



New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

Application Received: June 13, 2024

Project Name and Requested Approvals:

Yugoslavian SDA Church

Conditional Use Permit (U2024-0004)
Environmental (ENV2024-0007)

Staff Description of Project:

The project is a request for a CUP to operate a church within an existing building. The project would segment an existing commercial office unit into two tenant spaces, which would serve the needs of the Sacramento Yugoslavian Seventh-day Adventist (SDA) Church by providing both an assembly area and church office area. No exterior modifications to the building are proposed, with the exception of a new exit door and associated walkway.

Location:

The project is proposed within an existing building at 2211 Plaza Drive. The Assessor's Parcel Number (APN) is 358-140-010.

Land Use Designation(s)/Zoning:

The property is designated Retail Commercial (RC) in the Rocklin General Plan. The property is zoned Planned Development Business Professional / Commercial (PD-BP/C).

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The applicant is Jovan Kekich; the owner is Northern California Conference of Seventh Day Adventists.

Attached Information:

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>



City of Rocklin

Planning Division
 3970 Rocklin Road
 Rocklin, California 95677
 Phone (916) 625-5160 FAX (916) 625-5195

**UNIVERSAL
 APPLICATION
 FORM**

NAME OF PROJECT: Yugoslavian SDA Church & Office

LOCATION: 2211 Plaza Dr

ASSESSOR'S PARCEL NUMBERS: 358-140-010-000

DATE OF APPLICATION (STAFF): 6/13/24 **RECEIVED BY (STAFF INITIALS):** MC

FILE NUMBERS (STAFF): V2024-0004, ENV2024-0007 **FEES:** \$11,176.00

RECEIPT NO.: R58788

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 02-26-2024

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

<input type="checkbox"/> General Plan Amendment (GPA) Fee:	<input type="checkbox"/> Tentative Subdivision Map (SD) Fee:	<input type="checkbox"/> Use Permit (U) <input type="checkbox"/> Minor (PC Approval – New Bldg) Fee: <input checked="" type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee: \$10,705.00 <input type="checkbox"/> Major (CC Approval) Fee:
<input type="checkbox"/> BARRO Zone Application (BZ) Fee:	<input type="checkbox"/> Tentative Parcel Map (DL) Fee:	<input type="checkbox"/> Variance (V) Fee:
<input type="checkbox"/> Rezone (Reclassification) (Z) Fee:	<input type="checkbox"/> Design Review (DR) <input checked="" type="checkbox"/> Commercial Fee: <input type="checkbox"/> Residential Fee: <input type="checkbox"/> Signs Fee:	<input type="checkbox"/> Oak Tree Preservation Plan Permit <input type="checkbox"/> Planning Commission Fee: <input type="checkbox"/> City Council Fee:
<input type="checkbox"/> General Development Plan (PDG) Fee:	<input type="checkbox"/> Concurrent Application (2 or more entitlements) Fee:	<input type="checkbox"/> Modification to Approved Projects Fee: File Number: _____

Environmental Requirements: (STAFF)

<input type="checkbox"/> Exempt - \$471.00	<input type="checkbox"/> Mitigated Negative Declaration –
<input type="checkbox"/> Negative Declaration –	<input type="checkbox"/> EIR – See Fee Schedule

15162 Determination -

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: <u>RC</u>	Acres: <u>0.22</u>	<u>N/A</u> Pub. Sewer	<u>N/A</u> Pub. Sewer
Proposed: <u>RC</u>	Square Feet: <u>9687</u>	<u>Y</u> Septic Sewer	<u>N/A</u> Septic Sewer
ZONING:	Dimensions: _____	<u>Y</u> Pub. Water	<u>N/A</u> Pub. Water
Existing: <u>PD-BP/C</u>	No. of Units: <u>2</u>	<u>N/A</u> Well Water	<u>N/A</u> Well Water
Proposed: <u>PD-BP/C</u>	Building Size: <u>91' x 106'</u>	<u>Y</u> Electricity	<u>Y</u> Electricity
	Proposed Parking: <u>No Change</u>	<u>Y</u> Gas	<u>N/A</u> Gas
	Required Parking: <u>No Change</u>	<u>Y</u> Cable	<u>N/A</u> Cable
	Access: <u>No Change</u>		

PROJECT REQUEST:

Tenant Improvement: The proposed project involves the segmenting of an existing commercial office unit into two distinct tenant spaces at 2211 Plaza Dr, Rocklin, CA 95765. This project will not alter the existing occupancy type, classification, or total occupant count. The primary objective is to create two functional and independent office units that cater to the needs of the Sacramento Yugoslavian Seventh-day Adventist (SDA) Church by providing both an assembly area and church office.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Northern California Conference of Seventh Day Adventists


ADDRESS: PO Box 619015

CITY: Roseville STATE: CA ZIP: 95661

PHONE NUMBER: 916-886-5600

EMAIL ADDRESS:

FAX NUMBER:

SIGNATURE OF OWNER  Richard Magnuson 06/12/24

(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT (If different than owner): Jovan Kekich

CONTACT: Jovan Kekich

ADDRESS: 970 Reserve Dr. Ste 135

CITY: Roseville STATE: CA ZIP: 95678

PHONE NUMBER: 916-532-6600

EMAIL ADDRESS: jovank@jtxgroup.com

FAX NUMBER:

SIGNATURE OF APPLICANT  Jovan Kekich 06/12/24

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Yugoslavian SDA Church & Office
Location: 2211 Plaza Drive
Assessors Parcel Number(s): 358-140-010-000

Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):
Tenant Improvement/Use Permit

Name of person and / or firm authorized to represent property owner (Please print):
Jovan Kekich

Address: 970 Reserve Dr. Ste 135
City: Roseville State: CA Zip: 95678

Phone Number: 916-532-6600 Fax Number: _____

Email Address: jovank@jtxgroup.com

The above named person or firm is authorized as:
Agent () Buyer (_____) Lessee (_____)

The above named person or firm is authorized to (check all that are applicable):
 File any and all papers in conjunction with the aforementioned request, including signing the application
 Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.
 Sign any and all papers in my stead, with the exception of the application form.

The duration and validity of this authorization shall be:
 Unrestricted (_____) Valid until: _____

Owners Authorization Signature & Date:
Signature:  Richard Magnusson 06/12/24 Date: 06.12.2024.

Owners Name (Please Print): Northern California Conference of Seventh Day Adventists
Owners Address: PO Box 619015

City: Roseville State: CA Zip: 95661

Phone Number: 916-886-5600

Email Address: _____

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Yugoslavian SDA Church & Office
Location: 2211 Plaza Drive
Assessors Parcel Number(s): 358-140-010-000
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):
Tenant Improvement/Use Permit


Name of person and / or firm authorized to represent property owner (Please print):
Nick Feitser

Address: PO Box 254704
City: Sacramento State: CA Zip: 95865
Phone Number: 916-307-3500 Fax Number: _____
Email Address: nick.feitser@easyp permit.com

The above named person or firm is authorized as:
Agent () Buyer (____) Lessee (____)

The above named person or firm is authorized to (check all that are applicable):
 File any and all papers in conjunction with the aforementioned request, including signing the application
 Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.
 Sign any and all papers in my stead, with the exception of the application form.

The duration and validity of this authorization shall be:
 Unrestricted (____) Valid until:

Owners Authorization Signature & Date:
Signature:  Richard Magnuson 06/12/24 Date: 06.12.2024.
Owners Name (Please Print): Northern California Conference of Seventh Day Adventists
Owners Address: PO Box 619015
City: Roseville State: CA Zip: 95661
Phone Number: 916-886-5600
Email Address: _____

NOTIFICATION OF OWNERS OF MINERAL RIGHTS

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder’s office a “notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code” on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

See page 24 of this application for instructions on how to submit mailing labels.

Section 65091(a)(2)

“(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code.”

There are _____ / are not (check one) owner(s) of record of preserved mineral rights on the subject property and I, _____ , the applicant or applicant’s representative, have _____ / have not (check one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

 Jovan Kekich 06/12/24
Signature

06.12.2024.
Date

**STATE OF CALIFORNIA
DEPARTMENT OF FISH AND GAME
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount *no later than* the day of the final scheduled public hearing for the proposed project.

PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

I, Jovan Kekich, the applicant or applicant's representative, have read the information above and understand its meaning.

	06/12/24	06.12.2024.
Signature		Date

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, _____ is, is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: _____ Date of list: _____

Type of problem:

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 06.12.2024.

Applicant: Jovan Kekich

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site: <http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

Jovan Kekich

Applicant's Name (printed)

 *Jovan Kekich*

Applicant's Signature

06/12/24

06.12.2024.

Date



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

**ENVIRONMENTAL
INFORMATION SHEET**
(To be completed by applicant)

LOCATION OF PROJECT (ADDRESS) 2211 Plaza Dr

CITY: Rocklin STATE: CA ZIP: 95765

ASSESSORS PARCEL #: 358-140-010-000

NAME OF PROJECT: Yugoslavian SDA Church & Office

CONTACT/APPLICANT NAME: Jovan Kekich

ADDRESS: 2211 Plaza Dr

CITY: Rocklin STATE: CA ZIP: 95765

PHONE: (916) 307-3500 EMAIL: jovank@jtxgroup.com

Project Description - Describe in detail. Add separate sheet if necessary.

Tenant Improvement: The proposed project involves the segmenting of an existing commercial office unit into two distinct tenant spaces at 2211 Plaza Dr, Rocklin, CA 95765. This project will not alter the existing occupancy type, classification, or total occupant count. The primary objective is to create two functional and independent office units that cater to the needs of the Sacramento Yugoslavian Seventh-day Adventist (SDA) Church by providing both an assembly area and church office.

Property size:	<u>9687</u>	<u>0.22</u>
	Square Feet	Acres
Land Use:	<u>PD-BP/C</u>	<u>PD-BP/C</u>
	Existing	Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification:

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible:

OTHER REQUIRED PERMITS OR APPROVALS:

<u>Permit or Approval Agency</u>	<u>Address</u>	<u>Contact Person/Phone</u>
_____	_____	_____
_____	_____	_____

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more:

SITE CHARACTERISTICS

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?

Landscaping Outside of Structure

2. What are the surrounding land uses?

East Commercial Office West Commercial Office North Residential South Commercial Office

3. Is the project proposed on land which contains fill or a slope of 10% or more? N/A

4. Are there any existing erosion problems? N/A

5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? N/A

If so, describe in detail, or refer to attached soils report.

N/A

6. Grading, excavating or filling activities - Quantity of cubic yards to be:

a. Moved within the site: N/A

b. Deposited on the site: N/A

c. Removed from the site: N/A

d. Disposal site: N/A

7. Are there any streams or permanent water courses on the site? N/A

Describe:

8. Will the proposed project change drainage patterns or the quality of groundwater? No

If so explain. If not, why not:

9. Will the project affect any drainage channel, creek, pond or any other water body? No

Describe below:

10. Is any portion of the property located in a flood plain? N/A

If so describe:

11. Are there any jurisdictional wetlands or vernal pools on the site? ^{N/A} _____
If so how will they be impacted by the project? _____
12. Are there any trees or shrubs on the project site? ^{N/A} _____
What types? _____
Are any to be removed or transplanted? _____
State the location of transplant site: _____
State the number & species to be removed: _____
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
^{N/A}
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source?
^{No}
15. What type of equipment will be associated with the project during construction?
^{Typical Construction Equipment, Generators}
- During permanent operation?
^{Typical Office Equipment}
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
^{Drywall dust from interior demolition.}
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? ^{Yes} _____
If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties:
^{Dust from drywall and wall removal, will be contained in interior area of structure. Plastic sheet barriers shall be provided at the area of construction.}
18. Will the project create any new light source, other than street lighting? ^{No} _____
If yes, describe below: _____
19. Is this property covered by a Williamson Act contract? ^{No} _____
20. Has this property ever been used for agricultural purposes? ^{No} _____
If so, for what purpose and when? _____
21. Does the project involve the use of routine transport or disposal of hazardous materials? ^{No} _____
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? ^{No} _____
23. How close is the nearest school? ^{N/A} _____

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 7,264 square feet
 Building height measured from ground to highest point in feet: 23'-4"
 Number of floors/stories: 1
 Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: 20'

Project site coverage: Building N/A sq.ft. _____ %
 Landscaping N/A sq.ft. _____ %
 Paving N/A sq.ft. _____ %

Exterior building materials: Stucco
 Exterior building colors: Light Brown, Dark Brown.
 Wall and/or fencing material: CMU
 Total number of off-street parking spaces required: N/A Provided: N/A
 Total number of bicycle parking spaces: N/A

25. Is there any exposed mechanical equipment associated with the project? No
 Location and screening method: N/A

26. RESIDENTIAL PROJECTS

Total lots N/A Total dwelling units N/A
 Density/acre N/A Total acreage N/A

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Business
 Oriented to: Regional X City _____ Neighborhood _____
 Hours of operation: Church: Sat-Sun 10 AM to 1 PM / Office: 9 AM - 5PM
 Total occupancy/Building capacity: 97 Occupants
 Gross floor area: 7,264 Number of fixed seats: 47
 Number of employees (total): 3 Employees per shift: 2 Number of Shifts: 2
 Number of visitors/customers on site at busiest time (best estimate): Church: 49 Office: 6
 Other occupants (specify): _____

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? N/A

29. Will the proposed use involve any toxic or hazardous material? No

Is the project site within 2,000 feet of an identified hazardous/toxic site? N/A

Is the project site within 2,000 feet of a school or hospital? N/A

If the project involves any hazardous material, explain:

30. How many new residents is the project estimated to generate? N/A

31. Will the project generate a demand for additional housing? N/A

32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project?

Current: N/A Estimated: N/A

33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? N/A
If yes, explain:

34. How close is the project to the nearest public park or recreation area? N/A

35. What school districts will be affected by this project? N/A

36. Describe energy-efficient features included in the project
N/A

37. Describe how the following services or utilities will be provided:

Power and Natural Gas: Existing

Telephone: Existing

Water: Existing

Sewer: Existing

Storm Drainage: Existing

Solid Waste: Existing

38. Will the project block any vista or view currently enjoyed by the public? N/A

39. Are there any known historic or significant building features on or near the site? N/A
If so, will the project result in any impact to the building?

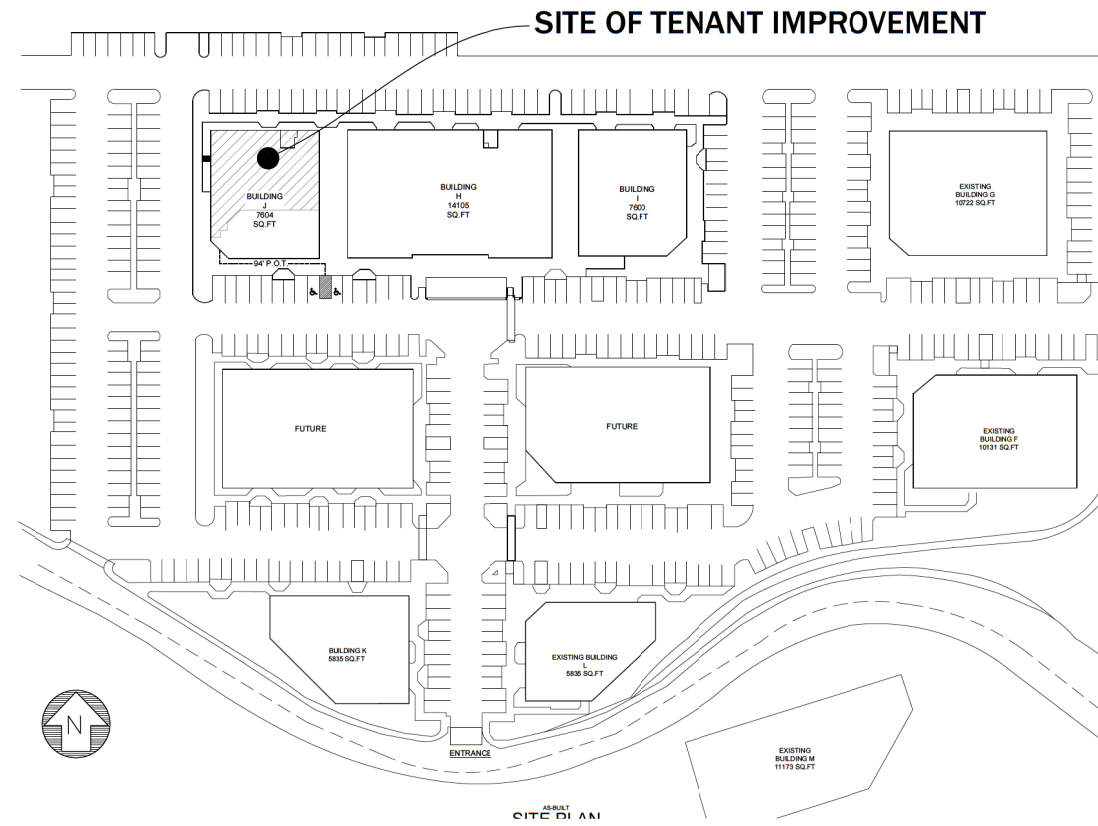
40. Are there any archaeological features on the site? N/A
If so, will the project result in any impact to these features?

PROPOSED TENANT IMPROVEMENT FOR: YUGOSLAVIAN SDA CHURCH & OFFICE

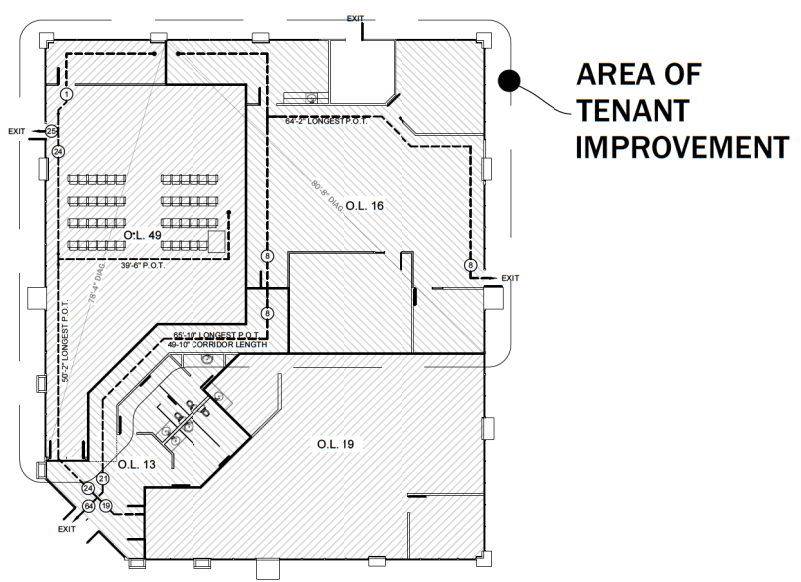
2211 PLAZA DR, SUITES 160 & 180, ROCKKLIN, CALIFORNIA



easy permit.com
 PO Box 254704
 Sacramento, CA 95865
 (916) 407-2875
 central@easypermit.com



SITE PLAN
SCALE: 1/64"=1'



OCCUPANCY & EGRESS PLAN
SCALE: 1/16"=1'

PROJECT TEAM	
Owner(s)	Yugoslavian SDA Church - 100 Stonehouse Ct, Roseville, CA 95678 - (916) 889-4570 - sasa.andelkovic@nccsda.com
Tenant(s)	Yugoslavian SDA Church - 100 Stonehouse Ct, Roseville, CA 95678 - (916) 889-4570 - sasa.andelkovic@nccsda.com
Designer	Easy Permit Co - PO Box 254704, Sacramento, CA 95865 - (916) 407-2875 - central@easypermit.com
Engineer	Keystone Engineers - 970 Reserve Dr #100, Roseville, CA 95678 - (916) 800-4488 - info@keystonestructural.com
Consultant	Josh Pinot, CAsP #194 - 3001 Sabre Ct. Shingle Springs, CA 95682 - (916) 870-4020 - jnepino@icloud.com

GENERAL NOTES	
1	The contract documents are instruments of service and shall remain the property of the Designer whether the project for which they are prepared is executed or not. The related contract documents are not to be used by any landlord or tenant, in whole or in part, for other projects, extensions to this project, or the completion of this project without the Designer's written approval, nor are they to be modified in any manner whatsoever except by agreement in writing and with appropriate compensation to the Designer.
2	General Contractor shall comply with all base building requirements and design criteria applicable to municipal, state, and federal code.
3	General Contractor shall be responsible for checking contract documents, field conditions and dimensions for accuracy and confirming that work is feasible as shown before proceeding with construction. Clarifications regarding any conflicts shall be received prior to related work being started.
4	General contractor shall verify that no conflicts exist in locations of any and all mechanical, telephone, electrical, plumbing and sprinkler equipment (to include all piping, duct work, structural members and conduit) and that all required clearances for installation and maintenance of above equipment are provided. Elements in conflict shall be determined and reviewed with Designer prior to construction proceeding.
5	General Contractor is responsible for and shall provide protection for any existing finished work including but not limited to: elevators, lobbies, corridors of the building and nearby tenants.
6	The contractor is responsible for verifying the dimensions and elevations at the site. The contractor and sub-contractor shall coordinate the layout and exact location of all partitioning, doors, electrical/ telephone outlets, light switches and thermostats with the Designer in the field before proceeding with construction.
7	Floor Tolerance: General Contractor to immediately verify slope and report any deviation over a 1/4 inch slope in 10 feet to the Designer prior to commencing work. Any leveling required greater than 1/4 inch slope in 10 feet shall be the responsibility of the General Contractor.
8	Horizontal dimensions indicated are from finished face of construction to finished face of construction unless indicated otherwise.
9	Vertical dimensions are from top of floor slab as measured from the high point of the slab, unless indicated to be above finished floor (AFF).
10	Do not scale drawings; dimensions govern. Verify dimensions with field conditions. If discrepancies are discovered between field conditions and drawings or between drawings, contact Designer for resolution before proceeding with work.
11	Cut and fit components for alteration of existing work and installation of new work. Patch disturbed areas to match adjacent materials and finishes.
12	Patch and repair all fireproofing damaged or removed during performance of the work. Fireproof new penetrations required by the work.
13	Make all necessary provisions for items as indicated on the drawings to be furnished or installed by tenant. Provide protection for these provisions until completion of the project.
14	Mechanical, electrical, plumbing and fire protection shop drawings layouts shall be submitted to the Designer immediately after award of contract. No construction shall proceed until the review of these drawings. All the above trades are to be reviewed by the Designer at the same time.
15	All work must comply with applicable codes, addenda, rules, regulations, ordinances, laws, orders, and approvals required by public authorities. In case of a conflict, the most stringent requirements shall prevail.
16	If there is a conflict between the data shown on the drawings and the data shown in the specifications, the specifications shall prevail. Detail drawings take precedence over general drawings. If the contractor discovers an error in a drawing or specification, a discrepancy or variation between dimensions or drawings and site measurements, or a lack of dimensions or other information, they shall not proceed with the affected work until clarification is obtained.
17	Only new items of recent manufacture, of standard quality, and free from defects will be allowed in the work. Rejected items must be immediately removed and replaced with items of the specified quality. Failure to remove rejected materials and equipment does not relieve the contractor of the responsibility for the quality and character of the items used or from any other contractual obligations.
18	Attachments, connections, or fastenings of any kind must be properly and permanently secured following best practices, and the contractor is responsible for making any necessary improvements. The drawings only depict special conditions to assist the contractor and do not show every detail.
19	All data and communications cable work shall be coordinated by the contractor with tenant's representative.
20	All debris must be removed from the site daily. Upon completion of the work, remove all debris from the building created under this contract and leave all areas thoroughly clean. The general contractor must comply with all building, municipal, state, and federal standards regarding the removal and disposal of demolition and construction debris.
21	The entire building is equipped with a sprinkler protection system. The contractor is responsible for providing the design, permits, and coverage for this system in the tenant space as required by applicable codes.

ABBREVIATIONS		FG	LOC	PSI	
(D)	Demolish	Finished Grade	Location	Pounds Per Square Inch	
(E)	Existing	F.O.F. Face Of Finish	LT Light	P.T. Pressure Treated	
(N)	New	FTG Footing	MAX Maximum	PT Point	
@	At	GA Gauge	MECH Mechanical	REC Recessed	
#	Number	GALV Galvanized	MED Medium	REQ Required	
A.B.	Anchor Bolts	GND Ground	MTD Mounted	S South	
ABV.	Above	GYP Gypsum	N North	STRUC Structural	
AFF	Above Finish Floor	HB Hose Bibb	N.A. Not Applicable	TEMP Temporary	
APPROX	Approximate	HD Header	N.T.S. Not to Scale	T.O.PL. Top Of Plate	
BLDG	Building	HR Hour	O/ Over	TYP Typical	
BOT	Bottom	HT Height	OCC. Occupancy	UTIL Utility	
CLR	Clear	HTR Heater	O.L. Occupant Load	W West	
DIAG	Diagonal	LAV Lavatory	O.D. Outside Diameter	W/ With	
E	East	LB Pound	OFC Office	W/O Without	
EXT	Exterior	LDGR Ledger	PLBG Plumbing	WP Waterproof	
		L.F. Linear Foot	PLYWD Plywood	WDW Window	
		LH Left Hand	P.O.T. Path Of Travel		
		LIN Linear	PROP Property		

PLAN INFORMATION	
Site Address:	2211 Plaza Dr, Rocklin, CA 95765
Owner:	Yugoslavian SDA Church
Parcel #:	358-140-010-000
Zoning:	Commercial
Occupancy Type:	B
Construction Type:	V-N
Fire Protection:	Sprinklered Existing Structure
EXISTING BUILDING SHELL:	
Zoning	PD- BP/C
Type of Construction	V-N
Occupancy Group	B-1
Total Floor Area	7604 Sq. Ft.
Existing Lot Area	9687 Sq. Ft.
TENANT IMPROVEMENT:	
Proposed Occupancy Classification	B/OFFICE
Floor Area -(E) Unit 120	1,956 Sq. Ft.
Floor Area -(N) Unit 160	2,056 Sq. Ft.
Floor Area -(N) Unit 180	2,255 Sq. Ft.
Floor Area - Common Areas	1,192 Sq. Ft.
OCCUPANT LOADS:	
Unit 120	19
Unit 160	49
Unit 180	16
Common Areas	13
TOTAL OCCUPANT LOAD:	
Previous Occupant Load	97
New Occupant Load	97
SCOPE:	
Project Type:	Proposed Tenant Improvement

Scope: Tenant Improvement to existing office space to convert one office suite into two suites. One Suite to be used for assembly but classified as a Group B occupancy (Unit 160, 49 Occupants), and the second Suite a shall be used for office purposes classified as a B Occupancy (Unit 180, 16 Occupants). No change in total building occupancy or classification from previously approved building plan, therefore no changes to parking, plumbing, or site improvements.

REFERENCE PUBLICATIONS	
Reference publications for this project are:	
2022 California Administrative Code (CAC)	
2022 California Building Code (CBC)	
2022 California Electrical Code (CEC)	
2022 California Mechanical Code (CMC)	
2022 California Plumbing Code (CPC)	
2022 California Historical Building Code (CHBC)	
2022 California Fire Code (CFC)	
2022 California Existing Building Code (CEBC)	
2022 California Referenced Standards Code (CRSC)	
2022 California Green Building Standards Code (CGC)	
2022 California Building Energy Efficiency Standards (Title 24)	

SHEET INDEX	
A1.0	Site Plan & Notes
A2.0	Floorplan
A3.0	Elevation & Photo

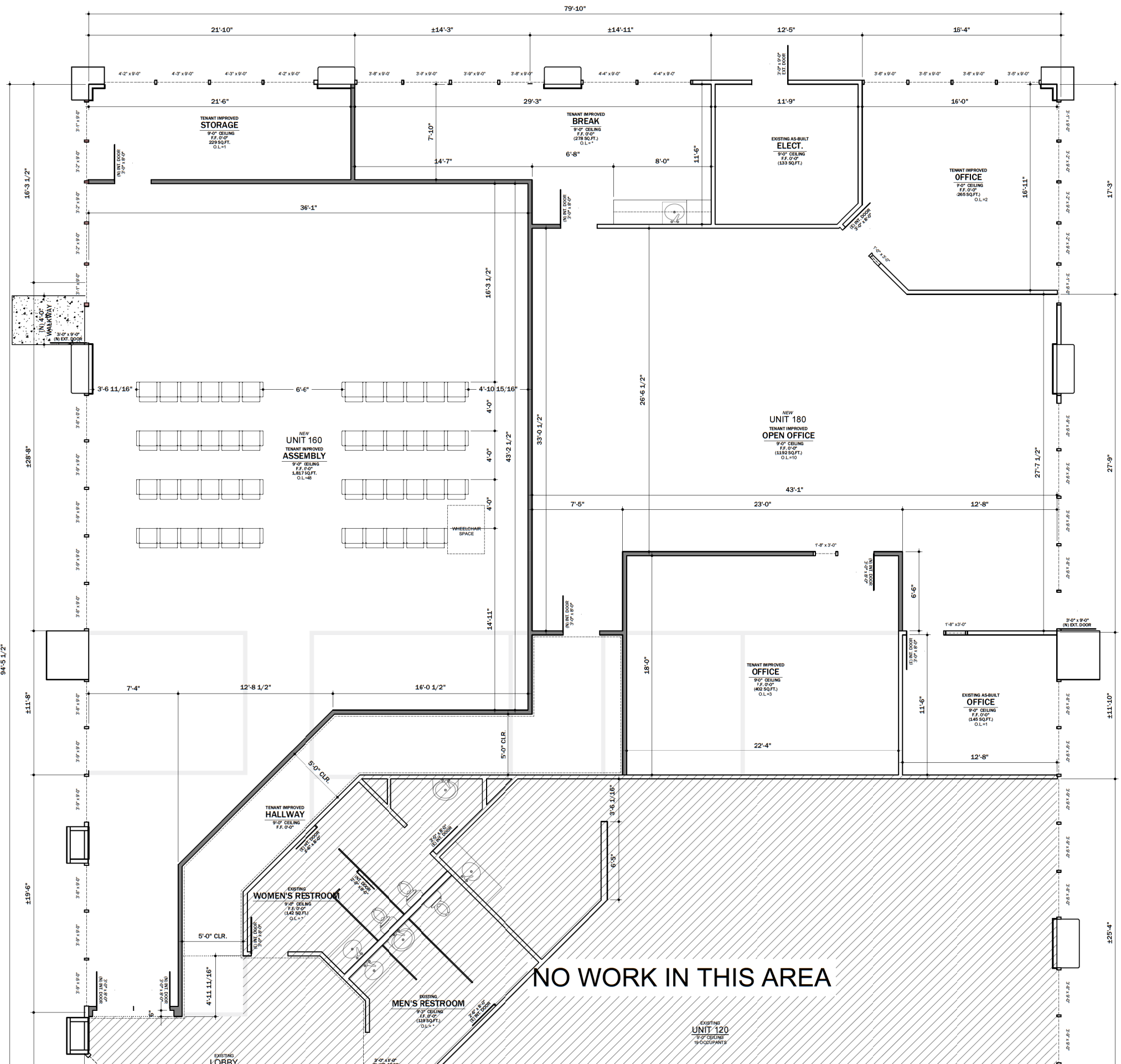
YUGOSLAVIAN SDA TI
 Proposed Tenant Improvement
 2211 Plaza Dr, Rocklin, CA 95765

Date: 5/21/24
 Project #: EPC317
 Client: Yugoslavian SDA Church
 Designer: Nick Feitser
 Designer Sig.

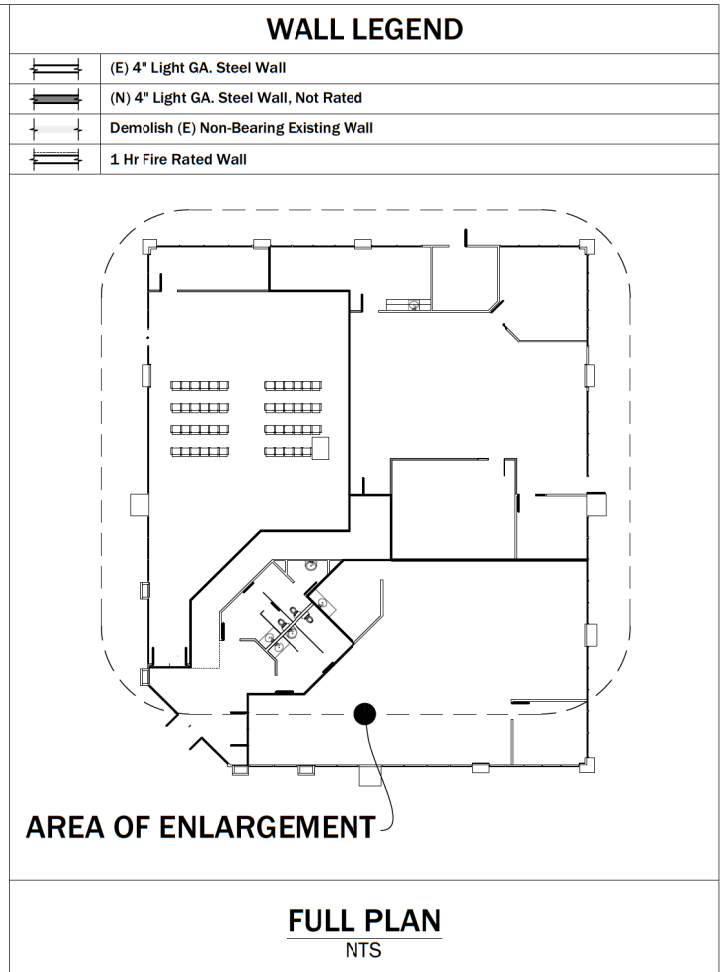
Nick Feitser

Revisions	
△	==
△	==
△	==

Site Plan
A1.0
 © 2023



ENLARGED FLOOR PLAN
SCALE: 1/4"=1'



FULL PLAN
NTS

YUGOSLAVIAN SDA TI
Proposed Tenant Improvement
2211 Plaza Dr, Rocklin, CA 95765

Date 5/21/24
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Client Yugoslavian SDA Church
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Designer Sig.

Nick Feitser

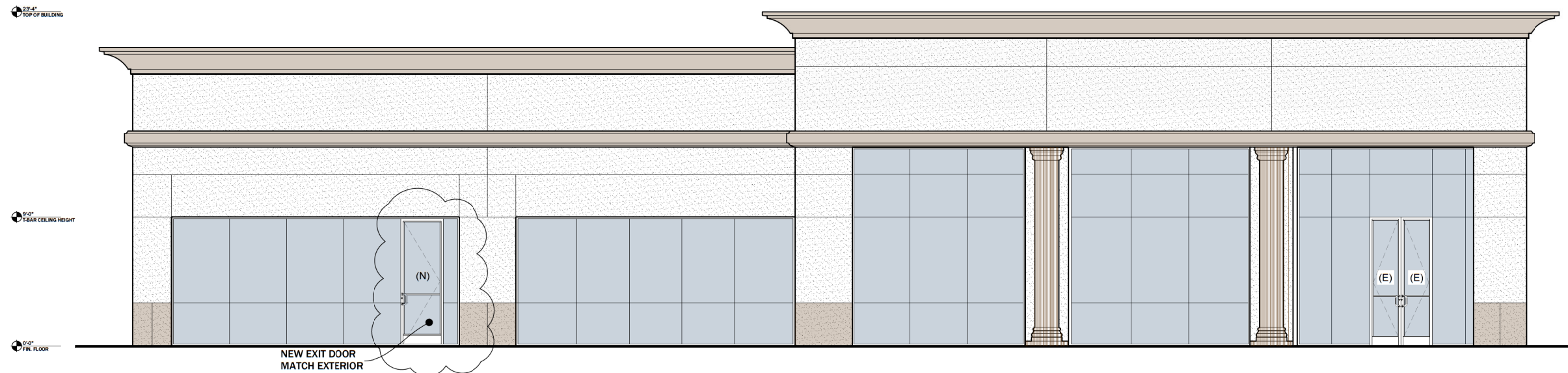
Revisions



(N) EXTERIOR DOOR DETAIL



(E) PHOTO



(N) WEST ELEVATION

SCALE: 1/4"=1'

YUGOSLAVIAN SDA TI

Proposed Tenant Improvement
2211 Plaza Dr, Rocklin, CA 95765

Date 5/21/24
Project # EPC317
Client Yugoslavian SDA Church
Designer Nick Feltser
Designer Sig.

Nick Feltser

Revisions	
△	==
△	==
△	==

Elevation & Photo

A3.0

**NARRATIVE FOR PLANNING CONSIDERATION:
NEW TENANT IMPROVED SPACE**

2211 Plaza Dr, Rocklin, CA
Today's Date: 6/12/24



Project Overview:

The proposed project involves the segmenting of an existing commercial office unit into two distinct tenant spaces at 2211 Plaza Dr, Rocklin, CA 95765. This project will not alter the existing occupancy type, classification, or total occupant count. The primary objective is to create two functional and independent office units that cater to the needs of the Sacramento Yugoslavian Seventh-day Adventist (SDA) Church by providing both an assembly area for the church members to congregate and a separate church office. Only one single change is being made to the exterior by adding one additional exit discharge door to the church space matching in color to existing trim.

Church Overview:

The Sacramento Yugoslavian Seventh-day Adventist (SDA) Church is a small ethnic local church with a congregation size of just about 40 persons total. The church membership has been downsizing over the recent years and the church's needs have thus changed, requiring a smaller space as the church does not see a potential for an increase in membership anytime soon. The church is currently located at 100 Stonehouse Ct, Roseville, CA 95678, but the space is too large given the small size of the congregation and the church is hoping to relocate to Rocklin in order to better suit their needs.

Current Condition:

- Location: 2211 Plaza Dr, Rocklin, CA 95765
- Existing Building Size: 7,264 square feet
- Occupancy Type: B Occupancy
- Use Classification: Business
- Existing Use: Office Space
- Existing Units: 2 units in the building

Proposed Changes:

The existing 4,680 square foot unit will be divided into two separate units, one being a 2,058 square foot space to be occupied by the Sacramento Yugoslavian Seventh-day Adventist (SDA) Church, and the other being a 2,255 square foot office space. One exterior exit door shall be added to the exterior, being the only external change. The unit subdivision will be carried out in accordance with local building codes and regulations.

Unit Sizes:

- Church Unit 160: 2,058 square feet
- Office Space Unit 180: 2,255 square feet
- Existing Insurance Agency Unit 120: 1,956 square feet
- Common/Hallway Space: Remainder of the subdivided area

Occupancy Details for New Unit 160 - Church:

- Proposed Occupancy Load: 49 Persons
- Use Classification: Business
- Service Schedule: Services will be held on Saturdays and Sundays from 10 AM to 1 PM
- No Change in Overall Occupancy or Classification.

Occupancy Details for New Unit 180 - Office:

- Proposed Occupancy Load: 16 Persons
- Use Classification: Business
- Office Schedule: Monday through Friday, 9AM to 5PM
- No Change in Overall Occupancy or Classification.

Total Occupancy Load:

The proposed tenant improvement will not change the overall occupancy load of the building. The combined occupancy of the three units will remain consistent with the original units' occupancy load.

Use Classification:

The use classification will remain the same for all units. There will be no change in the type of activities or operations conducted within the space.

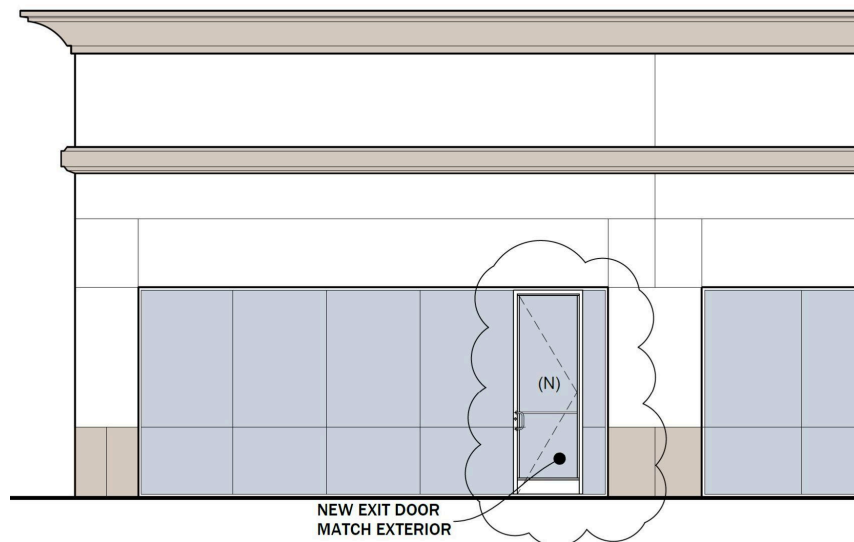
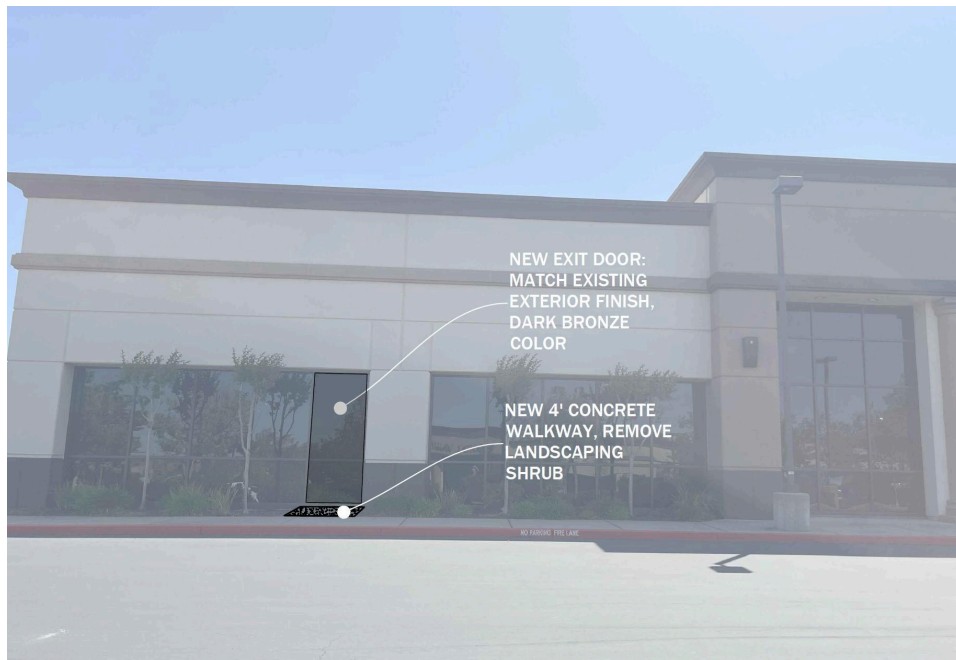
Benefits of the Proposal:

- Enhanced Marketability: Creating two smaller, independent units from the existing unit will make the space more attractive to potential tenants, offering flexibility in leasing options in the future.
- Increased Usability: The reconfigured space will provide better functionality and meet the specific needs of a broader range of businesses, including the Sacramento Yugoslavian Seventh-day Adventist Church.

Exterior Colors & Design:

This proposed tenant improvement has a single change to the exterior by adding one additional exit discharge door towards the parking lot. The door shall be matched in color to the dark bronze/black painted outside exterior.

- New exterior door trim colors to be matched with existing.
- Hardware finishes to match existing doors.
- New exterior concrete walkway to match existing concrete.



Conclusion:

This proposal aims to enhance the functionality and marketability of the existing commercial space by subdividing it into three independent units without altering the current occupancy type or classification. One of the new units will be occupied by the Sacramento Yugoslavian Seventh-day Adventist Church, which will have services on Saturdays and Sundays. The project will be executed with careful consideration of all relevant building codes and regulations to ensure a safe and compliant outcome. The improvements will provide significant benefits to both the property owner and future tenants, contributing to the overall success of the commercial property.

Attachments:

Attached to this narrative are the following:

- Church hours and attendance information
- Approval for this project from the Owner's Association
- Email from Martin Christensen in regards to traffic study not being required
- Owner Information Verification regarding Richard Magnuson
- Preliminary Title Report

Nick Feitser

Designer & Consultant



Sacramento Yugoslavian Seventh-day Adventist Church

100 Stonehouse Ct, Roseville, CA 95678 • Phone: (916) 889-4570 • sasa.andelkovic@nccsda.com


May 31, 2024

Re: Opening Hours

TO WHOM IT MAY CONCERN

Sacramento Yugoslavian Seventh-day Adventist (SDA) Church has services on Saturdays from 10am to 1pm and Sundays from 10am to 1pm. We are a small ethnic church that operates under Northern California Conference of Seventh-day Adventists. Our average service attendance ranges from 20 to 40 people.

Cordially,



Pastor Sasa Andelkovic



895 UNIVERSITY AVENUE • SACRAMENTO, CA 95825
TEL 916.669.3500

4 EMBARCADERO CENTER, SUITE 1400 • SAN FRANCISCO, CA 94111
TEL 415.677.4219

April 12, 2024

Jennifer Jacobsen
jjacobsen@bayjaclaw.com

Via Email and Regular Mail
Bret.finning@rocklin.ca.us

City of Rocklin
3970 Rocklin Road
Rocklin, CA 95675
Attn: Bret Finning

CONFIDENTIAL COMMUNICATION
ATTORNEY-CLIENT PRIVILEGE

Re: *Letter from Stanford Ranch Office Plaza Owners Association, Inc. on Application for Conditional Use Permit for Church Use at 2211 Plaza Drive, Rocklin, California 95675*

Dear Mr. Finning:

Our firm represents the interests of the Stanford Ranch Office Plaza Owners Association, Inc. (the "Association"). The Association's Board of Directors has received and reviewed the Application for Conditional Use Permit ("CUP") for Church Use at 2211 Plaza Drive, Rocklin, California 95675 (the "Church"). This letter is written at the request of the Board with respect to the Condition 6 of the Memorandum from Bret Finning, Planning Services Manager, to Jovan Kekich which states:

A letter of acknowledgement and support from the Property Management Association would be required as part of any application for approval of an assembly use (church) in this location.

Generally speaking, the Board is not opposed to the issuance of a CUP by the City of Rocklin for use of the space as a Church, provided that the Church complies with all provisions of the Declaration of Covenants, Conditions, Restrictions and Grant of Easements for Stanford Ranch Office Plaza, Rocklin, Placer County, California ("CC&Rs"), recorded On November 21, 2002 as Document Number 2002-0147859 in the Official Records of Placer County. Items of concern to the Association include, but are not limited to, all of the following:

- Any Improvements to the Church subject to Architectural Approval under Article V of the CC&Rs must actually receive such affirmative approval prior to installation and be installed in accordance with such approval.
- The Church must be operated in compliance with the parking restrictions in the CC&Rs and otherwise imposed by the Board.
- Any exterior signage must be installed in accordance with the CC&Rs.
- The Church must be operated in a manner which is respectful to neighboring properties in accordance with Section 12.1 and 12.3 of the CC&Rs. Section 12.1 states in pertinent part:

All business operations shall be performed and carried out entirely within a Building in such a manner that the enclosed operations and uses do not cause or produce a nuisance to other portions of the Covered Property...

The Board appreciates you providing them with this opportunity to provide their input to the process of issuing a CUP for this Church. If you have any questions, please direct them in writing to the undersigned. Thank you.

Very truly yours,

BAYDALINE & JACOBSEN LLP

/s/

Jennifer Jacobsen

