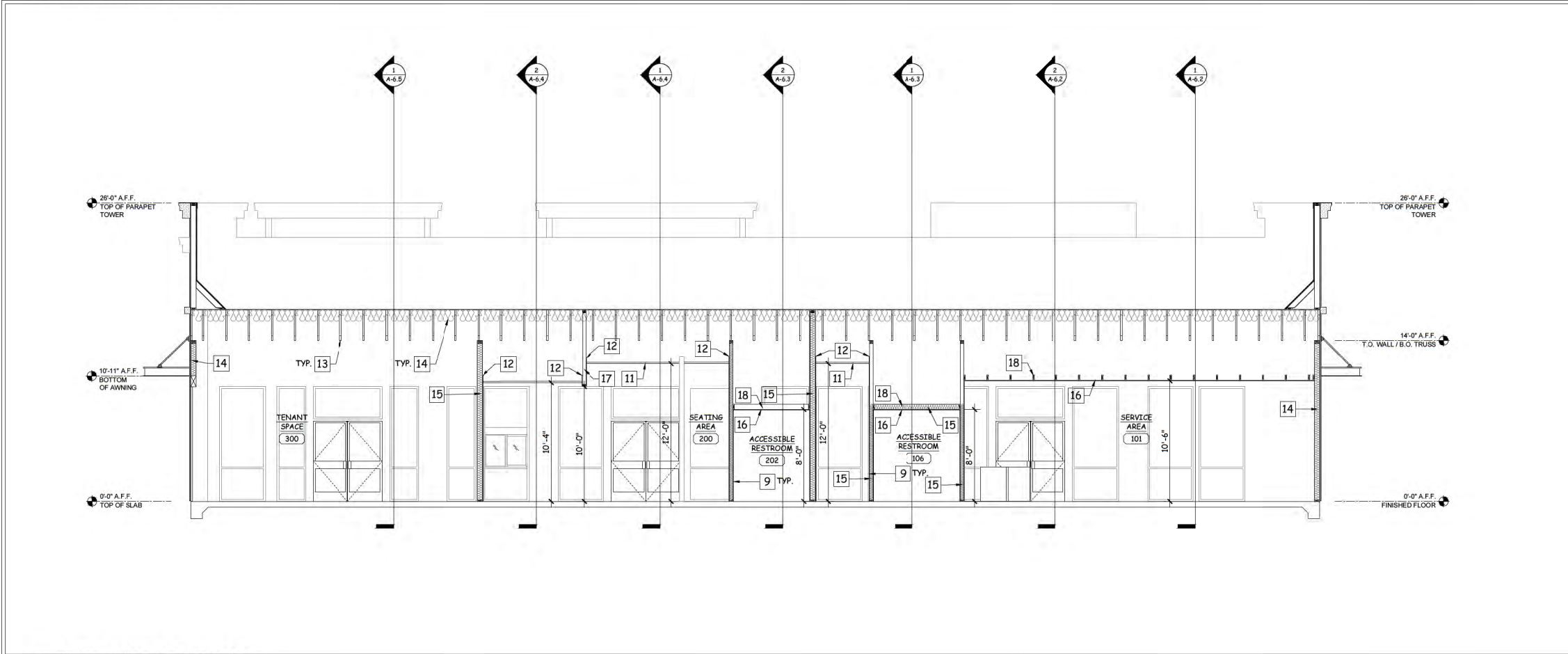
EXTERIOR ELEVATIONS  
WEST & SOUTH  
COLOR

**A-5.1a**





**1 BUILDING SECTION 1**  
 3/16" = 1'-0" NOTE: BASED ON FLOOR PLAN INDICATION



**2 BUILDING SECTION 2**  
 3/16" = 1'-0" NOTE: BASED ON FLOOR PLAN INDICATION

**# KEYNOTES**

1. PARAPET WALL WITH FOAM CORNICE WRAPPED IN STUCCO: INSTALL CANTED CORING METAL CAP FLASHING AT TOP OF PARAPET WALL PER MANUFACTURER'S SPECIFICATIONS. PARAPET WALLS SHALL BE PROPERLY CORED WITH NONCOMBUSTIBLE, WEATHERPROOF MATERIALS OF A WIDTH NOT LESS THAN THE THICKNESS OF THE PARAPET WALL.
2. PREFINISHED METAL AWNING, SEE FINISH SCHEDULE.
3. KAWNEER STORE FRONT GLAZING, DARK BRONZE, SEE WINDOW SCHEDULE, TYPICAL. SEE WINDOW SCHEDULE FOR SPECIFICATIONS.
4. FOUNDATION PER STRUCTURAL DESIGN, REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS.
5. PAINTED STUCCO BAND, SEE FINISH SCHEDULE.
6. ROOF W/ 1/4" PER FT. SLOPE TO DRAIN. TPO SINGLE-PLY ROOF COVERING OVER SOLID ROOF SHEATHING; INSTALL PER MANUFACTURER'S SPECIFICATIONS AS REQUIRED FOR 1/2"-12" PITCH. TPO ROOFINGS TO BE CONTINUOUS AT PARAPET WALLS TO UNDERSIDE OF AWNING/CORNING AND SECURED. OPTIONAL MANUFACTURERS INCLUDE 6'AF, JOHNS-MANVILLE, DURALAST OR EQUAL. INSTALL ROOF DRAINS AT FLAT ROOF PER MANUFACTURER'S SPECIFICATIONS AND PER CBC-1909 AND CBC-1611. THE INSTALLATION AND SIZING OF OVERFLOW DRAINS, LEADERS AND CONDUCTORS SHALL COMPLY WITH SECTIONS 1106 AND 1108 OF THE CALIFORNIA PLUMBING CODE, AS APPLICABLE.
7. PARAPET TRUSS BRACING, SEE STRUCTURAL FOR DETAILS.
8. PRE-FABRICATED COOLER WALLS, CEILING, FLOOR, DOORS AND RACKS. THE INTERIOR AND EXTERIOR WALLS AND INTERIOR CEILING SHALL BE SUPPLIED WITH 26 GAUGE CORROSION RESISTANT STUCCO EMBOSSED COATED STEEL. MAINTAIN 2" AIR SPACE BETWEEN COOLER AND ADJACENT WALLS PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO FIELD VERIFY DIMENSIONS WITH PROJECT MANAGER.
9. ALL WALLS IN ANY WET AREA SHALL RECEIVE 5/8" DUROCK.
10. 3-COAT PLASTER CEMENT COATING OVER WATER RESISTANT BARRIER OVER 2X FRAMING, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
11. ACOUSTICAL TILE CEILING, REFER TO REFLECTED CEILING PLAN FOR TYPES AND HEIGHTS.
12. INSTALL 1/2" GYP. TO AT LEAST 6" ABOVE CEILING FINISH.
13. PRE-FABRICATED ROOF TRUSSES, REFER TO STRUCTURAL DRAWING FOR ALL SPECIFICATIONS AND DETAILS.
14. INSULATE PER 1-24 SPECIFICATION.
15. PROVIDE ACOUSTICAL INSULATION OR SOUNDPROOF BATTING TO PREVENT SOUND TRANSMISSION THROUGH WALLS.
16. INSTALL 1/2" GYP. @ CEILING, SEE FINISH SCHEDULE FOR SPECIFICATIONS.
17. PROVIDE BULKHEAD, SEE CEILING PLAN FOR LOCATIONS. SEE STRUCTURAL DRAWINGS FOR SPECIFICATIONS AND CONNECTION DETAILS.
18. CEILING FRAMING, SEE STRUCTURAL DRAWINGS FOR SPECIFICATIONS AND CONNECTION DETAILS.
19. PROVIDE SOLID SHEATHED DECK OVER JOISTS.

**GENERAL NOTES**

1. REFER TO ELECTRICAL, MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  2. INSTALL FIRE BLOCKING AT LOCATIONS INDICATED IN CBC SECTION 718.2 THROUGH 718.2.7 AS APPLIED.
- CBC SECTION 718.2:**  
 "IN COMBUSTIBLE CONSTRUCTIONS, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN TOP STORY AND ROOF OR ATTIC." CBC SECTION 718.2.1: "FIRE BLOCKING SHALL CONSIST OF 2 INCH NOMINAL LUMBER OR TWO THICKNESSES OF ONE INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 0.716 INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 0.75 INCH PARTICLE BOARD, GYPSUM BOARD, CEMENT FIBER BOARD, BATTS, OR BLANKETS OF MINERAL WOOL, GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIRE BLOCK. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE TEN FOOT HORIZONTAL FIREBLOCKING IN WALL CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS. LOOSEFILL INSULATION MATERIAL SHALL NOT BE USED AS A FIRE BLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND TO RETARD THE SPREAD OF FIRE AND HOT GASES. THE INTEGRITY OF THE FIRE BLOCKS SHALL BE MAINTAINED." CBC SECTION 718.2.3: "FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOIST OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS."

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**DUNKIN'**



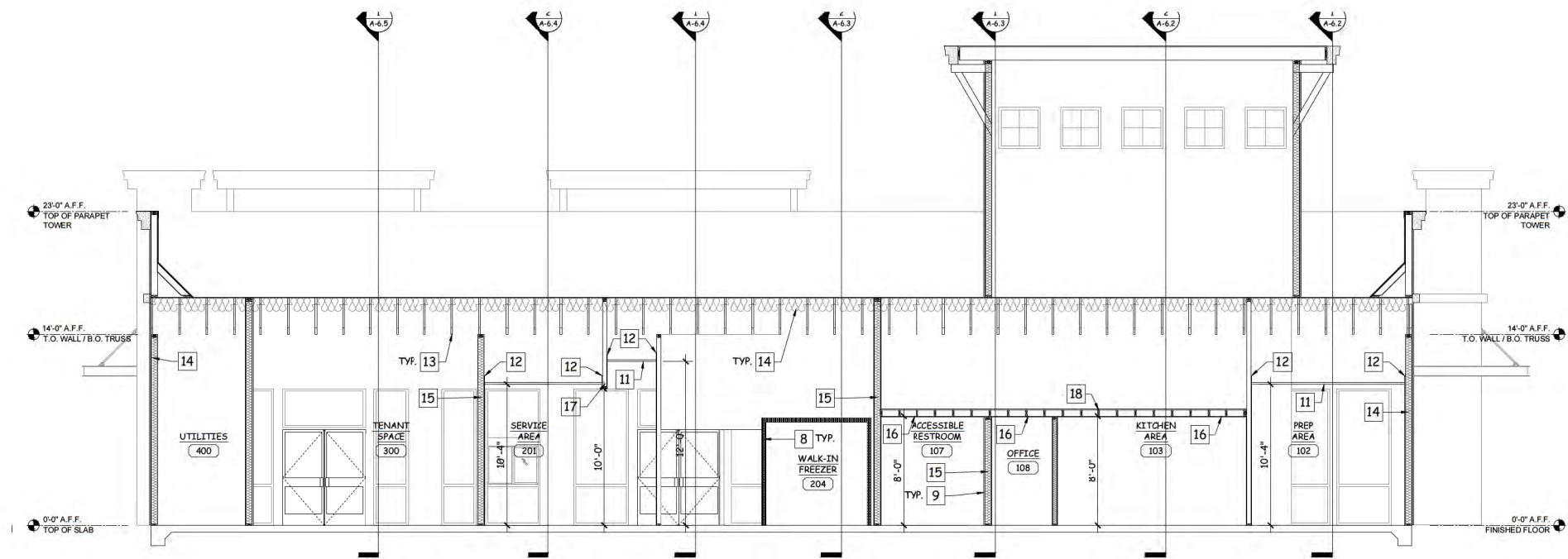
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VICTORY LANE CENTER  
 ROCKLIN, CA

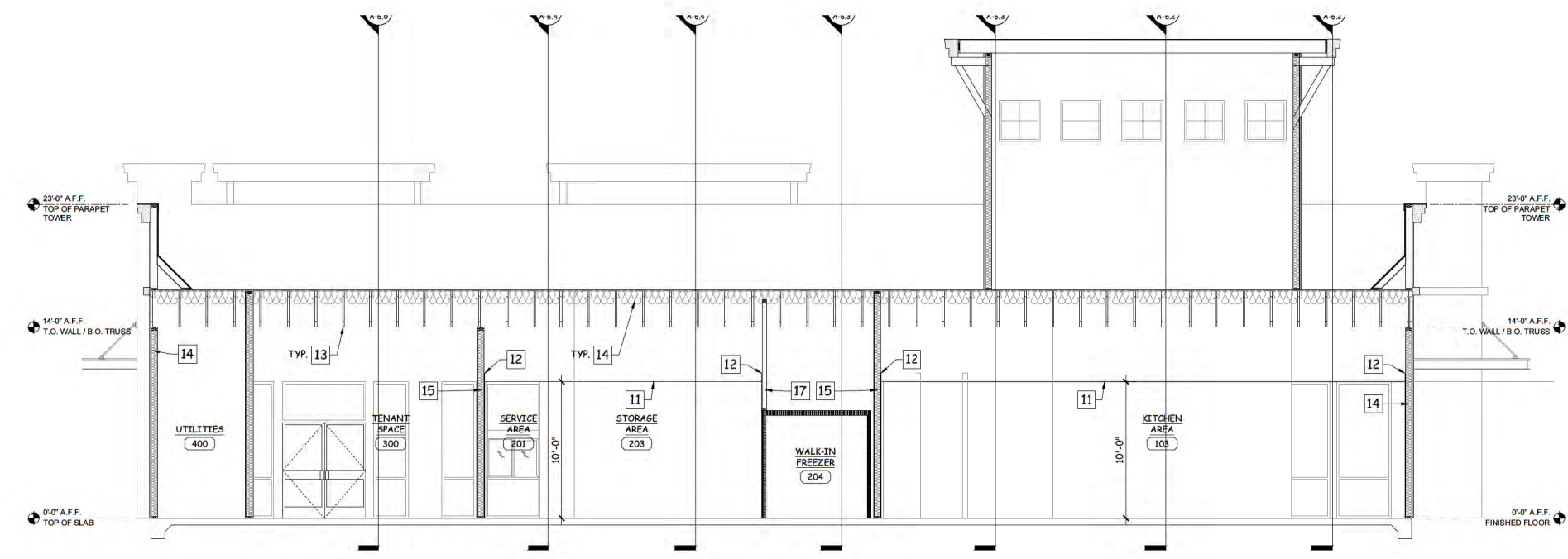
**BUILDING SECTIONS  
 1 & 2**

**A-6.0**





**1 BUILDING SECTION 3**  
 3/16" = 1'-0" NOTE: BASED ON FLOOR PLAN INDICATION



**2 BUILDING SECTION 4**  
 3/16" = 1'-0" NOTE: BASED ON FLOOR PLAN INDICATION

**# KEYNOTES**

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2. PREFINISHED METAL AWNING. SEE FINISH SCHEDULE.
3. LAMINER STORE FRONT GLAZING. HARK BRONZE. SEE WINDOW SCHEDULE. TYPICAL. SEE WINDOW SCHEDULE FOR SPECIFICATIONS.
4. SIGNAGE SHOWN FOR REFERENCE. ALL SIGNAGE UNDER SEPARATE PERMIT. PAINTED STUCCO BAND. SEE FINISH SCHEDULE.
5. FLAT ROOF W/ 1/2" PER FT. SLOPE TO DRAIN. TPO SINGLE-PLY ROOF COVERING OVER SOLID ROOF SHEATHING. INSTALL PER MANUFACTURER'S SPECIFICATIONS AS REQUIRED FOR 1/2" PITCH. TPO ROOFING TO BE CONTINUOUS AT PARAPET WALLS TO UNDERSIDE OF PARAPET CAP/COPING AND SECURED. OPTIONAL MANUFACTURERS INCLUDE 6AF, JOHNS-MANNITTE, DURALAST OR EQUAL. INSTALL ROOF DRAINS AT FLAT ROOF PER MANUFACTURER'S SPECIFICATIONS AND PER CRC-1502 AND CRC-1611 THE INSTALLATION AND SIZING OF OVERFLOW DRAINS, LEADERS AND CONDUCTORS SHALL COMPLY WITH SECTIONS 1106 AND 1108 OF THE CALIFORNIA PLUMBING CODE, AS APPLICABLE.
7. PARAPET KNEE BRACING. SEE STRUCTURAL FOR DETAILS.
8. 20'-0" ROOF-BEARING PLATE, NOMINAL.
9. 30'-0" NOMINAL PARAPET HEIGHT.
10. PREFABRICATED COOLER WALLS, CEILING, FLOOR, DOORS AND RACKS. THE INTERIOR AND EXTERIOR WALLS AND INTERIOR CEILING SHALL BE SUPPLIED WITH 26 GAUGE CORROSION RESISTANT STUCCO EMBOSSED COATED STEEL. MAINTAIN 2" AIR SPACE BETWEEN COOLER AND ADJACENT WALLS PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO FIELD VERIFY DIMENSIONS WITH PROJECT MANAGER.
11. 80" TYP. 12" OF ALL WALLS IN ANY WET AREA SHALL RECEIVE 5/8" DUROCK.
12. PROVIDE AND INSTALL WATER RESISTANT GYP. BOARD THROUGHOUT RESTROOMS FROM 1'-0" A.F.F. (ON TOP OF BUROCK) TO CEILING.
13. 3-COAT PLASTER CEMENT COATING OVER WATER RESISTANT BARRIER OVER 2X FRAMING. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
14. EL TORADO MOUNTAIN LEISE. STONE VENEER. COLOR: SIERRA. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
15. 2'X2' ACOUSTICAL TILE CEILING. REFER TO REFLECTED CEILING PLAN FOR HEIGHTS.
16. INSTALL 1/2" GYP. TO AT LEAST 6' ABOVE CEILING FINISH.
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18. INSULATE PER T-24 SPECIFICATIONS.
19. PROVIDE ACOUSTICAL INSULATION OR SOUNDPROOF BATTING TO PREVENT SOUND TRANSMISSION THROUGH WALLS.
20. 32'-0" ROOF-BEARING PLATE AT REAR, NOMINAL.
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22. PROVIDE BLANKET OVER WALK-IN. SEE CEILING PLAN FOR LOCATIONS. SEE STRUCTURAL DRAWINGS FOR SPECIFICATIONS AND CONNECTION DETAILS.
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25. MILLWORK BY OTHERS. REFER TO EQUIPMENT DRAWINGS FOR FURTHER SPECIFICATIONS.

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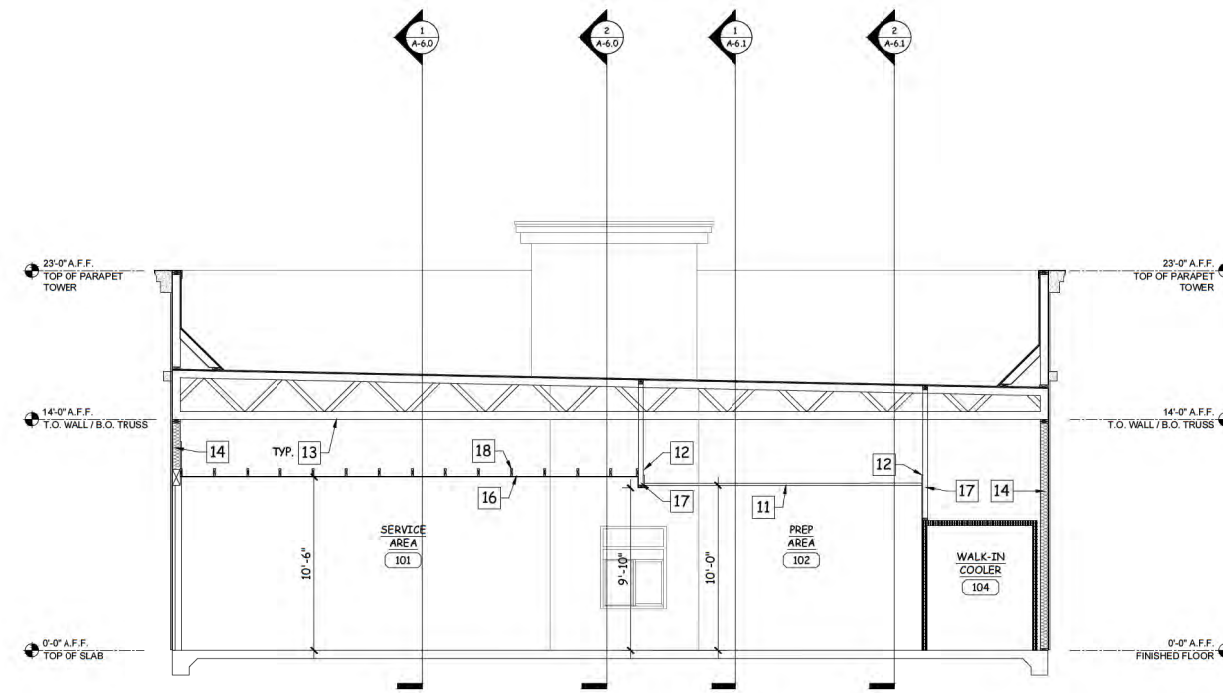
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VICTORY LANE CENTER  
 ROCKLIN, CA

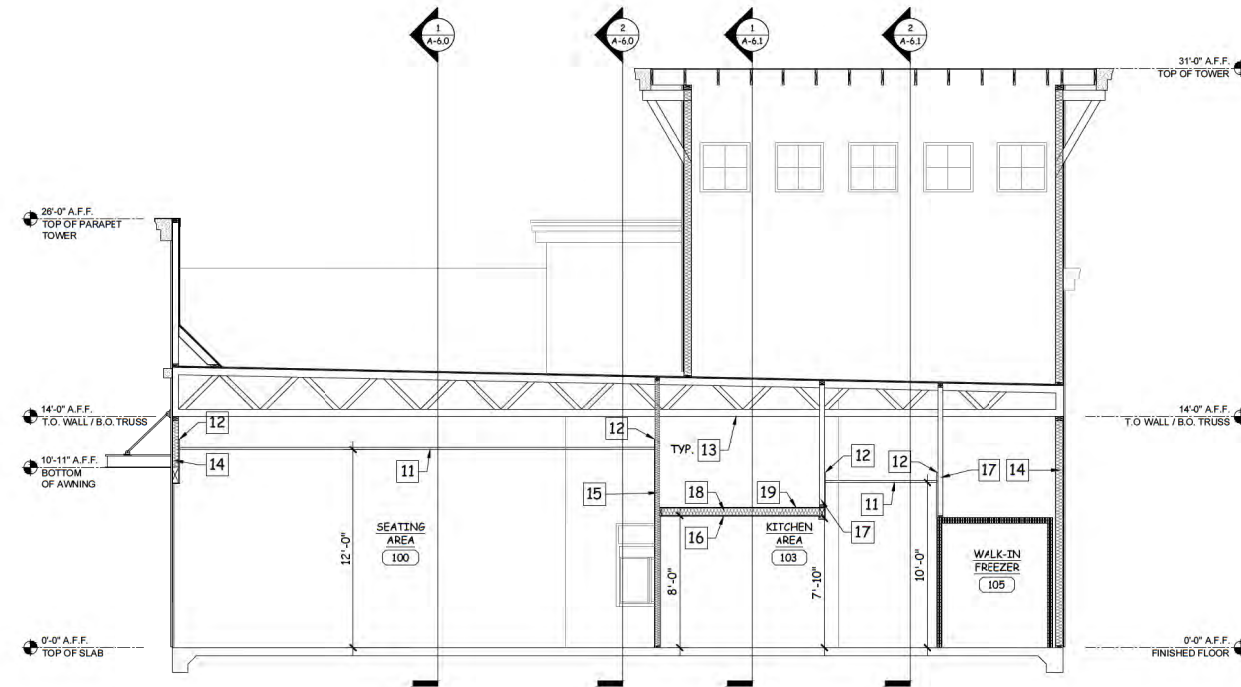
**BUILDING SECTIONS  
 3 & 4**

**A-6.1**





**1 BUILDING SECTION 5**  
3/16" = 1'-0" NOTE: BASED ON FLOOR PLAN INDICATION



**2 BUILDING SECTION 6**  
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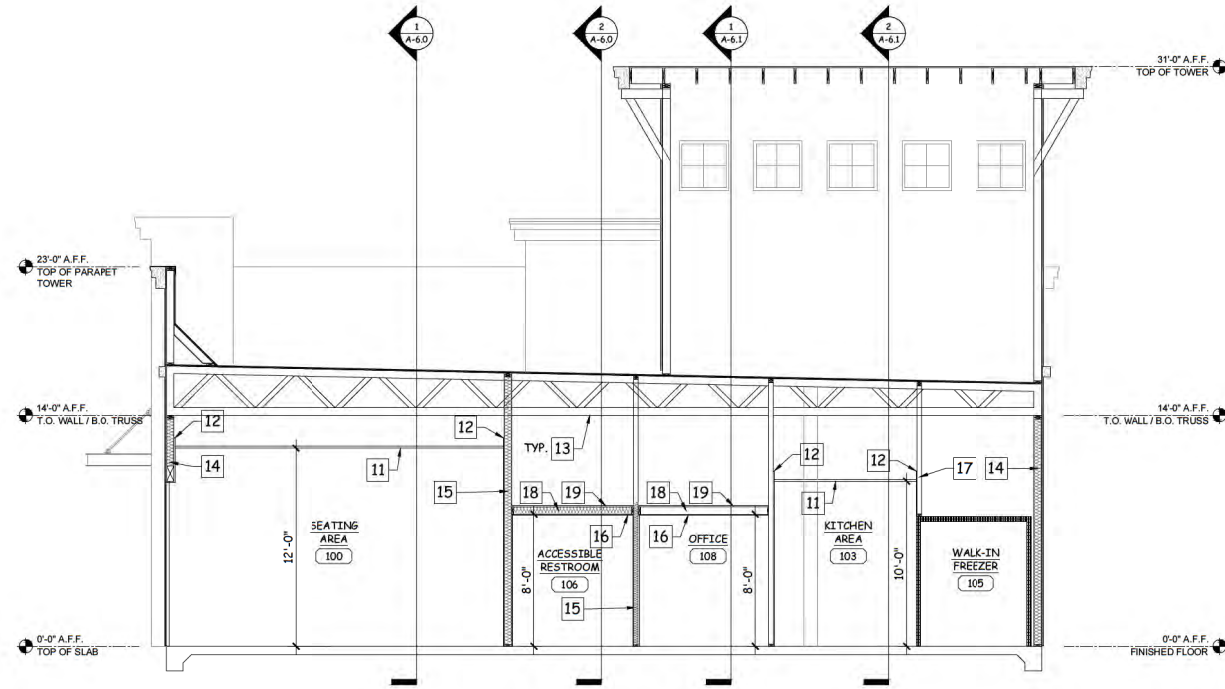
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VICTORY LANE CENTER  
ROCKLIN, CA

**BUILDING SECTIONS  
5 & 6**

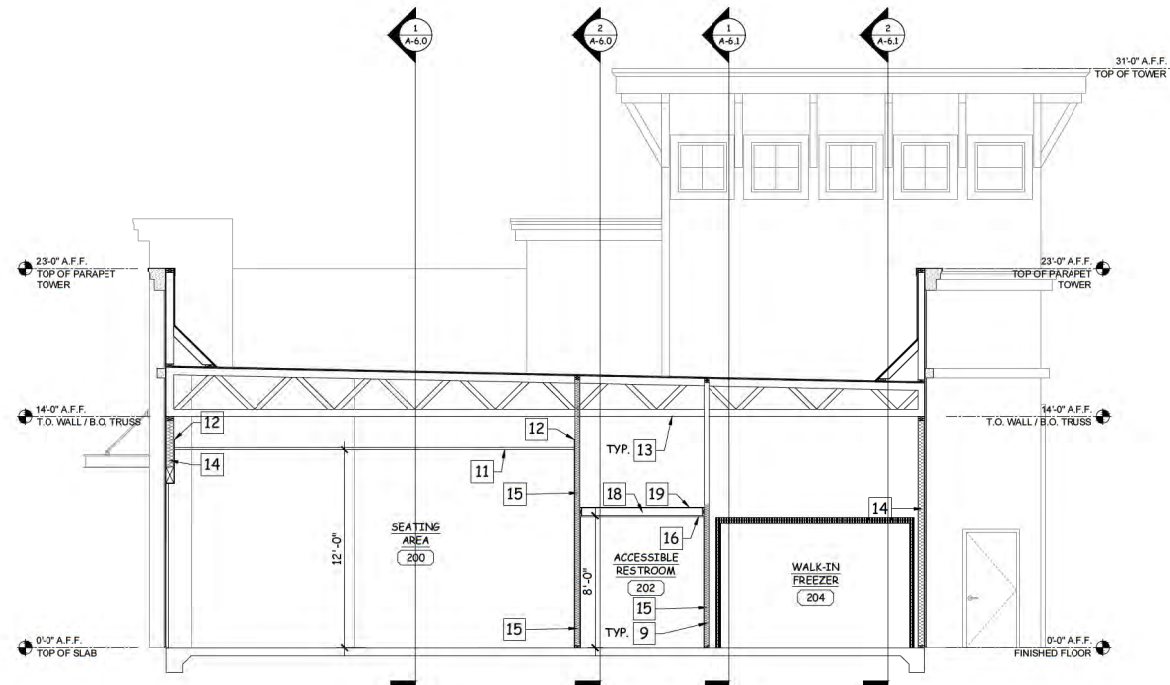
**A-6.2**





**1 BUILDING SECTION 7**

3/16" = 1'-0" NOTE: BASED ON FLOOR PLAN INDICATION



**2 BUILDING SECTION 8**

3/16" = 1'-0" NOTE: BASED ON FLOOR PLAN INDICATION

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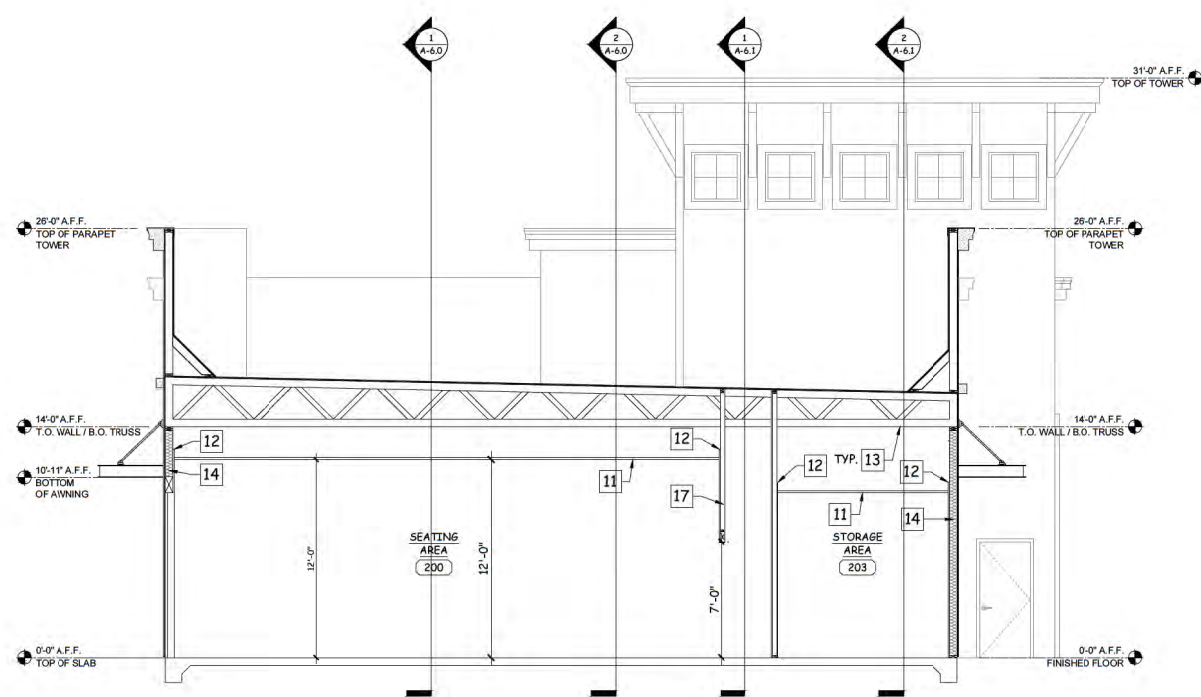


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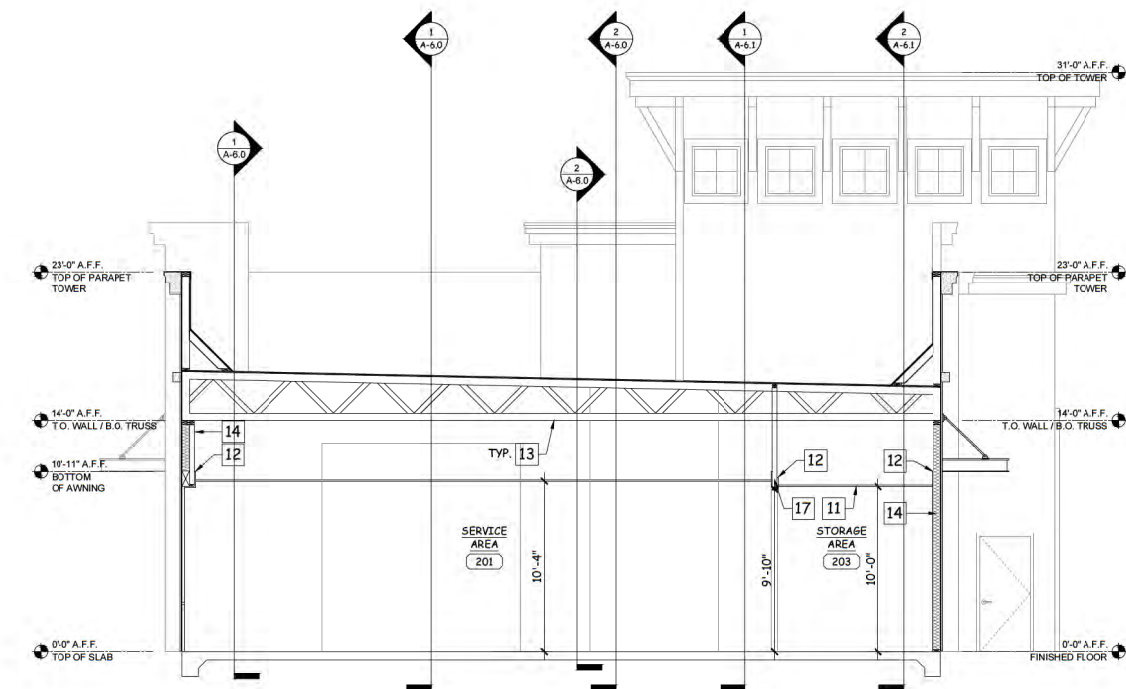
VICTORY LANE CENTER  
 ROCKLIN, CA  
**BUILDING SECTIONS  
 7 & 8**

**A-6.3**





**1 BUILDING SECTION 9**  
3/16" = 1'-0" NOTE: BASED ON FLOOR PLAN INDICATION



**2 BUILDING SECTION 10**  
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"IN COMBUSTIBLE CONSTRUCTIONS, FIRE BLOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN TOP STORY AND ROOF OR ATTIC." CBC SECTION 718.2.1: "FIRE BLOCKING SHALL CONSIST OF 2 INCH NOMINAL LUMBER OR TWO THICKNESSES OF ONE INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS OR ONE THICKNESS OF 0.716 INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 0.75 INCH PARTICLE BOARD, GYPSUM BOARD, CEMENT FIBER BOARD, BATTS, OR BLANKETS OF MINERAL WOOL, GLASS FIBER, OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIRE BLOCK. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIALS SHALL BE PERMITTED FOR COMPLIANCE WITH THE TEN FOOT HORIZONTAL FIREBLOCKING IN WALL CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS. LOOSEFILL INSULATION MATERIAL SHALL NOT BE USED AS A FIRE BLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND TO RETARD THE SPREAD OF FIRE AND HOT GASES. THE INTEGRITY OF THE FIRE BLOCKS SHALL BE MAINTAINED." CBC SECTION 718.2.3: "FIREBLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOIST OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, DROP CEILING, COVE CEILING AND SIMILAR LOCATIONS.

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**DUNKIN'**



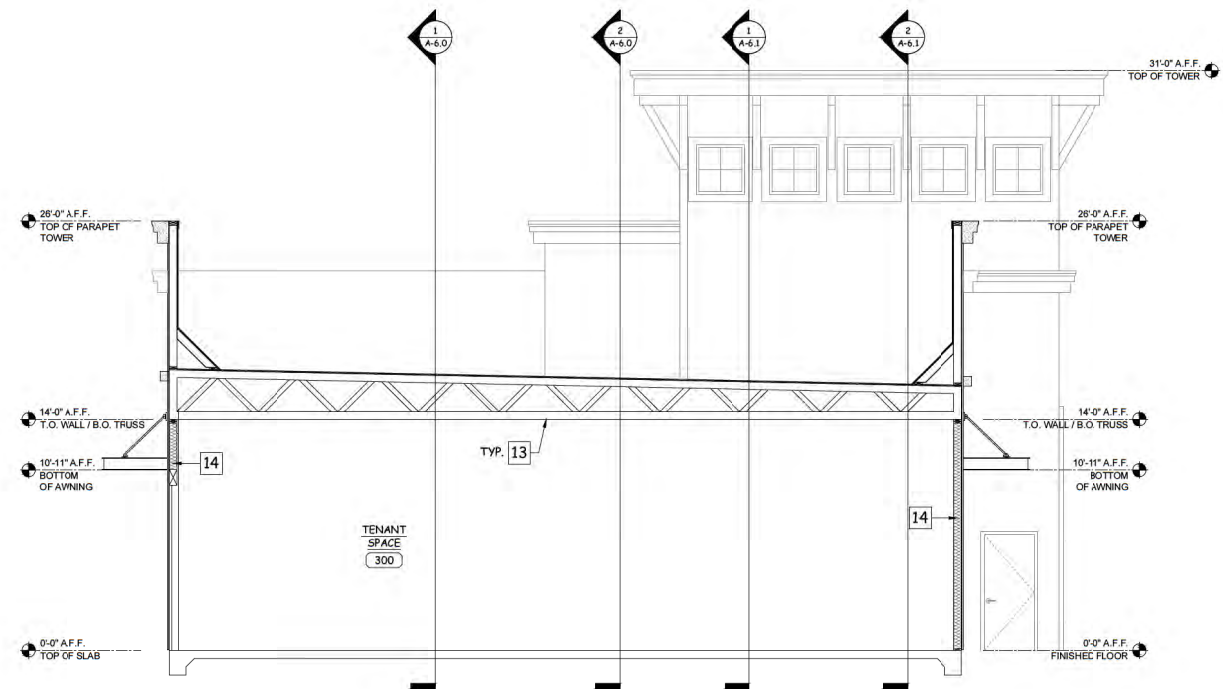
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VICTORY LANE CENTER  
ROCKLIN, CA

**BUILDING SECTIONS  
9 & 10**

**A-6.4**





**1 BUILDING SECTION 11**

3/16" = 1'-0" NOTE: BASED ON FLOOR PLAN INDICATION

**# KEYNOTES**

1. PARAPET WALL WITH FOAM CORNICE WRAPPED IN STUCCO: INSTALL CANTED CORING METAL CAP FLASHING AT TOP OF PARAPET WALL PER MANUFACTURER'S SPECIFICATIONS AND PER CRC-R903.3. "PARAPET WALLS SHALL BE PROPERLY COPED WITH NONCOMBUSTIBLE, WEATHERPROOF MATERIALS OF A WIDTH NOT LESS THAN THE THICKNESS OF THE PARAPET WALL."
2. PREFINISHED METAL AWNING, SEE FINISH SCHEDULE.
3. LAMINER STORE FRONT GLAZING, HARK BRONZE, SEE WINDOW SCHEDULE, TYPICAL, SEE WINDOW SCHEDULE FOR SPECIFICATIONS.
4. SIGNAGE SHOWN FOR REFERENCE, ALL SIGNAGE UNDER SEPARATE PERMIT, PAINTED STUCCO BAND, SEE FINISH SCHEDULE.
5. FLAT ROOF W/1/2" PER FT. SLOPE TO DRAIN, TPO SINGLE-PLY ROOF COVERING OVER SOLID ROOF SHEATHING, INSTALL PER MANUFACTURER'S SPECIFICATIONS AS REQUIRED FOR 1/2" PITCH, TPO ROOFING TO BE CONTINUOUS AT PARAPET WALLS TO UNDERSIDE OF PARAPET CAP/COPING AND SECURED; OPTIONAL MANUFACTURERS INCLUDE 6AF, JOHNS-MANVILLE, DUKOLAST OR EQUAL; INSTALL ROOF DRAINS AT FLAT ROOF PER MANUFACTURER'S SPECIFICATIONS AND PER CRC-1502 AND CRC-1611 THE INSTALLATION AND SIZING OF OVERFLOW DRAINS, LEADERS AND CONDUCTORS SHALL COMPLY WITH SECTIONS 1106 AND 1108 OF THE CALIFORNIA PLUMBING CODE, AS APPLICABLE.
7. PARAPET KNEE BRACING, SEE STRUCTURAL FOR DETAILS.
8. 20'-0" ROOF-BEARING PLATE, NOMINAL.
9. 30'-0" NOMINAL PARAPET HEIGHT.
10. PREFABRICATED COOLER WALLS, CEILING, FLOOR, DOORS AND RACKS, THE INTERIOR AND EXTERIOR WALLS AND INTERIOR CEILING SHALL BE SUPPLIED WITH 26 GAUGE CORROSION RESISTANT STUCCO EMBOSSED COATED STEEL, MAINTAIN 2" AIR SPACE BETWEEN COOLER AND ADJACENT WALLS PER MANUFACTURER'S SPECIFICATIONS, CONTRACTOR TO FIELD VERIFY DIMENSIONS WITH PROJECT MANAGER.
11. BOTTOM 12" OF ALL WALLS IN ANY WET AREA SHALL RECEIVE 5/8" DUROCK.
12. PROVIDE AND INSTALL WATER RESISTANT GYP. BOARD THROUGHOUT RESTROOMS FROM 1'-0" A.F.F. (ON TOP OF BUROCK) TO CEILING.
13. 3-COAT PLASTER CEMENT COATING OVER WATER RESISTANT BARRIER OVER 2X FRAMING, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
14. EL. HORADO MOUNTAIN LEISE, STONE VENEER, COLOR: SIERRA, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
15. 2'X2' ACOUSTICAL TILE CEILING, REFER TO REFLECTED CEILING PLAN FOR HEIGHTS.
16. INSTALL 1/2" GYP. TO AT LEAST 6" ABOVE CEILING FINISH.
17. PREFABRICATED ROOF TRUSSES, REFER TO STRUCTURAL DRAWING FOR ALL SPECIFICATIONS AND DETAILS.
18. INSULATE PER T-24 SPECIFICATIONS.
19. PROVIDE ACOUSTICAL INSULATION OR SOUNDPROOF BATTING TO PREVENT SOUND TRANSMISSION THROUGH WALLS.
20. 32'-0" ROOF-BEARING PLATE AT REAR, NOMINAL.
21. INSTALL 1/2" GYP. TO CEILING, SEE FINISH SCHEDULE FOR SPECIFICATIONS.
22. PROVIDE BALKEAD OVER WALL IN SEE CEILING PLAN FOR LOCATIONS, SEE STRUCTURAL DRAWINGS FOR SPECIFICATIONS AND CONNECTION DETAILS.
23. CEILING FRAMING, SEE STRUCTURAL DRAWINGS FOR SPECIFICATIONS AND CONNECTION DETAILS.
24. WALL BRACING, SEE STRUCTURAL DRAWINGS FOR SPECIFICATIONS AND CONNECTION DETAILS.
25. MILLWORK BY OTHERS, REFER TO EQUIPMENT DRAWINGS FOR FURTHER SPECIFICATIONS.

**GENERAL NOTES**

1. REFER TO ELECTRICAL, MECHANICAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
  2. INSTALL FIRE BLOCKING AT LOCATIONS INDICATED IN CBC SECTION 718.2 THROUGH 718.2.7 AS APPLIED.
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VICTORY LANE CENTER  
 ROCKLIN, CA  
**BUILDING SECTIONS**  
 11

**A-6.5**

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