



New Project Information

The City of Rocklin has begun processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

Application Received: August 13, 2024

Project Name and Requested Approvals:

ATHERTON DOG HOTEL
CONDITIONAL USE PERMIT, U2024-0006

Staff Description of Project:

This application requests approval for a Conditional Use Permit to allow for the conversion of existing outdoor space into a fenced outdoor dog play area.

Location:

The subject site is located at 3850 Atherton Road. APN 017-281-005-000.

Existing Land Use Designations:

The property is zoned Planned Development Light Industrial (PD- LI).
The General Plan designation is Light Industrial (LI).

This project **does** / **XX** **does not** require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15301 Existing Facilities has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

Applicant & Property Owner:

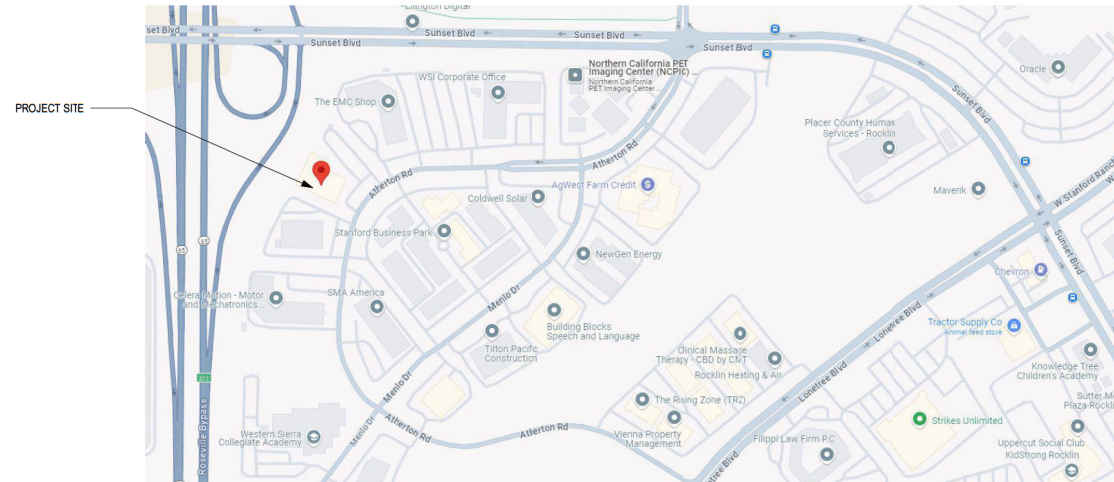
The applicant is Melanie Lagrou and the property owner is Bikram Basra, DVM.

Attached Information:

For additional detail please see the attached information from the project application form and the submitted application exhibits.

RPVH, INC. OFFICE HEADQUARTERS AND DOG BOARDING

VICINITY MAP



TEAM CONTACTS

BUILDING OWNER
 ROCKLIN PARK VETERINARY HOSPITAL, INC
 BIKRAM BASRA, DVM
 8075 SARATOGA WAY
 EL DORADO HILLS, CA 95762

basradvm@rocklinparkvet.com

ARCHITECT
 RMW ARCHITECTURE AND INTERIORS
 MELANIE LAGROU

(614) 738 - 9161
 mlagrou@rmw.com
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 msingh@rmw.com

MANPREET SINGH
 1718 THRD STREET SUITE 101
 SACRAMENTO, CA, 95811

DRAWING INDEX / ISSUE LOG

ISSUE LOG KEY:		DATE	ISSUE FOR PERMIT	REMARKS
"X"	ISSUED AS PART OF THIS SET	04/30/2024		
"R"	ISSUED FOR REFERENCE ONLY			
SHEET NUMBER	SHEET NAME	DATE	ISSUE FOR PERMIT	REMARKS
A1.0	COVER SHEET		X	
A1.2	OCCUPANCY PLAN		X	
A1.3	SITE PLAN		X	
A1.4	SITE IMAGES		X	
A1.5	EXISTING AND DEMO PLAN		X	
A1.6	FLOOR PLAN		X	
A1.7	LANDSCAPE PLAN		X	

SEPARATE PERMIT

- FIRE SPRINKLERS
- FIRE ALARM

NOTES

- A KNOX BOX IS REQUIRED AT THE FIRE RISE ROOM

CONSTRUCTION TYPE ANALYSIS

NO CHANGE OF OCCUPANCY (E) B TO CURRENT PROPOSED B

PER TABLE 504.3 - ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE
 OCCUPANCY B, FULLY SPRINKLERED MAX BUILDING HEIGHT 60' - BUILDING IS LESS THE 60 FEET

PER TABLE 504.4 - ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE
 OCCUPANCY B, FULLY SPRINKLERED MAX STORIES ALLOWED IS 3 - BUILDING IS 1 STORY

PER TABLE 506.2 - ALLOWABLE AREA
 OCCUPANCY B, 1 STORY BUILDING FULLY SPRINKLERED - MAX SQUARE FOOTAGE ALLOWED IS 36,000
 THE BUILDING IS 24,207.

PER THE ABOVE TABLES THE CONSTRUCTION TYPE IS V-B

BUILDING AND CODE INFORMATION

- BUILDING ADDRESS: 3850 ATHERTON ROAD, ROCKLIN, CA 95765
- APN NUMBER: 017-281-005-000
- CONSTRUCTION TYPE: V-B
- OCCUPANCIES: B
- NUMBER OF STORIES: 1
- LIFE SAFETY: FULLY SPRINKLERED
- SCOPE OF WORK: RENOVATION OF EXISTING OFFICE TO INCLUDE ADDITIONAL OFFICES AND SUPPORT SPACES FOR RPVH, INC. OFFICE HEADQUARTERS, WITH DOG BOARDING, GROOMING, KENNEL AND PLAY AREAS. EXTERIOR MODIFICATIONS TO INCLUDE NEW FENCING FOR OUTDOOR PLAY AREAS, AND ADDITION DOORS TO EXTERIOR.
- APPROXIMATE PROJECT AREA: 13,397.49 SF
- OCCUPANT LOAD: 148
- THE CONSTRUCTION AND COMPLETION OF THE WORK IS GOVERNED BY THE FOLLOWING:
 2022 CALIFORNIA BUILDING STANDARDS CODE (TITLE 24), EFFECTIVE JANUARY 1, 2023:
 - PART 1 - CALIFORNIA ADMINISTRATIVE CODE
 - PART 2 - CALIFORNIA BUILDING CODE, VOLUMES 1 AND 2, 2019 CHAPTER 11-8 FOR ACCESSIBILITY
 - PART 2.5 - CALIFORNIA RESIDENTIAL CODE
 - PART 3 - CALIFORNIA ELECTRICAL CODE
 - PART 4 - CALIFORNIA MECHANICAL CODE
 - PART 5 - CALIFORNIA PLUMBING CODE
 - PART 6 - CALIFORNIA ENERGY CODE
 - PART 7 - VACANT/ NOT USED
 - PART 8 - CALIFORNIA HISTORICAL BUILDING CODE
 - PART 9 - CALIFORNIA FIRE CODE
 - PART 10 - CALIFORNIA EXISTING BUILDING CODE
 - PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN CODE)
 - PART 12 - CALIFORNIA REFERENCED STANDARDS CODE
 - CAJ OSHA - TITLE 8, 2019 ELEVATOR SAFETY CODE
 - STANDARD SPECIFICATIONS AND DETAILS AND OTHER APPLICABLE REGULATIONS ISSUED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT.
 - THE WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CODES AND REGULATIONS LISTED ABOVE, INCLUDING SUPPLEMENTS AND AMENDMENTS IN EFFECT AT THE TIME THE DOCUMENTS WERE ISSUED.

COVER SHEET
 A1.0
 04/30/24
 2244052.00

RPVH, INC. OFFICE HEADQUARTERS AND DOG BOARDING
 3850 ATHERTON ROAD,
 ROCKLIN, CA 95765



OCCUPANT LOAD

ROOM #	ROOM NAME	OCCUPANCY TYPE	AREA (SF)	LOAD FACTOR	OCCUPANT LOAD
EXISTING FLOOR PLAN					
101	RECEPTION	ASSEMBLY (UNCONCENTRATED, TABLES AND CHAIRS)	458.34 SF	15	31
102	(E) OFFICE	BUSINESS AREAS	366.40 SF	150	3
103	(E) STORAGE	ACCESSORY STORAGE AREAS, MECHANICAL EQPT. ROOM	141.89 SF	300	1
104	(E) CONFERENCE ROOM	ASSEMBLY (UNCONCENTRATED, TABLES AND CHAIRS)	599.63 SF	15	40
105	(E) OFFICE	BUSINESS AREAS	365.29 SF	150	3
106	(E) OFFICE	BUSINESS AREAS	362.08 SF	150	3
107	(E) OFFICE	BUSINESS AREAS	182.89 SF	150	2
108	(E) OFFICE	BUSINESS AREAS	187.26 SF	150	2
109	BOARDING SUITE 1	ANCILLARY	49.60 SF	0	0
110	BOARDING SUITE 2	BUSINESS AREAS	49.60 SF	0	0
111	BOARDING SUITE 3	BUSINESS AREAS	49.60 SF	0	0
112	BOARDING SUITE 4	BUSINESS AREAS	49.60 SF	0	0
113	BOARDING SUITE 5	BUSINESS AREAS	49.60 SF	0	0
114	BOARDING SUITE 6	BUSINESS AREAS	49.60 SF	0	0
115	STORAGE	ACCESSORY STORAGE AREAS, MECHANICAL EQPT. ROOM	59.19 SF	300	1
116	BOARDING SUITE 7	BUSINESS AREAS	48.89 SF	0	0
117	BOARDING SUITE 8	BUSINESS AREAS	48.15 SF	0	0
118	BOARDING SUITE 9	BUSINESS AREAS	48.15 SF	0	0
119	KENNEL ROOM	BUSINESS AREAS	340.57 SF	150	3
120	KENNEL ROOM	BUSINESS AREAS	171.25 SF	150	2
121	BOARDING SUITE 10	BUSINESS AREAS	45.32 SF	0	0
122	BOARDING SUITE 11	BUSINESS AREAS	45.32 SF	0	0
123	BOARDING SUITE 12	BUSINESS AREAS	45.32 SF	0	0
124	BOARDING SUITE 13	BUSINESS AREAS	45.32 SF	0	0
125	KENNEL ROOM	BUSINESS AREAS	171.11 SF	150	2
126	KENNEL ROOM	BUSINESS AREAS	613.73 SF	150	5
127	PLAY ROOM	BUSINESS AREAS	757.76 SF	150	6
128	PLAY ROOM	BUSINESS AREAS	664.08 SF	150	5
129	PLAY ROOM	BUSINESS AREAS	732.32 SF	150	5
130	LAUNDRY & UTILITY	ACCESSORY STORAGE AREAS, MECHANICAL EQPT. ROOM	243.91 SF	300	1
131	EQUIPMENT	ANCILLARY	50.07 SF	0	0
132	BREAKROOM	ASSEMBLY (UNCONCENTRATED, TABLES AND CHAIRS)	164.62 SF	15	11
133	ISOLATION KENNEL ROOM	BUSINESS AREAS	144.40 SF	150	1
134	KENNEL ROOM	BUSINESS AREAS	144.79 SF	150	1
135	FOOD PREP ROOM	ASSEMBLY (UNCONCENTRATED, TABLES AND CHAIRS)	247.14 SF	15	17
136	OFFICE	BUSINESS AREAS	182.75 SF	150	2
137	GROOMING	BUSINESS AREAS	384.30 SF	150	3
138	(E) WOMEN'S RESTROOM	ANCILLARY	282.86 SF	0	0
139	(E) MEN'S RESTROOM	ANCILLARY	282.11 SF	0	0
H-1	HALLWAY	ANCILLARY	356.73 SF	0	0
H-2	HALLWAY	ANCILLARY	142.65 SF	0	0
H-3	HALLWAY	ANCILLARY	207.61 SF	0	0
H-4	HALLWAY	ANCILLARY	347.82 SF	0	0
H-5	HALLWAY	ANCILLARY	143.81 SF	0	0
H-6	HALLWAY	ANCILLARY	385.55 SF	0	0
H-7	HALLWAY	ANCILLARY	510.81 SF	0	0
			10999.54 SF		150

OCCUPANT LOAD CALCULATION

TOTAL OCCUPANT LOAD: 148

EXIT WIDTH REQUIRED: NA
EXIT WIDTH PROVIDED: NA

PER TABLE 1005.1, EGRESS WIDTH PER OCCUPANT SERVED STAIRS: 0.37
CORRIDORS & DOORS: 0.2"

LONGEST DIAGONAL: 173'-5"
EXIT SEPARATION REQUIRED: 57'-8"
EXIT SEPARATION PROVIDED: 102'-3"

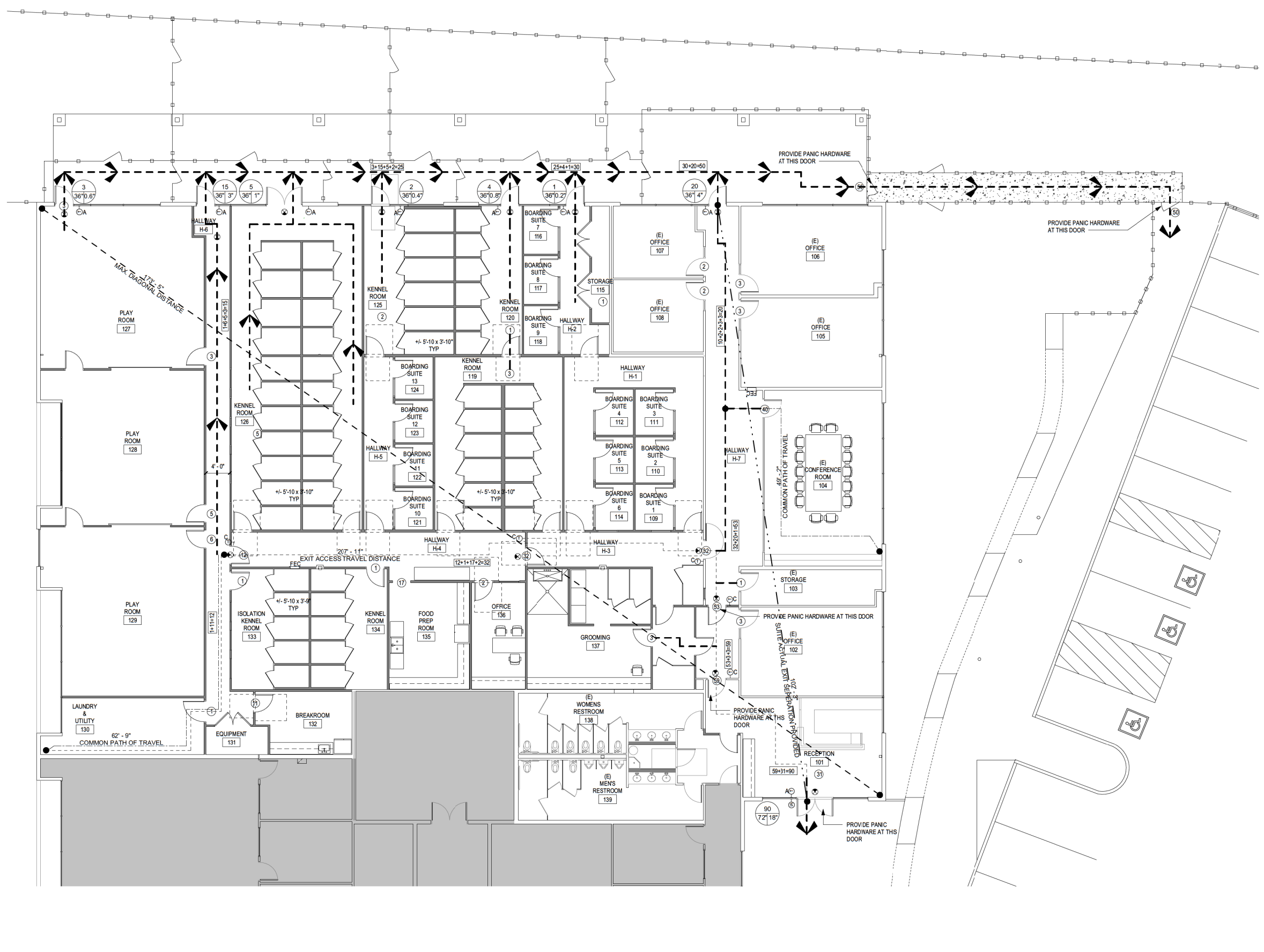
EXITS REQUIRED: 2
EXITS PROVIDED: 2

EXIT ACCESS TRAVEL DISTANCE PER TABLE 1017.2 & 1017.2.2
B OCCUPANCY WITH SPRINKLER SYSTEM
MAXIMUM DISTANCE ALLOWED = 300'
ACTUAL DISTANCE = 207' - 11"

COMMON PATH OF EGRESS TRAVEL PER TABLE 1006.2.1
B OCCUPANCY WITH SPRINKLER SYSTEM
MAXIMUM DISTANCE ALLOWED = 100'
ACTUAL DISTANCE = 49' - 2"
ACTUAL DISTANCE = 62' - 9"

LEGEND

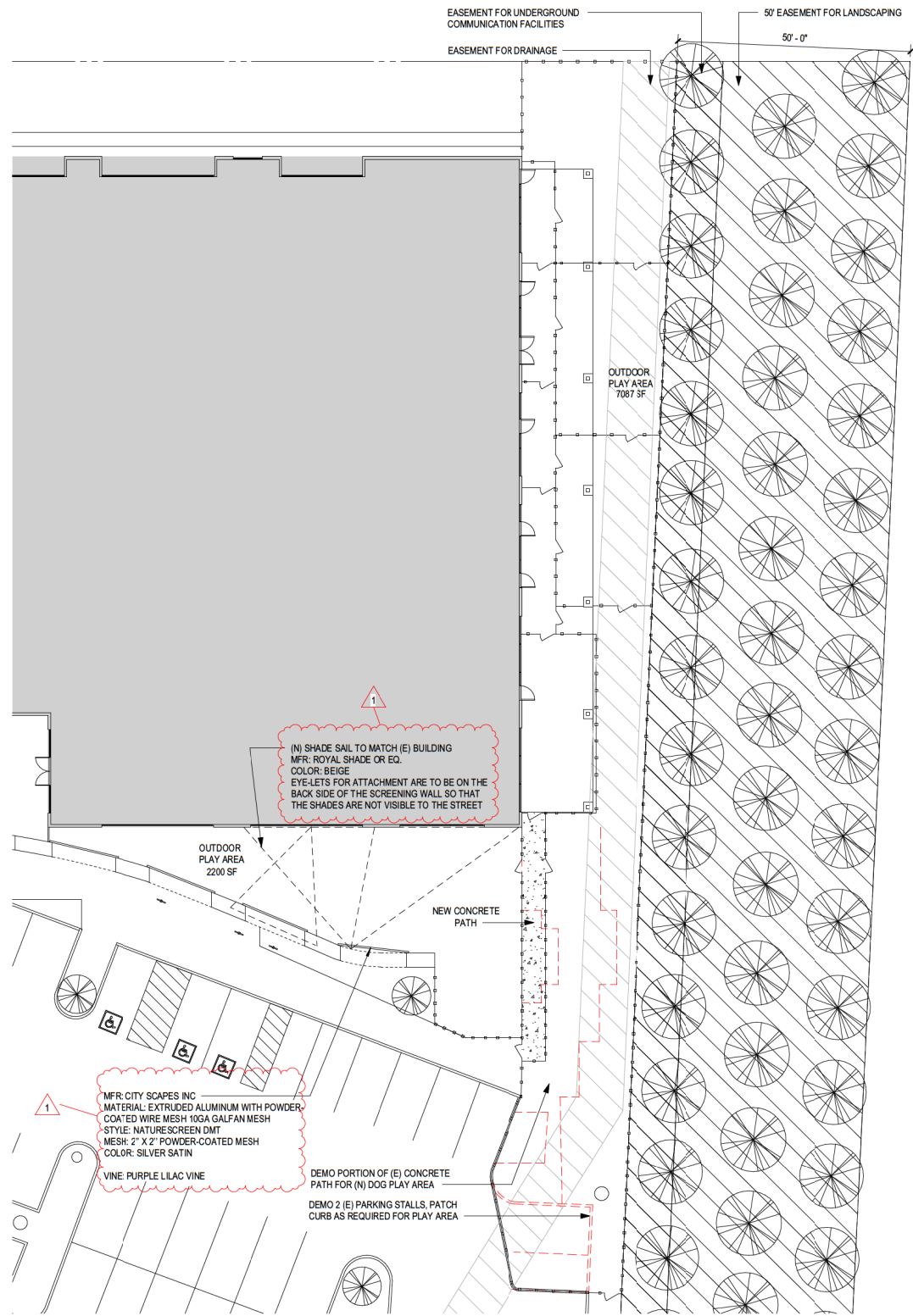
- SUITE ACTUAL EXIT SEPARATION PROVIDED: 39' - 5"
- MAX. DIAGONAL DISTANCE: 39' - 6"
- EXIT ACCESS TRAVEL DISTANCE: 39' - 0"
- COMMON PATH OF TRAVEL: 39' - 0"
- EGRESS PATH, ARROW INDICATED EXIT TO PROTECTED SPACE
- TACTILE EXIT SIGN
- EXIT SIGN (ARROWS INDICATE DIRECTION AND SHADED QUADRANTS INDICATE SIGN FACE(S))
- FIRE EXTINGUISHER CABINET
- INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE
- ASSISTING LISTENING SIGNAGE
- EGRESS EXIT LOAD TAG
- OCCUPANT LOAD
- EXIT WIDTH REQUIRED
- EXIT WIDTH PROVIDED



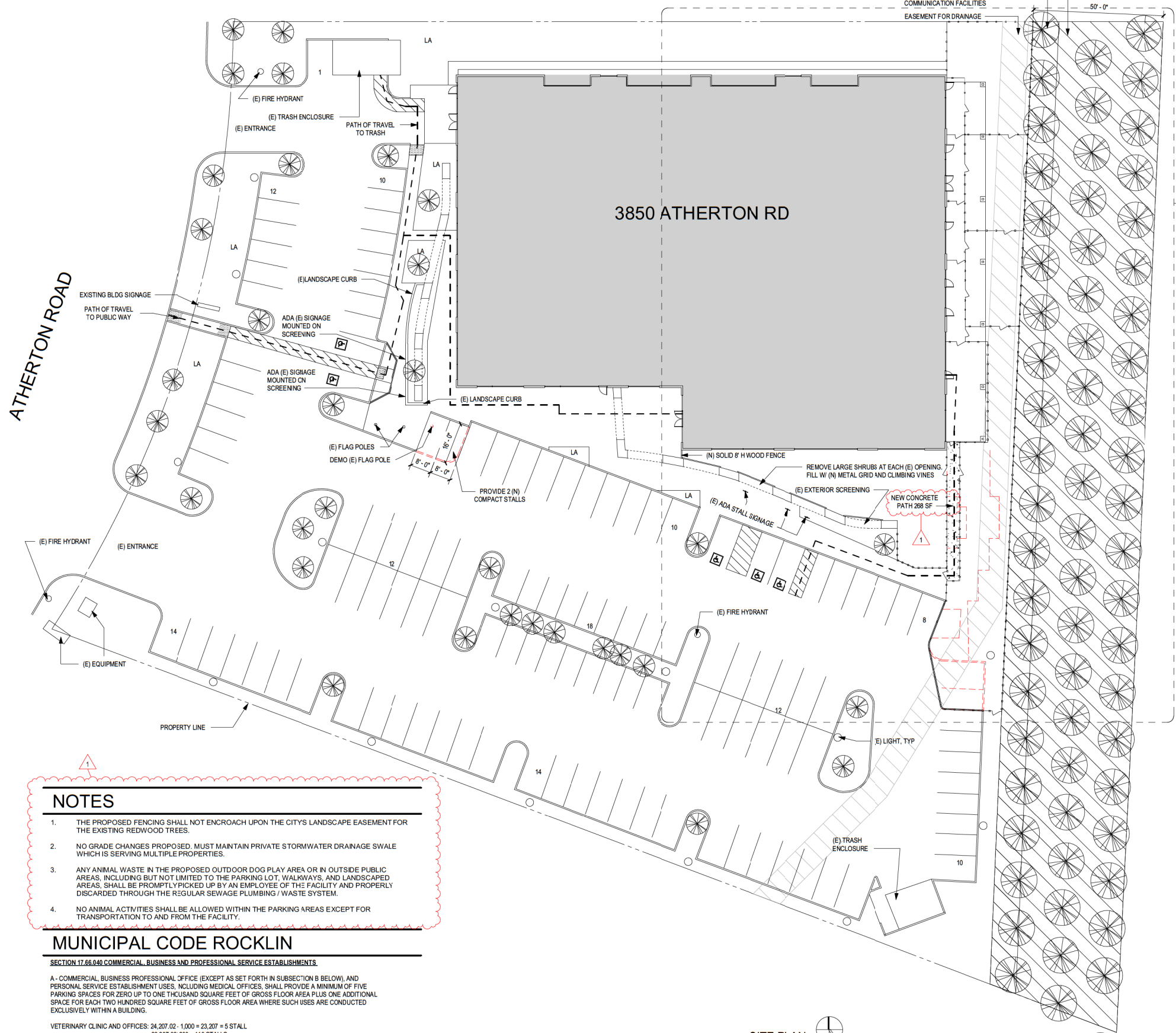
OCCUPANCY PLAN
A1.2
06/19/24
2244052.00

RPVH, INC. OFFICE HEADQUARTERS AND DOG BOARDING
3850 ATHERTON ROAD,
ROCKLIN, CA 95765





9287 TOTAL SF = PLAY AREA
ENLARGED SITE PLAN
1/16" = 1'-0"



NOTES

1. THE PROPOSED FENCING SHALL NOT ENCR OACH UPON THE CITY'S LANDSCAPE EASEMENT FOR THE EXISTING REDWOOD TREES.
2. NO GRADE CHANGES PROPOSED. MUST MAINTAIN PRIVATE STORMWATER DRAINAGE SWALE WHICH IS SERVING MULTIPLE PROPERTIES.
3. ANY ANIMAL WASTE IN THE PROPOSED OUTDOOR DOG PLAY AREA OR IN OUTSIDE PUBLIC AREAS, INCLUDING BUT NOT LIMITED TO THE PARKING LOT, WALKWAYS, AND LANDSCAPED AREAS, SHALL BE PROMPTLY PICKED UP BY AN EMPLOYEE OF THE FACILITY AND PROPERLY DISCARDED THROUGH THE REGULAR SEWAGE PLUMBING / WASTE SYSTEM.
4. NO ANIMAL ACTIVITIES SHALL BE ALLOWED WITHIN THE PARKING AREAS EXCEPT FOR TRANSPORTATION TO AND FROM THE FACILITY.

MUNICIPAL CODE ROCKLIN

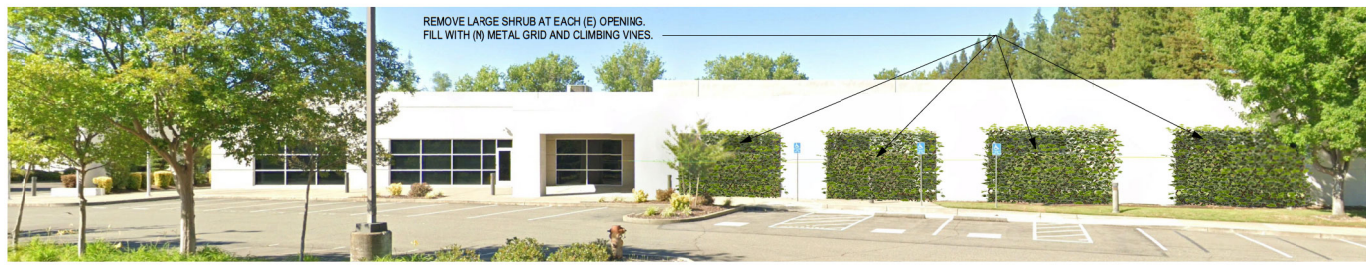
SECTION 17.66.040 COMMERCIAL, BUSINESS AND PROFESSIONAL SERVICE ESTABLISHMENTS.

A - COMMERCIAL, BUSINESS PROFESSIONAL OFFICE (EXCEPT AS SET FORTH IN SUBSECTION B BELOW), AND PERSONAL SERVICE ESTABLISHMENT USES, INCLUDING MEDICAL OFFICES, SHALL PROVIDE A MINIMUM OF FIVE PARKING SPACES FOR ZERO UP TO ONE THOUSAND SQUARE FEET OF GROSS FLOOR AREA PLUS ONE ADDITIONAL SPACE FOR EACH TWO HUNDRED SQUARE FEET OF GROSS FLOOR AREA WHERE SUCH USES ARE CONDUCTED EXCLUSIVELY WITHIN A BUILDING.

VETERINARY CLINIC AND OFFICES: 24,207.02 - 1,000 = 23,207 = 5 STALL
23,207.02/200 = 116 STALLS

TOTAL REQUIRED STALLS = 121
TOTAL PROVIDED STALLS = 121

SITE PLAN
1" = 20'-0"



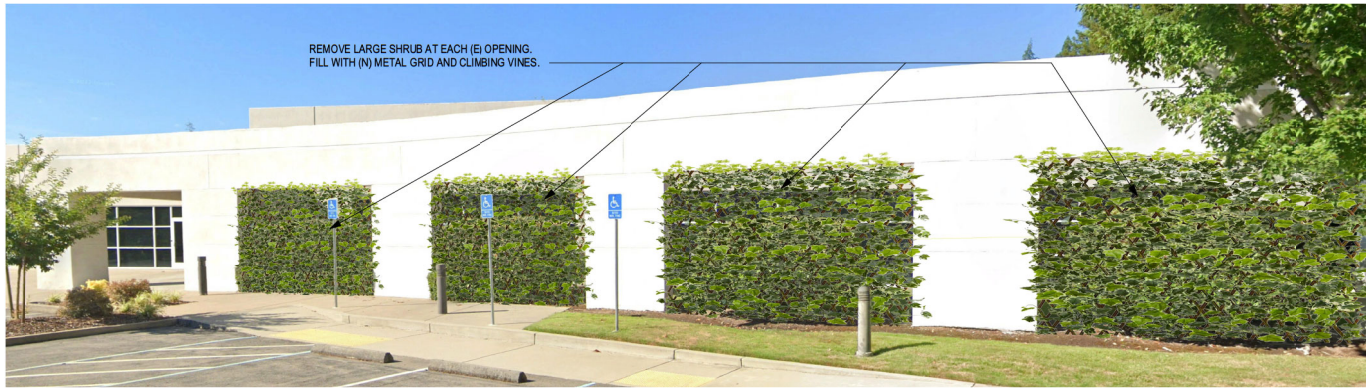
ELEVATION 1
NOT TO SCALE

2



ELEVATION 2
NOT TO SCALE

3



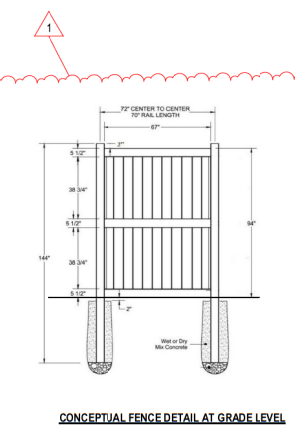
ELEVATION 3
NOT TO SCALE

4

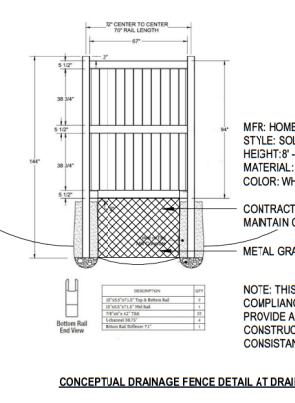


ELEVATION 4
NOT TO SCALE

5



CONCEPTUAL FENCE DETAIL AT GRADE LEVEL



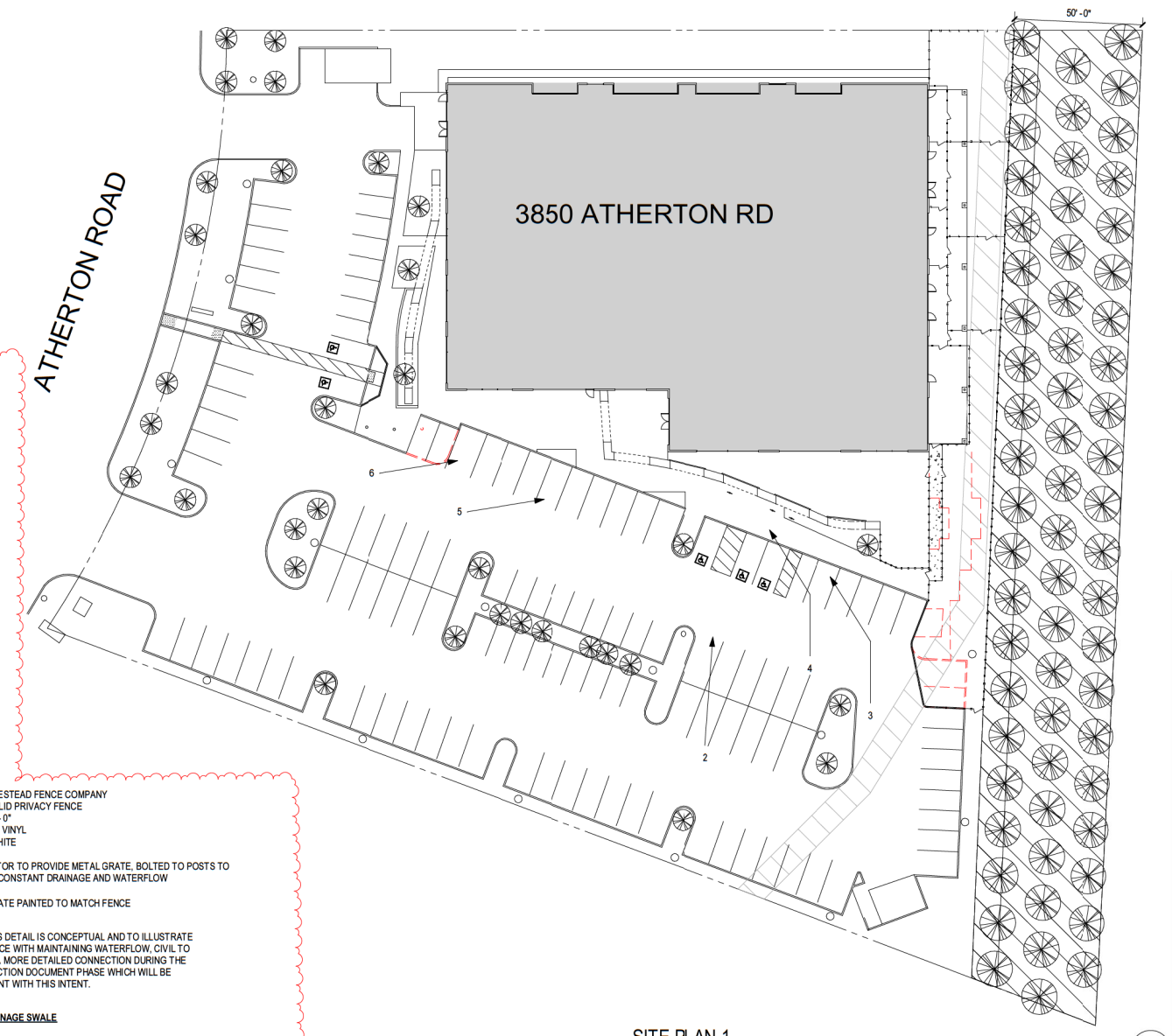
CONCEPTUAL DRAINAGE FENCE DETAIL AT DRAINAGE SWALE

MFR: HOMESTEAD FENCE COMPANY
 STYLE: SOLID PRIVACY FENCE
 HEIGHT: 8'-0"
 MATERIAL: VINYL
 COLOR: WHITE
 CONTRACTOR TO PROVIDE METAL GRATE, BOLTED TO POSTS TO MAINTAIN CONSTANT DRAINAGE AND WATERFLOW
 METAL GRATE PAINTED TO MATCH FENCE

NOTE: THIS DETAIL IS CONCEPTUAL AND TO ILLUSTRATE COMPLIANCE WITH MAINTAINING WATERFLOW. CIVIL TO PROVIDE A MORE DETAILED CONNECTION DURING THE CONSTRUCTION DOCUMENT PHASE WHICH WILL BE CONSISTANT WITH THIS INTENT.

FENCE DETAIL
12" = 1'-0"

7



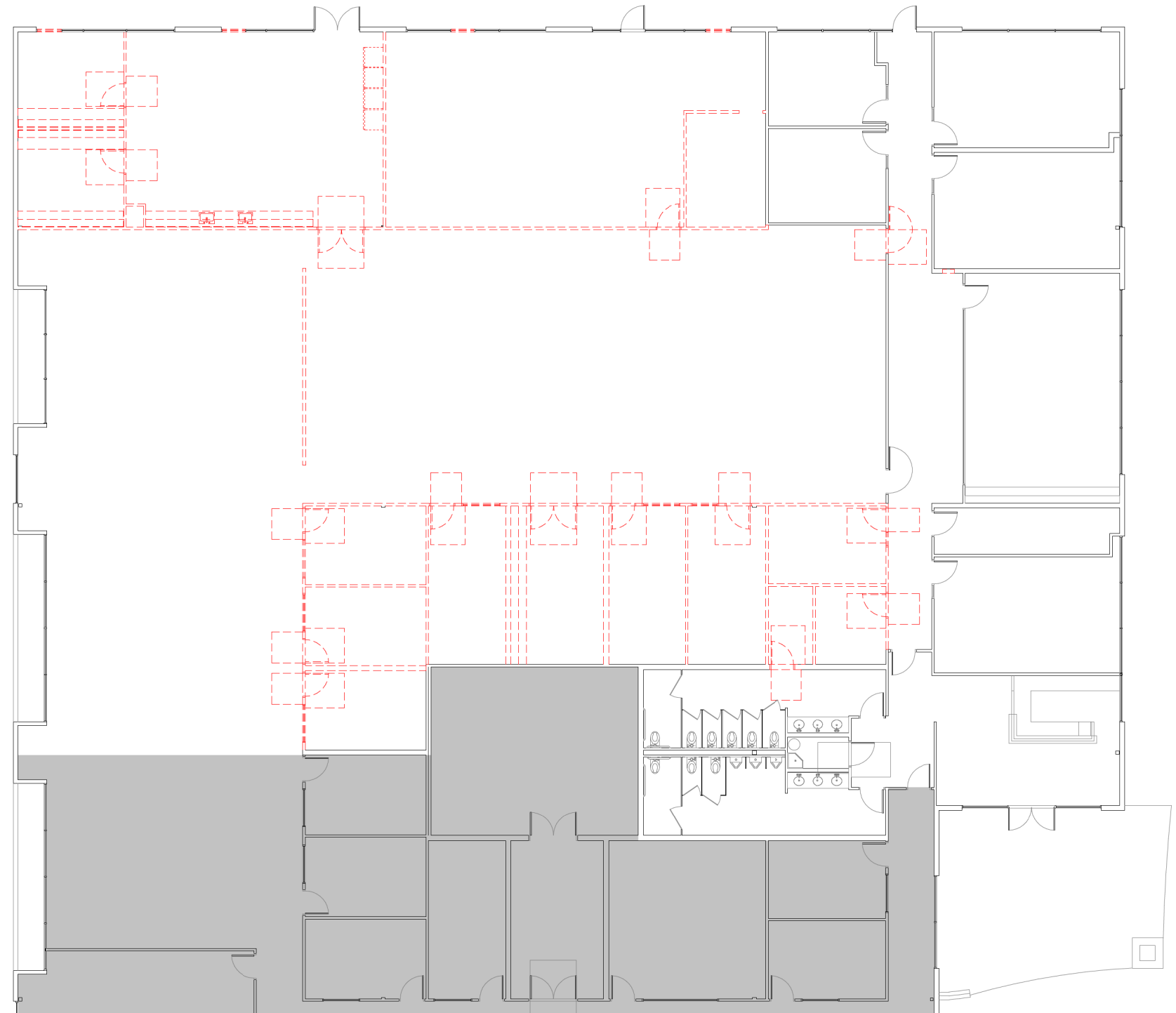
SITE PLAN 1
1" = 30'-0"

1

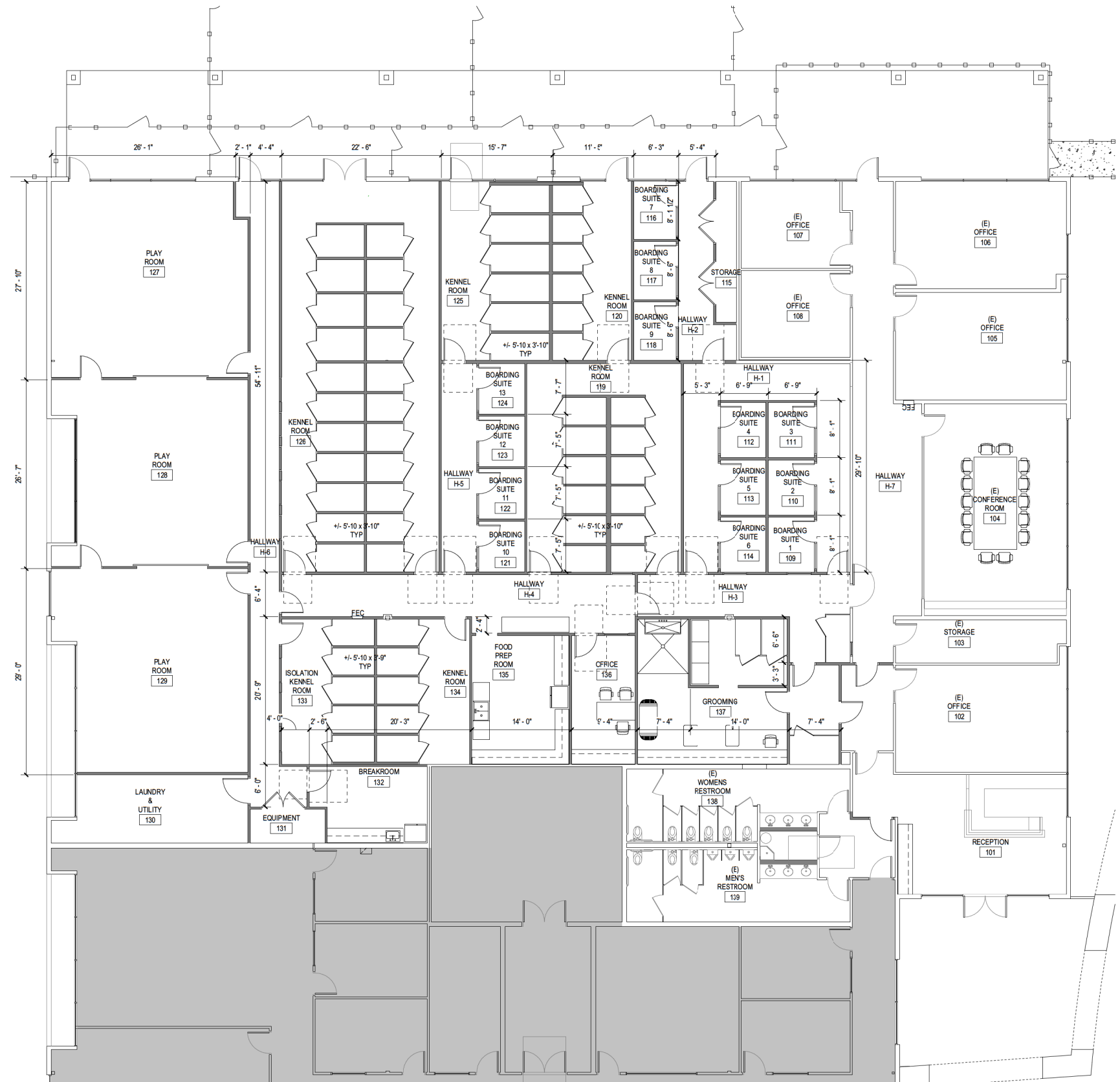


ELEVATION 5
NOT TO SCALE

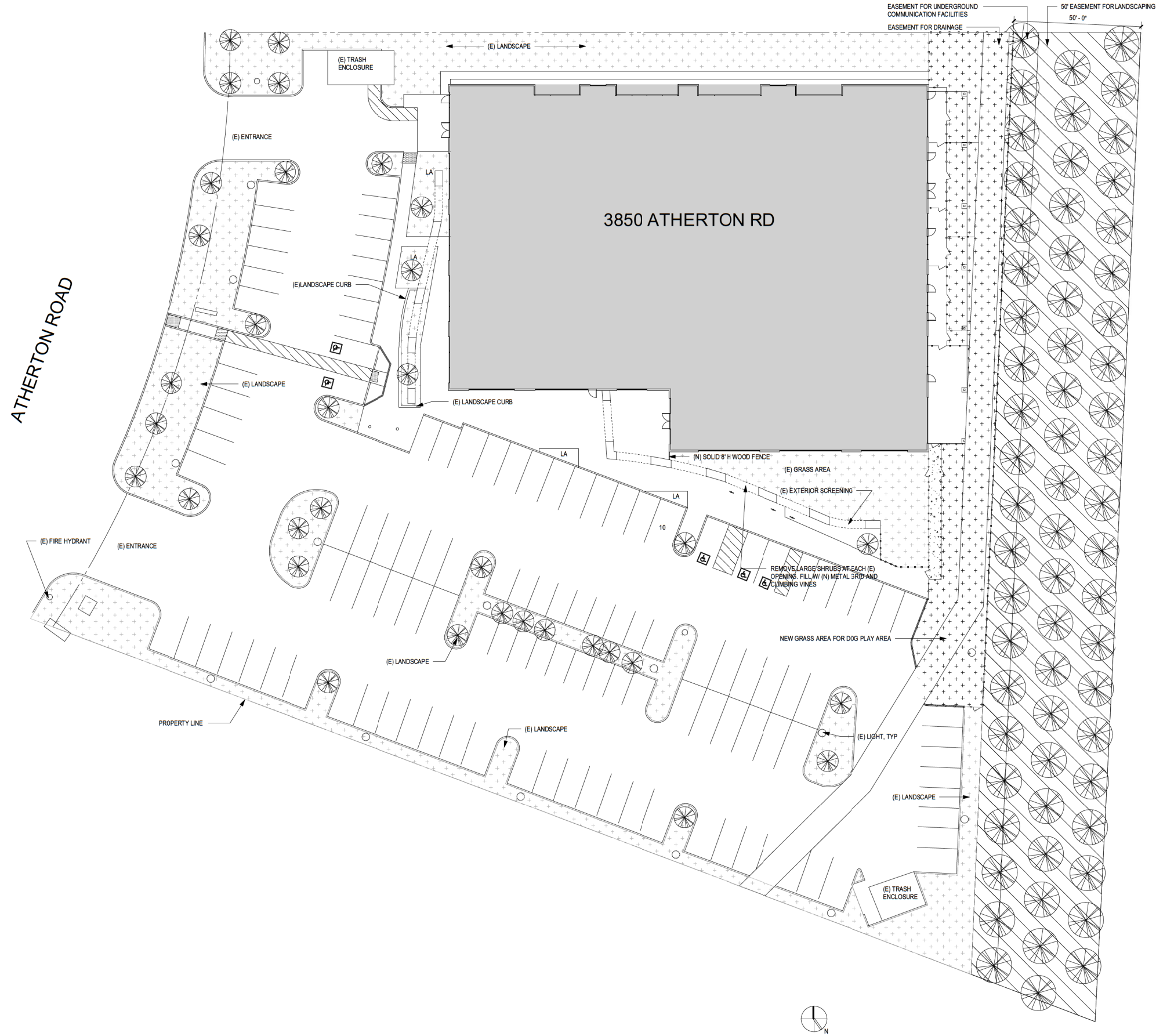
6



EXISTING FLOOR PLAN
1/8" = 1'-0"



NEW FLOOR PLAN
1/8" = 1'-0"



LANDSCAPE PLAN

A1.7

06/20/24
2244052.00

RPVH, INC. OFFICE HEADQUARTERS AND DOG BOARDING
3850 ATHERTON ROAD,
ROCKLIN, CA 95765





September 19, 2024

To: Bennett Smithhart
Senior Planner
City of Rocklin Planning Department
3970 Rocklin Road,
Rocklin, CA 95677

Re: **3850 Atherton Road Project Description**

Dear Bennett,

Project Description for Rocklin Vet Office Headquarters and Dog Boarding Facilities

This submission outlines a tenant improvement project for the new **Rocklin Vet Office Headquarters**, which will include both office headquarters and dog boarding facilities. Our primary objective is to contribute positively to the community by creating a facility that provides valuable services while maintaining harmony with the surrounding area. Below are the specific aspects of the project that address community concerns and demonstrate our commitment to being good neighbors:

1. **Outdoor Play Area and Site Impact** The proposed project includes the addition of a new, enclosed outdoor play area for dogs located at the rear and parking-side portions of the building. This play area has been carefully designed to ensure it does not encroach on or negatively impact the existing grading, drainage, or any natural features of the site. No grading changes will be required for this addition. We have taken a conservative approach to ensure that all new features complement the existing site design and avoid any potential environmental disruptions.
2. **Noise and Odor Management** We are deeply committed to minimizing any potential noise or odor concerns that may arise from the boarding facility. To this end:
 - o The play area and boarding spaces will be diligently monitored to ensure that noise levels remain acceptable and that any disturbances are swiftly addressed. We will install a posted call number for neighboring residents to report any concerns, ensuring we are responsive to the needs of the community.
 - o In terms of odor control, a strict and proactive cleaning regimen will be implemented to prevent any lingering odors from pet waste. All outdoor

areas will be cleaned regularly, with staff ensuring that waste is promptly removed and disposed of in a responsible manner, consistent with health and sanitation standards.

3. **Consistency with Development Standards** All improvements will be constructed to be consistent with the existing site and surrounding development standards:
- Landscaping infill will be added to enhance the site's aesthetic while maintaining continuity with existing greenery.
 - Screened fencing will be incorporated to ensure privacy and visual harmony with neighboring properties.
 - Sunshades will be installed for shade in a manner consistent with the building's color palette and architectural style. Additionally, we are committed to ensuring that the parking requirements for the site will be maintained in full compliance with city regulations. There will be no reduction in parking availability, and the design will accommodate the needs of both the office and boarding functions without strain on existing infrastructure.
4. **Staff per Dogs a Day** There will 30 to 60 dogs on site per day. For that there will be 5 to 10 staff members.

Conclusion: Commitment to the Community At Rocklin Vet Office Headquarters, we are not only creating a functional and state-of-the-art facility but also a business that contributes to the vibrancy and economy of the local community. We understand that projects like this have a responsibility to integrate seamlessly with their surroundings, and we pledge to do so thoughtfully and diligently. We aim to become a trusted business partner and neighbor, providing a valuable service while ensuring that we uphold the community's standards for quality, aesthetics, and environmental stewardship.

We look forward to your consideration and welcome any questions or input from the Planning Commission and the community.

Sincerely,



Melainie Lagrou
Architect
RMW
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mlagrou@rmw.com