

AGENDA
CITY OF ROCKLIN PLANNING COMMISSION
DATE: December 19, 2017
TIME: 6:30 PM
PLACE: Council Chambers, 3970 Rocklin Road
www.rocklin.ca.us

MEETING PROCEDURES AND STANDARDS OF DECORUM

Citizens may address the Planning Commission on any items on the agenda, when the item is considered. Citizens wishing to speak may request recognition from the presiding officer by raising his or her hand and stepping to the podium when requested to do so. Although not required, speakers are requested to identify themselves by stating their name and city of residence for the official record.

For items not listed on the agenda, any person may do so under "Citizens Addressing the Planning Commission on non-agenda items." Three to five-minute time limits may be placed on citizen comments. As a reminder, the Brown Act does not permit the Commission to take action on items not on the agenda.

All remarks shall be addressed to the Commission as a body and not to any member thereof, or to staff, or to the public. No person, other than a member of the Commission, and the person having the floor, shall be permitted to enter into any discussion without the permission of the presiding officer.

Whenever any group of persons wishes to address the Commission on the same subject matter, it shall be proper for the Chairman to request that a spokesperson be chosen.

Any person who disrupts the meeting of the Commission, may be barred by the Chairman from further audience before the Commission during that meeting.

WRITINGS RECEIVED AFTER AGENDA POSTING

Any writing related to an agenda item for the open session of this meeting distributed to the Planning Commission less than 72 hours before this meeting is available for inspection at City Hall, 3970 Rocklin Road, Rocklin, during normal business hours. These writings will also be available for review at the planning commission meeting in the public access binder located on the table at the back of the Council Chambers. If you have questions related to this agenda, please call 916-625-5160.

WRITTEN MATERIAL INTRODUCED INTO THE RECORD

Any citizen wishing to introduce written material into the record at the hearing on any item is requested to provide a copy of the written material to the Planning Department prior to the hearing date so that the material may be distributed to the Planning Commission prior to the hearing.

AMERICANS WITH DISABILITIES ACT

In compliance with the Americans with Disabilities Act, the City of Rocklin encourages those with disabilities to participate fully in the public hearing process. If you have a special need in order to allow you to attend or participate in our public hearing process or programs, please contact our office at (916) 625-5160 well in advance of the public hearing or program you wish to attend so that we may make every reasonable effort to accommodate you.

COURT CHALLENGES AND APPEAL PERIOD

Court challenges to any public hearing items may be limited to only those issues which are raised at the public hearing described in the notice or in written correspondence delivered to the City at or prior to the public hearing. (Government Code Section 65009)

There is a 10-day appeal period for most Planning Commission decisions. However, a Planning Commission approval of a tentative parcel map has a 15-day appeal period. Appeals can be made by any interested party upon payment of the appropriate fee and submittal of the appeal request to the Rocklin City Clerk or the Planning Department, 3970 Rocklin Road, Rocklin.

ELECTRONIC PRESENTATIONS

All persons with electronic presentations for public meetings will be required to bring their own laptop or other form of standalone device that is HDMI or VGA compatible. It is further recommended that presenters arrive early to test their presentations. The City is not responsible for the compatibility or operation of non-city devices or the functionality of non-city presentations.

FURTHER INFORMATION

Any person interested in an agenda item may contact the Planning Staff prior to the meeting date, at 3970 Rocklin Road, Rocklin, CA 95677 or by phoning (916) 625-5160 for further information.

POSTING OF AGENDA

In accordance with Government Code Section 54954.2(a) this agenda was posted on the City's bulletin board at City Hall, 3970 Rocklin Road, Rocklin, and City of Rocklin website at www.rocklin.ca.us.

AGENDA

1. **Meeting called to Order**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Minutes**
 - a. **Minutes of August 15, 2017**
 - b. **Minutes of October 17, 2017**
 - c. **Minutes of November 7, 2017**
5. **Correspondence**
6. **Citizens Addressing the Commission on Non Agenda Items**

CONSENT ITEMS

None

PUBLIC HEARINGS

7. **INDIAN CREEK TENTATIVE PARCEL MAP
TENTATIVE PARCEL MAP, DL2017-0004**

This application is a request for approval of a Tentative Parcel Map to allow the division of a 12.38± acre parcel into 3 parcels. Parcel 1 is proposed at 2.81± acres, Parcel 2 at 6.35± acres, and Parcel 3 at 3.21± acres. The property is currently developed with two single family residences served by an existing well and septic systems. The project proposes to continue to be served by well and septic, with three new wells and repair areas for the existing and proposed septic systems. The subject site is located at the terminus of Indian Creek Drive, west of Barton Road and south of Brace Road in southeastern Rocklin. APN: 045-044-045. The property is zoned Residential Single Family 12,500 Square Foot Minimum Lot size (R1-12.5) and Open Area (OA). The General Plan designation is Low Density Residential (LDR) and Recreation/Conservation (R-C).

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15315, Minor Land Divisions, has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

The applicant/property owner is CLB Properties, LLC

- a. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Notice Of Exemption (Indian Creek Tentative Parcel Map / DL2017-0004)
- b. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Tentative Parcel Map (Indian Creek Tentative Parcel Map / DL2017-0004)

8. **NOBEL LEARNING CENTER
DESIGN REVIEW, DR2017-0008
USE PERMIT, U2017-0002
TENTATIVE PARCEL MAP, DL2017-0007**

This application is a request for approval of a Tentative Parcel Map to divide an approximately 3-acre parcel into two parcels (Parcel 1: 1.25 acre; Parcel 2: 1.71 acre) and approval of a Design Review and Use Permit to construct and operate an early childhood development center in an 11,125 square-foot building on Parcel 1. Parcel 2 would be left as a vacant pad with future improvements to be determined. The subject site is located on the easterly corner of Sunset Blvd. and Stanford Ranch Rd. APN: 016-450-001. The property is zoned Planned Development Business Professional (PD-BP). The General Plan designation is Professional Office (BP).

The project is exempt from review under the California Environmental Quality Act (CEQA) pursuant to California Code of Regulations Section 15332 – Infill Development Projects.

The applicant is Sutter Retail Development Corporation. The property owner is Yuba Investments – Sunset LP and Norton Investments II, LLC.

- a. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Notice Of Exemption (Nobel Learning Center / DR2017-0008, U2017-0002, And DL2017-0007)
- b. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Design Review (Nobel Learning Center / DR2017-0008)
- c. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Use Permit (Nobel Learning Center / U2017-0002)
- d. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Tentative Parcel Map (Nobel Learning Center / DL2017-0007)

9. **DURANGO (WILDCAT SUBDIVISION)
DESIGN REVIEW, DR2017-0012
VARIANCE, V2017-0003**

This application is a request for approval of a Design Review and a Variance to allow construction of single-family homes within the previously-approved Wildcat Subdivision (SD2014-0001). The Design Review proposes house architecture and individual lot landscaping for the 122 approved lots. The Variance would allow for a deviation in

the required front setback for one lot and a minor increase in maximum lot coverage for another lot. The subject site is located on the west side of Wildcat Boulevard, approximately 330 feet southerly of the intersection of Whitney Ranch Parkway and Wildcat Boulevard. Assessor Parcel Numbers (APNs): 017-171-014, 015, 016, 017, & 024.

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively determined that the Mitigated Negative Declaration adopted for the subdivision adequately addressed the potential impacts of home construction within the subdivision. Design Review of the architecture for the proposed homes does not result in any enhanced or new environmental impacts beyond those previously identified for the subdivision itself therefore no additional environmental review is required.

The applicant and property owner is Meritage Homes of California.

- a. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Design Review (Wildcat [Durango] Subdivision / DR2017-0012)
- b. Resolution Of The Planning Commission Of The City Of Rocklin Approving A Variance (Wildcat [Durango] Subdivision / V2017-0003)

NON PUBLIC HEARINGS

10. **Reports and Discussion Items from Planning Commissioners**
11. **Reports from City Staff**
12. **Adjournment**

**CITY OF ROCKLIN
MINUTES OF THE
PLANNING COMMISSION MEETING**

August 15, 2017
Rocklin Council Chambers
Rocklin Administration Building
3970 Rocklin Road
(www. rocklin.ca.us)

1. Meeting Called to Order at 6:31 p.m.
2. Pledge of Allegiance was led by Commissioner McKenzie.
3. Roll Call

Chairman Martinez
Vice Chairman Whitmore
Commissioner McKenzie
Commissioner Sloan
Commissioner Vass

Others Present:

Marc Mondell, ECD Director
DeeAnne Gillick, Assistant City Attorney
Bret Finning, Planning Services Manager
Dara Dungworth, Senior Planner
David Mohlenbrok, Environmental Services Ops Manager
Dave Palmer, City Engineer
Laura Webster, Director of Long Range Planning
Terry Stemple, Planning Commission Secretary

About 10 others

4. Minutes –
 - a. Minutes of July 18, 2017 were approved as amended.
5. Correspondence - None
6. Citizens Addressing the Commission on Non Agenda Items – None

CONSENT ITEMS

None

PUBLIC HEARINGS

7. THIS ITEM WAS CONTINUED FROM AUGUST 10, 2017

**STANFORD TERRACE CONDOMINIUMS
SUBDIVISION MAP, SD-2013-05
DESIGN REVIEW, DR-2013-12**

This application is a request for a re-approval of a prior Design Review and Tentative Subdivision Map to develop 119 townhomes on 7.3+/- acres. The subject property is approximately 7.3 +/- acres and is generally located on Stanford Ranch Road near the southwest intersection of Stanford Ranch Rd. and Sunset Blvd. APN 017-460-003. The property is zoned Planned Development 20 units per acre (PD-20). The General Plan designation is High Density Residential (HDR).

A Mitigated Negative Declaration of Environmental Impacts was previously approved by the Rocklin City Council through Resolution No. 2014-234. The project site is not on any of the lists enumerated under Section 65962.5 of the Government Code related to hazardous wastes.

The applicant is Chris Scerri with Golden State Lumber, Inc. The property owner is Golden State Lumber, Inc.

Dara Dungworth, Senior Planner, presented the staff report.

The Commission had no questions for staff.

The applicant, Marcus LoDuca, addressed the Commission. He explained that the project is the same as when originally approved.

The Commission had no questions for the applicant.

The hearing was opened to the public for comment. There being none the public comment was closed.

The Commission had questions for staff regarding:

- 1. No vote on original subdivision map
- 2. Project file numbers remaining the same

The Commission had questions for the applicant regarding:

- 1. Access between the two townhome projects.

The hearing was closed.

Commission Deliberation/Discussion:

Commissioner McKenzie stated he had exparte communications with the applicant’s representative. He supports the project.

Commissioner Vass also stated she had exparte communications.

Commissioner Whitmore stated he also had exparte communications and generally supports the project and wants to see it move forward.

On a motion by Commissioner Sloan and seconded by Commissioner McKenzie, Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval A Tentative Subdivision Map (Stanford Terrace Condominiums / SD-2013-05) was approved by the following vote:

AYES: Sloan, McKenzie, Vass, Whitmore, Martinez
 NOES: None
 ABSENT: None

ABSTAIN: None

On a motion by Commissioner Sloan and seconded by Commissioner McKenzie, Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval A Design Review For Multi-Family Residential Homes (Stanford Terrace Condominiums / DR-2013-12) was approved by the following vote:

AYES: Sloan, McKenzie, Vass, Whitmore, Martinez
 NOES: None
 ABSENT: None
 ABSTAIN: None

**8. SIERRA PINE SUBDIVISION
 GENERAL PLAN AMENDMENT, GPA2016-0002
 GENERAL DEVELOPMENT PLAN, PDG2016-0004
 REZONE, Z2016-0002
 TENTATIVE SUBDIVISION MAP, SD2016-0005
 DESIGN REVIEW, DR2016-0009**

This application is a request for approval of the following entitlements to allow the development of approximately 28.17 acres into 199 single-family residential lots:

- A General Plan Amendment to change the land use designation from a combination of Mixed Use (MU) and High Density Residential (HDR) to Medium High Density Residential (MHDR).
- A General Development Plan to establish the land uses and development standards for the proposed zone district.
- A Rezone to change the zoning applicable to the project site from Heavy Industrial (M-2) to Planned Development 7 dwelling units per acre (PD-7).
- A Tentative Subdivision Map to create a 199-unit single family small lot residential subdivision.
- A Design Review for the site design, landscaping, architectural designs, colors and materials of a proposed single-family small lot residential subdivision.

The subject site is located at 4300 Dominguez Road. APN 045-021-011. The property is zoned Heavy Industrial (M-2). The General Plan designation is Mixed Use (MU) and High Density Residential (HDR).

Notice is hereby given that the City of Rocklin will consider adoption of a Mitigated Negative Declaration for the development project described above.

The applicant is Jerry Aplass with Burrell Consulting Group. The property owner is Sierra Pine, a California limited partnership.

Dara Dungworth, Senior Planner, presented the staff report.

The Commission had questions for staff regarding:

1. Condition of approval for enhanced elevations
2. Affordable housing and RHNA numbers
3. Compatibility with neighboring uses – land use compatibility and noise disclosure
4. Thought process for changing from Industrial to High Density Residential
5. What is being given up by not going to mixed use or medium density residential

6. Frequency of rail cars per day
7. Pacific MDF's hours of operation being 24 hours a day

The applicant, Phil Rodriguez from Lewis Homes addressed the Commission and gave a presentation about the project.

The Commission had questions for the applicant regarding:

1. Will Lewis Homes be the end user
2. 50x50 lot – 4' backyard, 5' setback
3. Purpose of 3 different neighborhoods
4. Paseo locations
5. Grouping by lot size
6. Main entrance driveway

The hearing was opened to the public for comment.

1. Mr. Stokes, Pacific MDF, stated his concerns were about the rail spur and noise complaints. He suggested using sound deadening materials.

There being no further comment, the hearing was closed.

The Commission had additional questions for staff regarding:

1. Process for public art
2. Funding for potential improvements
3. Requirements for sound windows on 2-story homes
4. Traffic signal at Granite and Dominguez
5. Dominguez overcrossing timeline
6. Rail spur regulations by Union Pacific
7. Street parking on Dominguez
8. Architecture of the "A" Spanish style elevations

Jill Williams from KTG Architecture addressed the question and comments on the "A" Spanish style elevations.

Commission Deliberation/Discussion:

Commissioner Sloan expressed concerns with the architecture of the "A" Spanish style elevations.

Commissioner Vass stated she wasn't a fan of Elevation A and would like to see a more rustic style.

Applicant, Phil Rodriguez, suggested eliminating the "A" elevations or add a condition to enhance the elevations to look more like Spanish style with the ECD Director to give approval.

Commissioner Sloan would support maintaining Spanish style with more enhancements.

Commissioner Whitmore does not support eliminating the elevations. He feels the compatibility is very well done and it is a nice neighborhood. He stated he had exparte communications with the applicant.

Commissioner McKenzie also had exparte communications. He supports the project overall. Looks like a great community and likes the paseos. He suggests adding a disclosure regarding industrial uses and noise.

Commissioner Sloan stated that the MND is the appropriate environmental document. The zoning and land use is appropriate. He likes the 8’ walls and agrees with Commissioner McKenzie’s suggested disclosure. He supports the project.

Commissioner Vass stated she is not pleased with Elevation A and would like it eliminated or changed to a more rustic style.

On a motion by Commissioner McKenzie and seconded by Commissioner Sloan, Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of A Mitigated Negative Declaration Of Environmental Impacts (Sierra Pine Subdivision / GPA2016-0002, PDG2016-0004, Z2016-0002, SD2016-0005, DR2016-0009 And TRE2017-0006) was approved by the following vote:

AYES: McKenzie, Sloan, Vass, Whitmore, Martinez
NOES: None
ABSENT: None
ABSTAIN: None

On a motion by Commissioner McKenzie and seconded by Commissioner Sloan , Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of An Ordinance Amending The General Plan Designation Of An Area From High Density Residential (HDR) And Mixed Use (MU) To Medium Density Residential (MDR) (Sierra Pine Subdivision / GPA2016-0002) was approved by the following vote:

AYES: McKenzie, Sloan, Vass, Whitmore, Martinez
NOES: None
ABSENT: None
ABSTAIN: None

On a motion by Commissioner McKenzie and seconded by Commissioner Sloan, Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of An Ordinance Establishing The Sierra Pine General Development Plan And Rezoning An Area From Heavy Industrial (M-2) To Planned Development Residential – 8 Dwelling Units Per Acre (PD-8) (Sierra Pine Subdivision / PDG2016-0004 And Z2016-0002) was approved by the following vote:

AYES: McKenzie, Sloan, Vass, Whitmore, Martinez
NOES: None
ABSENT: None
ABSTAIN: None

On a motion by Commissioner McKenzie and seconded by Commissioner Sloan , Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of A Tentative Subdivision Map And An Oak Tree Preservation Plan Permit (Sierra Pine Subdivision / SD2016-0009 And TRE2017-0006) was approved by the following vote with the addition of the following disclosure:

5. *Special Provisions/Subdivision Improvement*

- d. *Prior to or concurrently with the recording of the final map the following note shall be recorded by separate instrument so as to appear on the deed of each of the lots created: (ENGINEERING)*

“Notice is hereby given that various industrial uses operate adjacent to the Sierra Pine Subdivision and that those uses may involve at various times in their operations the generation of noise, odors, and the use of the existing rail spur and heavy trucks for product shipments.”

AYES: McKenzie, Sloan, Vass, Whitmore, Martinez
 NOES: None
 ABSENT: None
 ABSTAIN: None

On a motion by Commissioner McKenzie and seconded by Commissioner Sloan , Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of A Design Review (Sierra Pine Subdivision / DR2016-0009) was approved by the following vote with the following amendment:

2. *House Design*

- c. *Applicant to modify the Spanish “A” elevations adding necessary elements and/or materials to enhance the elevations, to the satisfaction of the Economic and Community Development Director. (PLANNING, BUILDING)*

AYES: McKenzie, Sloan, Vass, Whitmore, Martinez
 NOES: None
 ABSENT: None
 ABSTAIN: None

NON PUBLIC HEARINGS

- 9. Informational Items and Presentations - None**
- 10. Reports and Discussion Items from Planning Commissioners - None**
- 11. Reports from City Staff – Meeting of September 5, 2017 is cancelled.**
- 12. Adjournment**

There being no further business brought before the Commission, the meeting was adjourned at 8:51 p.m.

Respectfully submitted,

Terry Stemple
 Planning Commission Secretary

Approved at the regularly scheduled Meeting of

CITY OF ROCKLIN
 MINUTES OF THE
 PLANNING COMMISSION MEETING

October 17, 2017
 Rocklin Council Chambers
 Rocklin Administration Building
 3970 Rocklin Road
 (www. rocklin.ca.us)

1. Meeting Called to Order at 6:30 p.m.
2. Pledge of Allegiance was led by Commissioner Sloan.
3. Roll Call

Chairman Martinez
 Commissioner McKenzie
 Commissioner Sloan
 Vice Chairman Whitmore - *Excused*
 Commissioner Vass

Others Present:

DeeAnne Gillick, Assistant City Attorney
 Bret Finning, Planning Services Manager
 Dara Dungworth, Senior Planner
 Nate Anderson, Senior Planner
 Laura Webster, Director of Long Range Planning
 David Mohlenbrok, Deputy Director, Public Services
 Dave Palmer, City Engineer
 Terry Stemple, Planning Commission Secretary

About 15 others

4. Minutes –
 - a. Minutes of October 3, 2017 were approved as submitted.
5. Correspondence - None
6. Citizens Addressing the Commission on Non Agenda Items – None

CONSENT ITEMS

None

PUBLIC HEARINGS

7. **WHITNEY RANCH PHASE III SUBDIVISION
 GENERAL PLAN AMENDMENT, GPA2017-0003
 GENERAL DEVELOPMENT PLAN AMENDMENT, PDG2017-0004
 REZONE, Z2017-0005
 TENTATIVE SUBDIVISION MAP, SD2017-0007**

This application is a request for approval of a General Plan Amendment, a General Development Plan Amendment, a Rezone, and a Small Lot Tentative Subdivision Map to modify various land use designations and zoning, and to further subdivide five existing parcels totaling approximately 41.2 acres into 208 single-family residential lots, fifteen lettered lots for landscaping, access, and utilities.

The project area is comprised of five Units within the existing Whitney Ranch Phase 1 and Phase 2 development areas specifically: Unit 1, APN 017-171-030, the northwest corner of Wildcat Blvd & Bridlewood Dr.; Unit 42, 017-177-011, the southeast corner of Painted Pony Ln. and Whitney Ranch Parkway; Units 44A & 44B, APN 017-174-045, the northeast corner of Old Ranchhouse Road & Whitney Ranch Parkway; and Unit 55C, and a portion of APN 017-182-018, northeast of the terminus of Painted Pony Ln.

An Environmental Impact Report for the North West Rocklin Annexation (Sunset Ranchos) project was previously approved by the Rocklin City Council through Resolution No. 2002-230 and an Addendum to the Northwest Rocklin Annexation EIR was approved in 2008 per City Council Resolution 2008-252. The project site is not on any of the lists enumerated under Section 65962.5 of the Government Code related to hazardous wastes.

The owner is Sunset Ranchos Investors, LLC; the applicant is Ubora Engineering & Planning.

Dara Dungworth, Senior Planner, presented the staff report.

The Commission had questions for staff regarding:

1. Development Agreement – subject to amendments
2. Logic for zoning and land use

The Applicant, David Berry, Ubora Engineering, addressed the Commission and stated he concurs with all the conditions of approval.

The Commission had no questions for the applicant.

The hearing was opened to the public for comment. There being none, the hearing was closed.

Commission Deliberation/Discussion:

The Commission had additional questions for staff regarding:

1. RHNA numbers
2. Timing of next housing element

Chairman Martinez stated he had exparte communications with the applicant.

Commissioner Vass also stated she had exparte communications with the applicant.

Commissioner McKenzie also had exparte communications with the applicant. He concurs with staff’s findings.

Commissioner Sloan stated he too had exparte communications with the applicant. He concurs with staff’s findings and supports the project.

On a motion by Commissioner Sloan and seconded by Commissioner Vass, Resolution of the Planning Commission of the City of Rocklin Recommending City Council Approval of a Resolution Amending the General Plan Land Use Designations for Multiple Sites in the Whitney Ranch / Sunset Ranchos Planning Area (Whitney Ranch Phase III Subdivision / GPA2017-0003) was approved by the following vote:

AYES: Sloan, Vass, McKenzie, Martinez
 NOES: None
 ABSENT: Whitmore
 ABSTAIN: None

On a motion by Commissioner Sloan and seconded by Commissioner Vass, Resolution of the Planning Commission of the City of Rocklin Recommending City Council Approval of an Ordinance Approving the Twelfth Amendment to the North West Rocklin Annexation Area General Development Plan, Replacing and Superseding Ordinance 1060 and Retaining Ordinance 932, and Rezoning Multiple Sites in the Whitney Ranch / Sunset Ranchos Planning Area (Whitney Ranch Phase III Subdivision / PDG2017-0004 And Z2017-0005) was approved by the following vote:

AYES: Sloan, Vass, McKenzie, Martinez
 NOES: None
 ABSENT: Whitmore
 ABSTAIN: None

On a motion by Commissioner Sloan and seconded by Commissioner Vass, Resolution of the Planning Commission of the City of Rocklin Recommending City Council Approval of a Small Lot Tentative Subdivision Map (Whitney Ranch Phase III Subdivision / SD2017-0007) was approved by the following vote:

AYES: Sloan, Vass, McKenzie, Martinez
 NOES: None
 ABSENT: Whitmore
 ABSTAIN: None

**8. STANFORD PLAZA PHASE 1C
 DESIGN REVIEW, DR2017-0009
 TENTATIVE PARCEL MAP, DL2017-0006**

This application is a request for approval of a Tentative Parcel Map to divide a vacant 1.79-acre site within the Stanford Plaza retail development into two lots (Parcel 1 = 0.75 acres; and Parcel 2 = 1.04 acres) and a Design Review to construct two buildings and associated parking lot and landscaping. The subject property is located on the southwest corner of Sunset Boulevard and Pebble Creek Drive. APN 364-090-019.

A review of this project pursuant to the California Environmental Quality Act (CEQA) has determined that a Categorical Exemption is the appropriate level of environmental review for this project, pursuant to Section 15332 - Infill Development Projects.

The applicant is Borges Architectural Group. The property owner is Eureka Development Company.

Nate Anderson, Senior Planner, presented the staff report.

The Commission had questions for staff regarding:

1. Popeye’s – colors of buildings and awnings
2. Stone type
3. Balcony structure
4. Window shapes

The Applicant, Richard Sambucetti, Borges Architectural Group, addressed the Commission speaking about parking and the building finishes.

The Commission had questions for the applicant regarding:

1. Building B being single or multi-tenant.

The hearing was opened to the public for comment.

1. Jerry Mitchell, suggested that the bus stop on Sunset in front of this project could really use enhancements such as a shelter or bench.

There being no further comments, the hearing was closed.

Commission Deliberation/Discussion:

Commissioner McKenzie is satisfied with the design and colors. He agrees with staff’s findings and supports the project.

Commissioner Sloan agrees with staff’s findings and supports the project. He would like staff to look into enhancing the bus stop.

Commission Vass concurred with her fellow Commissioners and supports the project.

Chairman Martinez also concurs and supports the project.

On a motion by Commissioner McKenzie and seconded by Commissioner Sloan, Resolution of the Planning Commission of the City of Rocklin Approving a Notice of Exemption (Stanford Plaza Phase 1C / DR2017-0009 And DL2017-0006) was approved by the following vote:

AYES: McKenzie, Sloan, Vass, Martinez
 NOES: None
 ABSENT: Whitmore
 ABSTAIN: None

On a motion by Commissioner McKenzie and seconded by Commissioner Sloan, Resolution of the Planning Commission of the City of Rocklin Approving a Design Review (Stanford Plaza Phase 1C / DR2017-0009) was approved by the following vote:

AYES: McKenzie, Sloan, Vass, Martinez
 NOES: None
 ABSENT: Whitmore
 ABSTAIN: None

On a motion by Commissioner McKenzie and seconded by Commissioner Sloan, Resolution of the Planning Commission of the City of Rocklin Approving a Tentative Parcel Map (Stanford Plaza Phase 1C / DL2017-0006) was approved by the following vote:

AYES: McKenzie, Sloan, Vass, Martinez
 NOES: None
 ABSENT: Whitmore
 ABSTAIN: None

**9. VILLAGES AT CIVIC CENTER (CIVIC CENTER PLAN)
 GENERAL DEVELOPMENT PLAN AMENDMENT, PDG2017-0005**

This application is a request for approval of a General Development Plan Amendment to amend the development standards applicable to the RD-8 zone of the Rocklin Civic Center General Development Plan (Ordinance 745 and amended by Ordinance 899).

A Mitigated Negative Declaration of Environmental Impacts was previously approved by the Rocklin City Council through Resolution No. 2005-306. The project site is not on any of the lists enumerated under Section 65962.5 of the Government Code related to hazardous wastes.

The applicant and property owner is Greg Judkins of Riverland Homes, Inc.

Dara Dungworth, Senior Planner, presented the staff report.

The Commission had questions for staff regarding:

1. Design Review Quarry District – ARC review
2. Maximum height

The Applicant, Tanner Judkins, addressed the Commission.

The Commission had no questions for the applicant.

The hearing was opened to the public for comment.

1. Diana Ruhkala Bell, Rocklin, complimented Riverland Homes for working with the residents. She stated she is concerned about property changing hands and the density increasing next to their property.
2. Royceanne Ruhkala Burke spoke in favor of the project with eight units per acre.
3. Joanne Ruhkala Larson, expressed concerns about fire danger and open space around their property.
4. John Neal concurred with the previous comments made and expressed concerns with 2 story homes.
5. Jerry Mitchell spoke as a member of the Rocklin Historical Society.
6. Joe Lee, Rocklin, stated he is concerned with increasing number of 2 story units.

Tanner Judkins, Riverland Homes, explained the reason for the increased number of 2 story homes.

There being no further comments, the hearing was closed.

The Commission had additional questions for staff and the applicant regarding:

1. Zoning to the north of the property
2. RD-4 buffer around PD-8

Commission Deliberation/Discussion:

Commissioner McKenzie stated he had exparte communications with the applicant. He thanked the public for attending the hearing and stated he supports the project.

Commissioner Sloan also had exparte communications with the applicant. He does have some concern regarding fire danger, and supports the project.

Commissioner Vass thanked the public and stated she appreciates their comments. She supports the project.

On a motion by Commissioner Vass and seconded by Commissioner McKenzie, Resolution of the Planning Commission of the City of Rocklin Recommending Approval of an Ordinance Amending the Rocklin Civic Center General Development Plan, Ordinances 745 and 899, to Modify Certain Development Standards Within the PD-8 Zone District (Villages At Civic Center – Rocklin Civic Center (PDG2017-0005)) was approved by the following vote as amended by the blue memo:

Section 3 Environmental

The proposed Villages at Civic Center – Rocklin Civic Center project, including its related land use entitlements, was analyzed as required by the California Environmental Quality Act (CEQA) as a part of the Villages at Civic Center Initial Study/Mitigated Negative Declaration of Environmental Impacts (MND), approved and certified by City Council Resolution No. 2005-306. Pursuant to Section 15162 of the CEQA Guidelines, no further environmental review of the Villages at Civic Center – Rocklin Civic Center project is required, nor should be conducted, since the Villages at Civic Center – Rocklin Civic Center is within the scope of the Villages at Civic Center MND which adequately describe these activities for purposes of CEQA for the following reasons:

- A. *No new significant environmental impacts nor any substantial increase in the severity of previously identified significant impacts will occur from the Villages at Civic Center – Rocklin Civic Center project;*
- B. *No substantial changes occur with respect to the circumstances under which the project will be undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental impacts or a substantial increase in the severity of previously identified significant impacts.*
- C. *No new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified as complete shows any of the following:*
 - i) *That the project will have one or more significant effects not discussed in the previous MND;*
 - ii) *That significant effects previously examined will be substantially more severe than shown in the previous MND;*
 - iii) *That mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.*

- iv) *That mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would substantially reduce one or more significant effects of the environment, but the project proponents declined to adopt the mitigation measure or alternative.*

AYES: Vass, McKenzie, Sloan, Martinez
NOES: None
ABSENT: Whitmore
ABSTAIN: None

NON PUBLIC HEARINGS

10. Informational Items and Presentations – None

11. Reports and Discussion Items from Planning Commissioners – None

12. Reports from City Staff –

- a. Sierra Gateway Apartments is scheduled for November 7th.
- b. The meeting of November 21st will probably be cancelled.

13. Adjournment

There being no further business brought before the Commission, the meeting was adjourned at 8:06 p.m.

Respectfully submitted,

Terry Stemple
Planning Commission Secretary

*Approved at the regularly scheduled
Meeting of*

CITY OF ROCKLIN
 MINUTES OF THE
 PLANNING COMMISSION MEETING

November 7, 2017
 Rocklin Council Chambers
 Rocklin Administration Building
 3970 Rocklin Road
 (www.rocklin.ca.us)

1. Meeting Called to Order at 6:32pm
2. Pledge of Allegiance was led by Commissioner Vass.
3. Roll Call

Chairman Martinez
 Commissioner McKenzie
 Commissioner Sloan
 Vice Chairman Whitmore
 Commissioner Vass

Others Present:

DeeAnne Gillick, Assistant City Attorney
 Dara Dungworth, Senior Planner
 Marc Mondell, Economic & Community Development Director
 Laura Webster, Director of Long Range Planning
 David Mohlenbrok, Deputy Director, Public Services
 Dave Palmer, City Engineer
 Sharon Cohen, Environmental Services Specialist
 Corrine Heisler, Environmental Services Specialist
 Terry Stemple, Planning Commission Secretary

About 60 others

4. Minutes –
 - a. None
5. Correspondence - 4th Blue Memo, 2 additional handouts from Denise Gaddis
6. Citizens Addressing the Commission on Non Agenda Items – None

CONSENT ITEMS

None

PUBLIC HEARINGS

**7. SIERRA GATEWAY APARTMENTS
DESIGN REVIEW, DR2015-0018
OAK TREE PRESERVATION PLAN PERMIT, TRE2016-0001**

This application is a request for approval of Design Review and Oak Tree Preservation Plan Permit to construct a 195 unit multi-family project on an approximately 10.2 acre site, including site design, architecture, and landscaping. The subject property is generally located on the southeast corner of Sierra College Boulevard and Rocklin Road. APNs 045-161-014, 045-161-015, 045-161-016. The property is zoned Planned Development 20 dwelling units minimum per acre (PD-20). The General Plan designation is High Density Residential (HDR).

Notice is hereby given that the City of Rocklin Planning Commission will consider making a recommendation for adoption of an Environmental Impact Report for the development project described above.

The applicant and property owner is Rocklin Sierra Apartments II, LLC.

David Mohlenbrok, Deputy Director Public Services, introduced Rick Jarvis, CEQA counsel, and then presented the Environmental portion of the staff report.

Dara Dungworth, Senior Planner, presented the project staff report.

The Commission had questions for staff regarding:

1. Waterlily Lane – public or private street
2. EVA access
3. Conflicts with HOA road/easement
4. Options with EVA access
5. Flooding issues on project
6. Buildings 5 and 9 height – reduced from original 2015 project
7. Summary versus list approach in NOP
8. Prior Zoning
9. Reduced footprint
10. Housing stock – RHNA requirements
11. Density calculations – panhandle
12. Blue memo #4 – Loomis School District additional 10 days for EIR certification
13. Oak tree mitigation amount

The Commission took a recess at 7:43pm and reconvened at 7:52pm

Chairman Martinez allowed the Loomis School District to make their public comments prior to the applicant presentation to accommodate a time issue.

Megan Macy, Lozano Smith Attorneys at Law, on behalf of the Loomis Union School District, addressed the Commission stating her concerns included mitigation of school related issues, impacts related to traffic, interim housing and communication between the City and the Loomis School District. Asked for the hearing to be continued so that negotiations between the school district and the developer could be completed.

Gordon Medd, Loomis Union School District Superintendent, addressed the Commission about the lack of communication between the City and the school district regarding this project. He also asked that the decision on the project be delayed until the negotiations are complete with the developer.

The Applicant, Roy Brewer, addressed the Commission and thanked staff for their efforts. He gave a brief history of the project and asked the Commission to recommend approval to the City Council. He introduced his team and gave a presentation to the Commission.

The Commission had questions for the applicant regarding:

1. Architectural Review Committee concerns about seeing building 9 coming from the top of Sierra College Blvd.

The hearing was opened to the public for comment.

1. Richard Burton, Rocklin, spoke in opposition to the project
2. Mike Mattos, Rocklin, spoke in opposition to the project
3. Kim Steinjann, Rocklin, spoke in opposition to the project
4. Robert Steinjann, Rocklin, spoke in opposition to the project
5. Chris Wiegman, Rocklin, spoke in opposition to the project
6. Kali Hetrick, Rocklin, spoke in support of the project
7. Rowena Yeseta, Loomis, spoke in opposition to the project
8. Roger Smith, Loomis, spoke in opposition to the project
9. Alex Tyshkevich, Rocklin, spoke in opposition to the project
10. Denise Gaddis, Rocklin, spoke in opposition to the project
11. Irene Smith, Loomis, spoke in opposition to the project
12. David Vickers, Rocklin, spoke in opposition to the project
13. Sue Hoppe, Rocklin, spoke in opposition to the project
14. Jim Lofgren, Rental Housing Association, spoke in support of the project
15. Kent Zenobia, Rocklin, spoke in opposition to the project
16. Steve Matthews, St. Francis Woods, spoke in opposition to the project

The Applicant, Ron Brewer, reiterated his original statements and asked for approval of the project.

At 9:20pm the Commission took a recess and reconvened at 9:27pm.

There being no further comments, the public hearing as closed.

The Commission had the following questions for staff and the applicant:

1. Water drainage
2. Flooding from Rocklin Manor
3. List of approved projects that were not included in the EIR
4. Uniform Building Code's definition of building height
5. Fire truck requirements
6. Applicant paying the City for the preparation of the EIR
7. Loomis Union School District's noticing issues and traffic issues
8. Reduced traffic as a result of students/teachers living at project
9. Page 120 of the FEIR – trees of varying health; dead trees being left causing dangerous conditions
10. EVA – right in/right out only
11. Tool for achieving trees/balancing – Oak Tree Mitigation

Commission Deliberation/Discussion:

Commissioner Whitmore stated that unequivocally it was a mistake on his part to rezone the property from commercial to PD-20 several years ago. He felt at the time that a residential project’s footprint could be done to preserve some of the natural beauty of the site. He expressed that he would really like to see a design review package with every rezone so that they can understand exactly what it’s going to look like. He does not feel the project is consistent with all of the findings. Feels it is not, and never will be an award winning project. The project is too dense. It is not a good fit for the residents to the south. He does like the architecture and stated that it is much improved from the architecture from before and it’s consistent with the design review guidelines the City is trying to create for that collegiate vision for the area. He stated that he cannot support the project. Commissioner Whitmore added that he had exparte communications with the applicant.

Commissioner Sloan stated he sees the project differently than Commission Whitmore. He agrees that it isn’t a perfect fit for the residents to the south but feels the rezone was to create synergy with the college, the mixed use and the retail commercial surrounding it. He stated the EIR as prepared is the correct document for this project. Would like a condition included that the developer complies with the ARC recommendations and that the EVA be emergency access only.

Commissioner Vass feels that it is a tight fit for this corner. She likes the architecture but feels it is too big for the corner. She supports and EVA only. Thinks it is a great opportunity for residential especially for the community college and providing more housing opportunities for the students and those who work and live on that side of town. She would like the project to come back to the Planning Commission again. Commissioner Vass added that she had exparte communications with the applicant and several of the neighbors.

Commissioner McKenzie thanked the public for coming out and participating in the process. He stated he had exparte communications with the applicant and the opposition. He feels if you are going to develop this site it should be developed intensely and make sure it has the best synergy with Sierra College. He had concerns with traffic and oak trees, but those issues have been satisfied. He stated that the design has improved immensely. He supports the EVA only access to the south.

Chairman Martinez stated he also met with the applicant. He feels that this location makes sense for high density development. He is pleased that the applicant listened the first time around and tapered down the building closest to Water Lily Lane. He feels they have exceeded the development standards as far as setbacks go. He believes the architecture is consistent with the vision for that area going forward. The environmental analysis is more than adequate. He agrees with adding the condition of approval regarding the ARC’s recommendations and doesn’t have a strong opinion about the EVA.

On a motion by Commissioner Sloan and seconded by Commissioner McKenzie, Resolution Of The Planning Commission Of The City Of Rocklin Recommending Certification Of A Final Environmental Impact Report, Recommending Making Findings Of Fact And Statement Of Overriding Considerations And Recommending Approval Of A Mitigation Monitoring And Reporting Program (Sierra Gateway Apartments / DR2015-0018 And TRE2016-0001) was approved by the following vote:

AYES: Sloan, McKenzie, Vass, Martinez
 NOES: Whitmore

ABSENT: None
 ABSTAIN: None

On a motion by Commissioner Sloan and seconded by Commissioner McKenzie, Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of A Design Review And Oak Tree Preservation Plan Permit (Sierra Gateway Apartments / DR2015-0018 And TRE2016-0001) was approved by the following vote with the following amendments:

3. Improvement Plans

3. h. vi. *The vehicle access off of Water Lily Lane shall be an Emergency Vehicle Access (EVA) only and shall include signage and appropriate access hardware, to the satisfaction of the Fire Chief. (FIRE)*

19. Special

19.d. *The developer shall work with staff to revise the architecture consistent with the direction of the Architectural Review Committee (ARC) to provide additional elements on the upper stories of Buildings 5 and 9, to the satisfaction of the Economic and Community Development Director: (PLANNING)*

- i. *Add Hardie panel siding, or other acceptable material, and/or vary the paint colors to further break up the large expanses of plain, solid wall.*
- ii. *Add sturdy decorative metalwork in the walkway openings that mimic the proportion and pattern of the divided lights in the windows on the lower stories.*

AYES: Sloan, McKenzie, Martinez
 NOES: Whitmore, Vass
 ABSENT: None
 ABSTAIN: None

NON PUBLIC HEARINGS

- 8. Informational Items and Presentations – None**
- 9. Reports and Discussion Items from Planning Commissioners – None**
- 10. Reports from City Staff – None**
- 11. Adjournment**

There being no further business brought before the Commission, the meeting was adjourned at 10:40 p.m.

Respectfully submitted,

Terry Stemple
 Planning Commission Secretary

Approved at the regularly scheduled Meeting of



City of Rocklin Community Development Department

Planning Commission STAFF REPORT

Indian Creek
Tentative Parcel Map, DL2017-0004

December 19, 2017

Proposal/Recommendation

This application is a request for approval of tentative parcel map entitlement to allow the subdivision of an approximately 12.38 acre parcel into three separate parcels. Staff recommends that the Planning Commission approve the following, subject to the draft conditions of approval:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A NOTICE OF EXEMPTION (Indian Creek Tentative Parcel Map / DL2017-0004)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A TENTATIVE PARCEL MAP (Indian Creek Tentative Parcel Map / DL2017-0004)

Owner/Applicant

The owner/applicant is CLB Properties, LLC.

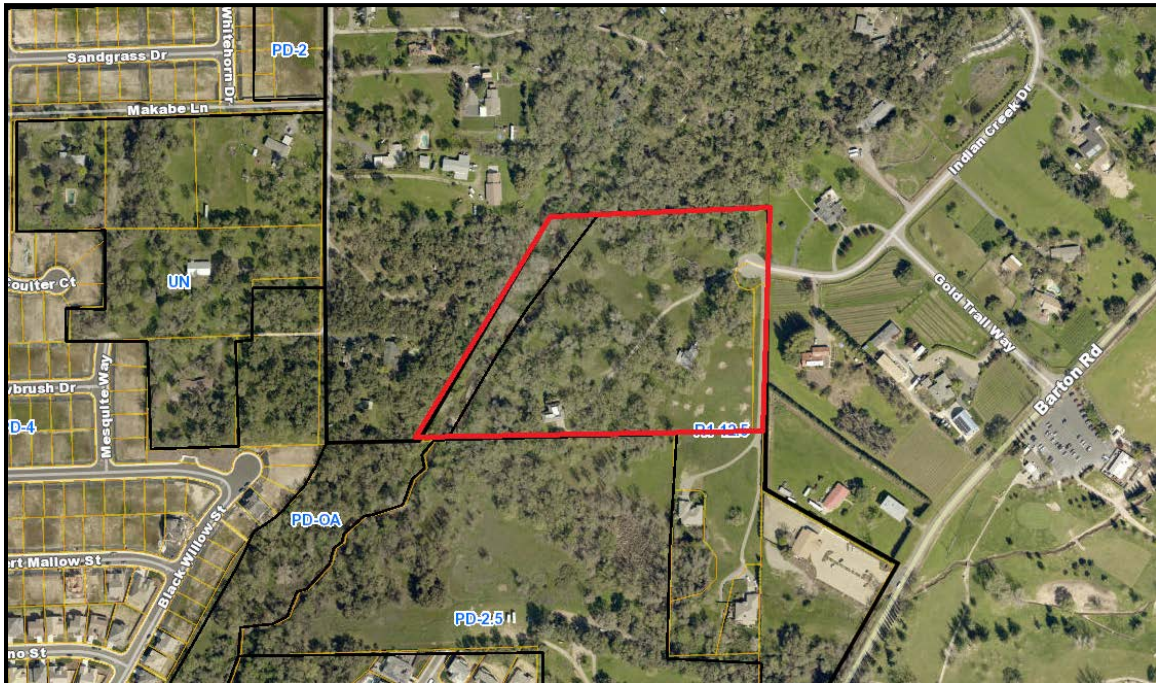
Location

The subject property is located at 4420 Indian Creek Drive. APN: 045-044-045.

Site Characteristics

The approximately 12.38 gross-acre project site is located at the terminus of Indian Creek Drive, west of Barton Road and south of Brace Road in southeastern Rocklin (see **Figure 1**). The property is currently developed with two single family residences on the eastern and southern portion of the parcel served by an existing driveway off the Indian Creek Drive cul-de-sac. The residences are served by private well and septic system.

Figure 1 – Vicinity Map



Secret Ravine Creek runs along the western portion of the property. There is an existing 50-foot easement for creek protection and drainage, established when the map that created this property recorded June 6, 1977 (PM 72-10). There are oak trees located throughout the property. No oaks have been proposed for removal with this parcel map. The applicant desires to work with the Fire Department to improve the existing driveway to minimum fire access standards without necessitating any oak tree removal. There is an existing open area on proposed Parcel 2, and it is the applicant’s intent to construct a residence in this area to avoid impacting oak trees on the property. Any oak tree removal for proposed Parcel 2 would be assessed with the building permit application at that time.

The property is surrounded on all sides by developed and undeveloped single-family zoned properties. The property is located at the edge of the City limits, bounded on three sides by the Town of Loomis, with access to the site via Barton Road. The surrounding properties within the Town of Loomis have large lot zoning with minimum lots sizes ranging from 2.3 to 4.6 acres. The southern property line borders with the proposed Croftwood Unit #2 development designed with 6300 square foot lots as typicals. The current R1-12.5 zoning allows for minimum lot sizes of 12,500 square feet. The proposed parcel sizes, 2.81±, 6.35± and 3.21± acres, are much larger than the minimum and are consistent with the property sizes in the surrounding neighborhoods within the Town of Loomis. The zoning and land use designations of the project site, as well as surrounding properties, are included as **Table 1**.

Table 1 – Surrounding Uses

	General Plan	Zoning	Existing Land Use
Project Site:	Low Density Residential (LDR) & Recreation/Conservation (R-C)	Residential Single Family 12,500 square foot minimum lot size (R1-12.5) & Planned Development Open Space (PD-OA)	Two single family residences
North:	Residential Estate*	RE* 2.3 acre minimum lot size	Existing large lot single-family homes
South:	Low Density Residential	R1-12.5 & PD-2.5	Existing large lot single family homes & undeveloped residential (proposed Croftwood2)
East:	Res. Agriculture*	RA* 4.6 acre minimum lot size	Existing large lot single family homes
West:	Residential Estate*	RE* 2.3 acre minimum lot size	Existing large lot single family homes

* Town of Loomis designations

Tentative Parcel Map

The proposed parcel map would allow for the division of a 12.38± acre property into three single-family residential parcels. Parcel 1 is proposed at 2.8± acres, Parcel 2 at 6.4± acres, and Parcel 3 at 3.2± acres. The proposed Tentative Parcel Map is included as **Figure 2**.

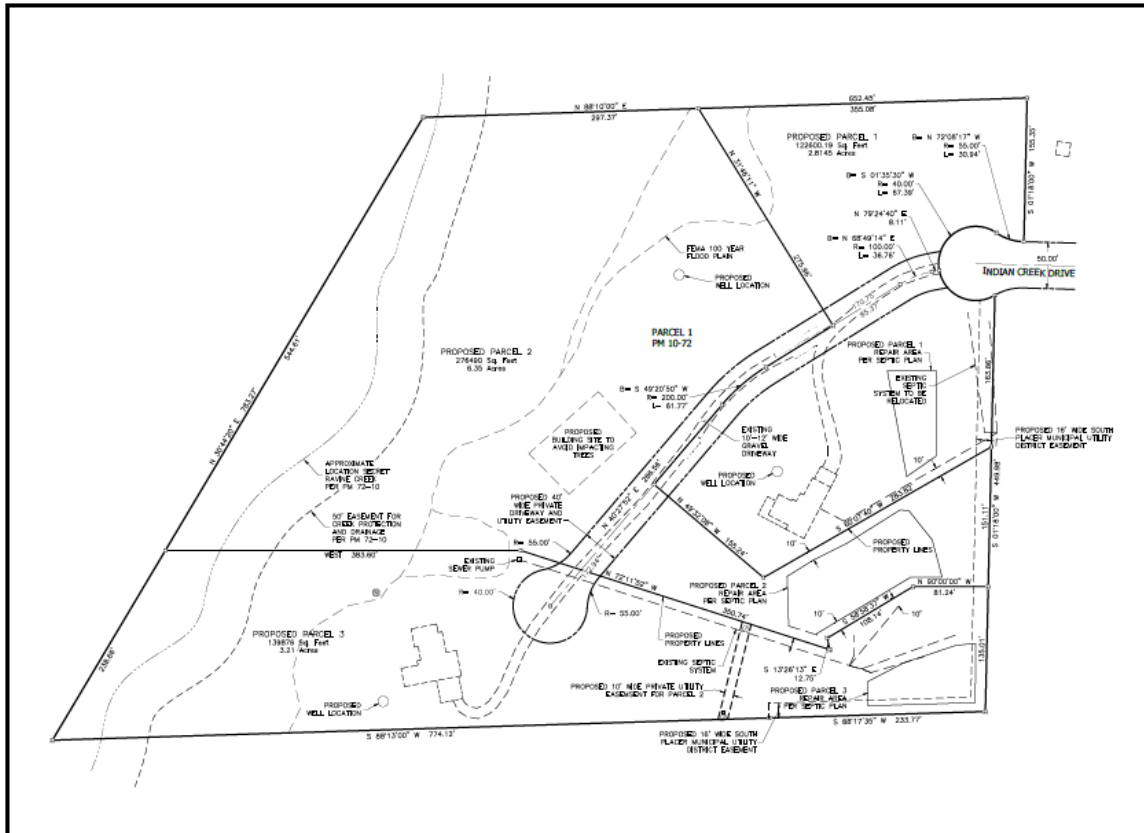
The proposed tentative parcel map will create separate parcels for two existing residences (Parcel 1 and 3) and create a new vacant parcel (Parcel 2) to be developed with a third residence in the future. A proposed 40-foot Private Driveway and Utility Easement will be recorded over the existing driveway to provide access to all three parcels. The roadway is conditioned to be improved to meet the minimum fire access requirements which include increasing the road width to a minimum 26 feet and adding base and all-weather surface materials suitable to support a 70,000 pound vehicle. The new parcels will continue to be served by private wells and septic systems, with three new wells and repair areas for the existing and proposed septic systems.

The parcels have a somewhat meandering configuration to accommodate separation and repair area requirements for well and septic systems and a building envelope on Parcel 2 that is intended avoid oak tree removal. A letter, prepared by a certified arborist, was provided stating that he reviewed the tentative parcel map and the proposed development, as well as walked the property. He found that, based upon the proposed map, the new leach fields, wells and location for a new home on proposed

Planning Commission Staff Report
 Indian Creek Tentative Parcel Map / DL2017-0004
 December 19, 2017
 Page 4

Parcel 2 were all sited outside the dripline of any oak trees and would not be expected to cause significant impacts to the trees.

Figure 2 – Proposed Tentative Parcel Map



General Plan and Zoning Compliance

The project site is designated in the City's General Plan as Low Density Residential (LDR) and Recreation/Conservation (R-C). The LDR designation is intended to provide areas for single-family homes on estate sized lots, compatible with a semi-rural setting. The R-C designation, located along the westerly property line, is intended to protect land having important environmental and ecological qualities. Secret Ravine Creek and a 50-foot buffer established with the recording of PM 72-10 fall within the R-C designation.

The zoning of the project site is Single-Family Residential 12,500 square foot minimum lot size (R1-12.5), which is intended to allow for the development of single-family homes on lots that are 12,500 square feet or larger in area. The western portion of the property, along the creek buffer for Secret Ravine Creek, is zoned Planned Development Open Area (PD-OA). This tentative parcel map application would create three large lot single-family residential lots, each over 2.5 acres in size. The proposed parcel sizes

*Planning Commission Staff Report
Indian Creek Tentative Parcel Map / DL2017-0004
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exceed the minimum requirements of the R1-12.5 zoning district and will not impact the existing PD-OA zoning. As such, the project is consistent with the applicable general plan and zoning.

The three single-family residential lots that would be created by the approval of this application would be similar in size and land use as nearby properties accessed via Indian Creek Drive and are therefore, considered to be compatible with adjacent land uses and development.

Environmental Determination

The City of Rocklin's Environmental Coordinator has reviewed the proposed project and determined that it is categorically exempt from review under the California Environmental Quality Act pursuant to Section 15315 - Minor Land Divisions. For a more in-depth discussion of the environmental evaluation and conclusion, please refer to the Notice of Exemption attached to the Resolution.

Given the above, staff does not believe that there would be any significant impact to the surrounding neighborhood resulting from the approval of the proposed parcel map. Staff therefore recommends that the Planning Commission approve the project, subject to findings and conditions of approval.

Prepared by Shauna Nauman, Assistant Planner

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RESOLUTION NO.

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN APPROVING A NOTICE OF EXEMPTION
(Indian Creek Tentative Parcel Map/DL2017-0004)

WHEREAS, the City of Rocklin’s Environmental Coordinator has reviewed the Indian Creek Tentative Parcel Map project (DL2017-0004) (“Project”) and determined that it is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15315 – Minor Land Divisions.

WHEREAS, a Notice of Exemption has been prepared for the Project.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Rocklin as follows:

Section 1. Based on the review and determination of the Environmental Coordinator, the Planning Commission of the City of Rocklin finds that the Project is exempt from review under the California Environmental Quality Act.

Section 2. A Notice of Exemption is approved for the Project.

Section 3. Upon approval of the Project by the Planning Commission, the Environmental Coordinator may file the Notice of Exemption with the County Clerk of Placer County and, if the Project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to the provisions of Section 21152(b) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.

PASSED AND ADOPTED this ___ day of _____, 2017, by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
ABSTAIN: Commissioners:

Chairman

ATTEST:

Secretary

NOTICE OF EXEMPTION

TO: County Clerk, County of Placer
 2954 Richardson Blvd.
 Auburn, CA 95604-5228

FROM: City of Rocklin
 ECD Department
 3970 Rocklin Road
 Rocklin, CA 95677

Project Title: Indian Creek Tentative Parcel Map / DL2017-0004

Project Location - Specific: The subject site is located at 4420 Indian Creek, Rocklin CA 95677. APN 045-044-045.

Project Location - City: Rocklin, CA; **County:** Placer

Description of Nature, Purpose and Beneficiaries of Project: The project is a request for approval of a Tentative Parcel Map to allow the division of a 12.38 +/- acre site into 3 parcels. Parcel 1 is proposed at 2.8 +/- acres, Parcel 2 at 6.4 +/- acres, and Parcel 3 at 3.2 +/- acres. The property is currently developed with two single family residences served by an existing well and septic system. The project proposes to continue to be served by well and septic, with three new wells and repair areas for the existing and proposed septic systems. The applicant has proposed a building envelope to avoid oak tree removal for the new residence on Parcel 2.

Name of Public Agency Approving Project: City of Rocklin

Name of Person or Agency Carrying Out Project: The applicant is CLB Properties, LLC, Attn: Melissa Bowers, 256 Aerie Court, Roseville, CA 95661, (916) 870-8470. The property owners are David and Sheila Locke.

Exempt Status (Check one)

x Categorical Exemption (California Code of Regulations Sec. 15300 et seq.): 15315 Minor Land Divisions.

Reasons why the project is exempt: The project consists of a tentative parcel map to allow the division of one existing parcel into three smaller parcels, as further described above. Class 15 exemptions consist of the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope of greater than 20 percent. This division of one parcel into three smaller parcels is: located in an area zoned for Residential; will result in four or fewer parcels; is in conformance with the General Plan designation of Low Density Residential and zoning of Single Family Residential 12,500 square foot minimum lot size (R1-12.5); no variances or exceptions are required; all services and access to the proposed parcels to local standards are available; the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20%. Therefore, the project is considered to be exempt pursuant to Class 15 of the CEQA Guidelines.

Contact Person: Marc Mondell, Economic and Community Development Department Director

Date received for Filing: _____

Signature: _____
 Marc Mondell, Economic and Community Development Department Director

RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN
APPROVING A TENTATIVE PARCEL MAP
(Indian Creek Tentative Parcel Map / DL2017-0004)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Tentative Parcel Map (DL2017-0004) allows the subdivision of an approximately 12.38 acre parcel, generally located at the terminus of Indian Creek Drive (APN: 045-044-045), into three residential parcels.

B. A Categorical Exemption of environmental impacts has been approved for this project via Planning Commission Resolution No. PC-2017- .

C. The Planning Commission has considered the effect of the approval of this subdivision on the housing needs of the region, and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the zoning classification on the property.

E. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the objectives, policies, general land uses and programs in the City of Rocklin's General Plan.

F. The site is physically suitable for the proposed type and density of development.

G. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage, nor will they substantially and avoidably injure fish or wildlife or their habitat.

H. The design of the subdivision and type of improvements will not cause serious public health problems.

I. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

J. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

Section 2. The tentative parcel map for a property on Indian Creek (DL2017-0004), as depicted in Exhibit A, attached hereto and by this reference incorporated herein, is hereby approved, subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition, and each of these conditions must be satisfied prior to or concurrently with the submittal of the final map with the City Engineer. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

a. Water & Sewer – Water and sewer service shall be provided to the subdivision from private wells and septic systems. Prior to recordation of a final map the following shall be completed: (Engineering)

1) Obtain and comply with all permits and requirements of Placer County Environmental Health related to the installation of new wells and provision of septic disposal areas including but not limited to:

i. Provide to Placer County Environmental Health a water quality analysis report on water from the wells that will be drilled on

Parcels 1, 2, and 3 shall be submitted to Placer County Environmental Health prior to recordation of the map. The reports must be prepared by a State Certified laboratory and include at minimum bacteriology (total coliform, fecal coliform and chlorine residual) as well as Primary and Secondary Drinking Water Standards as defined in Title 22 of the California Code of Regulations.

- ii. Provide to Placer County Environmental Health yield reports for the new water wells on Parcels 1, 2, and 3 to demonstrate adequate water supply per Placer County Code requirements.
- 2) Provide a letter from Placer County Environmental Health verifying all requirements related to the installation of new wells and provision of septic disposal areas have been met to the City Engineer.
- b. Prior to recording of a final map the existing well on proposed Parcel 3, which currently does not meet Placer County Environmental Health code requirements, shall be abandoned in accord with all standards and requirements of Placer County Environmental Health, including but not limited to obtaining all required permits. This requirement may be waived upon submitting a letter from Placer County Environmental Health authorizing this well to remain for non-potable water use. (ENGINEERING)
 - c. Telephone, Gas, and Electricity – Telephone, gas and electrical service shall be provided to the subdivision from Surewest Communications / AT&T, and Pacific Gas & Electric (PG&E). (ENGINEERING)
 - d. Postal Service – Mailbox locations shall be determined by the local postmaster. A letter from the local postmaster verifying all requirements have been met shall be filed with the City Engineer. (ENGINEERING).
 - e. Prior to recording of a final map the project shall be included in the appropriate City financing district(s) as needed to most efficiently provide for public maintenance of city parks and creeks to the satisfaction of the City Finance Manager.

It is anticipated that the following will be necessary:

Annexation into: CFD# 1 & CFD#5

De-annexation from: Lighting and Landscape District #1

2. Schools

- a. The following condition shall be satisfied to mitigate the impact of the proposed development on school facilities (LOOMIS UNION SCHOOL DISTRICT, BUILDING):
 - 1) At the time of issuance of a building permit, the developer shall pay to the Loomis Union School District all fees required under Education Code section 17620 and Government Code Section 65995, to the satisfaction of the Rocklin Unified School District.
 - 2) The above condition shall be waived by the City Council if the applicant and the District reach agreement to mitigate the impacts on the school facilities caused by the proposed development and jointly request in writing that the condition be waived.

3. Fire Service

- a. The following notes shall be included on the final map:
 - 1) All new structures and additions to existing structures on Parcels 1,2, and 3 will, at minimum, be required to be fire sprinklered per the California Residential Code (CRC).
 - 2) All new structures will be required to provide illuminated address signs visible from the access road.
 - 3) A water tank sized to meet the 2016 NFPA 13D fire sprinkler demand is required per the California Fire Code for the new residence on Parcel 2.
 - 4) Fire sprinkler risers shall be located within new structures.
- b. The project improvement plans shall include the following minimum improvements to the shared driveway / fire apparatus access road serving Parcels 1, 2, and 3 to the satisfaction of the Fire Chief:
 - 1) Provide for a minimum 26 foot wide all weather paved surface to upgrade to minimum fire apparatus access road standards. The structural sections for required improvements to the existing driveway shall meet the City of Rocklin Improvement Standard 4-3, Structural Section, with a minimum allowable thickness of roadbed section of 3" asphalt concrete and 8" aggregate base.

- 2) Designed to accommodate a minimum 70,000 pound (35 ton) fire vehicle.
 - 3) Provide for the minimum fire department turning radii of 36 foot inside and 50 foot outside.
- c. The project improvement plans shall provide for a minimum 20 foot wide all weather access to within 150 of any point of all existing structures within the boundaries of the parcel map to the satisfaction of the Fire Chief.
 - d. Prior to recording of a final map a Fire Hazard Mitigation Plan shall be prepared for the property, which shall include a Fuel Modification Plan. The Fire Hazard Mitigation Plan shall be reviewed and approved by the Rocklin Fire Chief. Implementation of the Fire Hazard Mitigation Plan shall be the responsibility of the property owner(s). (FIRE, PLANNING)
 - e. Prior to recording a final map the existing homes on Parcels 1, and 3 shall be provided with illuminated addresses visible from the shared access road to the satisfaction of the Fire Chief.
 - f. Prior to recording a final map a clearly visible sign with the road name and addresses for the three new parcels shall be installed at the entrance to the shared access driveway a the cul-de-sac terminus of Indian Creek Drive to the satisfaction of the Fire Chief.
(FIRE, ENGINEERING)
4. Improvements/Improvement Plans

Prior to any grading, site improvements, or other construction activities associated with this project improvement plans shall be prepared consistent with the exhibits and conditions incorporated as a part of this entitlement, and in compliance with all applicable city standards, for the review and approval of the City Engineer.

Improvement plans shall be valid for a period of two years from date of approval by the City Engineer. If substantial work has not been commenced within that time, or if the work is not diligently pursued to completion thereafter, the City Engineer may require the improvement plans to be resubmitted and/or modified to reflect changes in the standard specifications or other circumstances.

All improvements shall be constructed and/or installed prior to submitting the final map with the City Engineer for the purpose of filing with the City Council, unless the subdivider executes the City's standard form subdivision improvement agreement and provides the financial security and insurance coverage required by the

agreement, prior to or concurrent with submitting the final map with the City Engineer.

The project improvement plans shall include the following:(ENGINEERING, PLANNING)

- a. A detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibit(s) and in accord with the City of Rocklin Post-Construction Manual. The grading and drainage plan shall include the following:
 - 1) Site design measures for detaining run off at pre-development levels, including location and specifications of on-site or off-site detention basins, if any.
 - 2) Individual lot drainage features such as lined drainage swales.
 - 3) The developer shall prepare a Storm Water Pollutant Protection Plan (SWPPP) for review and approval by the State Regional Water Quality Control Board as part of the project's drainage improvement plans.
 - 4) Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified.
 - 5) If at any time during the course of grading or construction activities evidence of the existence of old wells, septic systems or other similar features is encountered, work shall be halted within 100 feet of the find and the City of Rocklin Engineer shall be notified. The City Engineer shall make a determination as to the nature of the feature (or features), the appropriate size for a buffer around the feature beyond which work could continue on the balance of the site, and which outside agencies, if any, should be notified and involved in

addressing and/or remediation of the feature. At the discretion of the City Engineer and at the applicant's expense, a qualified consultant(s) shall be retained to assess and characterize the feature and to determine appropriate remediation, if any. Remediation of the feature including obtaining any special permits and/or approvals as needed shall be completed and documented to the satisfaction of the City Engineer and any responsible agencies, such as but not limited to the Placer County Department of Environmental Health, prior to completion of grading/construction in the affected area.

- b. The following subdivision improvements shall be designed and constructed and/or installed:
- 1) All on-site standard subdivision improvements, including paving, gutters, drainage improvements, utility improvements, etc.
 - 2) All on-site special improvements as noted in Condition #3.
 - 3) All necessary easement for drainage, access, utilities, tec. Shall be shown and offered for dedication (or Irrevocable Offer of Dedication provided) with the improvement plans.
 - 4) Construction related and permanent Best Management Practices (BMPs) and Best Available Technologies (BATs) shall be incorporated into the final project design and / or noted on the Improvement Plans as appropriate to reduce urban pollutants in run-off, consistent with goals and standards established under Federal and State non-point source discharge regulations (NPDES permit) and Basin Plan water quality objectives. Stormwater run-off BMPs selected from the Storm Water Quality Task Force, the Bay Area Storm Water Management Agencies Association Start at the Source – Design Guide Manual, the Sacramento Stormwater Quality Partnership's Stormwater Quality Design Manual for the Sacramento and South Placer Regions, the City's Post-Construction Manual, or equally effective measures shall be identified prior to final design approval and shall be incorporated into project design and / or noted on the Improvement Plans as appropriate.
 - 5) Prior to any grading or construction activities, the subdivider shall obtain a General Construction Activity Storm Water Permit as a part of the National Pollutant Discharge Elimination System (NPDES) permit process from the Regional Water Quality Control Board.
- c. Provisions for dust control, re-vegetation of disturbed areas, and erosion control, in conformance with the requirements of the City of Rocklin, including but not limited to the following (which shall be included in the project notes on the improvement plans):

- 1) Prior to commencement of grading, the developer shall submit a Construction Emission / Dust Control Plan for approval by the City Engineer and the Placer County Air Pollution Control District. This plan must address how the project meets the minimum requirements of sections 300 and 400 of Rule 228-Fugitive Dust.
- 2) Provisions for dust control, re-vegetation of disturbed areas, and erosion control, in conformance with the requirements of the City of Rocklin, including but not limited to the following (which shall be included in the project notes on the improvement plans):
- 3) The prime contractor shall submit to the District a comprehensive inventory (e.g., make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used in aggregate of 40 or more hours for the construction project. If any new equipment is added after submission of the inventory, the prime contractor shall contact the District prior to the new equipment being utilized. At least three business days prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the District with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman.
- 4) During construction the contractor shall utilize existing power sources (e.g., power poles) or clean fuel (e.g., gasoline, biodiesel, natural gas) generators to minimize the use of temporary diesel power generators.
- 5) During construction, the contractor shall minimize idling time to a maximum of 5 minutes for all diesel powered equipment.
- 6) Traffic speeds on all unpaved road surfaces shall be posted at 15 mph or less.
- 7) All grading operations shall be suspended when fugitive dust emissions exceed District Rule 228-Fugitive Dust limitations. The prime contractor shall be responsible for having an individual who is CARB-certified to perform Visible Emissions Evaluations (VEE). This individual shall evaluate compliance with Rule 228 on a weekly basis.
- 8) Fugitive dust emissions shall not exceed 40% opacity and shall not go beyond the property boundary at any time. If lime or other drying agents are utilized to dry out wet grading areas, the developer shall ensure such agents are controlled so as not to exceed District Rule 228-Fugitive Dust limitations.

- 9) The prime contractor shall be responsible for keeping adjacent public thoroughfares clean of silt, dirt, mud, and debris, and shall “wet broom” the streets (or use another method to control dust as approved by the individual jurisdiction) if silt, dirt mud or debris is carried over to adjacent public thoroughfares.
- 10) The prime contractor shall suspend all grading operations when wind speeds (including instantaneous gusts) are excessive and dust is impacting adjacent properties.
- 11) The contractor shall apply water or use other method to control dust impacts offsite. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
- 12) All construction equipment shall be maintained in clean condition.
- 13) Chemical soil stabilizers, vegetative mats, or other appropriate best management practices, in accordance with manufacturers’ specifications, shall be applied to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
- 14) All exposed surfaces shall be revegetated as quickly as feasible.
- 15) If fill dirt is brought to or exported from the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
- 16) Water shall be applied to control fugitive dust, as needed, to prevent impacts offsite. Operational water trucks shall be onsite to control fugitive dust. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
- 17) Processes that discharge 2 pounds per day or more of air contaminants, as defined by California State Health and Safety Code Section 39013, to the atmosphere may require a permit. Developers / Contractors should contact the PCAPCD prior to construction or use of equipment and obtain any necessary permits.
- 18) In order to minimize wind driven dust during construction, the prime contractor shall apply methods such as surface stabilization, establishment of a vegetative cover, paving, (or use another method to control dust as approved by the City).
- 19) Construction equipment exhaust emissions shall not exceed Placer County APCD Rule 202 Visible Emission limitations. Operators of vehicles and equipment found to exceed opacity limits are to be immediately notified by APCD to cease operations and the equipment must be repaired within 72 hours.

- 20) Open burning of any kind shall be prohibited. All removed vegetative material shall be either chipped on site or taken to an appropriate recycling site, or if a site is not available, a licensed disposal site.
- 21) Any diesel powered equipment used during project construction shall be Air Resources Board (ARB) certified.
- d. The following cultural resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) or tribal cultural resources is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, a unique paleontological resource, or a tribal cultural resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts and tribal cultural resources.

In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage

Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006).

- e. The applicant shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February 1 through September 15).

If vegetation removal and/or project grading or construction activities occur during the nesting season for raptors and migratory birds (February-August), the applicant shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than 14 days prior to initiation of development activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of grading or construction activities, documentation of the survey shall be provided to the City of Rocklin Public Services Department and if the survey results are negative, no further mitigation is required and necessary tree removal may proceed. If there is a break in construction activities of more than 14 days, then subsequent surveys shall be conducted.

If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the size of an appropriate buffer area (CDFW guidelines recommend implementation of 500-foot buffers). Monitoring of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.

If construction activities are scheduled to occur during the non-breeding season (September- January), a survey is not required and no further studies are necessary.

- f. If blasting activities are to occur in conjunction with site development, the contractor shall conduct the blasting activities in compliance with State and local regulations. The contractor shall obtain a blasting permit from the City of Rocklin prior to commencing any blasting activities. Information submitted to obtain a blasting permit shall include a description of the work to be accomplished and a statement of necessity for blasting as opposed to other methods considered, including avoidance of hard rock areas, safety measures to be implemented, such as blast blankets, and traffic groundshaking impacts. The contractor shall coordinate any blasting activities with police and fire departments to ensure proper site access control, traffic control, and public notification including the media and affected residents and businesses, as appropriate. Blasting specifications and

plans shall include a schedule that outlines the time frame that blasting will occur to limit noise and traffic inconveniences.

5. Reciprocal Easements

A "Private Driveway/Fire Apparatus Access Road and Utility Easement" as indicated on Exhibit A, or its legal equivalent in a form acceptable to the City Attorney, shall be recorded over and between each of the parcels in the subdivision concurrent with the recording of the final map. Said easement shall include provisions to ensure that the access improvements are maintained to the minimum fire apparatus access road standards noted in condition #3. (CITY ATTORNEY, ENGINEERING)

6. Oak Tree Removal and Mitigation

- a. Prior to any grading or construction activities, or the issuance of improvement plans, for any portion of the subdivision, an inventory of all existing trees in the subdivision and in the phase in question shall be provided along with a schedule of removal of those trees shown on the improvement plan to be removed with that phase shall be submitted for review and approval. (PLANNING, ENGINEERING)
- b. Prior to any grading or construction activities, or the issuance of improvement plans, for any portion of the subdivision, the subdivider shall retain a certified arborist to review the design of the subdivision improvements and recommend measures to protect the trees, which are designated to remain, both during construction and afterwards. The protection measures shall include but are not limited to appropriate fencing around those trees to remain. The protection measures shall be incorporated into the subdivision improvement plans or grading permit for any portion of the subdivision prior to approval. (ENGINEERING, PLANNING)
- c. Prior to any grading or construction activities, or the issuance of improvement plans, for any portion of the subdivision, the subdivider shall provide verification that a certified arborist has been retained and prepared an inspection plan providing for the periodic inspection of the site during grading and construction and the necessary tree and root trimming to accommodate construction of roads and utilities. Said arborist will implement the inspection plan and provide written verification to the City Engineer that the approved protection measures are properly implemented. (ENGINEERING)
- d. Prior to recording a final map for any phase of the project the project arborist shall prepare a final list of all oak trees removed that are six inches in

diameter or greater, including total number and inches of trees removed. Prior to recording the final map the subdivider shall mitigate for the removal of all oak trees within that phase that are six inches in diameter or greater, in compliance with the provisions of the City of Rocklin Tree Ordinance (Chapter 17.77 of the Rocklin Municipal Code (Ordinance 676), including planting replacement of trees and / or payment of in-lieu fees. If adequate locations cannot be found to replace all removed oak trees, then the remaining mitigation requirement shall be met through payment into the existing City of Rocklin Tree Preservation Fund at the rate and formula specified in the City of Rocklin Municipal Code. (ENGINEERING, PLANNING)

- e. Prior to, or concurrently with the recording of the final map, the following note shall be recorded by separate instrument so as to appear on the deed of each of the lots created (ENGINEERING).

“Notice is hereby given that removal of any oak trees on any lot must comply with the standards, mitigation, and permitting requirements set forth in Rocklin Municipal Code, Chapter 17.77 – OAK TREE PRESERVATION.”

7. Parks

Park fees shall be paid as required by Rocklin Municipal Code Chapter 16.28 for the one new dwelling unit. The amount of the fee is \$1,985.00. (ENGINEERING)

8. Phasing

This map shall be recorded in a single phase. (ENGINEERING, PLANNING)

9. Monitoring

Prior to recording of the first final map or any grading on the property, the subdivider shall deposit with the City of Rocklin the current fee to pay for the City’s time and material cost to administer the Mitigation Monitoring Program. (ENGINEERING)

10. Indemnification and Duty to Defend.

Within 15 days of approval of this entitlement by the City, the subdivider shall execute an Indemnity Agreement, approved by the City Attorney’s Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the entitlement by the City’s planning commission or City Council, which action is brought. The City will promptly notify the applicant of any such claim, action or proceeding, and the

City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be performed by the City if the Indemnity Agreement has not been fully executed. (CITY ATTORNEY) {DD per DG 10/17/17}

11. Validity

This entitlement shall expire two years from the date of approval unless prior to that date the final map has been recorded or a time extension has been granted. (PLANNING)

PASSED AND ADOPTED this ___day of ___, 2017, by the following roll call vote:

- AYES: Commissioners:
- NOES: Commissioners:
- ABSENT: Commissioners:
- ABSTAIN: Commissioners:

Chairman

ATTEST:

Secretary

P:\\Planning\\PUBLIC PLANNING FILES_PROJECT FILES\\Indian Creek TPM\\Meeting Packets\\03 - Indian Creek Tentative Parcel Map PC Reso DL2017-0004 - draft.docx

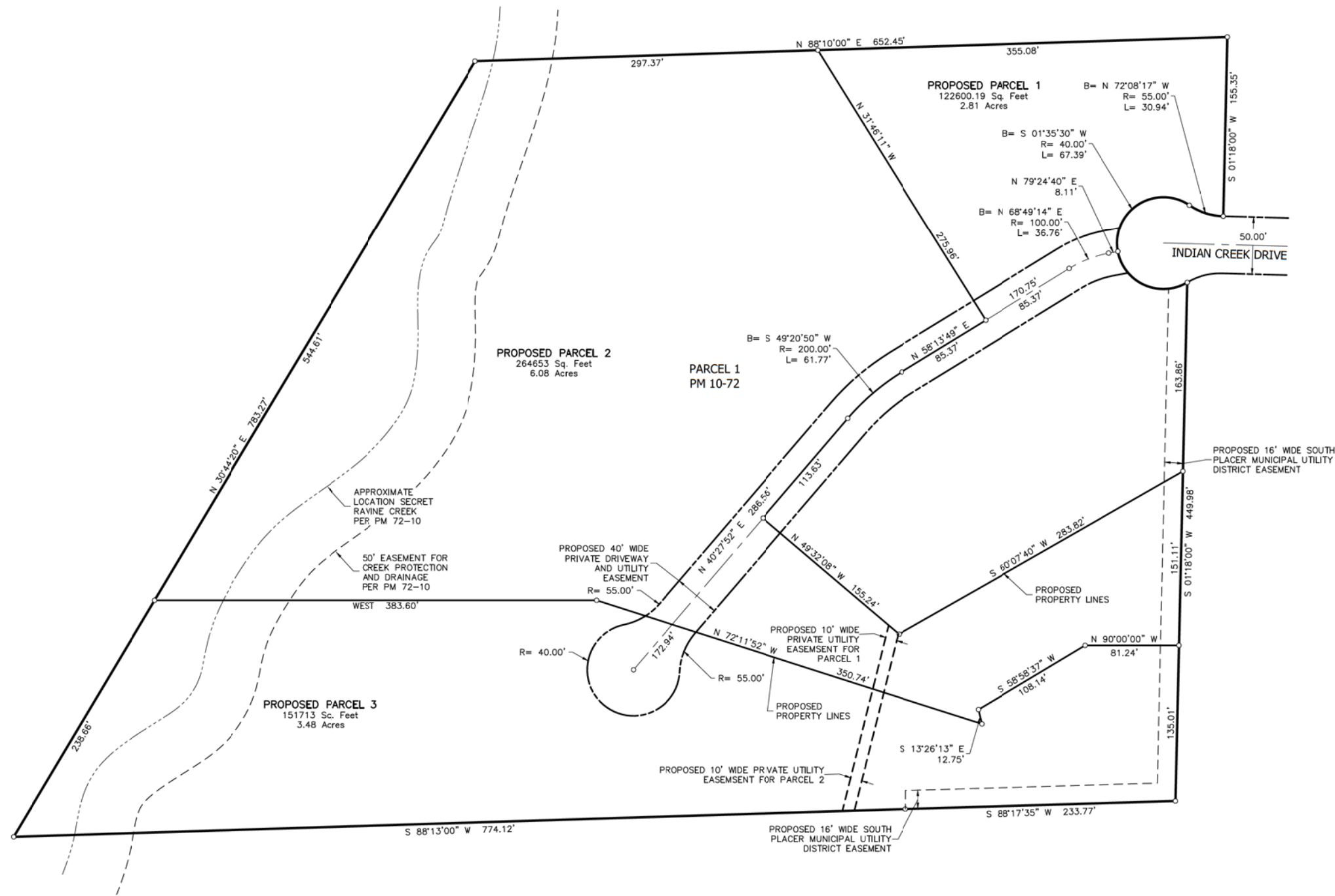
EXHIBIT A

DL2017-0004

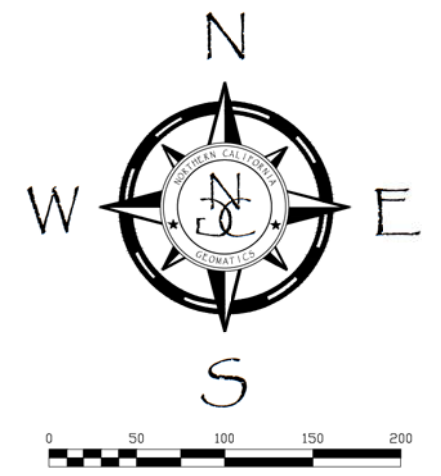
Available at the Community Development Department, Planning Division

EXHIBIT A

DL2017-0004



LEGEND	
○	DIMENSION POINT, NOTHING FOUND OR SET
⊙	EXISTING WELL
⊕	EXISTING JOINT POLE
⊛	EXISTING ELECTRICAL BOX
PROPOSED SUBDIVISION NAME: INDIAN CREEK TENTATIVE PARCEL MAP	
WATER SUPPLY: WELL	
SEWAGE DISPOSAL: SEPTIC	
STRUCTURAL FIRE PROTECTION: ROCKLIN FIRE DEPARTMENT	
PRESENT ZONING: R1-12.5	
PRESENT GENERAL PLAN: LDR AND R-C	
ASSESSOR'S PARCEL NO. 045-044-045	
TOTAL PARCEL AREA: 12.38 ACRES	
EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL	
PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL	

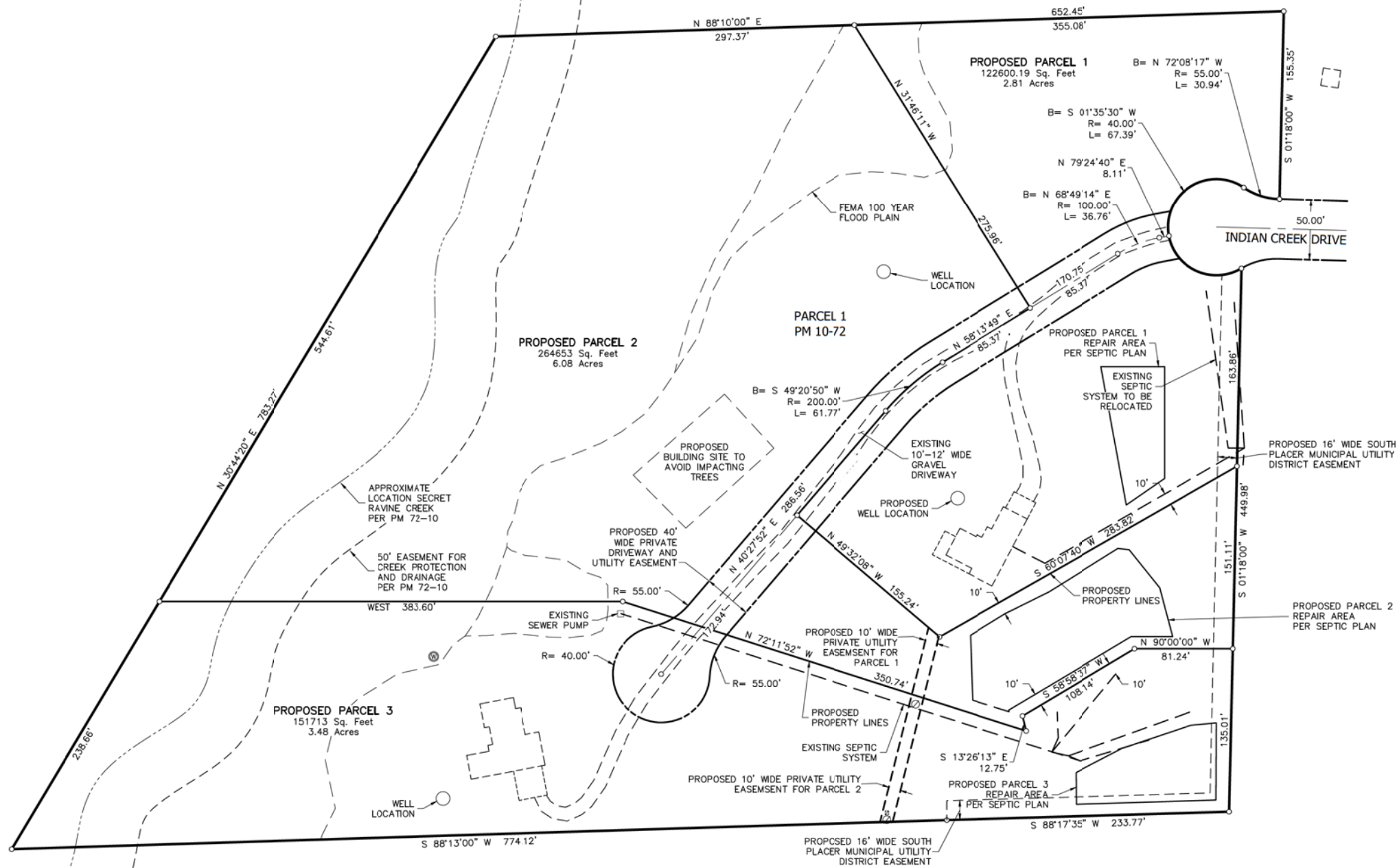


Indian Creek Tentative Parcel Map
PROPERTY LINES AND EASEMENTS ONLY
CITY OF ROCKLIN
COUNTY of PLACER, STATE of CALIFORNIA

PREPARED FOR: CLB PROPERTIES LLC
4420 INDIAN CREEK DRIVE
ROCKLIN, CA 95677

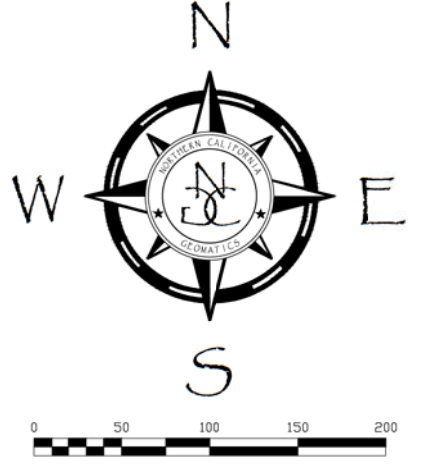
PREPARED BY: NORTHERN CALIFORNIA GEOMATICS
1044 DIAMANTE ROBLES CT.
DIAMOND SPRINGS, CA 95619
(530) 957-0293

DRAWN BW	DATE OF FIELD WORK NA	REVISIONS NONE
APPROVED BW	DATE NOV. 15, 2017	
SCALE 1"=50'	SHEET SHEET 1 of 1	PROJECT NO. 2552016



LEGEND

○	DIMENSION POINT, NOTHING FOUND OR SET
⊙	EXISTING WELL
⊕	EXISTING JOINT POLE
⊗	EXISTING ELECTRICAL BOX
PROPOSED SUBDIVISION NAME:	INDIAN CREEK TENTATIVE PARCEL MAP
WATER SUPPLY:	WELL
SEWAGE DISPOSAL:	SEPTIC
STRUCTURAL FIRE PROTECTION:	ROCKLIN FIRE DEPARTMENT
PRESENT ZONING:	R1-12.5
PRESENT GENERAL PLAN:	LDR AND R-C
ASSESSOR'S PARCEL NO.:	045-044-045
TOTAL PARCEL AREA:	12.38 ACRES
EXISTING LAND USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED LAND USE:	SINGLE FAMILY RESIDENTIAL



Indian Creek Tentative Parcel Map
ALL FEATURES
CITY OF ROCKLIN

COUNTY of PLACER, STATE of CALIFORNIA

PREPARED FOR: CLB PROPERTIES LLC
4420 INDIAN CREEK DRIVE
ROCKLIN, CA 95677

PREPARED BY: NORTHERN CALIFORNIA GEOMATICS
1044 DIAMANTE ROBLES CT.
DIAMOND SPRINGS, CA 95619
(530) 957-0293

DRAWN BW	DATE OF FIELD WORK NA	REVISIONS NONE
APPROVED BW	DATE NOV. 15, 2017	
SCALE 1"=50'	SHEET SHEET 1 of 1	PROJECT NO. 2552016



City of Rocklin Economic and Community Development Department

**Planning Commission
STAFF REPORT**

Nobel Learning Center

**Design Review, DR2017-0008
Use Permit, U2017-0002
Tentative Parcel Map, DL2017-0007**

December 19, 2017

Recommendation

Subject to the recommended conditions of approval, staff recommends the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A NOTICE OF EXEMPTION (Nobel Learning Center / DR2017-0008, U2017-0002, and DL2017-0007)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW (Nobel Learning Center / DR2017-0008)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A USE PERMIT (Nobel Learning Center / U2017-0002)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A TENTATIVE PARCEL MAP (Nobel Learning Center / DL2017-0007)

Proposal/Application Request

This application is a request for approval of a Tentative Parcel Map to divide an approximately 3-acre parcel into two parcels (Parcel 1: 1.25 acre; Parcel 2: 1.71 acre) and approval of a Design Review and Use Permit to construct and operate an early childhood development center called the Merryhill Preschool of Rocklin in an 11,125 square-foot building on Parcel 1. Parcel 2 would be left as a vacant pad with future improvements to be determined.

Planning Commission Staff Report
 Nobel Learning Center
 December 19, 2017
 Page 2

ANALYSIS

General Site Information

The subject site is located on the easterly corner of Sunset Blvd. and Stanford Ranch Rd. APN: 016-450-001.

Figure 1 – Aerial Vicinity Map



Owner/Applicant

The applicant is Sutter Retail Development Corporation. The property owner is Yuba Investments – Sunset LP and Norton Investments II, LLC.

Background and Site Characteristics

The project site is a mostly undeveloped in-fill parcel surrounded by development. The ground elevation slopes away relatively quickly along the southern portion of the site. Surrounding properties to the south and east are developed with single family homes; properties to the north and west are developed with retail commercial uses. The site is primarily covered with grasses and weeds, except for the street and intersection

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Nobel Learning Center
December 19, 2017
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landscaping installed with the Stanford Ranch project. There are no oak trees on the site.

Historically the area was used for grazing. The site was annexed into the City of Rocklin in 1980 and was designated for Business Professional (office) use with the adoption of the Rocklin West (a.k.a Stanford Ranch Area A-1) General Development Plan in 1983. A small office structure on the site was originally used as a visitor / sales center for the Stanford Ranch Development and has housed a number of other office uses since. This structure has been demolished and some debris still remains on site which would be removed as part of development.

There have been multiple attempts to develop the site for commercial use over the years. The most recent project activity occurred in 2015, with the proposal of a 16,500 square foot CVS Pharmacy. That project request included a General Plan Amendment, a rezone, and a Design Review. The Planning Commission and the City Council, on appeal, denied the project. This is the first formal application since that denial.

General Plan and Zoning Compatibility

The project site is designated Business Professional (BP) on the General Plan and is zoned Planned Development Business Professional (PD-BP) within the Stanford Ranch General Development Plan. The proposed project is compatible with the existing General Plan designation and Zoning, subject to issuance of a Use Permit as described below.

Use Permit

According to the applicant, the proposed facility would be a high quality, non-sectarian, private preschool which would serve infant through preschool children, age 6 weeks through 5 years old. The estimated licensing capacity for enrollment would be approximately 192 students. The facility would generally be open 6:30 AM to 6:00 PM Monday through Friday.

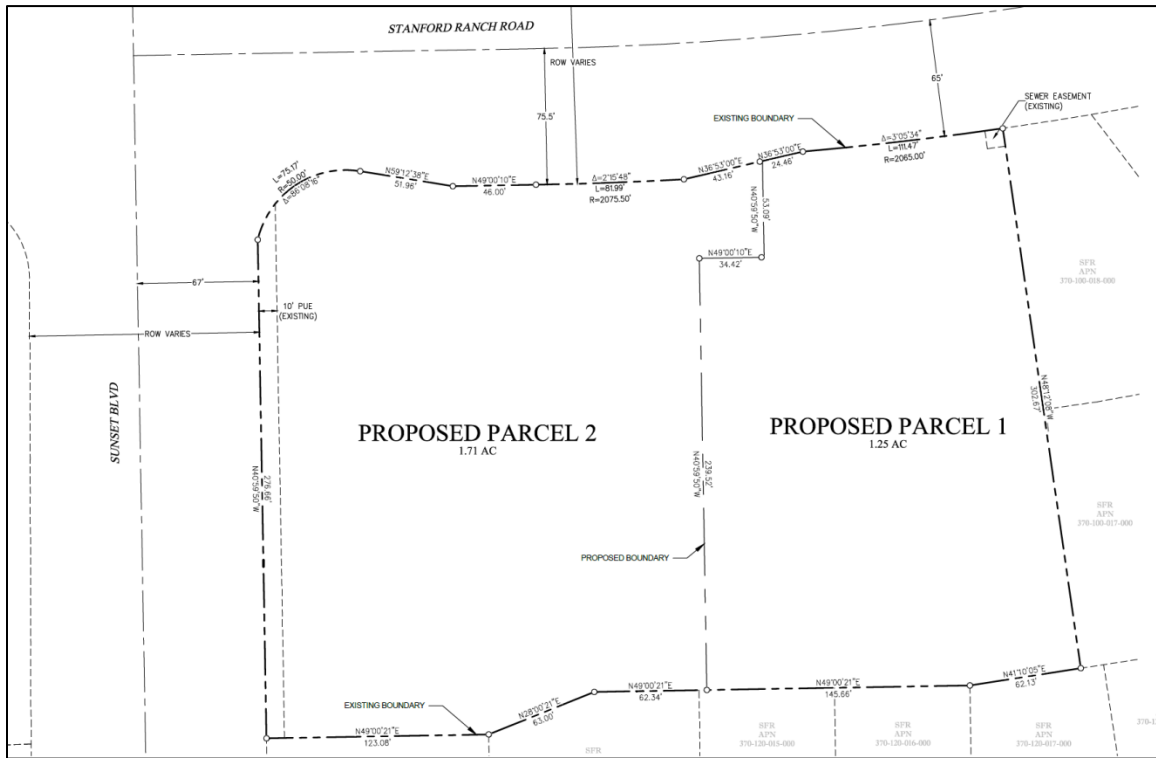
The Stanford Ranch General Development Plan lists both “day care facilities” and “schools” as conditionally permitted uses within the PD-BP zoning district. Therefore, the proposed use would be allowed within the PD-BP zoning district, subject to approval of a Use Permit by the Planning Commission.

Tentative Parcel Map

The project proposes to subdivide the approximately 3-acre property into two lots. Parcel 1 would be 1.25 acre and Parcel 2 would be 1.71 acre (see **Figure 2**). The

proposed lot sizes are consistent with the Stanford Ranch General Development Plan, as well as all other applicable requirements.

Figure 2 – Tentative Parcel Map



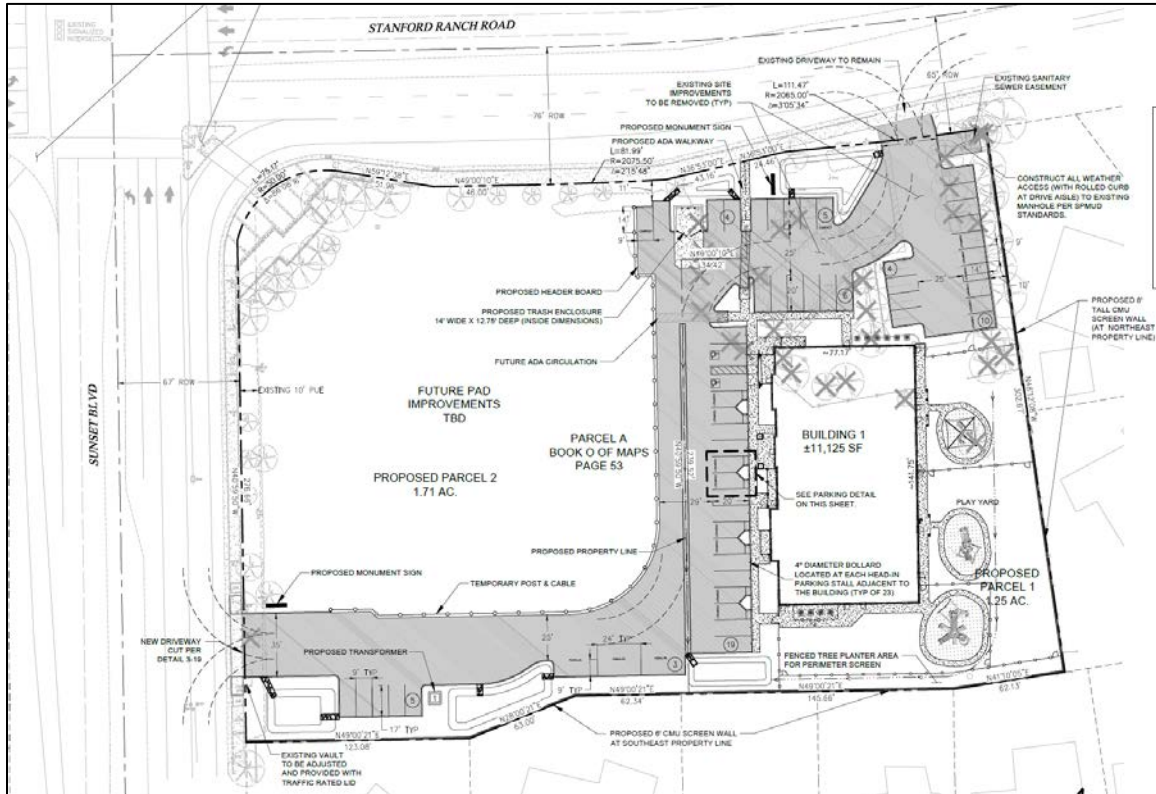
Design Review

General Site Layout

The project site is currently comprised of a single parcel that forms a roughly rectangular site. As a result of the proposed Tentative Parcel Map, the site would be split into two parcels. The proposed facility would be located on Parcel 1. Parcel 2 would be developed with some site improvements for reciprocal access and parking, but no buildings are proposed at this time. See **Figure 3** for the proposed site layout. Any future development on this site would require the review and approval of applicable entitlement(s) by the designated approving authority.

A condition has been included in the draft resolution for approval of the Tentative Map to ensure that reciprocal access and parking easements are recorded over and between each of the parcels comprising the subdivision prior to or concurrent with the recording of the final map.

Figure 3 – Proposed Site Layout



Project Architecture

The project site is not located within one of the City’s adopted Architectural Districts, and is therefore subject only to the architectural requirements of the Citywide Design Review Guidelines and the Municipal Code.

The project plans provide for the construction of a single story non-residential building. However, the building contains many features which are similar to residential buildings in color, material, and scale, which more effectively blends it into surrounding residential neighborhood. The architectural design would feature a combination of taupe and gray colored stucco, as well as “pebble beach” colored block walls. The building utilizes columns and other architectural features, and includes variation in roof planes in order to break the mass of the building. The roof is proposed to utilize asphalt shingles. See **Figure 4** for the proposed building renderings.

Figure 4 – Elevation Renderings



Traffic/Circulation

The project site would be accessed from right-in/right-out turns from both Stanford Ranch Road and Sunset Boulevard, as shown on the proposed site layout. Reciprocal access is conditioned to be recorded for the entire site.

As stated previously, the project is designated Business Professional by the General Plan and is zoned Planned Development Business Professional. Traffic and air quality effects from the proposed use of the site are consistent with those which were anticipated in the City’s General Plan Environmental Impact Report.

Parking

The City does not have specific parking standards for preschool or elementary schools. Typically, preschools in commercial zones have been approved using the standard office/commercial off-street parking ratio of one space per 200 square feet of floor area. At this ratio, an 11,125 square foot facility would require approximately 56 parking spaces. The project has been designed to include exactly 56 spaces, thereby complying with this requirement.

The According to a Traffic Impact Analysis which was prepared for the project by KD Anderson & Associates, Inc., preschools typically require parents to sign students in when they arrive and sign students out when they depart. Thus parents park and walk

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Nobel Learning Center
December 19, 2017
Page 7*

with their student to and from the school. According to the analysis, 56 spaces would exceed the maximum parking demand for this type of use and is therefore adequate with regard to on-site parking for the project.

Landscaping

Landscaping is proposed around the perimeter of the site, around the building, and interspersed throughout the parking lot. The landscape plan provides for the use of a variety of trees, shrubs and groundcovers, such as Chinese Pistache, Crepe Myrtle, and Callery Pear, and should provide for an attractive appearance that blends well with the surrounding area. Parcel 2, which is not proposed for development at this time, would be hydroseeded with wildflower mix and barricaded off from the rest of the site with a temporary post and cable fence.

The parking lot is required to be shaded by tree planting at a distribution that achieves 50% shading of the paved area at maturity (15 years). Parking lot trees are required to be large canopy trees to maximize the amount of shade produced by the tree. The project has included shade calculations as part of its plan submittal, which states that the calculated total tree shade for the site would be 17,132 total square feet at maturity throughout the 31,107 square feet of paving area. This would provide a shade total of 55%, which exceeds City requirements by 5%. Based on the information described above, staff supports the proposed project landscaping.

Signage

The project proposes to install one wall sign and two monument signs. All signage will be consistent with the requirements of the Sign Ordinance of the City of Rocklin. The project has been conditioned to prohibit illuminated signage from being located on the building walls that face the adjacent residential developments.

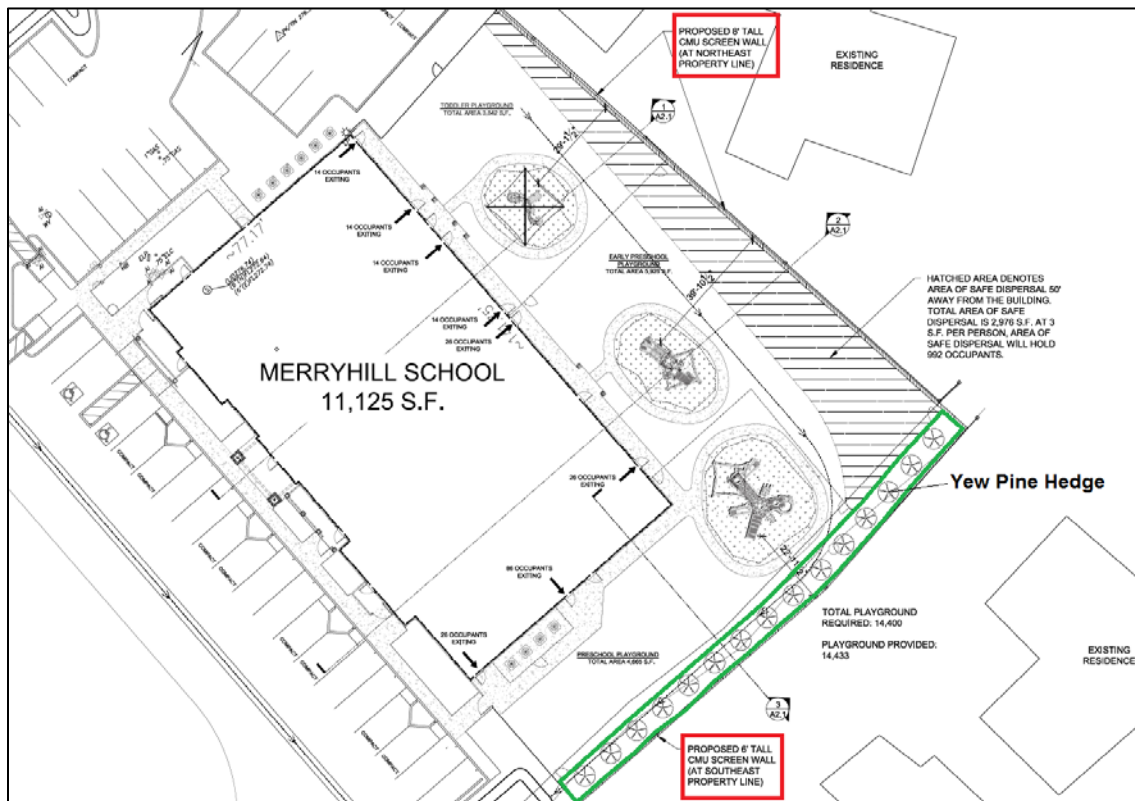
The monument signs would be designed to incorporate two tenants each, to accommodate for ultimate buildout of the site. One of the monument signs would be placed adjacent to the new driveway cut along Sunset Boulevard; the other would be placed along Stanford Ranch Road, approximately 70 feet west of the existing driveway. Both signs have been reviewed for consistency with the City's Visibility Requirements and comply with standards.

Noise

To reduce potential noise impacts to residential neighbors, the project has proposed to install two CMU screen walls; a 6-foot tall wall along the southeast property line and an 8-foot tall wall along the northeast property line. In addition, along the southeast property line, a hedge of yew pine trees will be planted to provide additional separation between the playground area and the residences to the southeast. See **Figure 5**.

According to an Environmental Noise Assessment which was prepared for this project by Bollard Acoustical Consultants, Inc., noise levels associated with the project play area operations are predicted to satisfy the applicable City of Rocklin noise level standards at the nearest residential land uses without additional noise mitigation measures required.

Figure 5 – CMU Wall and Hedge Locations



Environmental Determination

The development as described above is exempt pursuant to Class 32 of the CEQA Guidelines. Class 32 exemptions consist of projects characterized as in-fill development, which are consistent with the applicable general plan policies and zoning designation; occur within city limits on a project site of no more than five acres substantially

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Nobel Learning Center
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surrounded by urban uses; has no value as habitat for endangered, rare, or threatened species; would not result in any significant effects relating to traffic, noise, air quality, or water quality; and can be adequately served by all required utilities and public services. The project, as proposed, complies with all of these requirements and is therefore exempt. A Notice of Exemption has been prepared and is recommended for approval.

RESOLUTION NO.

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN APPROVING A NOTICE OF EXEMPTION
(Nobel Learning Center/DR2017-0008, U2017-0002 and DL2017-0007)

WHEREAS, the City of Rocklin’s Environmental Coordinator has reviewed the Nobel Learning Center project (DR2017-0008, U2017-0002 and DL2017-0007) (“Project”) and determined that it is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15332 – Infill Development Projects; and

WHEREAS, a Notice of Exemption has been prepared for the Project.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Rocklin as follows:

Section 1. Based on the review and determination of the Environmental Coordinator, the Planning Commission of the City of Rocklin finds that the Project is exempt from review under the California Environmental Quality Act.

Section 2. A Notice of Exemption is approved for the Project.

Section 3. Upon approval of the Project by the Planning Commission, the Environmental Coordinator may file the Notice of Exemption with the County Clerk of Placer County and, if the Project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to the provisions of Section 21152(b) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.

PASSED AND ADOPTED this ___ day of _____, 2017, by the following call vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
ABSTAIN: Commissioners:

Chairman

ATTEST:

Secretary

NOTICE OF EXEMPTION

TO: County Clerk, County of Placer
2954 Richardson Blvd.
Auburn, CA 95604-5228

FROM: City of Rocklin
ECD Department
3970 Rocklin Road
Rocklin, CA 95677

Project Title: Nobel Learning Center (DR2017-0008, U2017-0002 and DL2017-0007)

Project Location - Specific: The subject site is located on the northeast corner of Sunset Boulevard and Stanford Ranch Road. APN 016-450-001

Project Location - City: Rocklin, CA; **County:** Placer

Description of Nature, Purpose and Beneficiaries of Project: The project is a request for approval of a Tentative Parcel Map to divide a 3.0 +/- acre parcel into two parcels (Parcel 1: 1.25 +/- acre, Parcel 2: 1.71 +/- acre) and approval of a Design Review and Use Permit to construct and operate an early childhood development center in an 11,125 +/- square foot two building on Parcel 1. Parcel 2 would be left as a vacant pad with future improvements to be determined.

Name of Public Agency Approving Project: City of Rocklin

Name of Person or Agency Carrying Out Project: The applicant is Sutter Retail Development Corporation, Attn: Don Zebrak, 1210 Stabler Lane, Yuba City, CA 95993, (916) 218-2620. The property owner is Yuba Investments – Sunset LP & Norton Investments II, LLC.

Exempt Status (Check one)

Categorical Exemption (California Code of Regulations Sec. 15300 et seq.): 15332 Infill Development Projects.

Reasons why the project is exempt: The project involves constructing one building and associated parking lot and landscaping, as further described above. Class 32 exemptions consist of projects characterized as in-fill development meeting the conditions described below:

- 1. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as the zoning designation and regulations.**

The project site is designated in the General Plan as Business Professional (BP). The purpose of the BP designation is to:

A. *To provide for the concentration of professional office development for their mutual benefit and convenience, as well as public convenience.*

The property’s zoning is Planned Development Business Professional (PD-BP) which allows for compatible commercial uses which implement the goals and policies contained within the General Plan for Business Professional development.

2. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.

The project site is located within the city limits on a property that is currently 3.0 +/- gross acres in size. The site is substantially surrounded by urban uses, included but not limited to, retail commercial and residential development.

3. The project site has no value as habitat for endangered, rare or threatened species.

The site has been previously graded and was used as a home sales office site, is currently vacant and is mostly surrounded by other developed properties. No rare, endangered, or threatened species are known or suspected to exist on the project site. Most of the surrounding vicinity has been developed in an urban fashion. Given the above, the site is not considered to have any significant value as a habitat for any endangered, rare, or threatened species.

4. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

Approval of the project would allow new commercial development on the site. Adjacent land is mostly developed and existing infrastructure was sized and installed to accommodate such development. Traffic and air quality effects from the proposed use of this site are consistent with those that were anticipated in the City’s General Plan EIR. Significant noise and water quality effects are not anticipated with the development of an early childhood development center.

5. The site can be adequately served by all required utilities and public services.

The project site is located within an existing urbanized area where infrastructure was sized and installed to accommodate permitted uses in the area.

The development of one building as described above is consistent with the exemption class descriptions noted above and is exempt pursuant to Class 32 of the CEQA Guidelines.

Contact Person: Marc Mondell, Economic and Community Development Department Director

Date received for Filing: _____

Signature: _____

Marc Mondell, Economic and Community Development Department Director

RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW

(Nobel Learning Center / DR2017-0008)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Design Review (DR2017-0008) approves the development of one non-residential building totaling approximately 11,125 square feet, including site design, landscaping, and architecture, on an approximately 1.25-acre site. This site is designated Parcel 1 on a two-parcel Tentative Parcel Map which is being processed concurrently (DL2017-0007). The resultant 1.71-acre Parcel 2 of the Tentative Parcel Map would not be developed with any structures, but would be developed with some site improvements, landscaping, and infrastructure for reciprocal access and parking. Assessor's Parcel Number 016-450-001.

B. A Notice of Exemption has been approved for this Project via Planning Resolution No. PC-2017- .

C. The design of the site is compatible with surrounding development, natural features and constraints.

D. The height, bulk, area, color scheme and materials of the buildings and structures are compatible with surrounding development.

E. Adverse light and glare impacts upon adjoining properties have been eliminated or reduced to a less than significant level by consideration and modification of the location and height of light standards, orientation of exterior lighting fixtures, and conditioning the project to use light fixtures that will direct light downward.

F. The landscaping design is compatible with existing nonresidential development in the area and has been designed with provisions for minimizing water usage and maintenance needs.

G. The parking design, including ingress and egress traffic patterns, is compatible with the surrounding development and the public street patterns.

H. The design of the site and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The Design Review for the Nobel Learning Center / DR2017-0008 as depicted in Exhibit A, attached hereto and by this reference incorporated herein, is hereby approved subject to the conditions listed below. Unless expressly stated otherwise, the applicant is solely responsible for satisfying each condition prior to occupancy of the structure. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the condition for approval. Unless expressly stated otherwise, the applicant is solely responsible for satisfying each condition prior to issuance of the building permit. The agency and/or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

- a. All utilities, including but not limited to water, sewer, telephone, gas, electricity, and conduit for cable television shall be provided to the project in compliance with all-applicable standards and requirements of the applicable provider. (APPLICABLE UTILITY)
- b. The applicant shall install masonry trash enclosures with solid metal gates, as indicated on Exhibit A, to the satisfaction of the Economic and Community Development Director. The location and design of trash enclosures shall provide for a minimum clear width and gate opening of 14 feet and gates designed to clear adjacent curbing to the satisfaction of Recology Auburn Placer. (RECOLOGY AUBURN PLACER, ENGINEERING, BUILDING, PLANNING)

- c. Prior to issuance of a Building Permit, the project shall be included in the appropriate City financing districts, as needed, to most efficiently provide for public maintenance of public landscaping, improvements such as sound walls, and provision of new or enhanced services such as street lighting to the satisfaction of the City Finance Manager. (FINANCE, BUILDING, PUBLIC SERVICES)

2. Schools

The following conditions shall be satisfied to mitigate the impact of the proposed development on school facilities (ROCKLIN UNIFIED SCHOOL DISTRICT, BUILDING):

- a. At the time of issuance of a building permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995, to the satisfaction of the Rocklin Unified School District.
- b. The above condition shall be waived by the City Council if the applicant and the District reach agreement to mitigate the impacts on the school facilities caused by the proposed development and jointly request in writing that the condition be waived.

3. Fire

- a. Improvement plans shall show the location and size of fire hydrants and water mains in conformance with the standards and requirements of the Rocklin Fire Chief and PCWA. (PCWA, ENGINEERING, FIRE)

4. Improvements / Improvement Plans

Prior to any grading, site improvements, or other construction activities associated with this project improvement plans shall be prepared consistent with the exhibits and conditions incorporated as a part of this entitlement, and in compliance with all applicable city standards, for the review and approval of the City Engineer.

Improvement plans shall be valid for a period of two years from date of approval by the City Engineer. If substantial work has not been commenced within that time, or if the work is not diligently pursued to completion thereafter, the City Engineer may require the improvement plans to be resubmitted and/or modified to reflect changes in the standard specifications or other circumstances.

The project improvement plans shall include the following:

(ENGINEERING, PLANNING, PUBLIC SERVICES)

- a. A final Stormwater Control Plan and a detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibit(s) and in accord with the City of Rocklin Post-Construction Manual. The grading and drainage plan shall include the following:
 - i) Stormwater Management
 - 1) Prior to issuance of improvement plans, to ensure compliance with the National Pollutant Discharge Elimination System MS4s General Permit and the regulations and orders of the State Water Resources Control Board, the applicant shall prepare and implement a Stormwater Management Facility Operation and Maintenance Plan for the on-site treatment systems and hydromodification controls, if any, or acceptable alternative to the satisfaction of the City Engineer and the Environmental Services Manager. All specified treatment systems and hydromodification controls shall be privately owned and maintained on a regular basis to ensure proper performance. (BUILDING, PUBLIC SERVICES)
 - 2) Prior to issuance of improvement plans, unless waived by the City Engineer and Environmental Services Manager, the developer shall grant a Stormwater Management Compliance Easement over the project site to the City of Rocklin, in a form acceptable to the City Attorney. The Stormwater Management Compliance Easement shall be recorded with the County Clerk's office and a copy of the recorded document shall be provided to the Environmental Services division. Said easement shall provide for the following: (ENGINEERING, CITY ATTORNEY, BUILDING, PUBLIC SERVICES)
 - i. Grant site access to City employees for the purpose of performing operations and maintenance inspections of the installed treatment system(s) and hydromodification control(s) (if any).
 - ii. Grant site access to City employees for the purpose of performing operations and maintenance work on the installed treatment system(s) and hydromodification control(s) (if any) in the event that that the Director of Public Services

determines, based upon the inspection results, that said work is not being performed adequately and has or will compromise the system's ability to function as required.

- iii. A statement that the City may, at its option, cause the operational and maintenance responsibilities set forth in the Stormwater Management Facility Operation and Maintenance Plan to be performed and place a special assessment against the project site to recover the costs to the City in the event the project is not operated and maintained in accord with the approved Stormwater Management Facility Operation and Maintenance Plan. (RMC §8.30.150).
- 3) All storm drainage inlets shall be stamped with City Engineer approved wording indicating that dumping of waste is prohibited and identifying that the inlets drain into the creek system.
 - 4) Site design measures for detaining run off at pre-development levels, including location and specifications of on-site or off-site detention basins, if any.
 - 5) Individual lot drainage management areas including individual drainage features, such as lined drainage swales.
 - 6) The developer shall prepare a Storm Water Pollutant Protections Plan (SWPPP) for review and approval by the State Regional Water Quality Control Board as part of the project's drainage improvement plans.
- ii) Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. (ENGINEERING)

- iii) If at any time during the course of grading or construction activities evidence of the existence of old wells, septic systems or other similar features is encountered, work shall be halted within 100 feet of the find and the City of Rocklin Engineer shall be notified. The City Engineer shall make a determination as to the nature of the feature (or features), the appropriate size for a buffer around the feature beyond which work could continue on the balance of the site, and which outside agencies, if any, should be notified and involved in addressing and/or remediation of the feature. At the discretion of the City Engineer and at the applicant's expense, a qualified consultant(s) shall be retained to assess and characterize the feature and to determine appropriate remediation, if any. Remediation of the feature including obtaining any special permits and/or approvals as needed shall be completed and documented to the satisfaction of the City Engineer and any responsible agencies, such as but not limited to the Placer County Department of Environmental Health, prior to completion of grading/construction in the affected area.
- b. All on-site standard improvements, including but not limited to:
- i) Paving, curbs (including concrete curbs to contain all landscape areas adjacent to vehicle parking areas or travel lanes), gutters, sidewalks, drainage improvements, irrigation improvements (main lines and distribution where located under paved areas), utility improvements, parking lot and site lights, fire hydrants, retaining walls, fences, pilasters, enhanced pavement treatments, trash enclosures, etc.
 - ii) All necessary easements for drainage, access, utilities, etc. shall be shown and offered for dedication (or Irrevocable Offer of Dedication provided) with the improvement plans.
 - iii) To the extent possible underground facilities such as but not limited to electrical, gas, water, drainage, and irrigation lines shall be located outside of or to the edge of areas designated for landscaping so as to minimize impacts to the viability of these areas.
 - iv) Rough grading, erosion control, and hydroseeding (with a drought tolerant mix of wild flowers and grasses), as deemed appropriate by the City Engineer, for all areas disturbed by grading of the project site but not developed.

- c. A detailed parking lot striping plan designed per City standards, which indicates all parking spaces, aisles, entrances, and exits in substantial conformance with Exhibit A. (ENGINEERING, PLANNING)
- d. Prior to any grading or construction activities including issuance of improvement plans, the developer shall submit a design-level soil investigation for the review and approval of the City Engineer and Chief Building Official that evaluates soil and rock conditions, particularly the potential for expansive soils. The professional engineer that prepared the soil investigation shall recommend appropriate roadway construction and foundation techniques and other best practices that are to be implemented by the project during construction. These techniques and practices shall address expansive soils or other geological concerns requiring remediation, including but not limited to:
- Recommendations for building pad and footing construction;
 - Use of soil stabilizers or other additives; and
 - Recommendations for surface drainage.
- e. Provisions for dust control, re-vegetation of disturbed areas, and erosion control, in conformance with the requirements of the City of Rocklin, including but not limited to the following (which shall be included in the project notes on the improvement plans):
- i) The prime contractor shall submit to the District a comprehensive inventory (e.g., make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used in aggregate of 40 or more hours for the construction project. If any new equipment is added after submission of the inventory, the prime contractor shall contact the District prior to the new equipment being utilized. At least three business days prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the District with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman.
 - ii) During construction the contractor shall utilize existing power sources (e.g., power poles) or clean fuel (e.g., gasoline, biodiesel, natural gas) generators to minimize the use of temporary diesel power generators.
 - iii) During construction, the contractor shall minimize idling time to a maximum of 5 minutes for all diesel powered equipment.

- iv) Traffic speeds on all unpaved road surfaces shall be posted at 15 mph or less.
- v) All grading operations shall be suspended when fugitive dust emissions exceed District Rule 228-Fugitive Dust limitations. The prime contractor shall be responsible for having an individual who is CARB-certified to perform Visible Emissions Evaluations (VEE). This individual shall evaluate compliance with Rule 228 on a weekly basis.
- vi) Fugitive dust emissions shall not exceed 40% opacity and shall not go beyond the property boundary at any time. If lime or other drying agents are utilized to dry out wet grading areas, the developer shall ensure such agents are controlled so as not to exceed District Rule 228-Fugitive Dust limitations.
- vii) The prime contractor shall be responsible for keeping adjacent public thoroughfares clean of silt, dirt, mud, and debris, and shall “wet broom” the streets (or use another method to control dust as approved by the individual jurisdiction) if silt, dirt mud or debris is carried over to adjacent public thoroughfares.
- viii) The prime contractor shall suspend all grading operations when wind speeds (including instantaneous gusts) are excessive and dust is impacting adjacent properties.
- ix) The contractor shall apply water or use other method to control dust impacts offsite. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
- x) All construction equipment shall be maintained in clean condition.
- xi) Chemical soil stabilizers, vegetative mats, or other appropriate best management practices, in accordance with manufacturers’ specifications, shall be applied to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
- xii) All exposed surfaces shall be revegetated as quickly as feasible.
- xiii) If fill dirt is brought to or exported from the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.

- xiv) Water shall be applied to control fugitive dust, as needed, to prevent impacts offsite. Operational water trucks shall be onsite to control fugitive dust. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
 - xv) Processes that discharge 2 pounds per day or more of air contaminants, as defined by California State Health and Safety Code Section 39013, to the atmosphere may require a permit. Developers / Contractors should contact the PCAPCD prior to construction or use of equipment and obtain any necessary permits.
 - xvi) In order to minimize wind driven dust during construction, the prime contractor shall apply methods such as surface stabilization, establishment of a vegetative cover, paving, (or use another method to control dust as approved by the City).
 - xvii) Construction equipment exhaust emissions shall not exceed Placer County APCD Rule 202 Visible Emission limitations. Operators of vehicles and equipment found to exceed opacity limits are to be immediately notified by APCD to cease operations and the equipment must be repaired within 72 hours.
 - xviii) Open burning of any kind shall be prohibited. All removed vegetative material shall be either chipped on site or taken to an appropriate recycling site, or if a site is not available, a licensed disposal site.
 - xix) Any diesel powered equipment used during project construction shall be Air Resources Board (ARB) certified.
- f. The following noise conditions shall be included in the notes on the face of the improvement plans: (ENGINEERING)
- i) All “self-powered” construction equipment and stationary noise sources (e.g. pumps, electrical generators, etc.) shall be equipped with noise control devices (e.g. mufflers). (ENGINEERING, BUILDING)
 - i) Equipment “warm-up” areas, water storage tanks, equipment storage areas, and stationary noise-generating machinery (e.g. pumps, electrical generators, etc.) shall be located away from the existing residences and other sensitive noise receptors to the extent feasible. (ENGINEERING, BUILDING)

- ii) All phases of project development shall be subject to the City of Rocklin Construction Noise Guidelines, including restricting construction-related noise generating activities within or near residential areas to between 7:00 a.m. and 7:00 p.m. on weekdays, between 8:00 a.m. and 7:00 p.m. on weekends. The Economic and Community Development Director may grant exceptions to the Construction Noise Guidelines if, in the opinion of the Economic and Community Development Director, special and unusual circumstances exist that make strict adherence to the Construction Noise Guidelines infeasible. (ENGINEERING, BUILDING)
- g. The following cultural resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.

In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section

5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006). (ENVIRONMENTAL SERVICES, ENGINEERING)

- h. The following on-site special improvements:
 - i) Property line noise barrier walls eight feet in height along the northeast property boundary and six feet in height along the southeast property boundary shall be constructed as proposed and as shown in Exhibit A.
 - ii) A post and cable fence shall be installed to prevent vehicular access to the undeveloped portion of Parcel 2. Said fencing shall be constructed of a single steel cable strung between steel posts approximately 3'-6" high spaced approximately 6' on center and set in concrete. A gate shall be included to allow for maintenance access to the undeveloped portion of Parcel 2.
 - iii) Decorative tubular metal and/or wrought iron style fencing powder coated black and constructed of medium gauge, or better, steel or aluminum shall be used to enclose the playground areas to the satisfaction of the Community Development Director. Perforated metal screening may be attached to the back (interior) of said fencing if needed for security or visibility.

5. Landscaping

- a. Final landscape plans shall be provided by the developer and approved by the Director of Economic and Community Development. The landscape plans shall comply with the following requirements: (PLANNING)
 - i) The landscaping plan shall be prepared by a landscape architect and shall include:
 - 1) A legend of the common and botanical names of specific plant materials to be used. The legend should indicate the

container size of plant materials, the size at maturity, and include a graphic symbol for each plant type:

Shrubs shall be a minimum of five (5) gallon and trees a minimum of fifteen (15) gallon and meet the minimum height specified by the American Standards for Nursery Stock. Groundcover spacing shall be sufficient to achieve adequate cover upon establishment of the plants.

- 2) A section diagram of proposed tree staking.
- 3) An irrigation plan including an automatic irrigation system. The plan shall include drip irrigation wherever possible.
- 4) Documentation and verification that the proposed parking lot landscaping will achieve 50% shading at maturity (15 years from planting) or project plans shall be modified to provide for 1 parking lot shade tree to be located every 5 parking spaces, to the satisfaction of the Economic and Community Development Director.
- 5) The landscape plan shall be certified by the landscape architect that the plan meets the requirements of the Water Conservation in Landscaping Act. Government Code §65591, et seq.

- b. The parking lot lighting plan shall be designed to accommodate shade trees and provide for illumination of the parking areas. Light standards and underground utilities shall be located such that required parking lot shade trees can still be planted.
- c. All landscaping shall be installed and the landscape architect shall certify, in writing, that the landscaping and irrigation system have been installed in full compliance with the approved plans prior to issuance of a Certificate of Occupancy. (PLANNING)

6. Landscaping Maintenance Agreement

- a. Prior to issuance of the Certificate of Occupancy, the property owner shall enter into an agreement with the City of Rocklin providing for the maintenance of landscaping within the public right-of-way along Stanford Ranch Road and Sunset Boulevard. The agreement shall stipulate that the City of Rocklin shall maintain the irrigation system and the property owner shall maintain all plant materials. The agreement shall also indemnify the City against claims arising from

developer's activities and shall be recorded and binding on successors in interest of the developer. (ENGINEERING / PUBLIC WORKS)

7. Architecture

- a. All wall-mounted mechanical equipment and conduit shall be color-matched to the adjacent building color to minimize its visibility, to the satisfaction of the Economic and Community Development Director. (PLANNING)
- b. The architecture of the buildings, including finishes and details, shall be in substantial conformance with Exhibit A. (PLANNING)

8. Lighting

The lighting design plan shall be approved by the Economic and Community Development Director for compliance with this condition. (PLANNING)

- a. All exterior lighting shall be designed and installed to avoid adverse glare on adjacent properties and to incorporate "dark sky" provisions. Cut-off decorative lighting fixtures, or equivalent, shall be used for parking lot and building mounted lighting and mounted such that all light is projected directly toward the ground.
- b. The lighting shall be reviewed and revised if needed to avoid "hot spots" under the parking lot lights and to eliminate light spill over the property lines that exceeds 0.1 foot candles.
- c. Light poles shall be a maximum of 20 feet in height as measured from grade to the top of the light fixture itself.

9. Signs

All signs shall conform to the Sign Ordinance of the City of Rocklin and the sign design(s) and location(s) as shown on Exhibit A, or as determined substantially similar by the Economic and Community Development Director.

- a. No illuminated signage shall be allowed on the building walls that face the adjacent residential developments. (PLANNING)

10. Screening of Mechanical Equipment

- a. All mechanical equipment, whether ground- or roof -mounted, shall be screened from view from all public rights-of-way and the design of the

screening shall be in harmony with the architectural design of the building, to the satisfaction of the Economic and Community Development Director. (PLANNING)

11. Air Quality

- a. Electrical receptacles shall be installed in the exterior walls of the building(s) in this project to promote the use of electrical landscaping equipment. (BUILDING, PLANNING)
- b. Low nitrous oxide (NOx) natural gas hot water heaters shall be installed if gas hot water heaters are to be used in this project. (BUILDING, PLANNING)

12. Security

- a. Prior to building permit issuance, the applicant shall prepare a security plan for review by the Rocklin Police Department, and shall provide the Rocklin Police Department with the names and telephone numbers of a responsible party to contact. (PLANNING, POLICE)
- b. Prior to occupancy of each building, the property owner shall obtain and maintain at all times, an Alarm System Permit for each security system installed and operated in the center, if any, in accord with the requirements of Chapter 9.44 of the Rocklin Municipal Code. (POLICE)

13. Special

- a. Both driveways shall be right-in/right-out only. Signage shall be installed to show that no left turns are allowed. (PLANNING, ENGINEERING)
- b. Bollards at the front of the building shall be installed with bollard guards to cushion hard surfaces and reduce vehicle damage. (PLANNING)

14. Indemnification and Duty to Defend

Within 30 days of approval of this entitlement by the City, the developer shall execute an Indemnity Agreement, approved by the City Attorney's Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the entitlement by the City's planning commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the applicant of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless

waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

15. Validity

- a. This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent Tentative Parcel Map (DL2017-0007) and Use Permit (U2017-0002) has been approved. (PLANNING)

PASSED AND ADOPTED this day of , 2017, by the following roll call vote:

AYES: Commissioners:
 NOES: Commissioners:
 ABSENT: Commissioners:
 ABSTAIN: Commissioners:

Chairman

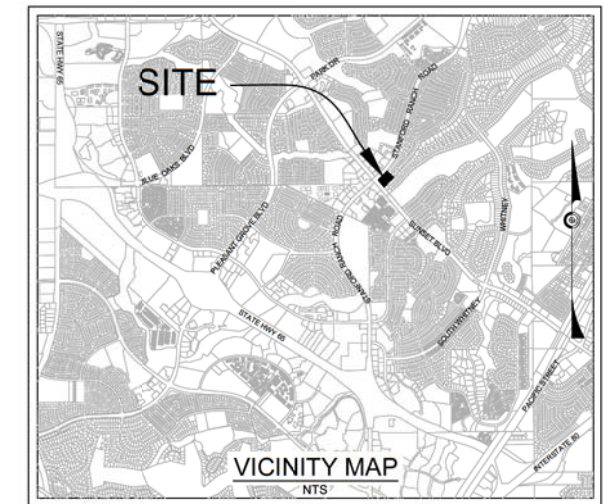
ATTEST:

Secretary

EXHIBIT A

Nobel Learning Center / DR2017-0008

EXHIBIT A
DR2017-0008



LEGEND

FEATURE	EXISTING	PROPOSED
EXISTING CENTERLINE	---	---
EXISTING PROPERTY LINE	---	---
PROPOSED LOT LINE	---	---
EXISTING OFFSITE LOT LINE	---	---
TREE TO BE REMOVED	✕	✕
TREE TO REMAIN	⊗	⊗

PROJECT INFORMATION

OWNER: YUBA INVESTMENT-SUNSET LP
+NORTON INVESTMENTS II LLC
1210 STABLER LANE
YUBA CITY, CA 95747

DEVELOPER: SUTTER RETAIL DEVELOPMENT CORP
1210 STABLER LANE
YUBA CITY, CA 95747
CONTACT: KURT HILBERS (530) 870-8086

ENGINEER: FRAYJI DESIGN GROUP, INC.
1540 EUREKA ROAD, SUITE 100
ROSEVILLE, CA 95661
(916) 782-3000
CONTACT: JASON REED

ARCHITECT: ALBERT DESIGN GROUP, LLC
2950 CHEROKEE STREET NW,
SUITE 600
KENNESAW, GA 30144
CONTACT: REBECCA CALBERT (678) 398-7744

ASSESSOR'S PARCEL NO.: 016-450-001-000

TOTAL ACREAGE: 3.0± AC

EXISTING ZONE: PD-BP PLANNING DEVELOPMENT BUSINESS PROFESSIONAL

GENERAL PLAN: BP-BUSINESS PROFESSIONAL

BUILDING AREA (PROPOSED): ± 11,125 (PHASE 1)

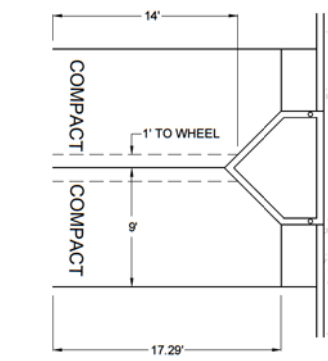
PHASE 1 PARKING REQUIRED:
BUILDING 1 11,125 SF @ 1/200 SF = 56 STALLS

PHASE 1 PARKING PROVIDED:

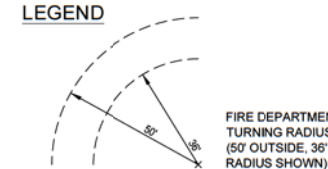
REGULAR STALLS	=35
COMPACT STALLS	=16
HANDICAP STALLS	=2
PARALLEL STALLS	=3
VEHICLE PARKING STALL TOTAL	=56
SHORT TERM BIKE PARKING TOTAL	=2

SERVICE PROVIDERS

SANITARY SEWER: SOUTH PLACER MUNICIPAL UTILITY
DOMESTIC WATER: PLACER COUNTY WATER AGENCY
STORM DRAIN: DEPARTMENT OF PUBLIC WORKS-CITY OF ROCKLIN
ELECTRICITY: PACIFIC GAS & ELECTRIC CO.
GAS: PACIFIC GAS & ELECTRIC CO.
SOLID WASTE: RECOLOGY AUBURN PLACER
TELEPHONE: AT&T



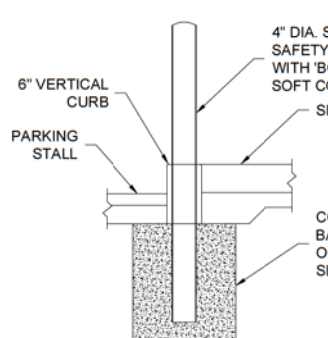
COMPACT PARKING DETAIL
NOT TO SCALE



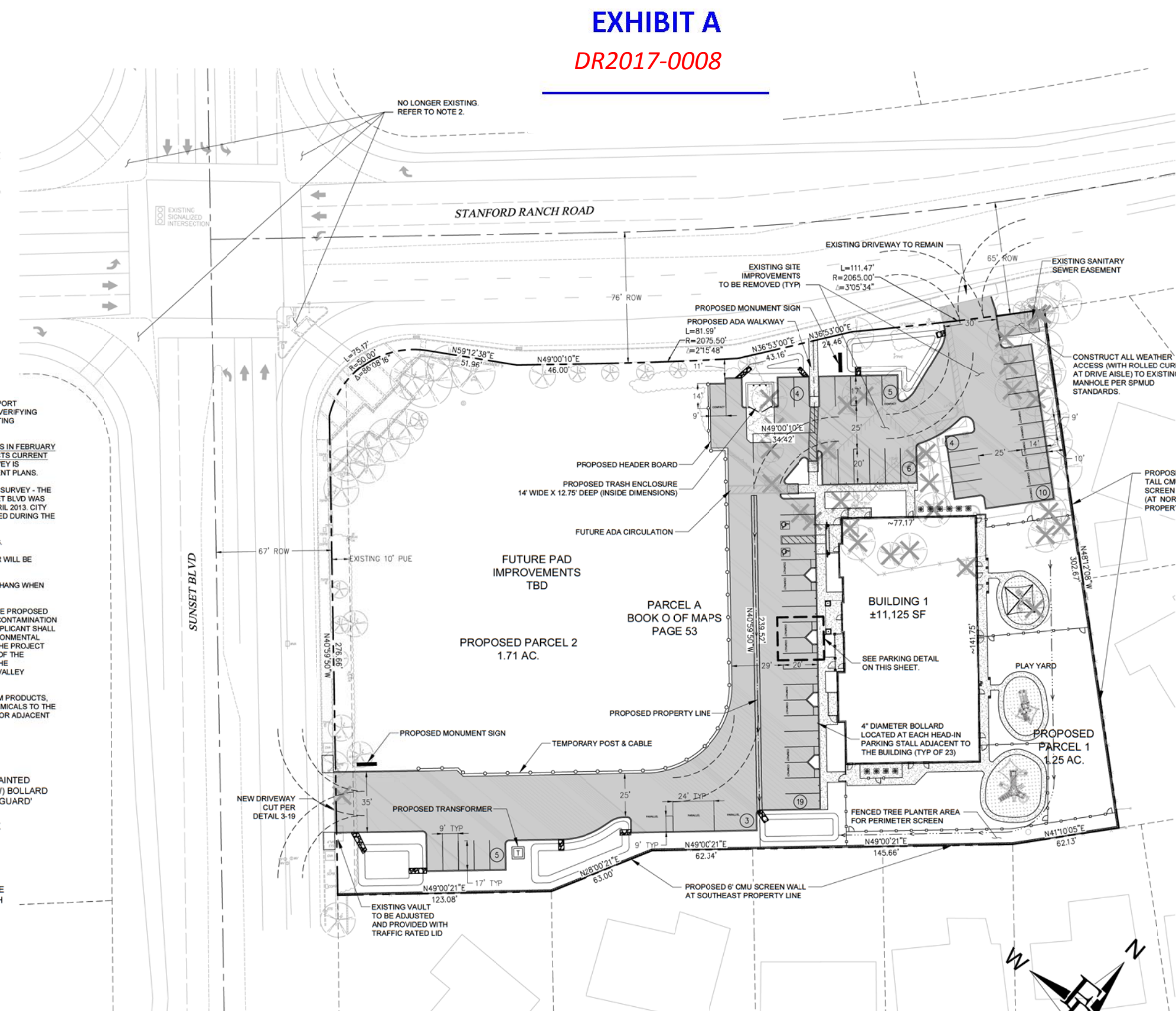
LEGEND

NOTES:

1. OLD REPUBLIC TITLE COMPANY PRELIMINARY TITLE REPORT 4211011513-LR DATED DECEMBER 8, 2016 WAS USED IN VERIFYING CURRENT OWNERSHIP, LEGAL DESCRIPTION, AND EXISTING EASEMENTS OF RECORD.
2. TOPOGRAPHY SHOWN HEREON PERFORMED BY OTHERS IN FEBRUARY 2011. TOPOGRAPHIC INFORMATION NO LONGER REFLECTS CURRENT CONDITIONS OF SITE. A NEW DESIGN LEVEL TOPO SURVEY IS ANTICIPATED TO BE COMPLETED PRIOR TO IMPROVEMENT PLANS.
3. BENCHMARK R 9-7 USED FOR PREVIOUS TOPOGRAPHIC SURVEY - THE INTERSECTION OF STANFORD RANCH ROAD AND SUNSET BLVD WAS RECONSTRUCTED AND COMPLETED JUST PRIOR TO APRIL 2013. CITY OF ROCKLIN SURVEY BENCHMARK R 9-7 WAS DESTROYED DURING THE PERFORMANCE OF THIS WORK.
4. NO RECIPROCAL ACCESS EXISTS TO OFF-SITE PARCELS.
5. CC+R'S WCROSS ACCESS, PARKING, UTILITIES & OTHER WILL BE PREPARED FOR THE SITE. FOR PARCEL 1&2.
6. PARKING STALL DIMENSIONS UTILIZE 2' ALLOWED OVERHANG WHEN ADJACENT TO LANDSCAPE OF SIDEWALK.
7. IF AT ANY TIME DURING THE COURSE OF EXECUTING THE PROPOSED PROJECT, EVIDENCE OF SOIL AND/OR GROUNDWATER CONTAMINATION WITH HAZARDOUS MATERIAL IS ENCOUNTERED; THE APPLICANT SHALL IMMEDIATELY STOP THE PROJECT AND CONTACT ENVIRONMENTAL HEALTH SERVICES HAZARDOUS MATERIALS SECTION. THE PROJECT SHALL REMAIN STOPPED UNTIL THERE IS RESOLUTION OF THE CONTAMINATION PROBLEM TO THE SATISFACTION OF THE ENVIRONMENTAL HEALTH SERVICES AND TO CENTRAL VALLEY REGIONAL WATER QUALITY CONTROL BOARD.
8. THE DISCHARGE OF FUELS, OILS OR OTHER PETROLEUM PRODUCTS, CHEMICALS, DETERGENTS, CLEANERS, OR SIMILAR CHEMICALS TO THE SURFACE OF THE GROUND OR TO DRAINAGEWAYS ON, OR ADJACENT TO, THE SITE IS PROHIBITED.



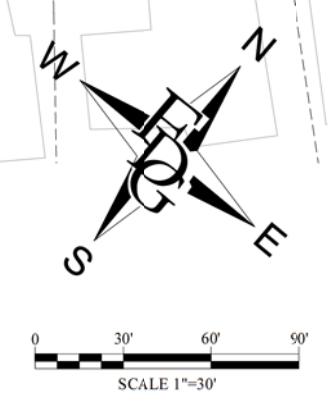
BOLLARD DETAIL:



Site Plan - Phase 1

Nobel Learning Center

City of Rocklin, California October 18, 2017



DRAWING INDEX:

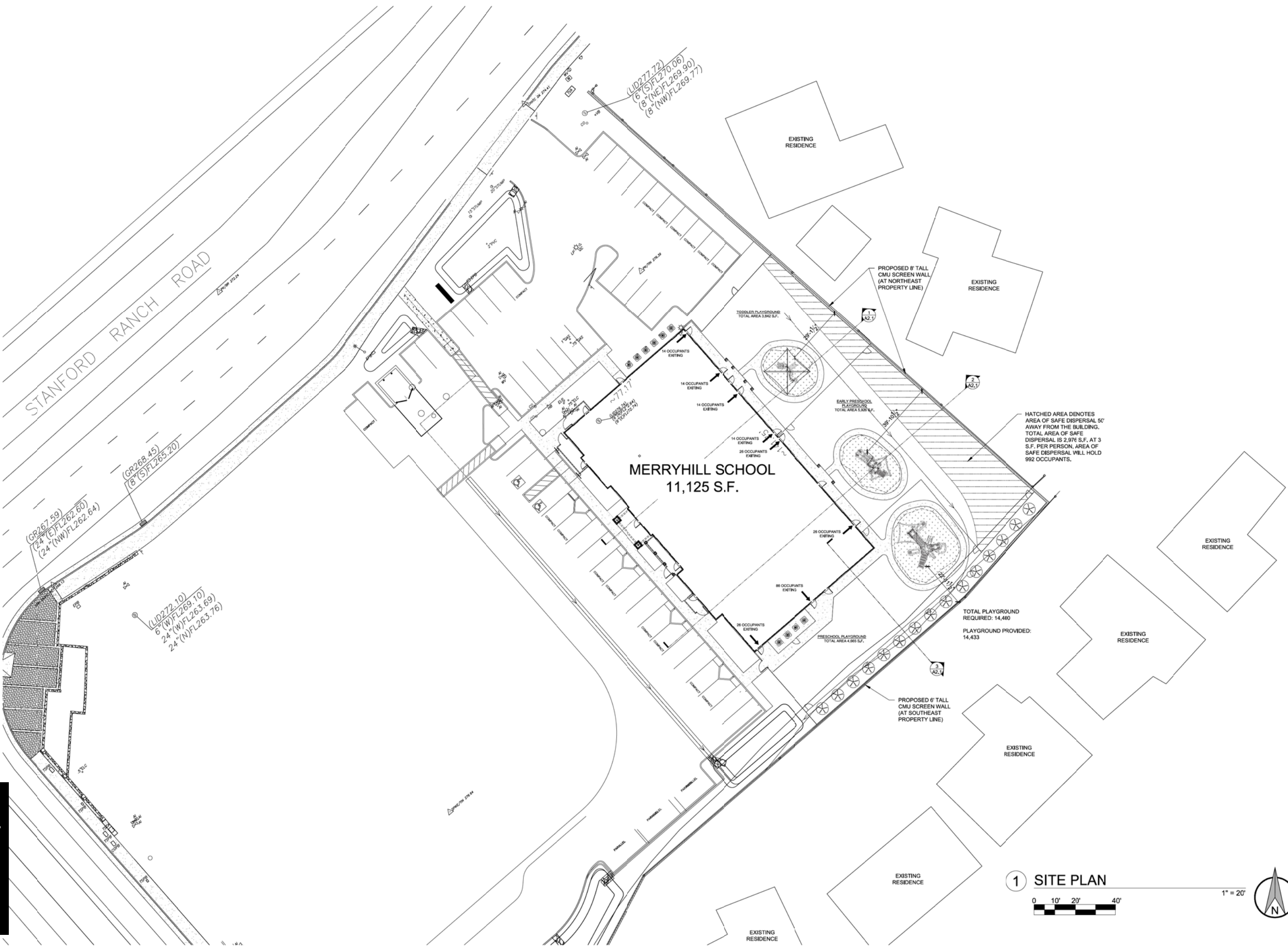
C1.0	SITE PLAN
A0.1	ARCHITECTURAL SITE PLAN
A0.2	ARCHITECTURAL SITE DETAILS
A1.1	FLOOR PLAN
A1.6	ROOF PLAN
A2.0	MATERIAL SAMPLES
A2.1	ELEVATION RENDERINGS
A2.2	EXTERIOR ELEVATIONS
A2.3	LINE OF SITE EXHIBIT
C2.0	DISABLED ACCESS REQUIREMENT SITE PLAN
C3.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C4.0	PRELIMINARY SITE SECTIONS
C5.0	PRELIMINARY UTILITY PLAN
L1.0	PRELIMINARY LANDSCAPING PLAN

Packet Pg. 75

FRAYJI DESIGN GROUP, INC.
1540 Eureka Road Ste. 100 (916) 782-3000 Phone
Roseville, CA 95661 (916) 782-3955 Fax
CIVIL ENGINEERING • PLANNING • SURVEYING



Agenda Item #8.b.



JOB NUMBER: 2016-160
 CHECKED BY: RKC

CALBERT DESIGN GROUP, LLC
Planning - Interiors - Architecture
 678-388-7744 • INFO@CALBERTDESIGN.COM
 2950 CHEROKEE ST. • BUILDING 600
 KENNESAW, GA 30144

A Project for:
Nobel Learning Communities, Inc.
 1516 West Chester Pike
 West Chester, PA 19382

MERRYHILL SCHOOL
 EST. 1948
A Nobel Learning Community

PROJECT LOCATION:
 MERRYHILL SCHOOL
 NE STANFORD RANCH RD
 & SUNSET BLVD.

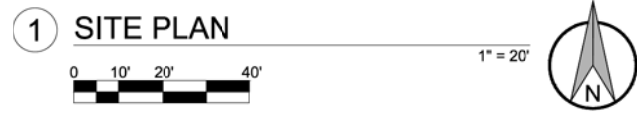
REVISIONS

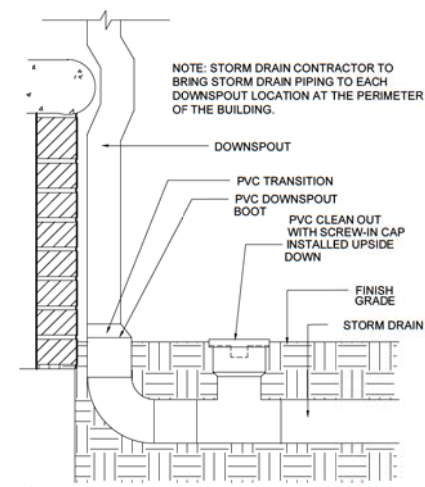
DATE	DESCRIPT

SITE PLAN

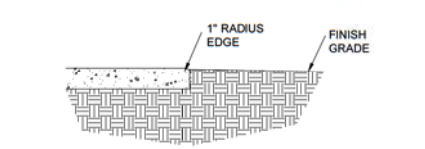
A0.1

DATE: 10/18/2017

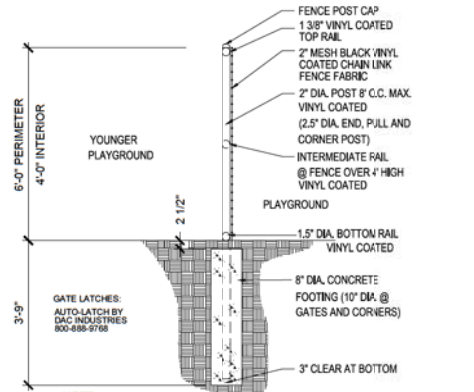




1 **DOWNSPOUT DETAIL**
1-1/2" = 1'-0"



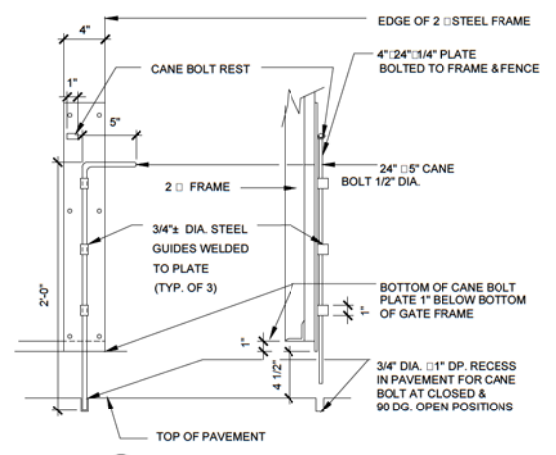
2 **TYP CONC EDGE**
3/4" = 1'-0"



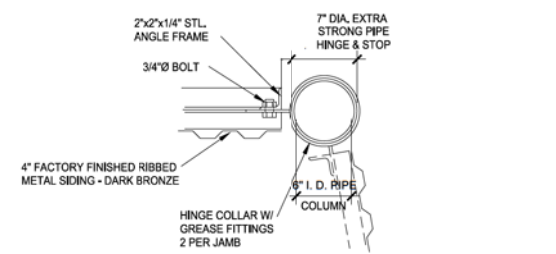
NOTE: HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE GATES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.

ENTRAPMENT: THE DISTANCE BETWEEN ANY OPPOSING SURFACES SHALL NOT BE GREATER THAN 3 INCHES AND LESS THAN 9 INCHES.

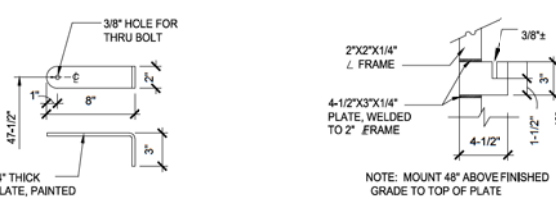
3 **CHAIN LINK FENCE**
NTS



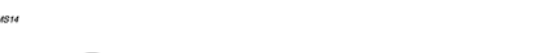
a **CANE BOLT (1 PER GATE)**



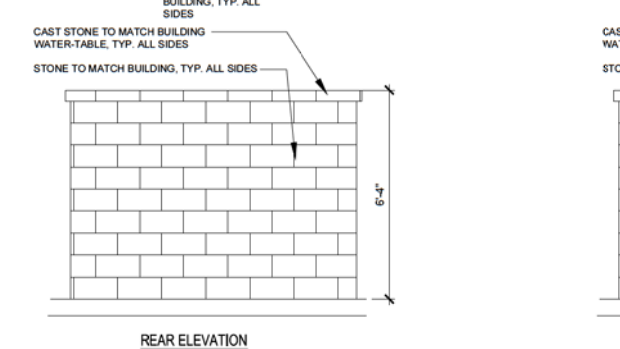
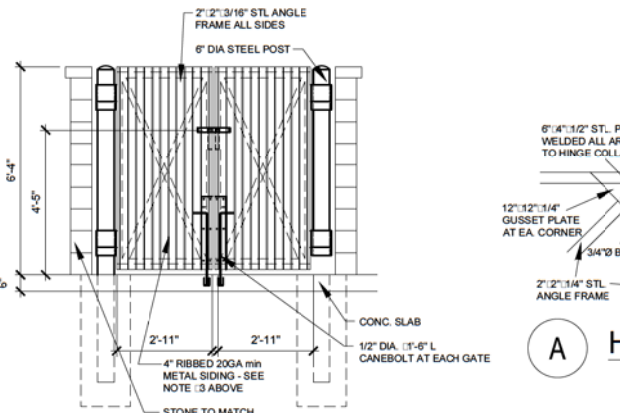
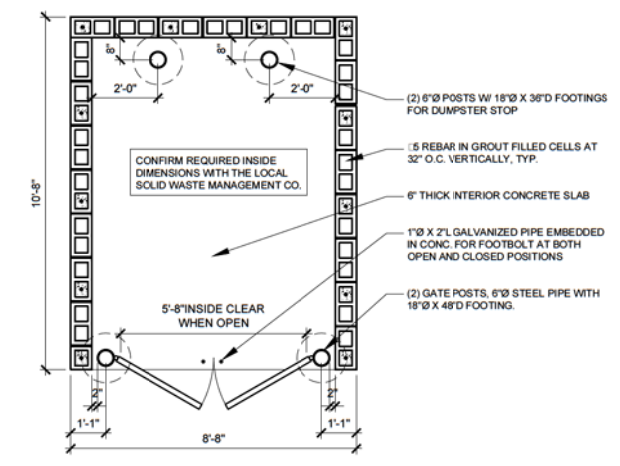
b **GATE HINGE DETAIL**



c **SWING LATCH**



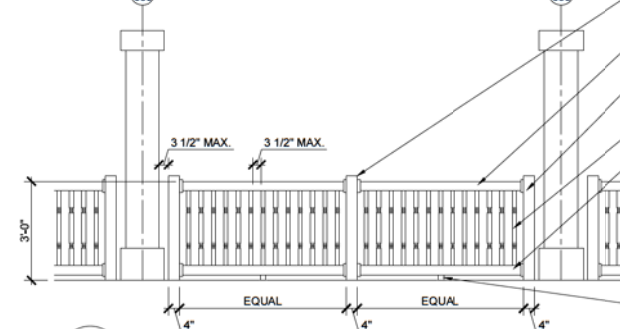
d **STOP PLATE**



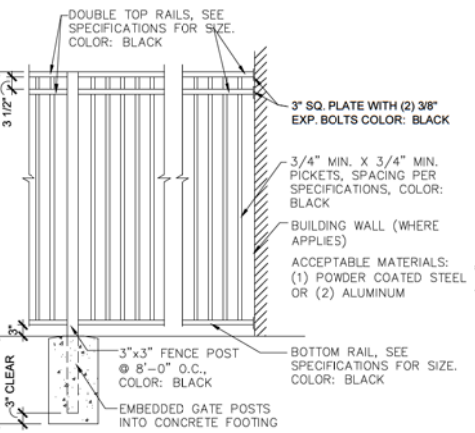
10 **DUMPSTER PLAN & ELEVATIONS**
3/8" = 1'-0"



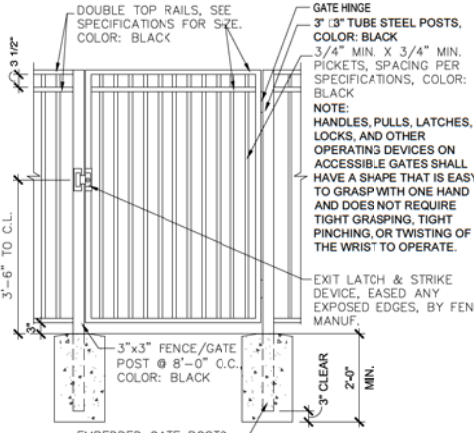
11 **VINYL RAILING SECTION**
3/8" = 1'-0"



12 **VINYL RAILING ELEVATION**
3/8" = 1'-0"

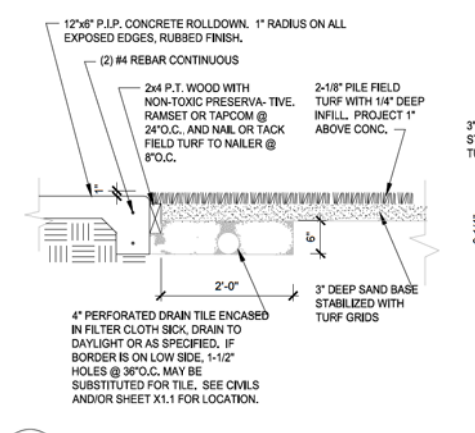


4 **ORNAMENTAL FENCE**
NTS

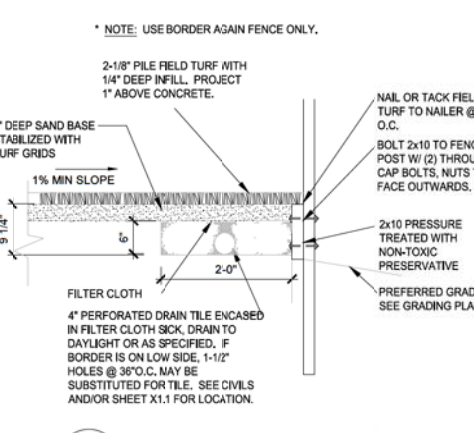


5 **ORNAMENTAL GATE**
NTS

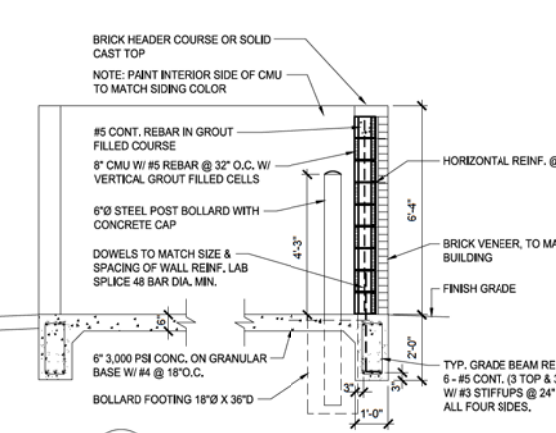
6 **DUMPSTER HARDWARE DETAILS**
NTS



7 **FIELD TURF DTL @ CONC.**
1" = 1'-0"



8 **FIELD TURF DETAIL**
1" = 1'-0"



9 **DUMPSTER SECTION**
3/8" = 1'-0"

PLAYGROUND GENERAL NOTES:

- THE AMERICANS WITH DISABILITIES ACT (ADA) MAY REQUIRE THAT YOU MAKE YOUR PARK AND/OR PLAYGROUND ACCESSIBLE WHEN VIEWED IN ITS ENTIRETY. PLEASE CONSULT YOUR LEGAL COUNSEL TO DETERMINE IF THE ADA APPLIES TO YOU.
- FOR PLAYGROUND EQUIPMENT TO BE CONSIDERED ACCESSIBLE, ACCESSIBLE SURFACING MUST BE UTILIZED IN APPLICABLE AREAS.
- ALTHOUGH A PARTICULAR PLAYGROUND DESIGN MAY NOT MEET THE PROPOSED ACCESS BOARD REGULATIONS IN REGARDS TO THE APPROPRIATE NUMBER OF GROUND LEVEL EVENTS, THE ACTUAL PLAYGROUND MAY BE IN COMPLIANCE WHEN CONSIDERING EXISTING PLAY COMPONENTS.
- ALL DECK HEIGHTS ARE MEASURED FROM TOP OF GROUND COVER.
- FALL ABSORBING GROUND COVER IS REQUIRED UNDER AND AROUND ALL PLAY EQUIPMENT.
- THE MINIMUM RECOMMENDED FALL ZONE AROUND THE ENTIRE PLAY STRUCTURE IS SHOWN. THIS ZONE MUST BE FREE OF ALL TRIPPING OR COLLISION HAZARDS (I.E. ROOTS, ROCKS, BORDER MATERIAL, ETC.).
- PLAYGROUND EQUIPMENT MUST MEET THE PERFORMANCE AND SAFETY REQUIREMENTS OF ASTM FOR CHILDREN 2-12 YEARS OLD. NOT ALL EQUIPMENT MAY BE APPROPRIATE FOR ALL CHILDREN. SUPERVISION IS REQUIRED.
- ALL POST LENGTHS ARE IDENTIFIED BY TEXT SHOWING THE POST LENGTHS. I.E. 96 REPRESENTS A 96-INCH POST, AND 2210 REPRESENTS A 2210MM POST.
- THE REQUIREMENT FOR A KID KUBE INSTALLATION IS THAT A LEVEL SITE BE USED.
- THE REQUIREMENT FOR A PLAY BUILDER INSTALLATION IS THAT THE POST CANNOT BE SET PRIOR TO INSTALLING THE DECKS.
- PICNIC TABLE/SANDBOX TO BE PLACED AT CUSTOMERS DISCRETION. DECK-TO-DECK ENCLOSURE PANEL LOCATIONS ARE MARKED BY AN ASTERISK. THE HEIGHT OF EACH PANEL MAY BE FOUND BY SUBTRACTING THE LOWEST DECK FROM THE HIGHEST DECK TO WHICH THE DECK-TO-DECK ENCLOSURE PANEL MOUNTS.
- RUBBER FALL ZONE MATS SHALL BE PLACED AT THE END OF EACH PLAYGROUND SLIDE AND UNDERNEATH EACH SWING.
- CONTRACTOR SHALL PERMIT ALL SIGNAGE BEFORE PURCHASING EQUIPMENT. INFORM ARCHITECT IMMEDIATELY OF ANY GOVERNMENTAL REQUIREMENTS REQUIRING A CHANGE TO DESIGN.

- GEN. NOTES**
- 6" DIA. STEEL POSTS SHALL BE SET A MINIMUM OF 36" INTO CONCRETE.
 - BRICK COLOR TO MATCH THE BRICK ON THE BUILDING, U.N.O.
 - PAINT DUMPSTER GATE, POST, HINGES AND ACCESSORIES AS SPECIFIED ON "EXTERIOR FINISH SCHEDULE"

A **HINGE DETAIL**
1/2" = 1'-0"

JOB NUMBER: 2016-160
CHECKED BY: RKC

CALBERT DESIGN GROUP, LLC
Planning • Interiors • Architecture
678-388-7744 • INFO@CALBERTDESIGN.COM
2950 CHEROKEE ST. • BUILDING 600
KENNESAW, GA 30144

A Project for:
Nobel Learning Communities, Inc.
1516 West Chester Pike
West Chester, PA 19382

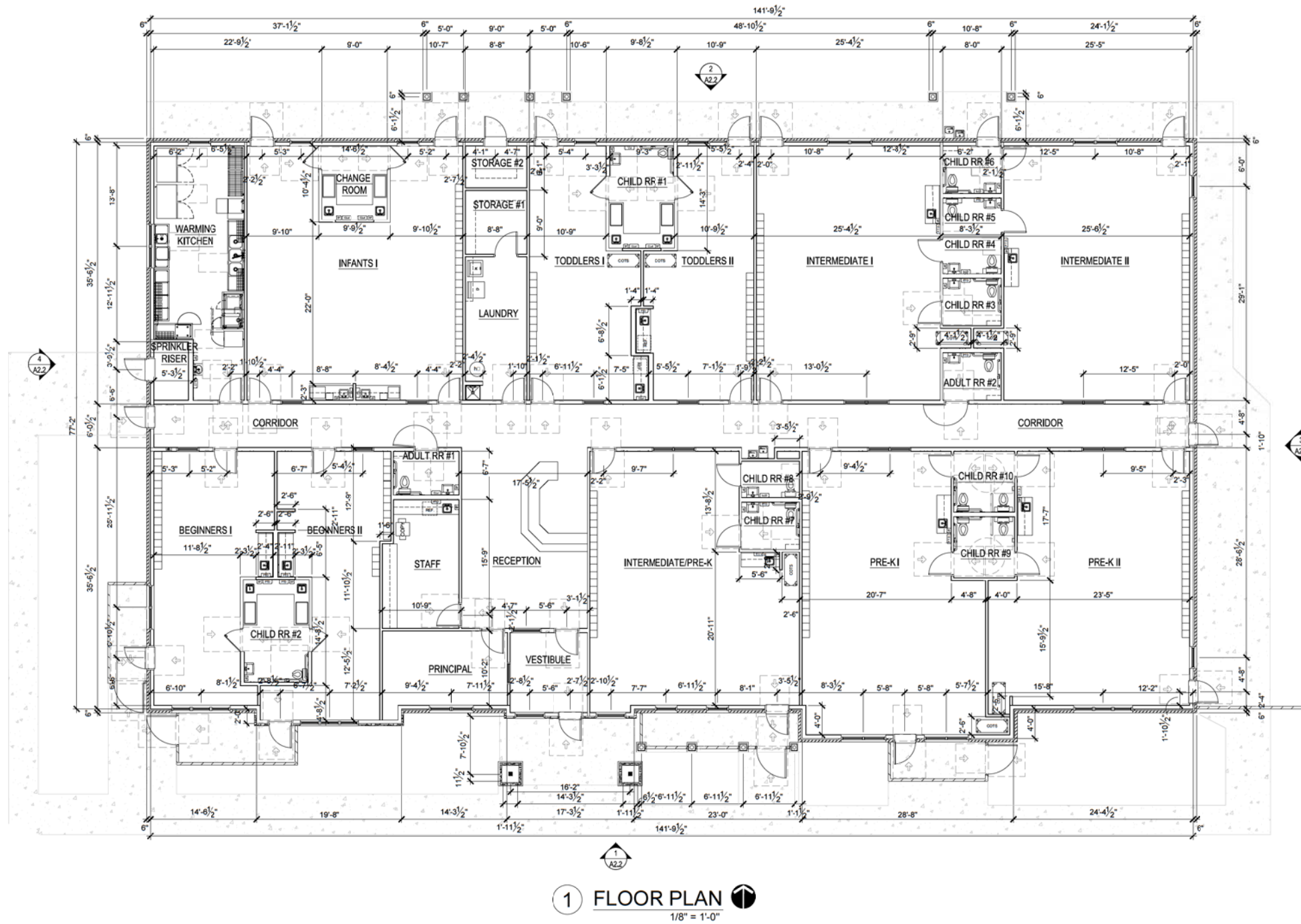


PROJECT LOCATION:
MERRYHILL SCHOOL
NE STANFORD RANCH RD & SUNSET BLVD.

REVISIONS	DATE	DESCRIPTION

SITE DETAILS

A0.2
DATE: 10/18/2017



1 FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES:

- A. ALL INTERIOR DIMENSIONS ARE NOMINAL AND ARE TO FACE OF STUDS, UNO.
- B. ALL EXTERIOR AND STRUCTURAL DIMENSIONS ARE EXISTING.
- C. PROVIDE BLOCKING IN WALL BEHIND ALL WALL MOUNTED FIXTURES AND CASEWORK TYP.
- D. CONTROLS AND OPERATING MECHANISMS:
CONTROLS SPECIFICALLY INTENDED FOR ADULTS SUCH AS INTERCOMS, THERMOSTATS, ETC. SHALL BE MOUNTED AT 48" AFF TO THE OPERATING PARTS. CONTROLS SUCH AS LIGHT SWITCHES AND ALARM CONTROLS SHALL BE MOUNTED AT 48" AFF TO THE OPERATING PARTS. VERIFY WITH OWNER PRIOR TO INSTALLATION.
- E. SECURITY SYSTEM NOTES:
1. THIS IS A REQUIRED SYSTEM. THE OWNER IS RESPONSIBLE FOR HIRING A LICENSED SECURITY FIRM FOR THEIR SCHOOL.
2. SECURITY SYSTEM SUBCONTRACTOR TO SEAL ALL WIRING PENETRATIONS FOR SECURITY SYSTEM AT POINTS OF CONTACT. GC TO VERIFY WORK.
- F. BUILDING ADDRESS MUST BE VISIBLE FROM THE STREET.
- G. CLEAR FLOOR SPACE COMPLYING WITH SECTION 1118B.4 THAT ALLOWS A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS, DISPENSERS, RECEPTACLES AND OTHER EQUIPMENT.
- H. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSER, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE WITHIN 15'A.F.F. AND 48"A.F.F. SEE DETAIL 131A5.3. IF THE CLEAR FLOOR SPACE ALLOWS ONLY FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48". THE MINIMUM LOW FORWARD REACH IS 15". IF THE CLEAR FLOOR SPACE ALLOWS PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR, THE MAXIMUM HIGH SIDE REACH ALLOWED SHALL BE 54" AND THE LOW SIDE REACH SHALL BE NO LESS THAN 9" ABOVE THE FLOOR. IF THE SIDE REACH IS OVER AN OBSTRUCTION, THE REACH AND CLEARANCES SHALL BE A MAXIMUM OF 48" HIGH AND NO LOWER THAN 34" ABOVE THE FLOOR.
- I. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS OF FORCE.

- 1. SET FLOOR DRAINS @ 3/8" BELOW FINISH FLOOR UNLESS NOTED OTHERWISE. SLOPE SLAB TO DRAIN AS INDICATED, TYPICAL AT ALL FLOOR DRAINS, UNO. MAINTAIN A SLOPE OF NO MORE THAN 2% IN ALL DIRECTIONS TO COMPLY WITH A LEVEL ACCESSIBLE CLEAR FLOOR SPACE.
- 2. IN THE LAUNDRY ROOM AND WARMING KITCHEN: PROVIDE DRAIN AT 1/2" BELOW FINISH FLOOR. MAINTAIN A SLOPE OF NO MORE THAN 2% IN ALL DIRECTIONS TO COMPLY WITH A LEVEL ACCESSIBLE CLEAR FLOOR SPACE.
- 3. PROVIDE A KEY LOCK BOX (LIKE A "KNOX" BOX) NEAR THE FRONT ENTRANCE FOR FIRE DEPARTMENT ACCESS.

	TYPICAL EXTERIOR WALL: STONE, STUCCO AND SIDING ON WOOD FRAMED WALLS. SEE WALL SECTIONS FOR DETAILS.
	TYPICAL INTERIOR LOAD BEARING WALL. REFER TO WALL TAGS ON PLAN FOR SIZES AND SHEET T1.2 FOR DETAILS.
	TYPICAL INTERIOR NON-BEARING WALL: STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD ON BOTH SIDES - SEE DETAILS.
	TYPICAL INTERIOR NON-BEARING WALL: STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD ON BOTH SIDES W/ R-11 BATT INSULATION FOR SOUND.

JOB NUMBER: 2016-160
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PROJECT LOCATION:
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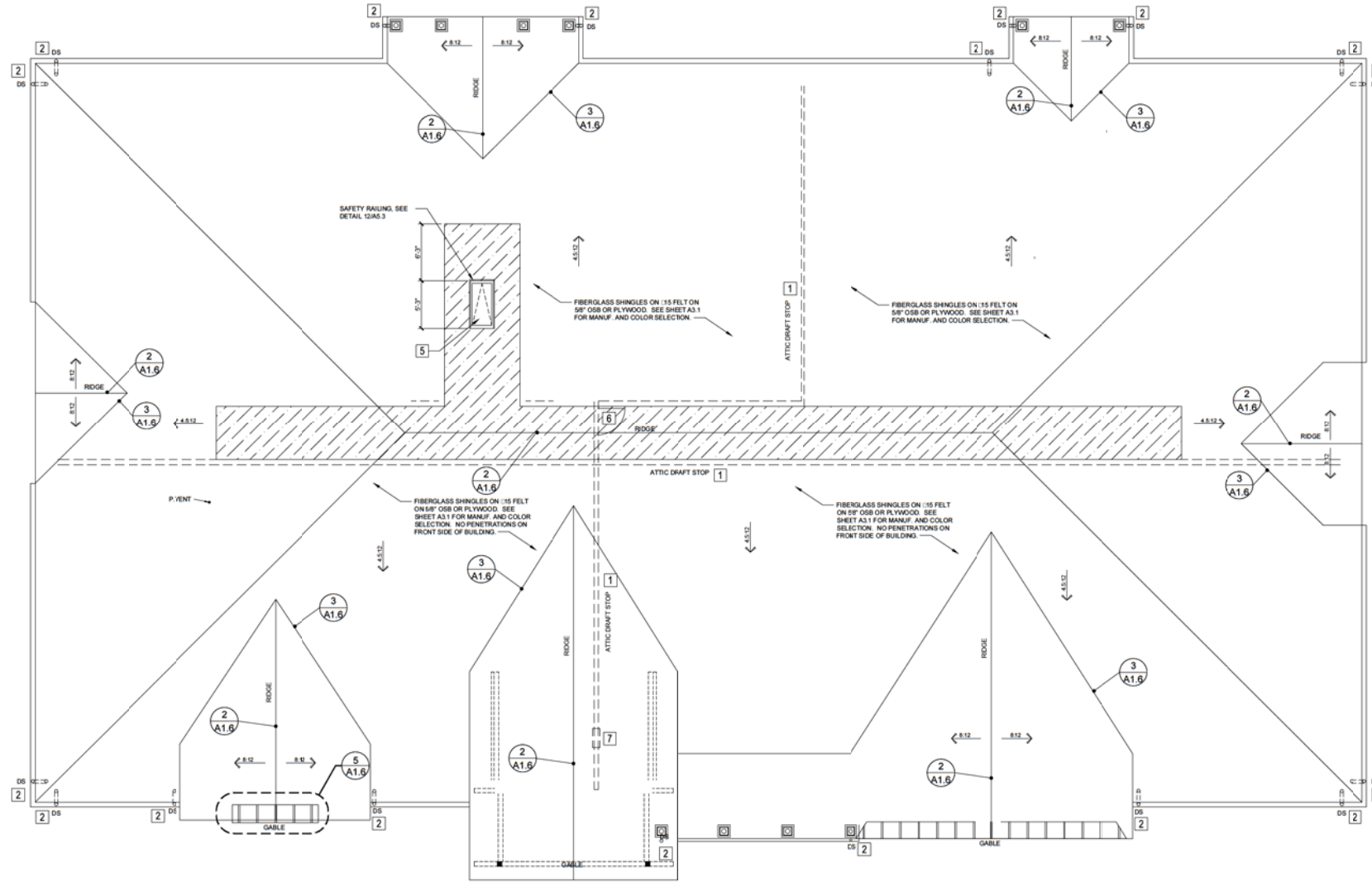
REVISIONS
DATE: DESCRIP

NO.	DATE	DESCRIPTION

FLOOR PLAN AND NOTES

A1.1

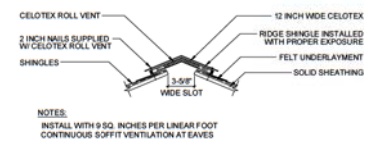
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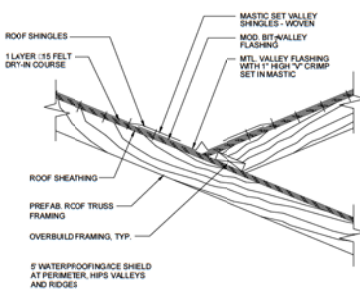
1 ROOF PLAN
1/8" = 1'-0"

ROOF KEY NOTES:

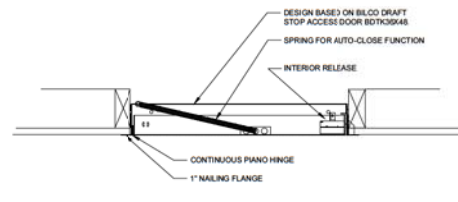
1. ATTIC DRAFT STOP, 1-1/2" DIA. SD. SMOKE STOP ON ONE SIDE OF ROOF TRUSS, TAPED ONLY. MAXIMUM AREA BETWEEN SMOKE STOPS IS 3,000 SQ. FT.
2. CONNECT ALL ROOF DOWNSPOUTS TO UNDERGROUND STORM WATER DRAINAGE SYSTEM. SEE CIVIL DRAWINGS.
3. ALL ROOF MOUNTED EQUIPMENT SHALL BE LOCATED ON REAR SIDE OF BUILDING AND BE PAINTED TO MATCH ROOFING SHINGLES.
4. HATCHED AREA IS DECKED CATWALK. SEE BUILDING SECTION 1A3.2.
5. ATTIC ACCESS HATCH WITH 25.8" DIA. CLEAR OPENING. COORDINATE EXACT LOCATION WITH ROOF TRUSSES. DOOR AND LADDER DETAILS. SEE 12A5.3
6. PROVIDE 36" DIA. DRAFT STOP ACCESS DOOR AT CATWALK. MUST BE SELF CLOSING, SELF LATCHING, AND ALLOW FOR ACCESS FROM BOTH SIDES OF DOOR. SEE DETAIL A41.8
7. 24" DIA. @ 10'-0" A.F.F. FRAMED OPENING FOR FIRE MARSHAL INSPECTION ACCESS.



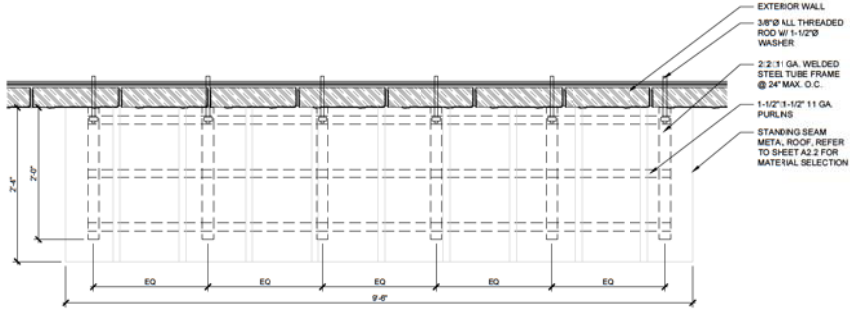
2 RIDGE VENT DETAIL
1-1/2" = 1'-0"



3 VALLEY DETAIL
1-1/2" = 1'-0"



4 DRAFT STOP ACCESS DOOR
1-1/2" = 1'-0"



5 AWNING SUPPORT DETAIL
3/4" = 1'-0"

JOB NUMBER: 2016-160
CHECKED BY: RKC

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Planning • Interiors • Architecture
678-388-7744 • INFO@CALBERTDESIGN.COM
2950 CHEROKEE ST. • BUILDING 600
KENNESAW, GA 30144



A Project for:
Nobel Learning Communities, Inc.
1516 West Chester Pike
West Chester, PA 19382



PROJECT LOCATION:
MERRYHILL SCHOOL
NE STANFORD RANCH RD
& SUNSET BLVD.

REVISIONS	DATE	DESCRPT

ROOF PLAN, NOTES AND DETAILS

A1.6
DATE: 10/18/2017



1 ASPHALT ROOFING SHINGLES
 ASPHALT SHINGLES GAF TIMBERLINE SERIES, T-30 WITH SHADOW ACCENT
 COLOR: MISSION BROWN

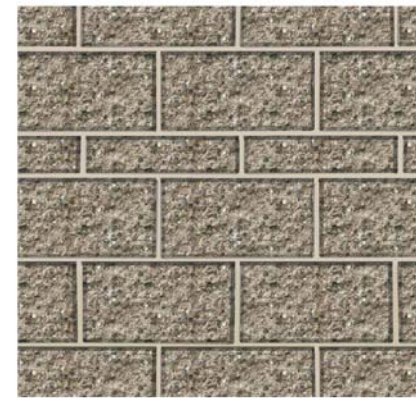


2 STANDING SEAM METAL ROOFING
 STANDING SEAM METAL ROOF AEP-SPAN, 12" SNAP SEAM
 COLOR: DARK BRONZE



3 WINDOWS
 WINDOWS COLOR: BEIGE

EXTERIOR MATERIAL SCHEDULE	
TRASH ENCLOSURE GATES, POSTS AND HINGES	PAINT COLOR: POPULAR GRAY, SW 6071 (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)
EXTERIOR STUCCO	PAINT COLOR: POPULAR GRAY, SW 6071
EXTERIOR HARDIE SIDING, PANELS, TRIM, LOUVERS, FASCIA, FRIEZE, GUTTERS, DOWN SPOUTS, AND SOFFITS	PAINT COLOR: TAUPE TONE, SW 7633
WINDOWS	BEIGE
BLOCK	BODY OF GROUND LEVEL AND FILL OF WALLS, ECHELON MASONRY, TRENWYTH, MESASTONE COLOR: PEBBLE BEACH GROUT: BUFF
ASPHALT SHINGLES	GAF TIMBERLINE HD SERIES, T-30 WITH SHADOW ACCENT COLOR: MISSION BROWN
NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH ROOFING COLOR	
STANDING SEAM METAL ROOF	AEP-SPAN, 12" SNAP SEAM COLOR: DARK BRONZE



4 BLOCK
 BLOCK BODY OF GROUND LEVEL AND FILL OF WALLS, ECHELON MASONRY, TRENWYTH, MESASTONE
 COLOR: PEBBLE BEACH
 GROUT: BUFF



5 STUCCO PAINT COLOR
 STUCCO PAINT COLOR: POPULAR GRAY, SW 6071



6 TRIM PAINT COLOR
 EXTERIOR HARDIE TRIM, LOUVERS, FASCIA, FRIEZE, GUTTERS, DOWN SPOUTS, AND SOFFITS
 PAINT COLOR: TAUPE TONE, SW 7633

JOB NUMBER: 2016-160
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A Project for:
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 1516 West Chester Pike
 West Chester, PA 19382

MERRYHILL SCHOOL
 EST. 1945
 A Nobel Learning Community

PROJECT LOCATION:
 MERRYHILL SCHOOL
 NE STANFORD RANCH RD
 & SUNSET BLVD.

REVISIONS	DATE	DESCRIPTION

MATERIAL SAMPLES

A2.0
 DATE: 10/18/2017



① FRONT ELEVATION RENDERING
1/8"=1'-0"



② REAR ELEVATION RENDERING
1/8"=1'-0"



③ SIDE ELEVATION RENDERING
1/8"=1'-0"



④ SIDE ELEVATION RENDERING
1/8"=1'-0"

JOB NUMBER: 2016-160
CHECKED BY: RKC

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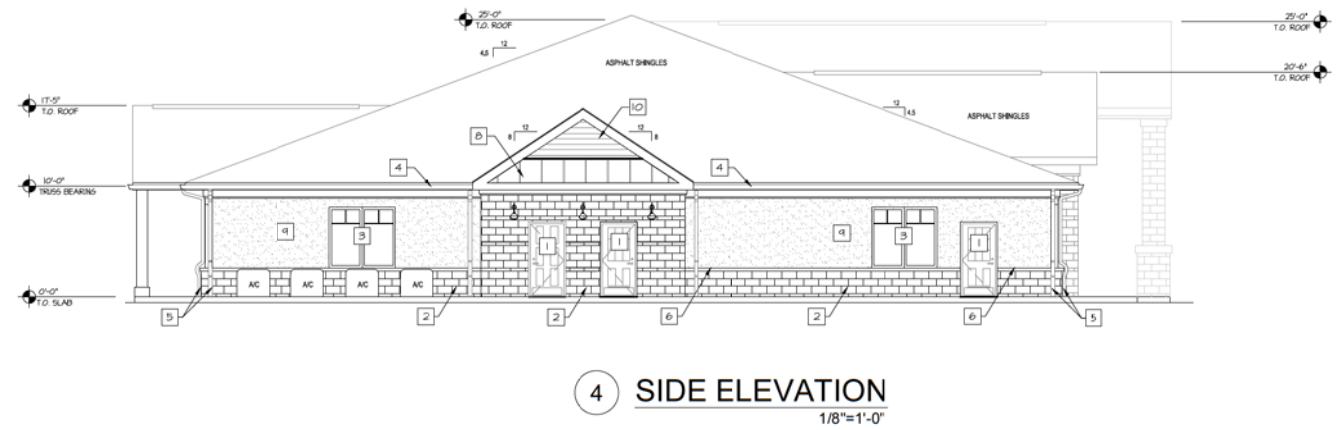
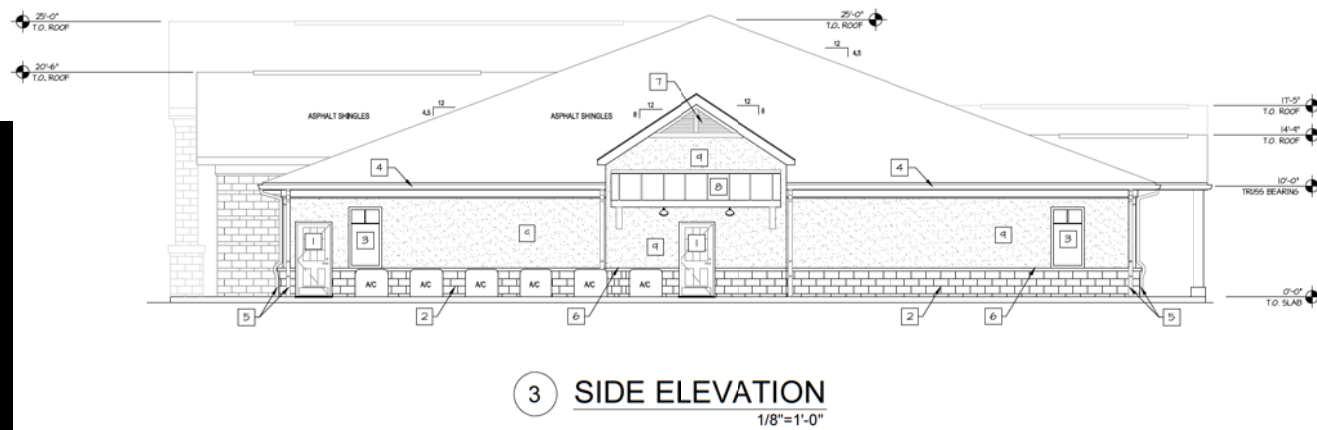
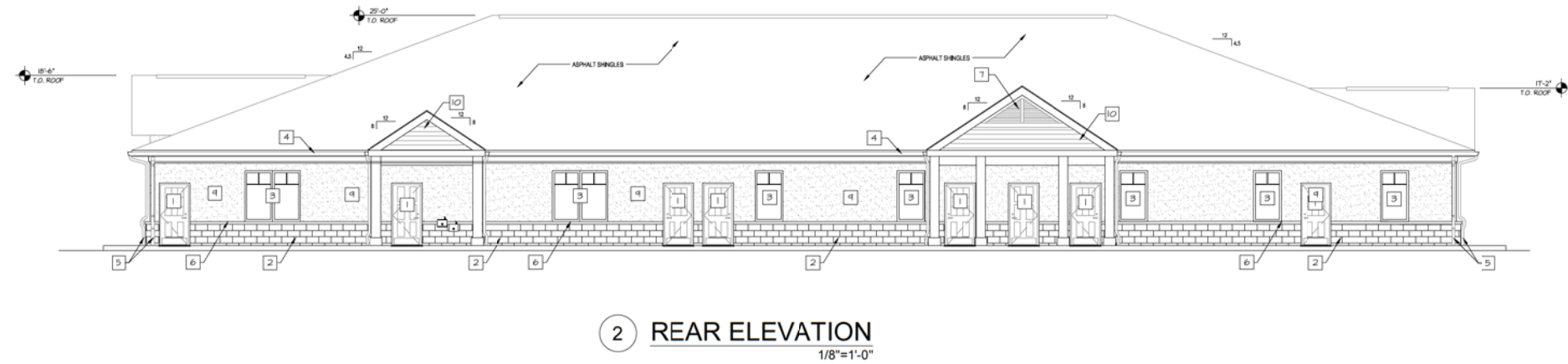
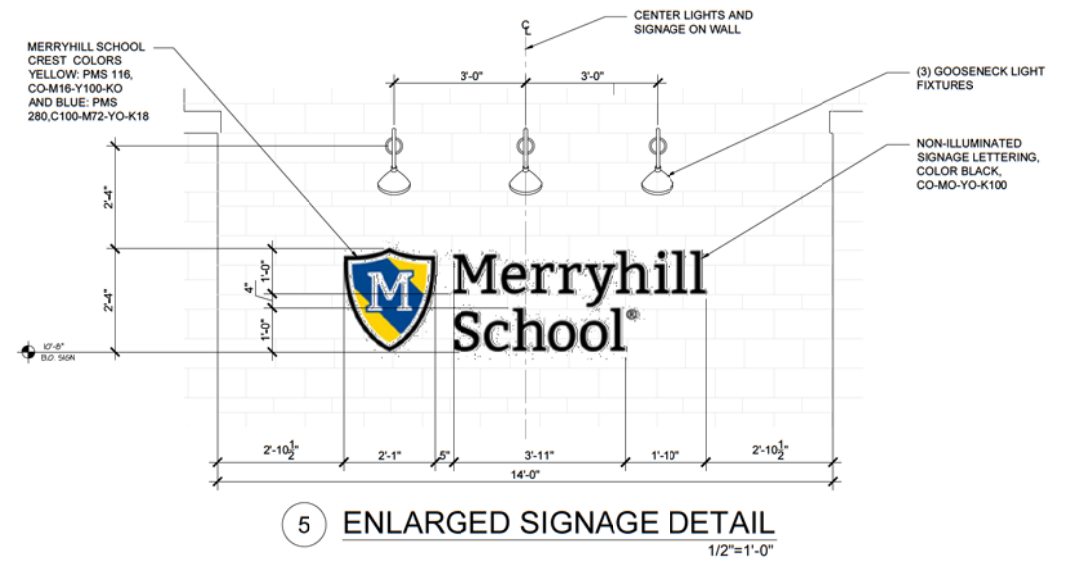
PROJECT LOCATION:
MERRYHILL SCHOOL
NE STANFORD RANCH RD
& SUNSET BLVD.

REVISIONS	DATE	DESCRIPT

RENDERINGS

A2.1
DATE: 10/18/2017

EXTERIOR MATERIAL SCHEDULE	
TRASH ENCLOSURE GATES, POSTS AND HINGES	PAINT COLOR: POPULAR GRAY, SW 6071 (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)
EXTERIOR STUCCO	PAINT COLOR: POPULAR GRAY, SW 6071
EXTERIOR HARDIE SIDING, PANELS, TRIM, LOUVERS, FASCIA, FRIEZE, GUTTERS, DOWN SPOUTS, AND SOFFITS	PAINT COLOR: TAUPE TONE, SW 7833
EXTERIOR DOORS	PAINT COLOR: TAUPE TONE, SW 7833
WINDOWS	BEIGE
BLOCK	BODY OF GROUND LEVEL AND FILL OF WALLS, ECHELON MASONRY, TRENWYTH, MESASTONE COLOR: PEBBLE BEACH GROUT: BUFF
PRECAST SILL	ECHELON MASONRY, TRENWYTH, CORDOVA STONE, CHISEL FACE, COLOR: ALABASTER BEVEL WATER TABLE CORNER AT ALL DOOR JAMBS.
ASPHALT SHINGLES	GAF TIMBERLINE SERIES, T-30 WITH SHADOW ACCENT COLOR: MISSION BROWN
NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH ROOFING COLOR	
STANDING SEAM METAL ROOF	AEP-SPAN, 12" SNAP SEAM COLOR: DARK BRONZE
CONSTRUCTION NOTES:	
1	HOLLOW METAL DOOR
1A	ALUMINUM STOREFRONT DOOR WITH TINTED GLASS.
2	MANUFACTURED BLOCK: SEE SPECIFICATION ABOVE
3	VINYL WINDOW.
4	EXTRUDED ALUMINUM 5" WIDE GUTTERS WITH SPIKE & FERRILE AT 36" O.C. OGEE PROFILE. CONNECT 4"DIA. DOWNSPOUTS TO UNDERGROUND STORM SYSTEM.
5	EXTRUDED ALUMINUM 3" WIDE DOWNSPOUTS TO UNDERGROUND STORM SYSTEM.
6	PRECAST SILL. SEE SPECIFICATION ABOVE.
7	ATTIC VENT LOUVERS, PROVIDE PAINTABLE UNIT AND PAINT PER SCHEDULE. HEIGHT AS SHOWN ON ELEVATIONS.
8	STANDING SEAM METAL ROOFING: SEE SPECIFICATION ABOVE.
9	STUCCO
10	HARDI-SIDING W/ 6" PLANK REVEAL



JOB NUMBER: 2016-160
 CHECKED BY: RKC

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A Project for:
Nobel Learning Communities, Inc.
 1516 West Chester Pike
 West Chester, PA 19382

MERRYHILL SCHOOL
 EST. 1949
 A Nobel Learning Community

PROJECT LOCATION:
 MERRYHILL SCHOOL
 NE STANFORD RANCH RD & SUNSET BLVD.

REVISIONS	DATE	DESCRIPTION

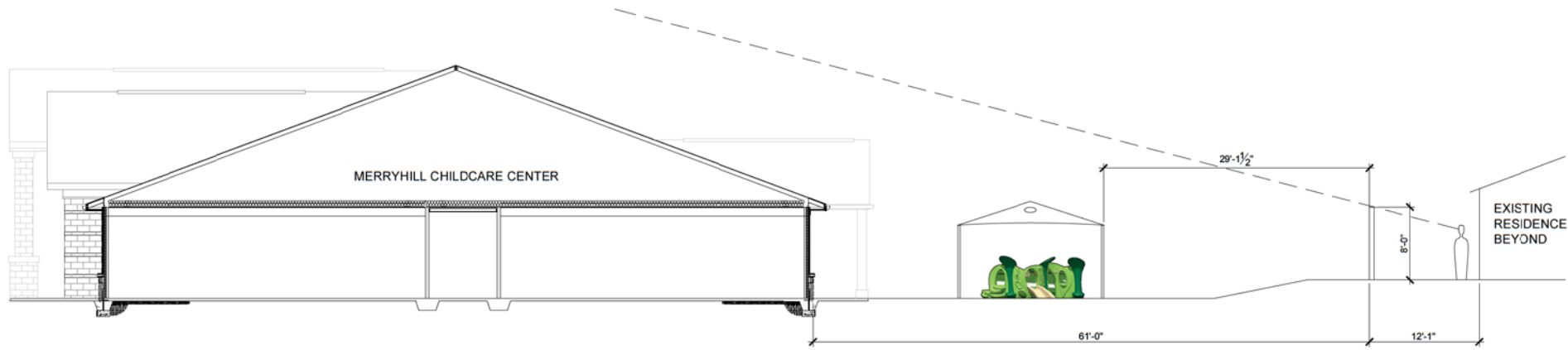
EXTERIOR ELEVATIONS

A2.2

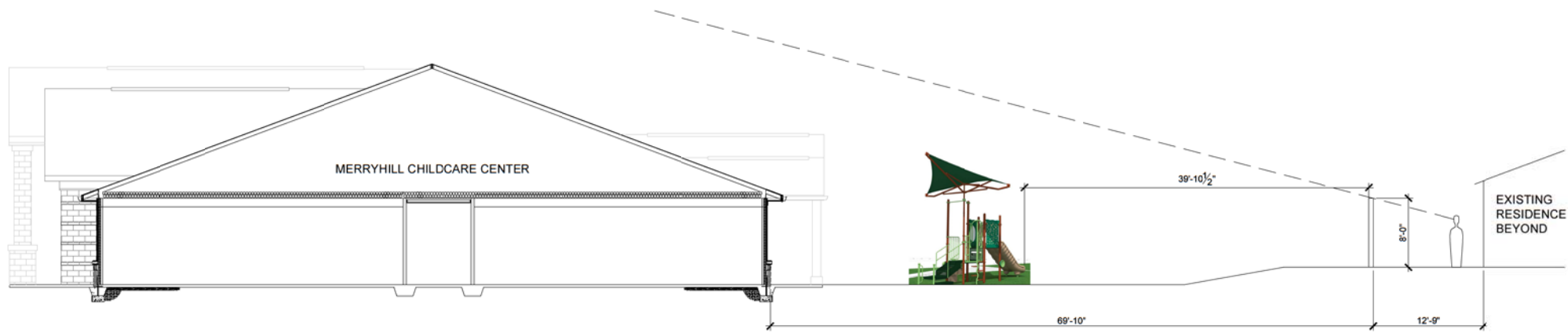
DATE: 10/18/2017

Agenda Item #8.b.

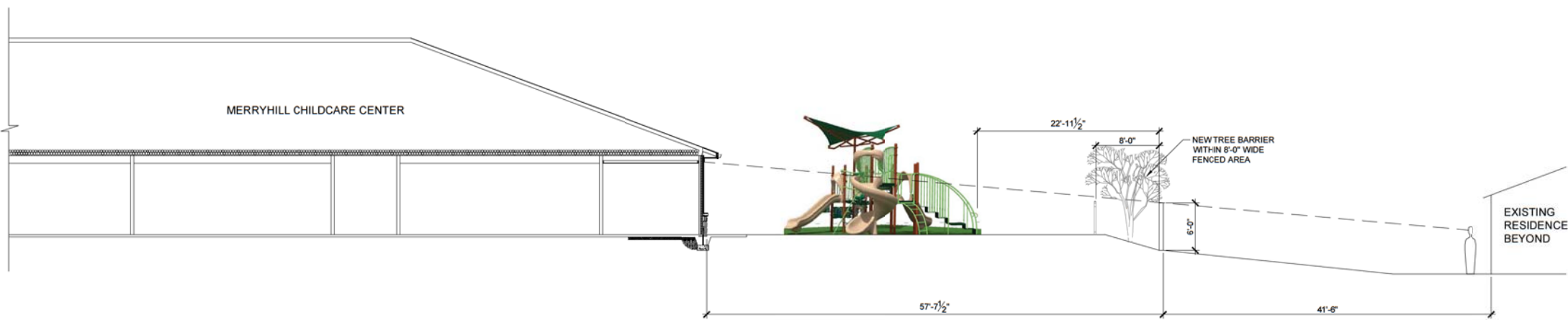
Packet Pg. 82



① TODDLER PLAYGROUND LINE OF SITE SECTION
1/8"=1'-0"



② EARLY PRESCHOOL PLAYGROUND LINE OF SITE SECTION
1/8"=1'-0"



③ PRESCHOOL PLAYGROUND LINE OF SITE SECTION
1/8"=1'-0"

JOB NUMBER: 2016-160
CHECKED BY: RKC

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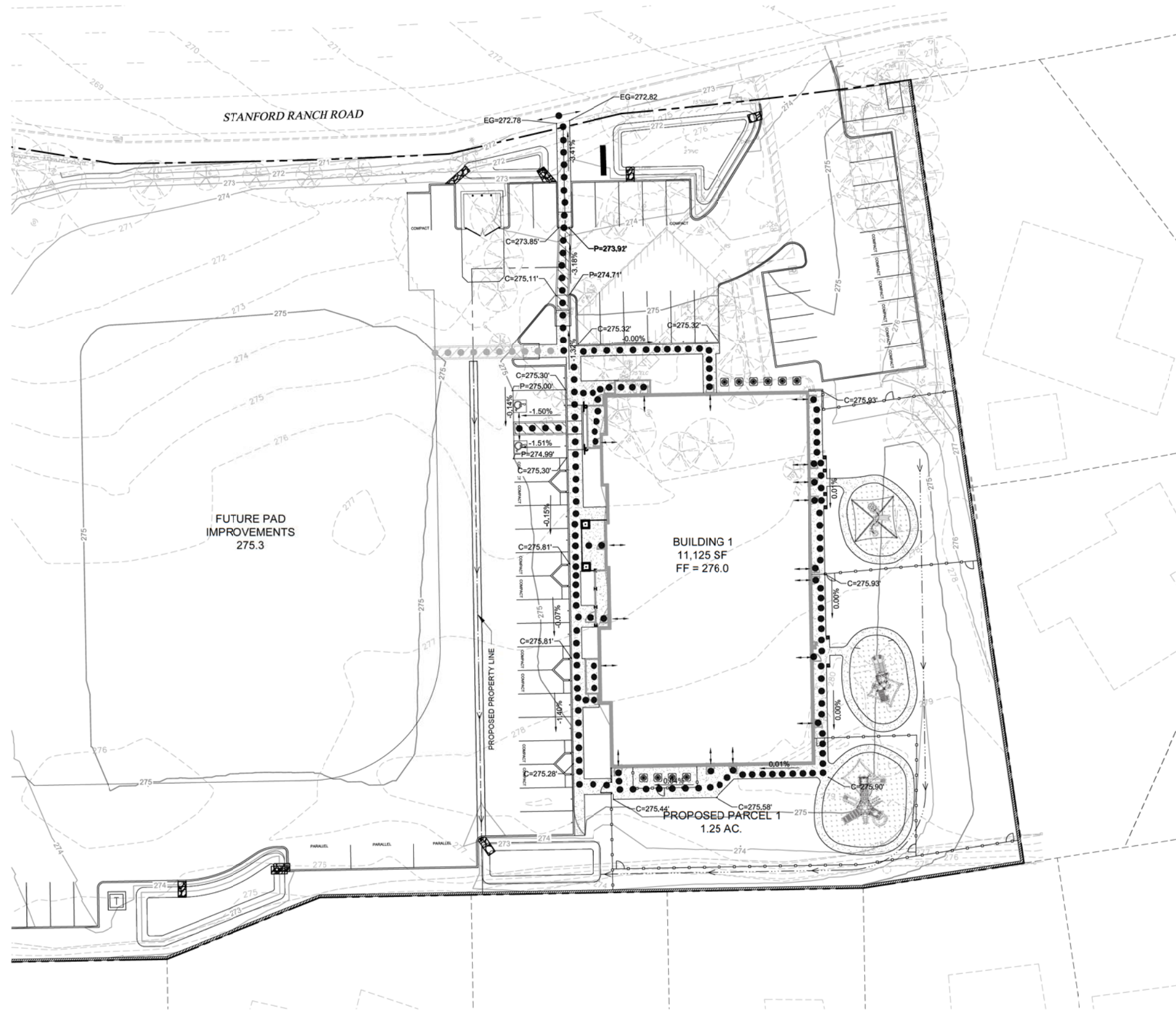
PROJECT LOCATION:
MERRYHILL SCHOOL
NE STANFORD RANCH RD
& SUNSET BLVD.

REVISIONS	DATE	DESCRPT

LINE OF SIGHT PLAN

A2.3

DATE: 10/18/2017



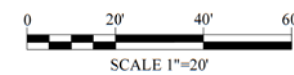
LEGEND			
FEATURE	EXISTING	PROPOSED	FUTURE
ACCESSIBLE PATH OF TRAVEL		●●●●	○●○●
C: 405.00	- PROPOSED ELEVATION (DESCRIPTIONS AS LISTED BELOW)		
C:	CONCRETE ELEVATION		
FF:	FINISHED FLOOR ELEVATION		
FL:	FLOW LINE ELEVATION		
P:	ASPHALT PAVEMENT ELEVATION		
R:	RIM ELEVATION		
S:	SPOT (GROUND) ELEVATION		
TC:	TOP OF CURB ELEVATION		
GB:	GRADE BREAK ELEVATION		
FT:	FLOW THRU ELEVATION		
TW:	TOP OF WALL		
BW:	BACK OF WALL		
C: 457.00	- EXISTING ELEVATION (DESCRIPTIONS AS LISTED ABOVE)		

NOTES:

1. ACCESSIBLE ROUTE OF TRAVEL SHALL BE AT LEAST 4' WIDE AND HAVE A CROSS SLOPE NO GREATER THAN 1/4 INCH PER FOOT.
2. REQUIRED PARKING SPACES = 56
REQUIRED ACCESSIBLE SPACES = 2
3. ACCESSIBLE PARKING AND LOADING ZONE SHALL NOT EXCEED 14 INCH PER FOOT IN ANY DIRECTION.

PROJECT NOTES:

1. TOPOGRAPHY SHOWN HEREON PERFORMED BY OTHERS IN FEBRUARY 2011. TOPOGRAPHIC INFORMATION NO LONGER REFLECTS CURRENT CONDITIONS OF SITE. A NEW DESIGN LEVEL TOPO SURVEY IS ANTICIPATED TO BE COMPLETED PRIOR TO IMPROVEMENT PLANS.



Disabled Access Requirements Site Plan
Nobel Learning Center

City of Rocklin, California October 18, 2017



FRAYJI
 DESIGN GROUP, INC.
 1540 Eureka Road Ste. 100 (916) 782-3000 Phone
 Roseville, CA 95661 (916) 782-3955 Fax
 CIVIL ENGINEERING • PLANNING • SURVEYING

LEGEND			
FEATURE	EXISTING	PROPOSED	FUTURE
EXISTING CENTERLINE	---	---	---
EXISTING PROPERTY LINE	---	---	---
PROPOSED LOT LINE	---	---	---
EXISTING OFFSITE LOT LINE	---	---	---
TREE TO BE REMOVED	⊗		
TREE TO REMAIN	⊙		
CONTOURS	---	---	---
RIDGE/GRADE BREAK	---	---	---
C:405.00	- PROPOSED ELEVATION (DESCRIPTIONS AS LISTED BELOW)		
	C:	CONCRETE ELEVATION	
	FF:	FINISHED FLOOR ELEVATION	
	FL:	FLOW LINE ELEVATION	
	P:	ASPHALT PAVEMENT ELEVATION	
	R:	RIM ELEVATION	
	S:	SPOT (GROUND) ELEVATION	
	TC:	TOP OF CURB ELEVATION	
	GB:	GRADE BREAK ELEVATION	
	FT:	FLOW THRU ELEVATION	
	TW:	TOP OF WALL	
	BW:	BACK OF WALL	
C:457.00	- EXISTING ELEVATION (DESCRIPTIONS AS LISTED ABOVE)		

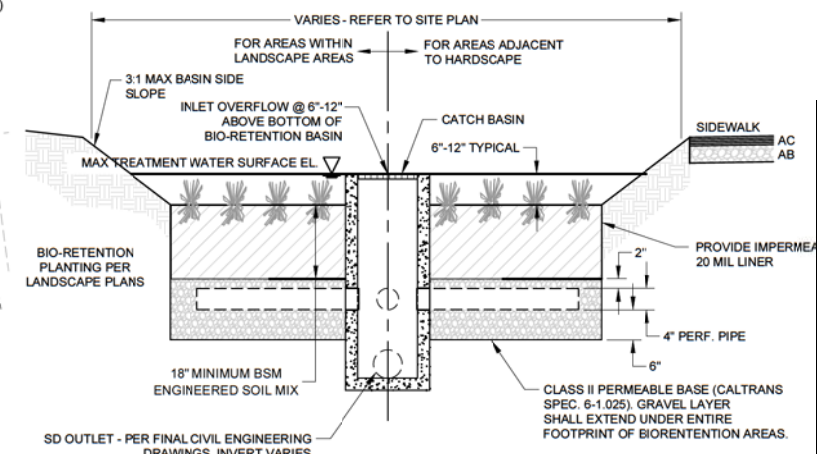
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3. BENCHMARK R 9-7 USED FOR PREVIOUS TOPOGRAPHIC SURVEY - THE INTERSECTION OF STANFORD RANCH ROAD AND SUNSET BLVD WAS RECONSTRUCTED AND COMPLETED JUST PRIOR TO APRIL 2013. CITY OF ROCKLIN SURVEY BENCHMARK R 9-7 WAS DESTROYED DURING THE PERFORMANCE OF THIS WORK.
4. NO RECIPROCAL ACCESS EXISTS TO OFF-SITE PARCELS.
5. CC+R'S W/CROSS ACCESS, PARKING, UTILITIES & OTHER WILL BE PREPARED FOR THE SITE. FOR PARCEL 1&2.
6. NO IDENTIFIED ARCHEOLOGICAL SITES @ PROJECT.
7. UTILITY CONNECTIONS AND DRIVEWAYS ARE THE ONLY ANTICIPATED ROW IMPROVEMENTS.
8. NO 100-YEAR FLOODPLAIN ON SITE.
9. ALL ADJACENT BUILDINGS FINISHED FLOOR ELEVATIONS ARE UNVERIFIED BY FRAYJI DESIGN GROUP AND PROVIDED BY OTHERS.

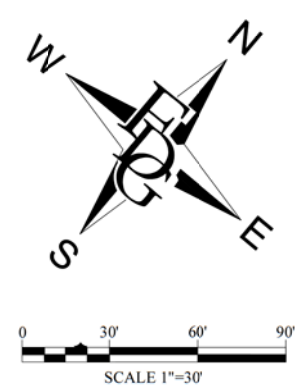
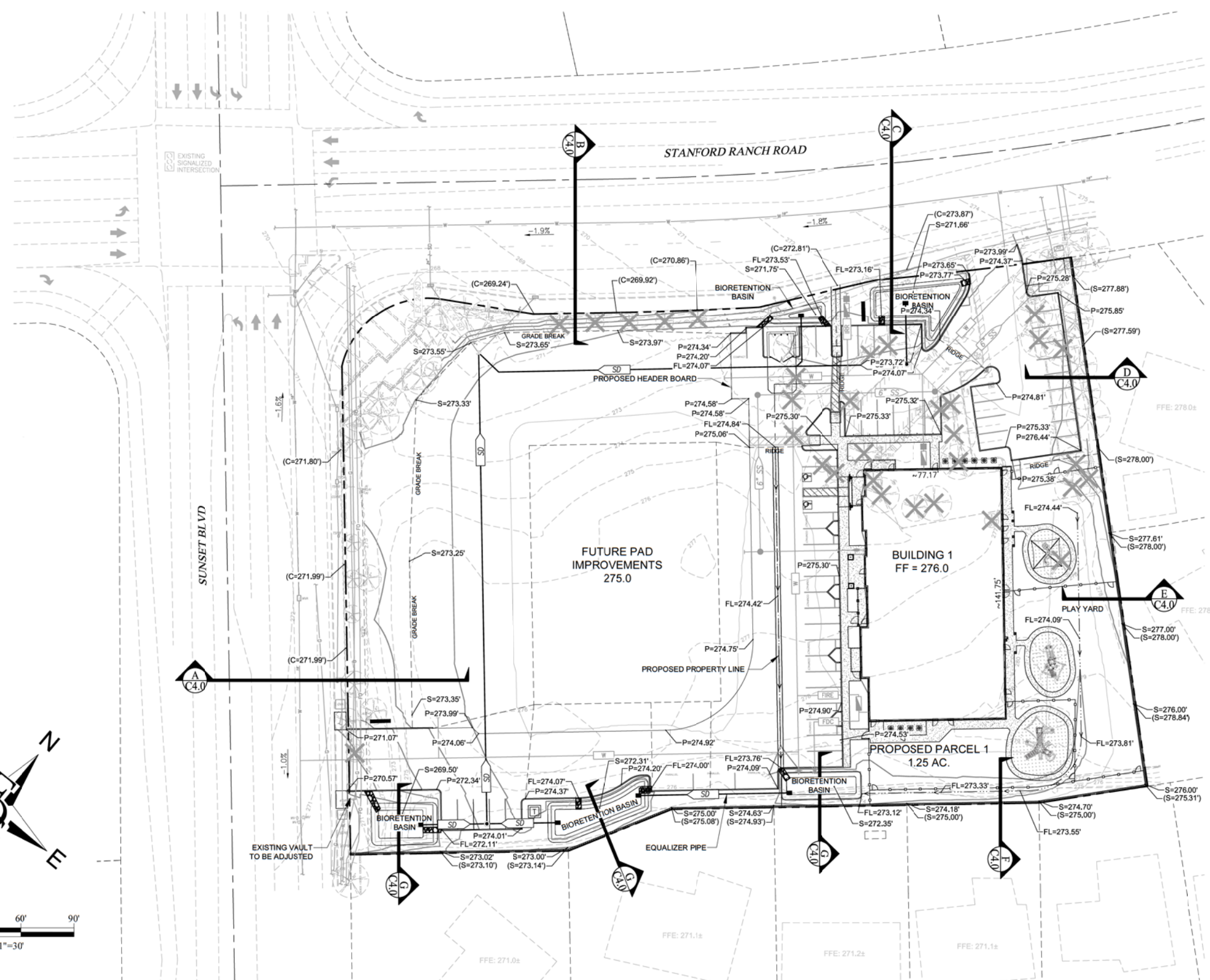
PRELIMINARY EARTHWORK:

CUT: 8,150 yds
 FILL: 870 yds
 EXPORT: 7,280 yds

ALL YARDS ARE BANK. FINAL EARTHWORK TO BE CALCULATED DURING IMPROVEMENT PLANS.



BIORETENTION BASIN SECTION DETAIL
NOT TO SCALE

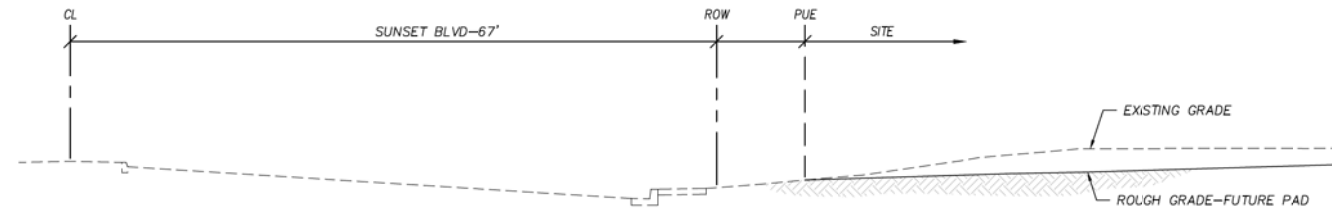


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 1540 Eureka Road Ste. 100 (916) 782-3000 Phone
 Roseville, CA 95661 (916) 782-3955 Fax
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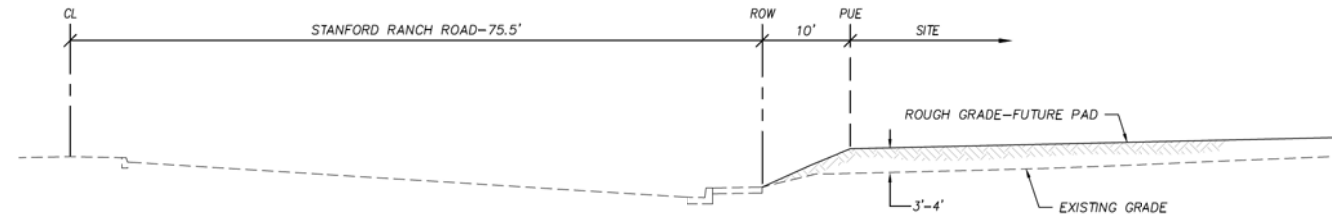
Grading & Drainage - Phase 1
Nobel Learning Center

City of Rocklin, California October 18, 2017



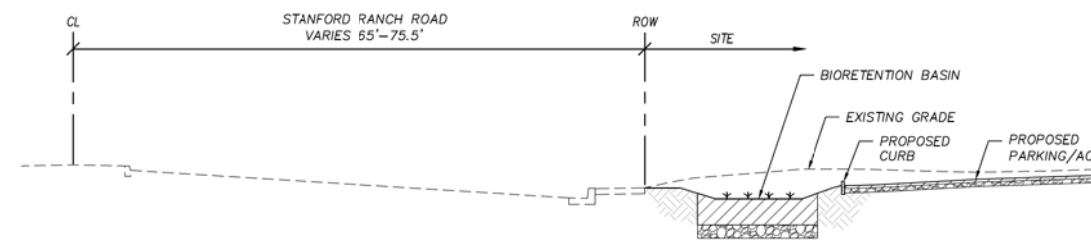
A Section

SCALE : N.T.S.



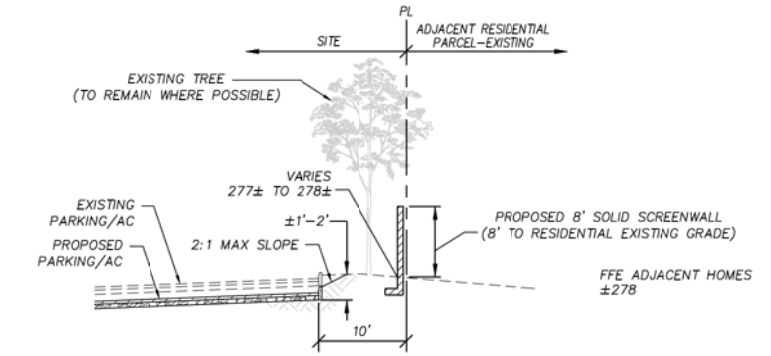
B Section

SCALE : N.T.S.



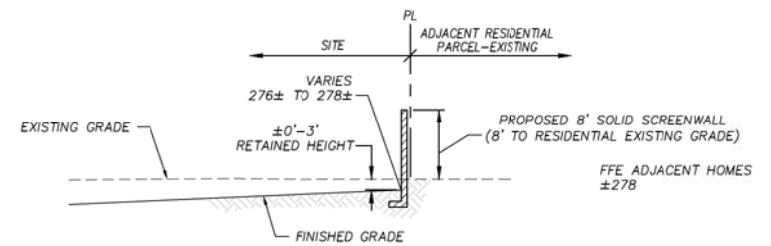
C Section

SCALE : N.T.S.



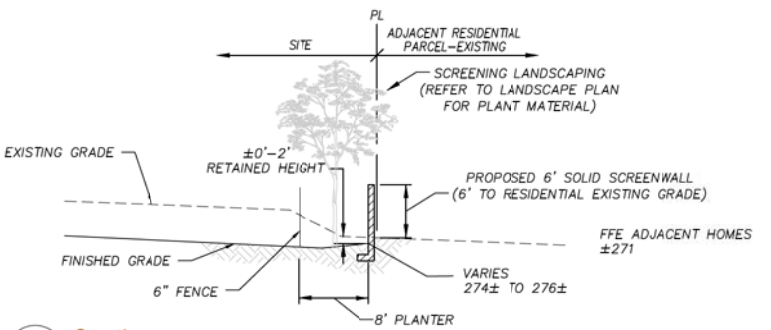
D Section

SCALE : N.T.S.



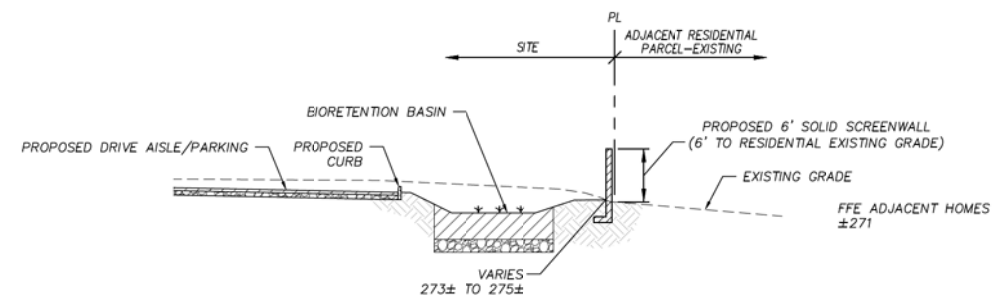
E Section

SCALE : N.T.S.



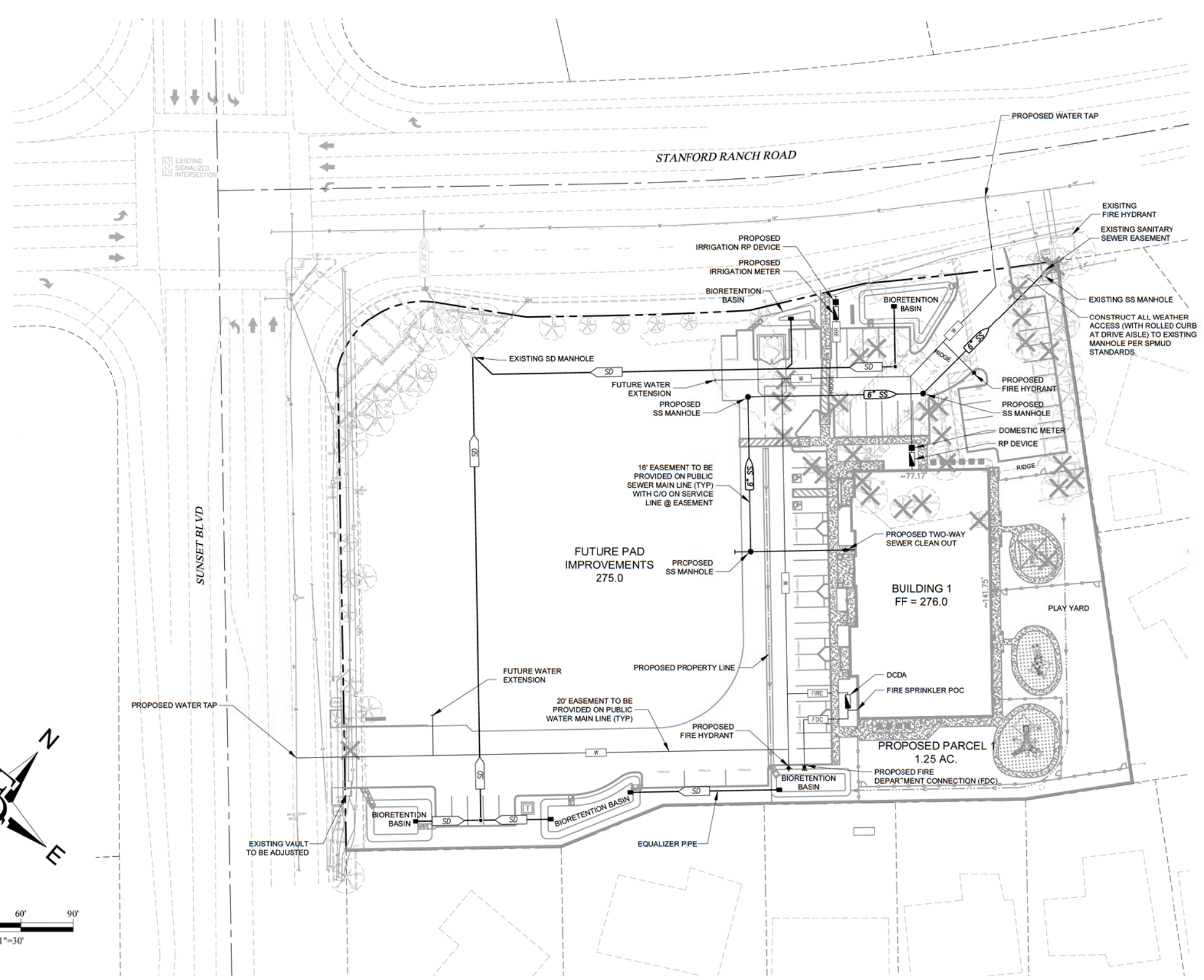
F Section

SCALE : N.T.S.



G Section

SCALE : N.T.S.



LEGEND			
FEATURE	EXISTING	PROPOSED	FUTURE
EXISTING CENTERLINE	---	---	---
EXISTING PROPERTY LINE	---	---	---
PROPOSED LOT LINE	---	---	---
EXISTING OFFSITE LOT LINE	---	---	---
TREE TO BE REMOVED	⊗		
TREE TO REMAIN	⊙		
CONTOURS	---276---	---274.00---	
RIDGE/GRADE BREAK	---	---	---
PROPOSED SANITARY SEWER PIPE AND DIRECTION		SS	
PROPOSED STORM DRAIN PIPE AND DIRECTION		SD	
PROPOSED WATER PIPE		W	
		FIRE	FDC
		C(405.00)	
		C(457.00)	

- PROPOSED ELEVATION (DESCRIPTIONS AS LISTED BELOW)

C: CONCRETE ELEVATION
 FF: FINISHED FLOOR ELEVATION
 FL: FLOW LINE ELEVATION
 P: ASPHALT PAVEMENT ELEVATION
 R: RIM ELEVATION
 S: SPOT (GROUND) ELEVATION
 TC: TOP OF CURB ELEVATION
 GB: GRADE BREAK ELEVATION
 FT: FLOW THRU ELEVATION
 TW: TOP OF WALL
 BW: BACK OF WALL

- EXISTING ELEVATION (DESCRIPTIONS AS LISTED ABOVE)

- PROJECT NOTES:**
1. OLD REPUBLIC TITLE COMPANY PRELIMINARY TITLE REPORT 4211011518-LR DATED DECEMBER 8, 2016 WAS USED IN VERIFYING CURRENT OWNERSHIP, LEGAL DESCRIPTION, AND EXISTING EASEMENTS OF RECORD.
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 4. NO RECIPROCAL ACCESS EXISTS TO OFF-SITE PARCELS.
 5. CC+R'S W/CROSS ACCESS, PARKING, UTILITIES & OTHER WILL BE PREPARED FOR THE SITE. FOR PARCEL 182.
 6. NO IDENTIFIED ARCHEOLOGICAL SITES @ PROJECT.
 7. UTILITY CONNECTIONS AND DRIVEWAYS ARE THE ONLY ANTICIPATED ROW IMPROVEMENTS.
 8. NO 100-YEAR FLOODPLAIN ON SITE.
 9. ALL ADJACENT BUILDINGS FINISHED FLOOR ELEVATIONS ARE UNVERIFIED BY FRAYJI DESIGN GROUP AND PROVIDED BY OTHERS.
 10. 12" WATERLINE MAIN WILL BE REQUIRED THROUGH THE SITE TO SUPPLY 2,750 GPM REQUIRED FIRE FLOW AT PCWA STANDARDS.

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 1540 Eureka Road Ste. 100 (916) 782-3000 Phone
 Roseville, CA 95661 (916) 782-3955 Fax
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Preliminary Utility Plan
Nobel Learning Center
 City of Rocklin, California October 18, 2017

Agenda Item #8.b.

A B C D E F G H J K L M N O P

SPECIES	% SHADE	QTY.	SHADE AREA	TOTALS
CHINESE PISTACHE	25%	1	314 SF	314 SF
CHINESE PISTACHE	50%	15	625 SF	4420 SF
CHINESE PISTACHE	75%	1	442 SF	442 SF
CHINESE PISTACHE	100%	3	1256 SF	3768 SF
CREPE MYRTLE	50%	7	151 SF	1049 SF
GALLERY PEAR	50%	4	353 SF	1412 SF
GALLERY PEAR	25%	1	177 SF	177 SF
TOTAL SHADE AREA			17132 SF	

PARKING LOT SHADE 17132 SF
TOTAL PARKING LOT AREA 31107 SF = 55% PARKING LOT SHADE

A/14	PARKING LOT SHADING
SCALE	N/A



REVISIONS	DATE
PLAN CHECK	8/9/17

All drawings and written material appearing herein constitute the original and unpublished work of the Landscape Architect and the same may not be duplicated, used, or disclosed without the written consent of the Landscape Architect.

MICHAEL HRADECKY

LANDSCAPE ARCHITECT

PO Box 6164
Chico, California 95927

Landscape Architect #2655
Contractors License #589920
(530) 893-2620 voice
(530) 624-6738 cell

PROJECT NAME

NOBEL LEARNING CENTER

STANFORD RANCH ROAD AND SUNSET BLVD.
ROCKLIN, CA

SHEET TITLE

CONCEPTUAL LANDSCAPE PLAN



DRAWN BY	MRH	SCALE	NOTED
CHECKED BY	MRH	DATE	6/16/17

SHEET NO.

L1.0



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/COMMENT
	HETEROMELES ARBUTIFOLIA	CLIFORNIA TOYON	5 GALLON
	CEANOTHUS GRISEUS 'HORIZONTALIS'	CALIFORNIA LILAC	5 GALLON
	ARCTOSTAPHYLOS 'EMERALD CARPET'	BEAR BERRY	1 GALLON
	MUHLENBERGIA RIENSIS	DEER GRASS	5 GALLON
	JUNCUS EFFUSUS	RUSH	1 GALLON
	MAHONIA AQUIFOLIUM	OREGON GRAPE	5 GALLON
	NERIUM OLEANDER	NERIUM OLEANDER	EXISTING
	HETEROMELES ARBUTIFOLIA	CALIFORNIA TOYON	EXISTING
	LEUCOPHYLLUM P. 'COMPACTA'	TEXAS RANGER	5 GALLON
	LAVANDULA STOECHAS 'OTTO QUAST'	SPANISH LAVANDER	5 GALLON
	TEUCRIUM CHAEMEDRYS	GERMANDER	1 GALLON
	DIETES IRIODES	FORTNIGHT LILY	5 GALLON
	ARCTOSTAPHYLOS EMERALD CARPET	BEAR BERRY	EXISTING
	VARIETES	MIXED SHRUBBERY	EXISTING
	PYRUS CALLERYANA	GALLERY PEAR	EXISTING
	SEGOVIA SEMPERVIRENS	REDWOOD	EXISTING
	LASERSTROEMIA INDICA	CREPE MYRTLE	EXISTING
	CEDRUS DEODARA	DEODAR CEDAR	EXISTING
	MAGNOLIA GRANDIFLORA	MAGNOLIA	EXISTING
	XYLOSMA CONGESTUM	SHINY XYLOSMA	EXISTING
	HALOGEDRUS DECCURENS	INCENSE CEDAR	EXISTING
	PISTACIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE	15 GALLON
	LASERSTROEMIA INDICA	CREPE MYRTLE	15 GALLON

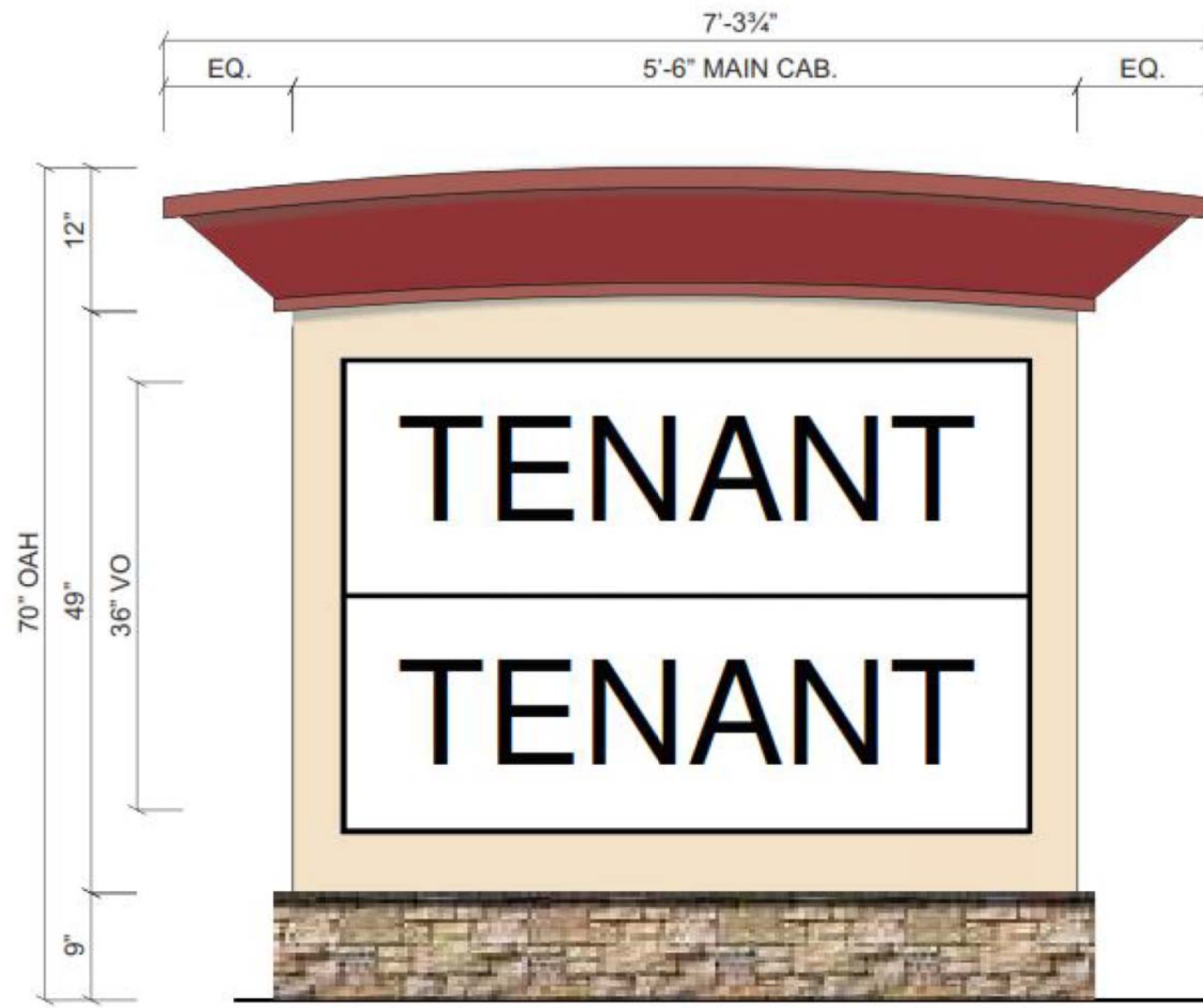
Packet Pg. 88

Agenda Item #8.b.

A/1 CONCEPTUAL LANDSCAPE PLAN

SCALE 1" = 20'

A B C D E F G H J K L M N O P

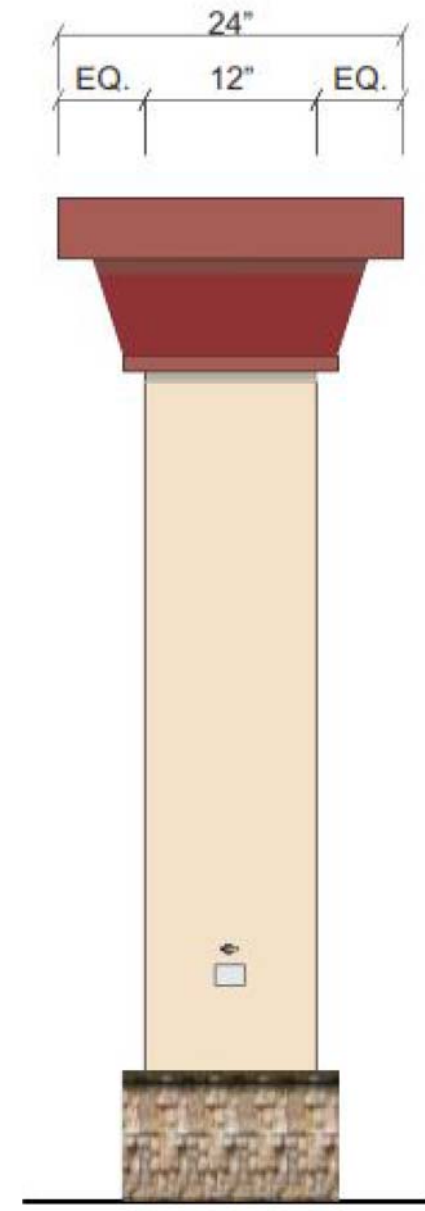


FRONT VIEW @ MONUMENT SIGN

Scale: 3/4"=1'-0"

Specifications:

Manufacture & install (1) illuminated monument sign at each location as depicted on the Site Plan.



SIDE VIEW

RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN APPROVING A CONDITIONAL USE PERMIT
FOR A DAYCARE/SCHOOL FACILITY

(Nobel Learning Center / U2017-0002)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. This Conditional Use Permit allows construction and operation of a daycare/school facility for the Nobel Learning Center (APN 016-450-001).

B. A Notice of Exemption has been approved for this Project via Planning Resolution No. PC-2017- .

C. The establishment, maintenance, and operation of the proposed uses and buildings or structures will not, under the circumstances of this particular case, be detrimental or injurious to the health, safety or general welfare of persons residing or working within the neighborhood of the proposed use, to property and improvements in the neighborhood, or to the general welfare of the City.

D. The establishment, operation, and maintenance of the uses and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The Conditional Use Permit for construction and operation of a daycare/school facility (Nobel Learning Center / U2017-0002) as depicted and further described in Exhibit A of the concurrent design review (DR2017-0008) approved via Planning Commission Resolution No. PC- and included therein, subject to the conditions listed below. The approved Exhibit A of the concurrent design review (DR2017-0008) shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A of the concurrent design review (DR2017-0008) shall be controlling and shall modify Exhibit A of the concurrent design review (DR2017-0008). All other plans, specifications, details, and information contained within Exhibit A of the concurrent design review (DR2017-0008) shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition prior a final Building Permit Inspection, Issuance of a Certificate of Occupancy, or initiation of use as is applicable. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Operation

- a. Approval of this conditional use permit does not relieve the applicant from the requirement to obtain subsequent permits and approvals, as applicable. (PLANNING, BUILDING, ENGINEERING).
- b. The Nobel Learning Center shall operate consistent with the Project Narrative, included as Exhibit A. Deviations from these operations shall be reviewed by the Community Development Director for substantial compliance. Operational deviations which are not considered substantially compliant may require further review and approval by the original approving authority (PLANNING).

2. Outdoor Display and Storage

- a. All incidental and miscellaneous outdoor storage areas shall be approved by the Community Development Director and shall be completely screened from public view by a decorative masonry or concrete wall or approved equal. All gates shall be solid and view obstructing, constructed of metal or other durable and sturdy materials acceptable to the Economic and Community Development Director. (PLANNING)

3. Noise

- a. No loud music shall be allowed at any time in the outdoor areas of the site. (PLANNING)

4. Maintenance

- a. The property owner(s) shall remove within 72 hours all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32. Prior to removal of said graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)
- b. The project, including but not limited to paving, landscaping, structures, and improvements shall be maintained by the property owner(s), to the standard of similarly situated properties in equivalent use zones, to the satisfaction of the Economic and Community Development Director. (PLANNING)

5. Indemnification and Duty to Defend

Within 30 days of approval of this entitlement by the City, the developer shall execute an Indemnity Agreement, approved by the City Attorney's Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the entitlement by the City's planning commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the applicant of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

5. Validity

- a. This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent Tentative Parcel Map (DL2017-0007) and Design Review (DR2017-0008) have been approved. (PLANNING)

PASSED AND ADOPTED this day of _____, 2017, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

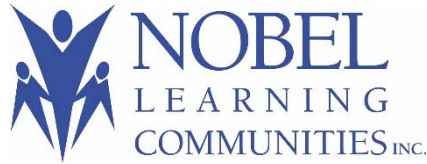
Chairperson

ATTEST:

Secretary

EXHIBIT A

Nobel Learning Center
Conditional Use Permit (U2017-0002)



June 6, 2017

Nobel Learning Communities, Inc. - Merryhill Preschool of Rocklin, CA

Project Narrative

The proposed opening of our new Merryhill Preschool of Rocklin is in the interest of public convenience in that it is located in a commercial district that allows us to more effectively serve a greater number of families in the Rocklin community. Nobel Learning has been operating the Merryhill Preschool in Rocklin since 1988. The use of this site as a new preschool facility will provide enhanced preschool opportunities to the Rocklin parents and will not be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity or injurious to property values. The development of this property will provide needed services and employment to the community while expanding the municipality's tax base.

1. General Description

The proposed Merryhill Preschool of Rocklin will be a high quality, non-sectarian, private preschool offering Infant-Pre-K students age 6 weeks-5 years old an environment that engages their senses, minds and bodies. The components of each program build upon each other as children grow and develop, ensuring the necessary preparation needed for elementary school. We anticipate employing approximately 20-30 staff members at this location. We estimate licensed capacity for enrollment of approximately 192 students. The facility will generally be open 6:30 AM to 6:00 PM Monday through Friday. The children enrolled will be kept on premises at all times except for planned field trips in the area.

2. Signage

We will be proposing, through the proper channels, installation of shared monument signs near each of the property's entrances and a branded building sign over our front door that will identify our school to visitors.

3. Traffic/Parking Analysis

Traffic will not be adversely impacted in the surrounding area as the land parcel that encompasses the school is located in the natural traffic pattern of most commuters. The students will be transported to the campus by their parents. Unlike a retail operation, the parents will only be at the school's location for about five to ten minutes per visit.

The school will have exclusive use of 23 parking spaces adjacent to the building, 2 of which are handicapped accessible, in addition to 30 non-exclusive parking spaces in the surrounding lot. Our experience tells us there should not be any issue with the parking situation at this facility. Arrivals occur from 6:30am until 8:30am and departures are generally from 3:00pm to 6:00pm.

4. Building Material and Design Elements

Security is a top concern for our schools. Security is provided throughout the building, parking lot and playground through a camera/video system. In addition, the main entrance of the school will include an electronic check-in system for children. Bollards are located along the parking spaces along the perimeter of the building. Playgrounds are fenced and gated. This school building will also be equipped with a sprinkler, fire alarm and smoke detection system. Nobel Learning Communities, Inc. provides a building that exceeds requirements for fire safety.

The interior decor creates a soft, warm, homelike environment through the use of rich, warm colors, and wood trim. The plan consists of closed classrooms that are all sized to meet state childcare licensing requirements. Classrooms are bright and cheerful with lots of windows and areas for computers are provided for all children. Older children are provided state of the art audiovisual equipment as well.

5. Other

There are no major high powered electrical lines near the site that would generate potentially harmful electromagnetic fields. This site will not generate fumes, odors, glare, vibration, gases, radiation, dust, liquid waste, or smoke and there are no sites nearby that would generate the same that would impact the school.

6. Conclusion

Please note, that as owners/operators of this school we intend to keep the premises in a safe, clean, neat, and wholesome condition. By the nature of our service, we shall comply in all respects with all governmental, health and police requirements.

In conclusion, we firmly believe the Merryhill Preschool of Rocklin will be an asset to the community and will provide a safe, clean, and friendly environment for both the children in our care and the surrounding community.

Laurie Montague
Director, Real Estate Development

RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN
APPROVING A TENTATIVE PARCEL MAP

(Nobel Learning Center / DL2017-0007)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Tentative Parcel Map (DL2017-0007) allows an approximately 3-acre site to be subdivided into two (2) commercial parcels (APN 016-450-001).

B. A Notice of Exemption has been approved for this Project via Planning Resolution No. PC-2017- .

C. The Planning Commission has considered the effect of the approval of this subdivision on the housing needs of the region, and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the zoning classification on the property, Planned Development Business Professional (PD-BP).

E. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the objectives, policies, general land uses, and programs in the City of Rocklin's General Plan.

F. The site is physically suitable for the proposed type and density of development.

G. The design of the subdivision and the proposed improvements is not likely to cause substantial environmental damage, nor will it substantially and avoidably injure fish or wildlife or their habitat.

H. The design of the subdivision and type of improvements will not cause serious public health problems.

I. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

J. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

Section 2. The tentative parcel map (Nobel Learning Center / DL2017-0007) as depicted in Exhibit A attached hereto and by this reference incorporated herein, is hereby approved, subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the condition for approval. Unless expressly stated otherwise, the applicant is solely responsible for satisfying each condition prior to approval of the final map.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements, or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Reciprocal Easements

- a. A reciprocal access and parking easement, or its legal equivalent in a form acceptable to the City Attorney, shall be recorded over and between each of the parcels comprising the subdivision prior to or concurrent with the recording of the final map. (CITY ATTORNEY, ENGINEERING)

2. Indemnification and Duty to Defend

Within 30 days of approval of the tentative parcel map by the City, the subdivider shall execute an Indemnity Agreement, approved by the City Attorney's Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the subdivision or parcel map by the City's planning commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the

subdivider of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

3. Validity

This entitlement shall expire two years from the date of approval unless prior to that date a final map has been recorded or a time extension has been granted. (PLANNING)

PASSED AND ADOPTED this day of , 2017, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

Chairman

ATTEST:

Secretary

EXHIBIT A

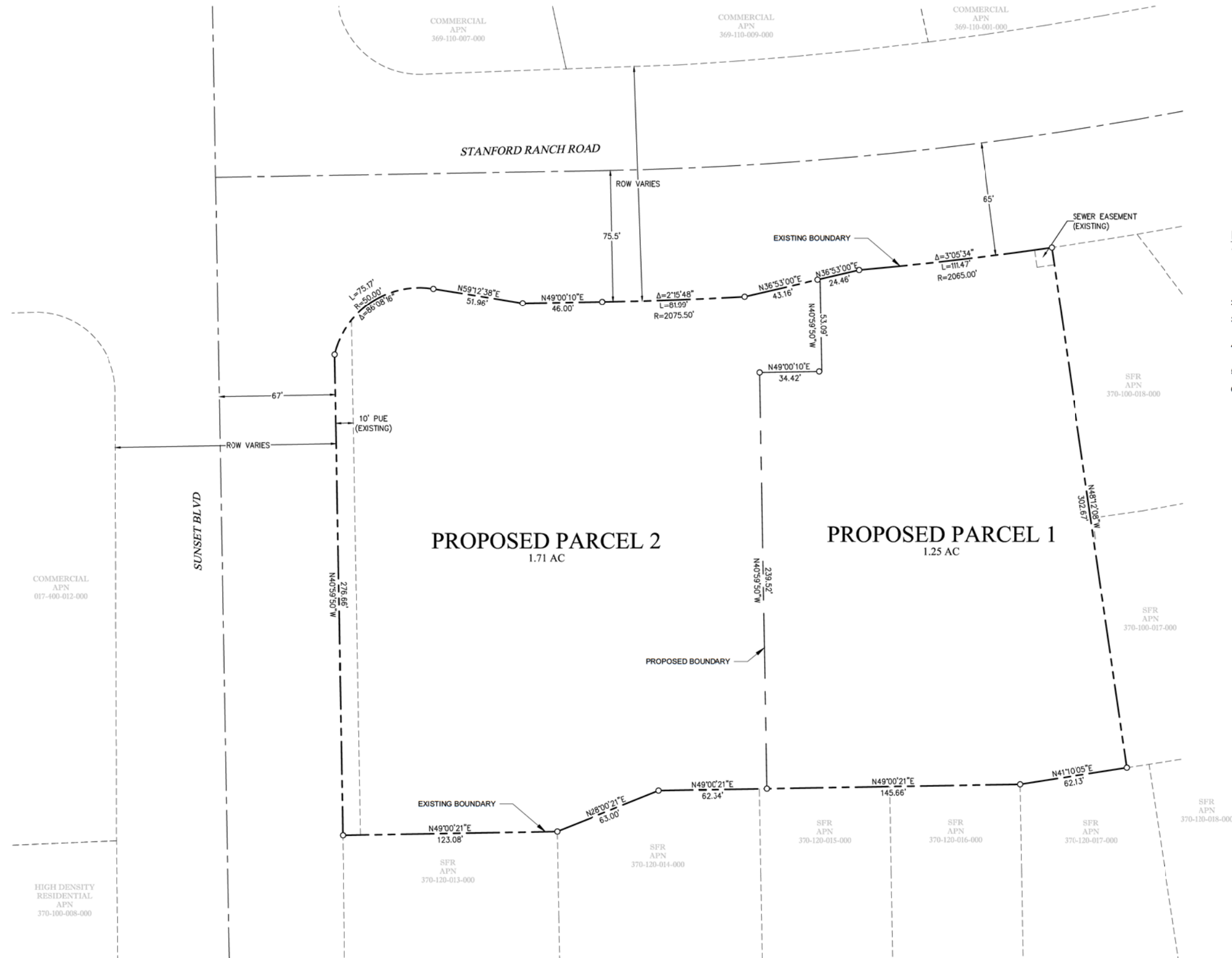
NOBEL LEARNING CENTER
TENTATIVE PARCEL MAP / DL2017-0007

TENTATIVE PARCEL MAP

BEING A PROPOSED SUBDIVISION OF
 PARCEL "A" BOOK "O" OF MAPS PAGE 53
 APN: 016-450-001-000

EXHIBIT A

DL2017-0007



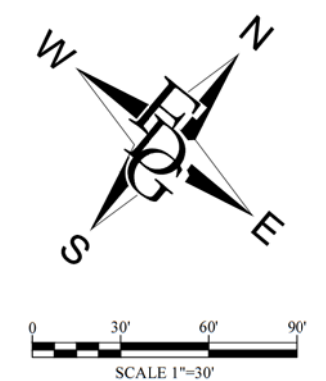
NOTES:

1. OLD REPUBLIC TITLE COMPANY PRELIMINARY TITLE REPORT 4211011518-LR DATED DECEMBER 8, 2016 WAS USED IN VERIFYING CURRENT OWNERSHIP, LEGAL DESCRIPTION, AND EXISTING EASEMENTS OF RECORD.
2. EXISTING PARCEL = 129,042 SF (2.96 AC)
3. PROPOSED PARCEL 1 = 54,844 SF (1.25 AC)
 PROPOSED PARCEL 2 = 74,398 SF (1.71 AC)
4. NO OAK TREES OR GRANITE OUTCROPPINGS ON-SITE.
5. NO 100 YEAR FLOODPLAIN ADJACENT OR ON-SITE.
6. CROSS ACCESS, PARKING AND UTILITIES WILL BE ALLOWED BETWEEN PARCEL 1 AND PARCEL 2.

Tentative Parcel Map

Nobel Learning Center

City of Rocklin, California November 20, 2017



FRAYJI
 DESIGN GROUP, INC.
 1540 Eureka Road Ste. 100 (916) 782-3000 Phone
 Roseville, CA 95661 (916) 782-3955 Fax
 CIVIL ENGINEERING • PLANNING • SURVEYING

Packet Pg. 101

Agenda Item #8.d.

TM1.0



City of Rocklin Economic and Community Development Department

**Planning Commission
STAFF REPORT**

Wildcat (Durango) Subdivision

**DESIGN REVIEW, DR2017-0012
VARIANCE, V2017-0003**

December 19, 2017

Recommendation

Subject to the recommended conditions of approval, staff recommends the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW (Wildcat [Durango] Subdivision / DR2017-0012)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN APPROVING A VARIANCE (Wildcat [Durango] Subdivision / V2017-0003)

Proposal/Application Request

The application is a request for approval of a Design Review for single-family home architecture/landscaping and a Variance to allow a deviation in the required front setback for one lot and a minor increase in maximum lot coverage for another lot within the previously approved 122-lot Wildcat Subdivision (SD2014-0001).

ANALYSIS

General Site Information

The subject property consists of five parcels totaling approximately 13.02 acres, generally located on the west side of Wildcat Boulevard, approximately 330 feet south

Planning Commission Staff Report
 Wildcat (Durango) Subdivision Design Review
 December 19, 2017
 Page 2

of the intersection of Whitney Ranch Parkway and Wildcat Boulevard (see Figure 1). The site is currently designated by Assessor Parcel Numbers (APNs) 017-171-014, 015, 016, 017, & 024.

The project site is part of the Northwest Rocklin General Development Plan area. The site was historically used for grazing and is undeveloped but has been rough graded and so is relatively flat with steep fill slopes along the southerly boundaries.

Figure 1 - Aerial Vicinity Map



Owner/Applicant

Meritage Homes of California

Previous Approvals

On August 11, 2015, the Rocklin City Council approved the Wildcat Subdivision, which included a General Development Plan Amendment (PDG2014-0004), Rezone (Z2014-0004), and Tentative Subdivision Map (SD2014-0001) to allow for development of a 122-lot single family residential subdivision and four lettered lots for open space and landscaping (see **Figure 2**).

Figure 2 – Approved Tentative Subdivision Map (2015)



DESIGN REVIEW

The approved lot sizes and development standards are similar to those in the adjacent Spring Valley subdivision; lot sizes range from approximately 2,700 to 5,900 square feet. Because the lots are below 6,000 square feet, construction of the single-family homes on these lots requires approval of a Design Review, per the requirements of Chapter 17.72 of the Municipal Code.

Home Design

The applicant, Meritage Homes, has submitted four primary floor plans for approval. One of the plans (designated Plan 1) is single-story. There is also a modified version of this plan (designated Plan 1X) which is a 1,402 square foot version designed to fit smaller lots. The elevations of Plans 1 and 1X are essentially identical. The three remaining plans (designated Plans 2-4) are two-story.

The proposed plans are broken down as follows:

- **Plan 1 (1,709 square feet)** – Single story with four elevation options (Modern Prairie, Urban Farmhouse, California Cottage, and Contemporary)
- **Plan 1X (1,402 square feet)** – Single story with four elevation options (Modern Prairie, Urban Farmhouse, California Cottage, and Contemporary)
- **Plan 2 (1,833 square feet)** – Two story with three elevation options (California Cottage, Modern Prairie, and Urban Farmhouse)
- **Plan 3 (2,077 square feet)** – Two story with three elevation options (Contemporary, Modern Prairie, and Urban Farmhouse)
- **Plan 4 (2,132 square feet)** – Two story with three elevation options (California Cottage, Modern Prairie, and Urban Farmhouse)

Because not all of the homes can fit on every lot, the applicant has provided a Lot Fit Exhibit to illustrate how the different products fit on each of the approved lots. This is included as part of Exhibit A.

The applicant has provided for 16 unique color and material schemes; four different schemes for each architectural style. This differential in colors and materials would provide for an attractive appearance and also work to differentiate the homes from each other. The applicant has included an “Exterior Color Schemes” chart as part of Exhibit A to indicate which materials and colors would be used on what parts of the various building elevations.

In addition to the standard side and rear elevations for each plan, the applicant has provided “enhanced” elevations with greater detailing on side and rear facades. The Design Review Guidelines require these enhanced elevations to be utilized when the elevations are publicly visible from roadways or open space. Some elements of enhanced elevations which have been provided include special window treatments, shutters, awnings, accent trim, and vents. Exhibit A includes an enhancement map showing which lots would require enhancements.

As conditioned, the proposed home designs comply with the requirements of the Rocklin Design Review Guidelines. The architectural designs incorporate a strong mix of styles and materials to avoid monotony, including varied architectural elements and details.

Landscaping

Typical plans for front yard landscaping have been provided as a part of Exhibit A. Due to the small size of the lots, the majority of front yard landscaping would consist of a variety of shrubs, turf, and groundcover. All lots would have a minimum of one tree. Tree locations have been selected based on standard joint trench locations. Street side yard landscaping would be a similar mix of trees, shrubs, and ground covers detailed for review and approval by staff on a site specific basis prior to building permit issuance. In addition, the project has been conditioned to comply with the State Model Water Efficient Landscape Ordinance (MWELo).

The proposed landscaping is consistent with the landscaping that has been required in other new developments in the City, particularly those with smaller lots. Staff has included a condition in the draft resolution for approval to ensure that all front and street side yard landscaping is installed prior to final building inspection of each house.

General Plan and Zoning Compliance

The proposed construction of single family residential homes is consistent with the applicable General Plan and Zoning provisions for the site. As part of the 2015 Wildcat Subdivision project, a General Development Plan Amendment and Rezone were approved which modified the Northwest Rocklin General Development Plan to include the PD-10A zone district and specify the applicable development standards and uses. The City Zoning Map was amended to rezone the project site to PD-10A. These modifications are consistent with the Mixed Use General Plan designation, which was not modified as part of the 2015 project. The approved standards for the PD-10A district are shown in **Table 1**.

Table 1 – Approved PD-10A Standards

<u>Setbacks</u>	
Front	12'
Front Porch	10'
Front Entry Garage	20'
Side, Interior	4'
Side, street	10'
Rear	4'
Rear Entry Garage	4'
<u>Max. lot coverage</u>	
Single story	60%
Two story	60%

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The proposed Design Review for single family homes is consistent with both the Mixed Use designation and PD-10A zoning. No modification to the General Plan or Zoning is proposed as part of this project.

VARIANCE

A private agreement exists between the owner of the project site and the property owner to the north. Because the three parcels to the north are zoned for future commercial use, the two property owners have agreed that Lots 1 through 17 of the Wildcat Subdivision will consist of single-story homes only, with no two-story homes allowed. While this is not a City requirement, staff worked with the applicant throughout this process to design homes which would comply with this agreement.

According to the Lot Fit Exhibit that was submitted as part of Exhibit A, 15 of the 17 lots along this northern boundary fit the single story plans with no issue. However, on two of the lots with more unique layouts (Lots 1 and 16), there was difficulty in siting the home to meet all development standards for the PD-10A district. Therefore, a Variance has been requested for these two lots. The request for Variance has been included as **Attachment 1**. Details are as described below:

- **Lot 1 – Lot Coverage:** The applicant is seeking a deviation of approximately 1.2% to exceed the maximum lot coverage of 60% for a total allowed lot coverage of 61.2%.
- **Lot 16 – Front Entry Garage Setback:** The applicant is seeking a deviation of approximately 2.5 feet (12.5%) from the required 20 foot setback required for front entry garages.

According to Section 17.70.120 of the Municipal Code, a Variance may be granted when it is determined by the decision making body that the request complies with the findings described below:

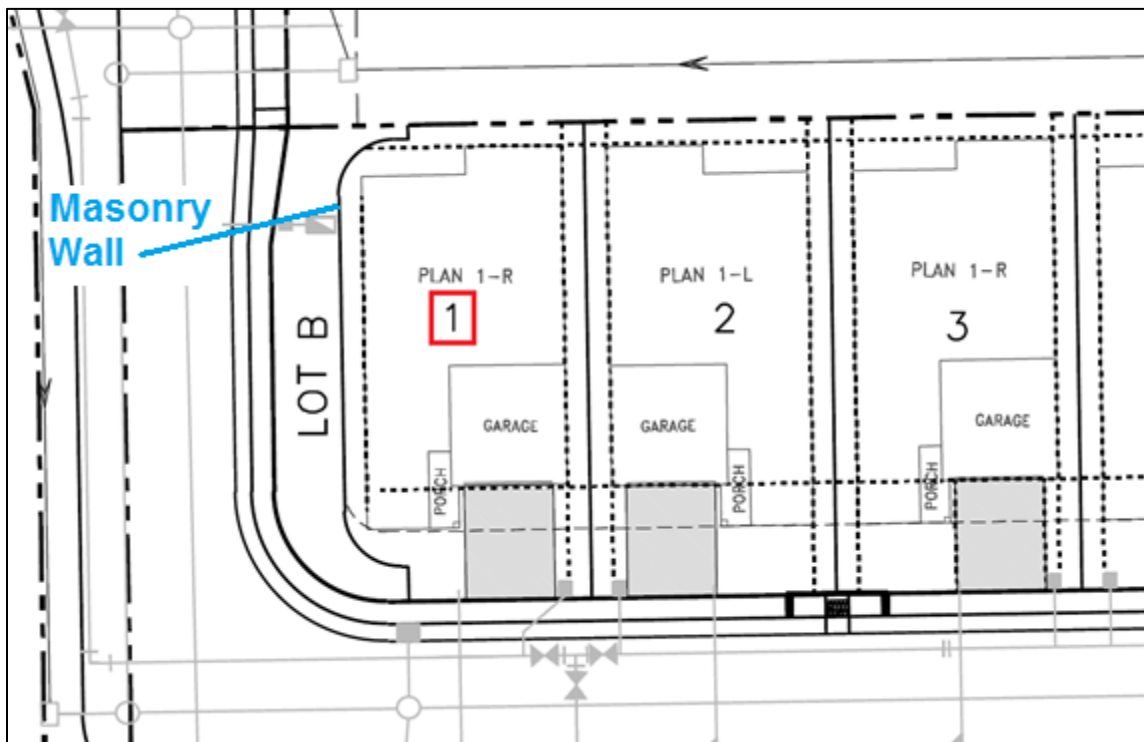
- 1) The applicant has shown that, because of special circumstances applicable to the subject property, including size, shape, topography, location, or surroundings, the strict application of the requirements of this title is found to deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classifications.
- 2) The decision making body has found that the grant of the variance would not constitute a grant of special privilege inconsistent with the limitations upon

other properties in the vicinity and zone in which the subject property is situated.

It is staff’s opinion that these two lots have special circumstances applicable to the subject property, and that granting of the Variance would not constitute a grant of special privileges. These special circumstances are described as follows:

Lot 1 – The side yard of this lot is impacted by the hardscape constructed on Lot B, which is a landscape parcel which was approved as part of the subdivision. See **Figure 3**. The radius of the masonry wall and the accompanying mow strip between these parcels has reduced the overall square footage of the lot and has therefore resulted in a buildable area which is below that of other typical lots within the subdivision. While this lot could fit one of the two-story homes which have smaller building footprints, due to the agreement with the property owner to the north, this site is restricted to single-story.

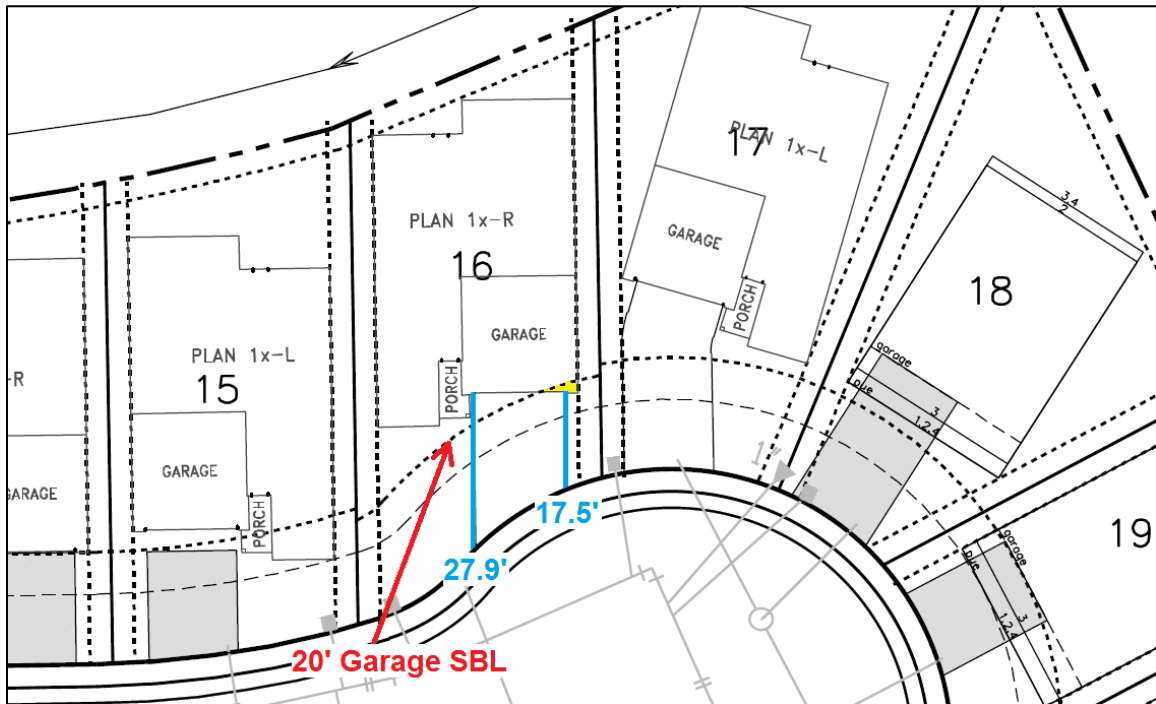
Figure 3 – Maximum Lot Coverage Deviation (Lot 1)



Lot 16 – The design of the approved subdivision includes a knuckle in street’s elbow which resulted in a shallower depth on this lot along Lot 16’s eastern property line. The

requested deviation would only apply to the right side of the garage along this eastern side. The left side of the garage would be approximately 27.9 feet behind the property line and does not require any deviation from standards. Therefore, the majority of the garage would comply with this setback. The encroachment area is represented in yellow in **Figure 4**.

Figure 4 – Front Entry Garage Deviation (Lot 16)



Due to the special circumstances listed above, staff supports the Variances as requested.

Environmental Determination

A Mitigated Negative Declaration (MND) was prepared to analyze potential environmental impacts related to the original project, in compliance with the California Environmental Quality Act (CEQA). The document was approved by the City Council in 2015 (Resolution No. 2015-205).

The proposed project is a Design Review to analyze the house architecture and individual lot landscaping within the previously-approved subdivision. The MND which was prepared for the project analyzed the potential environmental impacts associated

*Planning Commission Staff Report
Wildcat (Durango) Subdivision Design Review
December 19, 2017
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with the construction of homes in the proposed subdivision. Therefore, no additional environmental review is necessary.

A 15162 Analysis has been prepared for this project to support the determination that the project can rely on the previously prepared MND. This has been included as **Attachment 2**.

Exhibits

Attachment 1 – Request for Variance
Attachment 2 – CEQA 15162 Analysis

Prepared by Nathan Anderson, Associate Planner



Setting the standard for energy-efficient homes®

December 4, 2017

Nate Anderson
City of Rocklin
3970 Rocklin Road
Rocklin, CA 95677

RE: Variance Request

Dear Nate:

This letter acts as our formal request for variances to the Residential Development Standards applicable to our Wildcat Subdivision.

A condition of the Wildcat subdivision is to construct single story homes on lots 1-17. This was part of an agreement with the adjacent property owner. We needed to design two single story plans in order to accommodate the varying lot depths on lots 11-14, 16 & 17. When the fit list was completed it became apparent that Lot 16 was going to be problematic. A knuckle in the design of Cheetah Street resulted in a much shallower depth on one side of the lot. As a result, a small section of the garage encroaches into the front setback. Accordingly, we are requesting a variance of 2.5' to the 20' garage setback for Lot 16. On Lot 1, the side yard is impacted by the hardscape constructed on lot B, a landscape parcel. The radius of the block wall and the accompanying mow strip reduced the overall square footage of the lot causing the coverage to exceed 60% (61.12%). We are requesting a variance to the lot coverage maximum of 60%.

If you need any additional information please feel free to contact me at (916) 840-3573.

Sincerely,

A handwritten signature in black ink, appearing to read "Rob Wilson".

Rob Wilson
Meritage Homes

Wildcat (Durango) Subdivision
Design Review and Variance – 15162 Analysis

PROJECT DESCRIPTION:

The Wildcat (Durango) Subdivision Design Review and Variance project consists of a request for Design Review approval to analyze the house architecture and individual lot landscaping that will ultimately allow for the construction of homes in a previously approved 122 lot subdivision. The project includes four floor plans, with three or four elevations, depending on the plan. The typical lot size is 2,800 square feet. The project also includes a Variance seeking: 1) a lot coverage deviation for Lot 1 of approximately 1.2% to exceed the maximum lot coverage of 60% for a total allowed lot coverage of 61.2%, and 2) a setback deviation for Lot 16 of approximately 2.5 feet from the required 20 foot setback required for front entry garages.

PRIOR ENVIRONMENTAL REVIEW:

In 2015, a Mitigated Negative Declaration (MND) for the Wildcat Subdivision project was approved per City Council Resolution 2015-205. Project specific analysis was conducted and potential impacts of the Wildcat Subdivision project were identified in the MND document, and all of the potentially significant environmental impacts of the project identified in the MND were mitigated to a less than significant level.

RELIANCE ON PRIOR ENVIRONMENTAL REVIEW:

The potential environmental impacts of the Wildcat Subdivision project were analyzed as required by the California Environmental Quality Act (CEQA) in an Initial Study/Mitigated Negative Declaration which was previously approved by the Rocklin City Council acting as the lead agency through Resolution 2015-205. Once a project has been approved, the lead agency's role in project approvals is completed, unless further discretionary approval on that project is required. In this case, because the Wildcat (Durango) Subdivision project is requesting additional land use entitlements (a Design Review and a Variance) and further discretionary approval, the City must examine the adequacy of the prior environmental review.

Public Resources Code section 21166 and Section 15162 provide the framework for analysis of the adequacy of prior environmental review of a subsequent project. The questions that must be addressed when making a determination of whether further environmental review would be necessary are as follows:

1) Do Proposed Changes Involve New Significant Impacts?

Pursuant to Section 15162(a)(1) of the CEQA Guidelines, will substantial changes represented by the current project result in new significant impacts that have not already been considered and mitigated by the prior environmental review or a substantial increase in the severity of a previously identified significant impact?

2) Are There Any New Circumstances Involving New Impacts?

Pursuant to Section 15162(a)(2) of the CEQA Guidelines, have there been substantial changes to the project site or vicinity (circumstances under which the project is undertaken) which have occurred subsequent to the prior environmental document, which would result in the current project having new significant environmental impacts that were not considered in the prior environmental document or that substantially increase the severity of a previously identified impact?

3) Is There Any New Information Requiring New Analysis or Verification?

Pursuant to Section 15162(a)(3)(A-D) of the CEQA Guidelines, is there new information of substantial importance which was not known and could not have been known with the exercise of reasonable diligence at the time the previous environmental document was adopted as complete that is now available requiring an update to the analysis of the previous environmental document to verify that the environmental conclusions and mitigations remain valid? If the new information shows that:

- (A) The project will have one or more significant effects not discussed in the prior environmental documents; or
- (B) That significant effects previously examined will be substantially more severe than shown in the prior environmental documents; or
- (C) That mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
- (D) That mitigation measures or alternative which are considerably different from those analyzed in the prior environmental documents would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative, then the preparation of a subsequent or supplemental EIR would be required.

If the additional analysis completed finds that the conclusions of the prior environmental documents remain the same and no new significant impacts are identified, or identified environmental impacts are not found to be more severe, or additional mitigation is not necessary, then no additional environmental documentation (supplemental or subsequent EIR or subsequent negative declaration) is required.

COMPARISON OF THE PREVIOUSLY APPROVED WILDCAT SUBDIVISION PROJECT AND ITS MND:

The adopted Wildcat Subdivision MND addressed the development of the Wildcat Subdivision project site as follows:

- A Tentative Subdivision Map (SD-2014-0001) to subdivide approximately 13.02 gross acres into 122 single family residential lots and four lettered lots for open space and landscaping.
- Rezone (Z2014-0004) to change the zoning applicable to the project site from Planned Development Commercial (PD-C) to Planned Development 10 dwelling units per acre "A" (PD-10A) to the Northwest Rocklin General Development Plan area requirements to accommodate the project, and
- A General Development Plan Amendment (PDG2014-0004) to add a new land use designation, Planned Development 10 dwelling units per acre (A" (PD-10A) to the Northwest Rocklin General Development Plan.

The previously approved Tentative Subdivision Map was granted a one year time extension on September 26, 2017 per City Council Resolution 2017-215. Because the previously approved lots are less than 6,000 square feet, construction of the project's single family residences on these lots will require Design Review approval per the requirements of Chapter 17.72 of the Rocklin Municipal Code.

The Wildcat (Durango) Subdivision Design Review and Variance project involves the same land area and dwelling unit count that was previously considered and analyzed, but the changes proposed by the project reflect necessary variances to development standards to allow greater flexibility for home designs Lots 1 and 16. These changes are analyzed below.

IMPACT ANALYSIS:

- 1) Aesthetics – the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will introduce the same development into the project area that is consistent with what was anticipated by the original project. Development of the project, including the two minor variances on lots 1 and 16, is consistent with the surrounding existing and anticipated development and does not include any aspects that would introduce new aesthetic impacts.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant aesthetic impacts or substantially more severe aesthetic impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant aesthetic impacts or substantially more severe aesthetic impacts, and there is no new information requiring new analysis or verification. The analysis of aesthetics impacts within

the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 2) Agricultural Resources – the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will occur in locations that are designated as urban and built up land and are not located within or adjacent to land in productive agriculture or lands zoned for agricultural uses or timberland production and do not introduce any new agricultural resources impacts.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant agricultural resources impacts or substantially more severe agricultural resources impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant agricultural resources impacts or substantially more severe agricultural resources impacts, and there is no new information requiring new analysis or verification. The analysis of agricultural resources impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 3) Air Quality - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in similar construction and operational air quality emissions due to no changes in the number of dwelling units and associated vehicle trips generated by the project.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant air quality impacts or substantially more severe air quality impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant air quality impacts or substantially more severe air quality impacts, and there is no new information requiring new analysis or verification. The analysis of air quality impacts within the Wildcat Subdivision MND is applicable to Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 4) Biological Resources - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development in the same footprint area as was previously analyzed and approved.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as

described above are not anticipated to result in new significant biological resources impacts or substantially more severe biological resources impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant biological resources impacts or substantially more severe biological resources impacts, and there is no new information requiring new analysis or verification. The analysis of biological resources impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 5) Cultural Resources - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development in the same footprint area as was previously analyzed and approved.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant cultural resources impacts or substantially more severe cultural resources impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant cultural resources impacts or substantially more severe cultural resources impacts, and there is no new information requiring new analysis or verification. The analysis of cultural resources impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 6) Geology and Soils - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development that is consistent with the development that was anticipated with the original project. The development associated with the Wildcat (Durango) Subdivision Design Review and Variance project would be subject to compliance with the City's development review process and the City's Improvement Standards and Standard Specifications and the Uniform Building Code which will reduce any potential geology and soils impacts to a less than significant level.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant geology and soils impacts or substantially more severe geology and soils impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant geology and soils impacts or substantially more severe geology and soils impacts, and there is no new information requiring new analysis or verification. The analysis of geology and soils impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 7) Greenhouse Gas Emissions - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in similar construction and operational air quality/greenhouse gas emissions due to no changes in the number of dwelling units and associated vehicle trips generated by the project

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant greenhouse gas emissions impacts or substantially more severe greenhouse gas emissions impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant greenhouse gas emissions impacts or substantially more severe greenhouse gas emissions impacts, and there is no new information requiring new analysis or verification. The analysis of greenhouse gas emissions impacts above is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 8) Hazards and Hazardous Materials - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development that is consistent with the development that was anticipated with the original project. Development associated with the Wildcat (Durango) Subdivision Design Review and Variance project would be subject to compliance with various Federal, State, and local laws and regulations (including but not limited to Titles 8 and 22 of the Code of California Regulations, Uniform Fire Code, and Chapter 6.95 of the California Health and Safety Code) addressing hazardous materials management and environmental protection which will reduce any hazardous materials management and environmental protection impacts to a less than significant level. The Wildcat (Durango) Subdivision Design Review and Variance project does not include any unusual uses of hazardous materials. In addition, the project is not on the list of hazardous materials sites compiled pursuant to Government Code Section 65962.5, the project site is not located within an airport land use plan or within the vicinity of a private airstrip, the project's design and layout will not impair or physically interfere with the street system emergency evacuation route or impede an emergency evacuation plan, and the project will be reviewed by the Rocklin Fire Department and will be designed with adequate emergency access for use by the Rocklin Fire Department to reduce the risk of loss, injury or death involving wildland fires.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant hazards and hazardous materials impacts or substantially more severe hazards and hazardous materials impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant hazards and hazardous materials impacts or substantially more hazards and hazardous materials impacts, and there is no new

information requiring new analysis or verification. The analysis of hazards and hazardous materials impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 9) Hydrology and Water Quality - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development that is consistent with the development that was anticipated with the original project. Development associated with the Wildcat (Durango) Subdivision Design Review and Variance project would also be subject to the mitigation measures incorporated into Rocklin General Plan goals and policies, the City's Grading and Erosion and Sedimentation Control Ordinance (Rocklin Municipal Code, Chapter 15.28), the Stormwater Runoff Pollution Control Ordinance (Rocklin Municipal Code, Chapter 8.30), and the City's Improvement Standards to reduce impacts to hydrology and water quality to a less than significant level. In addition, the developable portions of the Wildcat (Durango) Subdivision Design Review and Variance project are located in flood zone X, which indicates that the project is not located within a 100-year flood hazard area and outside of the 500-year flood hazard area. The project site is not located within the potential inundation area of any dam or levee failure, nor is the project site located sufficiently near any significant bodies of water or steep hillsides to be at risk from inundation by a seiche, tsunami, or mudflow. Therefore, the project will not expose people or structures to a significant risk or loss, injury, or death as a result of flooding and a less than significant flood exposure impact would be anticipated.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat (Durango) Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant hydrology and water quality impacts or substantially more severe hydrology and water quality impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant hydrology and water quality impacts or substantially more hydrology and water quality impacts, and there is no new information requiring new analysis or verification. The analysis of hydrology and water quality impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 10) Land Use and Planning - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development that is consistent with the development that was anticipated with the original project and that is consistent with the City's General Plan and Zoning Ordinance. The construction of the Wildcat (Durango) Subdivision Design Review and Variance project would not physically divide an established community and would be compatible with nearby existing and anticipated land uses.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes

associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant land use and planning impacts or substantially more severe land use and planning impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant land use and planning impacts or substantially more land use and planning impacts, and there is no new information requiring new analysis or verification. The analysis of land use and planning impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 11) Mineral Resources - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development that is consistent with the development that was anticipated with the original project. Development associated with the Wildcat (Durango) Subdivision Design Review and Variance project would occur on sites that do not contain known mineral resources and the project is not anticipated to have a mineral resources impact.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant mineral resources impacts or substantially more severe mineral resources impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant mineral resources impacts or substantially more mineral resources impacts, and there is no new information requiring new analysis or verification. The analysis of mineral resources impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 12) Noise - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development that is consistent with the development that was anticipated with the original project. Development associated with the Wildcat (Durango) Subdivision Design Review and Variance project would be anticipated to generate noise levels similar to those that would occur with the original project.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant noise impacts or substantially more severe noise impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant noise impacts or substantially more noise impacts, and there is no new information requiring new analysis or verification. The analysis of noise impacts within the Wildcat

Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 13) Population and Housing - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development that is consistent with the development that was anticipated with the original project. Development associated with the Wildcat (Durango) Subdivision Design Review and Variance project would maintain the same number of dwelling units as was previously approved. The Wildcat (Durango) Subdivision Design Review and Variance project would not introduce unplanned growth or displace substantial numbers of people. In addition the Wildcat (Durango) Subdivision Design Review and Variance project is not considered to induce substantial population growth because it includes the same number of dwelling units as was previously contemplated and it is located in an area that has already been planned for urban uses.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant population and housing impacts or substantially more severe population and housing impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant population and housing impacts or substantially more population and housing impacts, and there is no new information requiring new analysis or verification. The analysis of population and housing impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 14) Public Services - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development that is consistent with the development that was anticipated with the original project. Development associated with Wildcat (Durango) Subdivision Design Review and Variance project would not increase the need for fire protection, police patrol and police services to the site beyond what was previously contemplated, and the need for other public facilities would not be created by the project.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant public services impacts or substantially more severe public services impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant public services impacts or substantially more public services impacts, and there is no new information requiring new analysis or verification. The analysis of public services impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 15) Transportation/Traffic - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will not result in a change in the number of automobile trips generated by the previously approved project because the number of dwelling units is not changing.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant transportation/traffic impacts or substantially more severe transportation/traffic impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant transportation/traffic impacts or substantially more severe transportation/traffic impacts, and there is no new information requiring new analysis or verification. The analysis of transportation/traffic impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

- 16) Tribal Cultural Resources – the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development in the same footprint area as was previously anticipated. While the Wildcat Subdivision MND was prepared and adopted prior to the requirement to address tribal cultural resources in CEQA documents, because Public Resources Code section 21080.3.3 requires consultation to occur prior to the release of a negative declaration, mitigated negative declaration or EIR for a project and the City intends to rely upon the previous MND for the Wildcat Subdivision Design Review and Variance project, there is no opportunity to incorporate additional mitigation measures for the protection of tribal cultural resources.

- 17) Utilities and Service Systems - the changes contemplated by the Wildcat (Durango) Subdivision Design Review and Variance project will result in development that is consistent with the development that was anticipated with the original project. Development associated with the Wildcat (Durango) Subdivision Design Review and Variance project would not increase the need for utilities and service systems to the site beyond what was previously contemplated, and the need for other utilities and public services would not be created by the project.

In conclusion, when comparing the Wildcat (Durango) Subdivision Design Review and Variance project to the Wildcat Subdivision MND analysis, the anticipated changes associated with the Wildcat (Durango) Subdivision Design Review and Variance project as described above are not anticipated to result in new significant utilities and service systems impacts or substantially more severe utilities and service systems impacts that have not already been considered by the prior Wildcat Subdivision MND; there are no new circumstances involving new significant utilities and service systems impacts or substantially more utilities and service systems impacts, and there is no new information requiring new analysis or verification. The analysis of utilities

and service systems impacts within the Wildcat Subdivision MND is applicable to the Wildcat (Durango) Subdivision Design Review and Variance project, and no further analysis is required.

CONCLUSION:

The Wildcat Subdivision MND evaluated the potential environmental impacts of the development of the Wildcat (Durango) Tentative Subdivision Map project which included the same project area and dwelling unit count. Because the Wildcat (Durango) Subdivision Design Review and Variance project will introduce the same development into the same project area that is consistent with what was anticipated by the original project, and the development would be consistent with the surrounding existing and anticipated development and does not include any aspects that would introduce new or increased environmental impacts, it was determined that the prior MND would be appropriate to rely upon for purposes of CEQA compliance. Based on the analysis provided above, no new significant environmental impacts would occur and no substantial increases in the severity of previously identified significant effects would be anticipated. None of the conditions described in CEQA Guidelines sections 15162, 15163 and 15164 calling for the preparation of a supplement, subsequent or addendum to a negative declaration or EIR are present, and therefore, no subsequent or EIR or supplemental EIR or addendum to an EIR is required pursuant to CEQA.

In summary, the analysis conducted to determine if further environmental review would be necessary has resulted in the determination that the Wildcat (Durango) Subdivision Design Review and Variance project does not result in any environmental impacts beyond those that were previously identified and no further environmental review is necessary.

RESOLUTION NO. PC-2017-XX

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW
(Wildcat (Durango) Subdivision / DR2017-0012)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. This resolution approves a Design Review entitlement to allow construction of single-family residential homes on previously approved lots in the Wildcat Subdivision (SD2014-0001) where, the Rocklin Municipal Code requires that those lots that are less than 6,000 square feet in area, obtain design review approvals prior to issuance of building permits.

B. A Mitigated Negative Declaration (MND) of environmental impacts for this project has been certified via City Council Resolution No. 2015-205. The MND analyzed the anticipated potential environmental impacts associated with the construction of homes in the Wildcat (Durango) Subdivision. The project proposes no substantial changes which would require revisions to the MND. The MND adequately describes the project for purposes of CEQA, for the following reasons:

- 1) No new significant environmental impacts, nor any substantial increase in the severity of previously identified significant impacts, will occur from the project.
- 2) No substantial changes occur with respect to the circumstances under which the project will be undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental impacts or a substantial increase in the severity of previously identified significant impacts.
- 3) No new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified as complete shows any of the following:
 - a. That the project will have one or more significant effects not discussed in the previous MND;
 - b. That significant effects previously examined will be substantially more severe than shown in the previous MND;

- c. That mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.
- d. That mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would substantially reduce one or more significant effects of the environment, but the project proponents declined to adopt the mitigation measure or alternative.

C. The design of the site is compatible with the City of Rocklin Design Review Guidelines.

D. The height, bulk, area, color scheme and materials of the buildings and structures are compatible with other residential development within the area.

E. The buildings and structures have been oriented with consideration given to minimizing energy consumption and maximizing use of natural lighting.

F. The landscaping design is compatible with surrounding development and has been designed with provisions for minimizing water usage and maintenance needs.

G. The parking design, including ingress and egress traffic patterns, is compatible with the surrounding development and the public street patterns.

H. The design of the site and buildings or structures is consistent with the goals, policies, and land use designations in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The Design Review for the Wildcat Subdivision / DR2017-012 as depicted in Exhibit A, attached hereto and by this reference incorporated herein, is hereby approved subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the condition for approval. Unless expressly stated otherwise, the applicant/developer shall be solely responsible for satisfying each condition and the conditions must be satisfied prior to issuance of the building permit, or issuance of certificate of occupancy as determined by the Economic and Community Development Director.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. General

- a. The project shall comply with all conditions of approval for the Wildcat Subdivision (SD2014-0001), approved by the City Council on August 11, 2015. (PLANNING)

2. Landscaping

- a. All front and street side yard landscaping, as applicable to each lot, consistent with the typical landscaping indicated on Exhibit A shall be installed prior to final building permit inspection for each home. A minimum of one shade tree shall be planted for each house as shown on Exhibit A. (PLANNING)
- b. The project shall comply with the State Model Water Efficient Landscape Ordinance (MWELO). (PLANNING)

3. Design

- a. Enhanced building elevations shall be used on all lots shown on the lot enhancement exhibit, included as part of Exhibit A (PLANNING)
- b. Exterior lighting shall be designed to the extent practicable to incorporate shoebox style downcast lighting, shielding, and other measures commonly employed as “dark sky” provisions. (PLANNING)
- c. Fire sprinkler risers are to be either located within a garage, in a wall cavity with access panel, or behind a solid six foot high screening fence. (PLANNING)

- d. Exterior utility piping and fixtures shall be screened so as not to be visible from the street and / or painted to match the wall against which they are mounted as applicable. (PLANNING)

4. Validity

- a. This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)

PASSED AND ADOPTED this day of , 2017 by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

Chairman

ATTEST:

Secretary

EXHIBIT A

Design Review Documents are available at the Community Development Department

EXHIBIT A

DR2017-0012







FRONT ELEVATION '1B'
MODERN PRAIRIE

FRONT ELEVATION '1A'
URBAN FARMHOUSE



FRONT ELEVATION '1C'
CALIFORNIA COTTAGE

FRONT ELEVATION '1D'
CONTEMPORARY

1B MODERN PRAIRIE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Brick Veneer
Enhanced Sills
1x Stucco Finish Trim



FRONT ELEVATION '1B'
MODERN PRAIRIE

1A URBAN FARMHOUSE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Board and Batt Siding
Enhanced Sills
1x Stucco Finish Trim



FRONT ELEVATION '1A'
URBAN FARMHOUSE

1C CALIFORNIA COTTAGE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding
Shutters
Brick Veneer
Enhanced Sills
1x Stucco Finish Trim



FRONT ELEVATION '1C'
CALIFORNIA COTTAGE

1D CONTEMPORARY
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding
Stone Veneer
Enhanced Sills
1x Stucco Finish Trim



FRONT ELEVATION '1D'
CONTEMPORARY



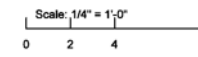
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DURANGO
ROCKLIN, CALIFORNIA

#2017-0280

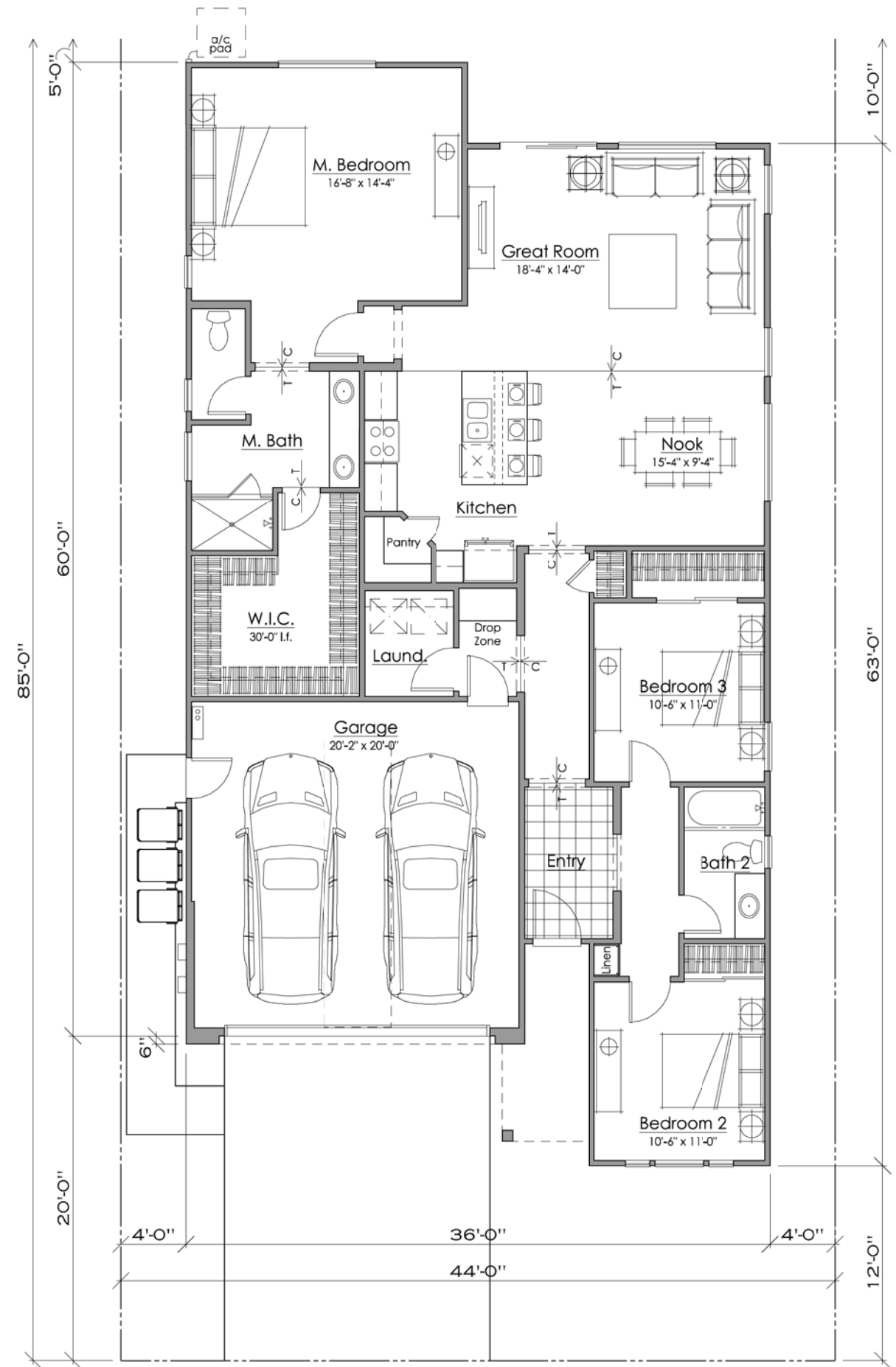
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08-31-2017

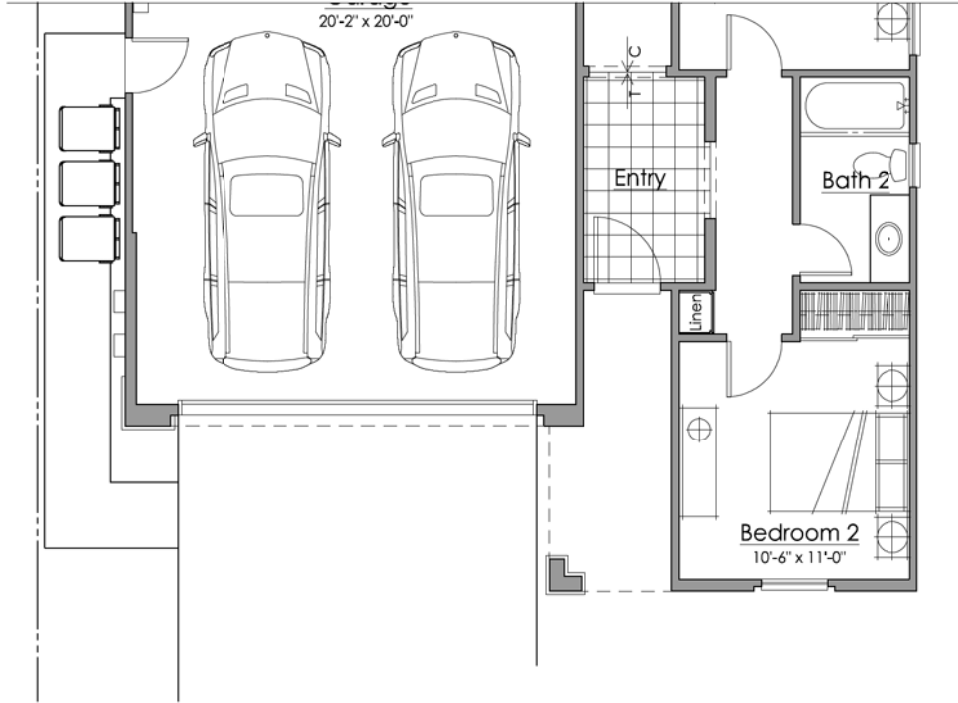


3 Bedroom
2 Bathroom
1,709 Sq. Ft.

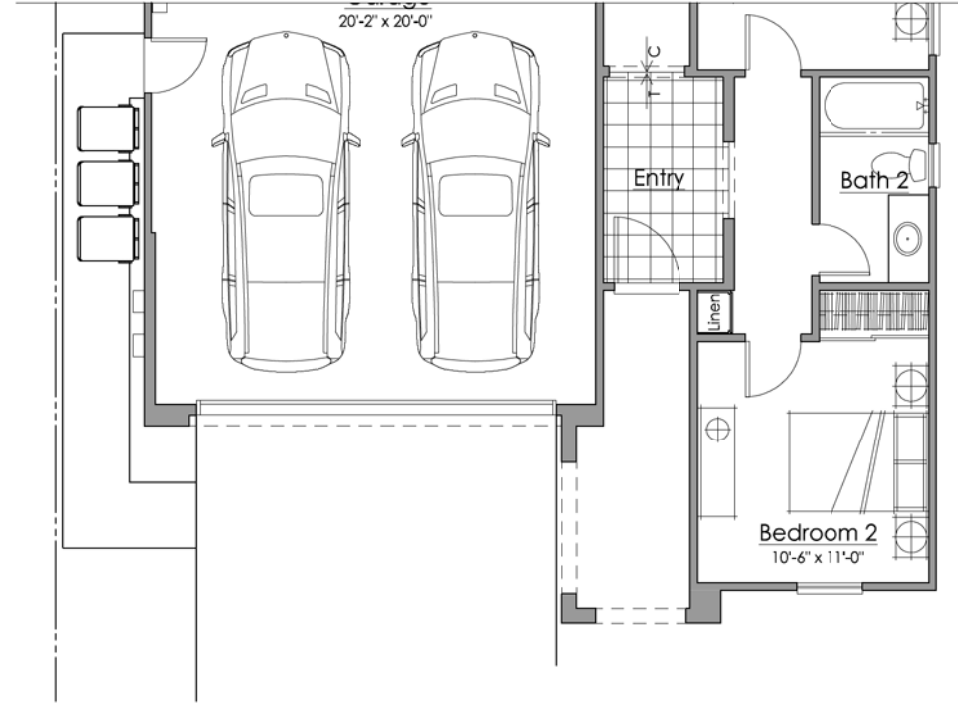
PLAN 1
FLOOR PLAN

A1.1

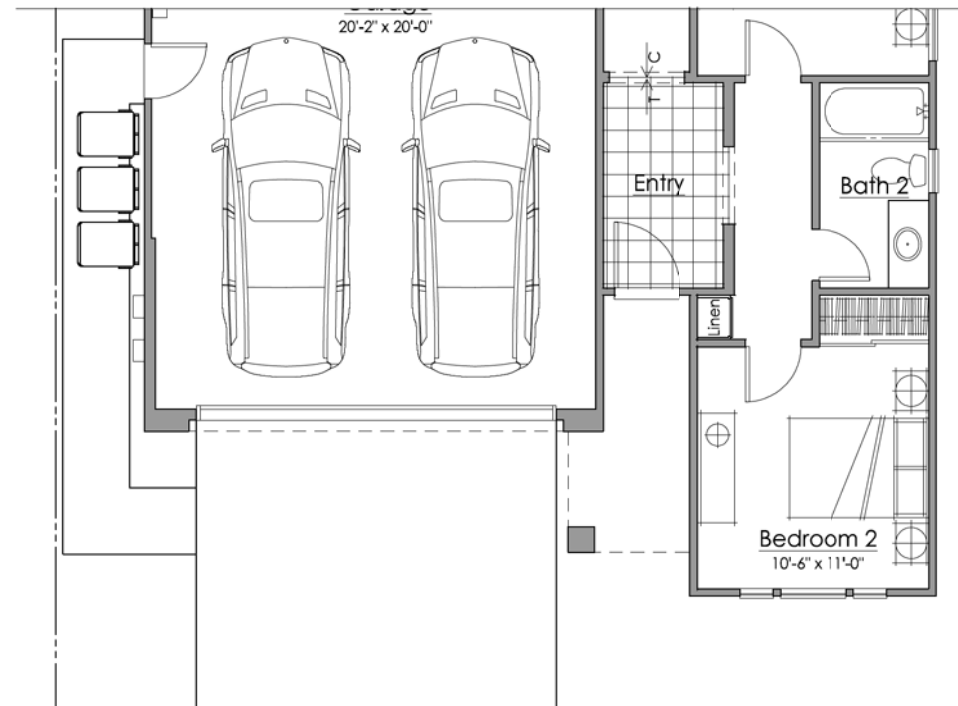




PLAN 1D ADDENDA

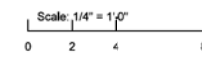


PLAN 1C ADDENDA



PLAN 1B ADDENDA

SCHMATIC DESIGN
08-31-2017



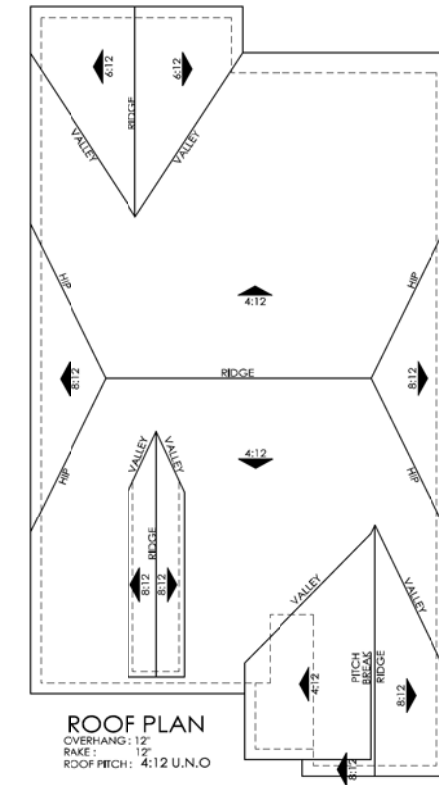
PLAN 1 FLOOR PLAN ADDENDA

A1.1



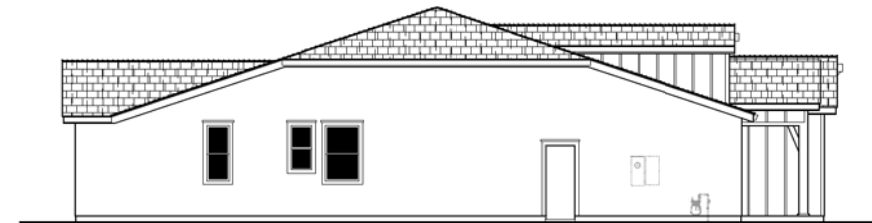
FRONT ELEVATION '1A'
URBAN FARMHOUSE

Scale: 1/4" = 1'-0"
0 2 4 8



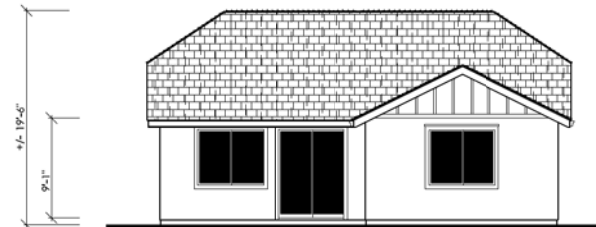
ROOF PLAN
OVERHANG: 12"
RAKE: 12"
ROOF PITCH: 4:12 U.N.O.

Scale: 1/8" = 1'-0"
0 4 8 16



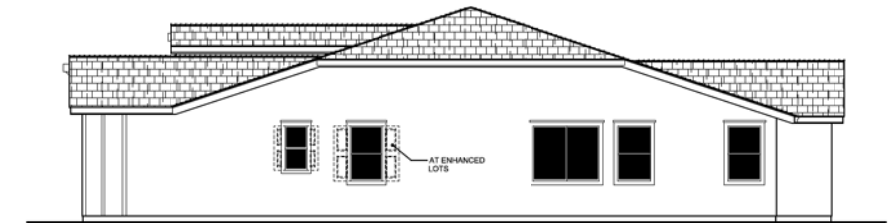
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



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#2017-0280

SCHEMATIC DESIGN
08-31-2017

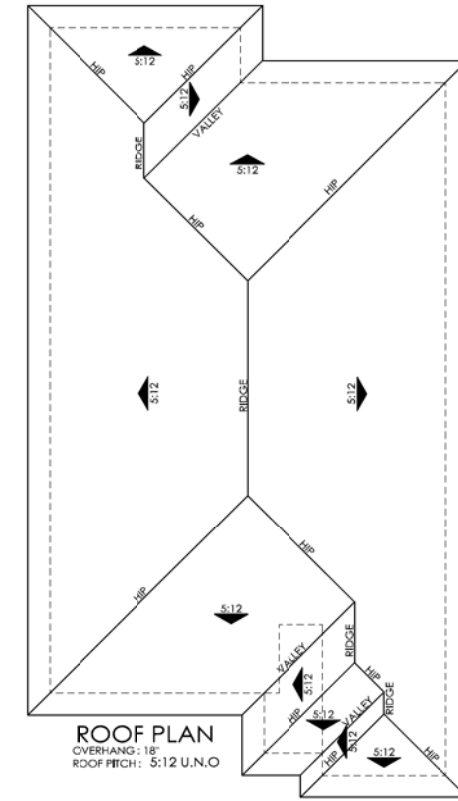
Scale: 1/4" = 1'-0"
0 2 4 8

ELEVATION 1A



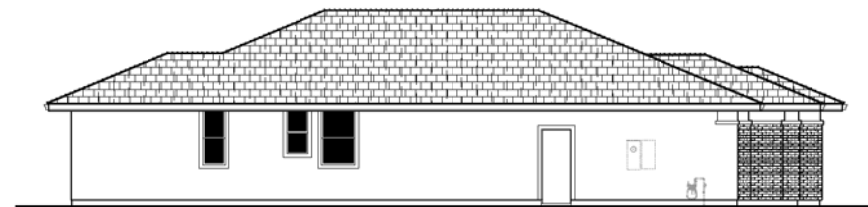
FRONT ELEVATION '1B'
MODERN PRAIRIE

Scale: 1/4" = 1'-0"
0 2 4 8



ROOF PLAN
OVERHANG: 18"
ROOF PITCH: 5:12 U.N.O.

Scale: 1/8" = 1'-0"
0 4 8 16



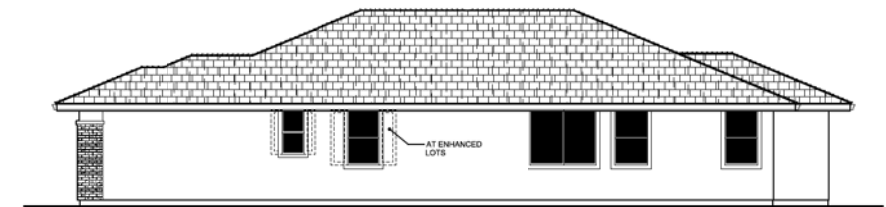
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



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Scale: 1/4" = 1'-0"
0 2 4 8

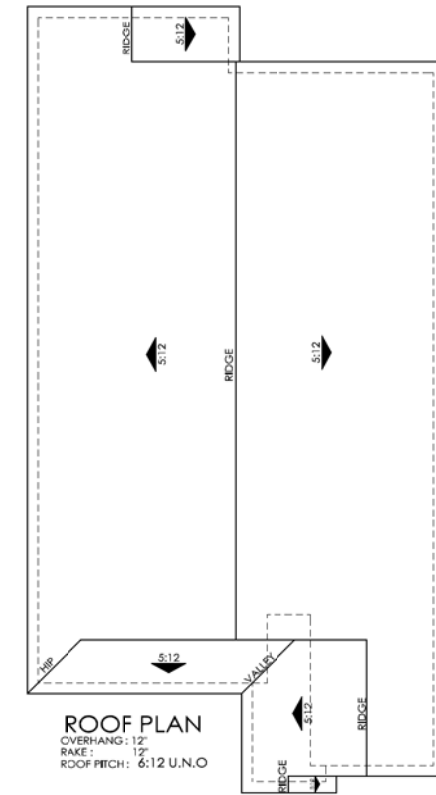
ELEVATION 1B

A1.



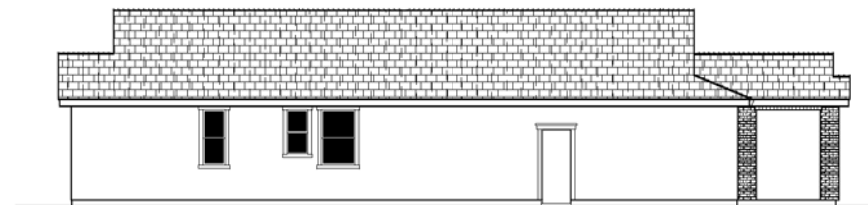
FRONT ELEVATION '1C'
CALIFORNIA COTTAGE

Scale: 1/4" = 1'-0"
0 2 4 8



ROOF PLAN
OVERHANG: 12"
RAKE: 12"
ROOF PITCH: 6:12 U.N.O

Scale: 1/8" = 1'-0"
0 4 8 16



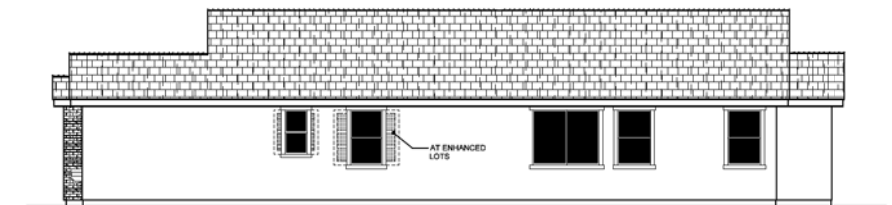
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



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SCHEMATIC DESIGN
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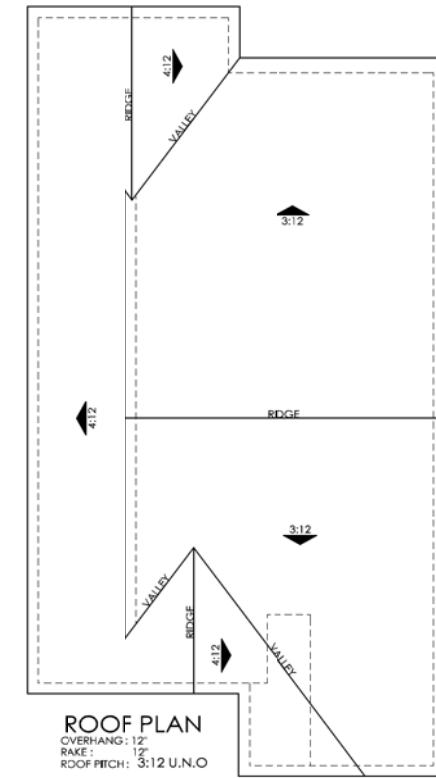
Scale: 1/4" = 1'-0"
0 2 4 8

ELEVATION 1C



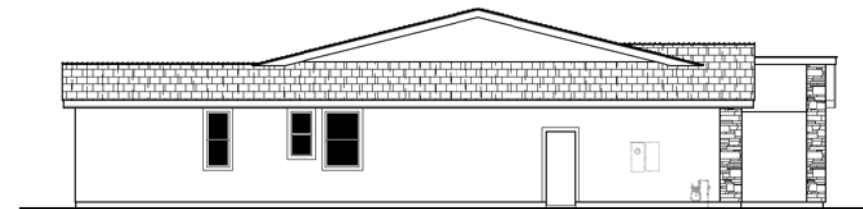
FRONT ELEVATION '1D'
CONTEMPORARY

Scale: 1/4" = 1'-0"
0 2 4 8



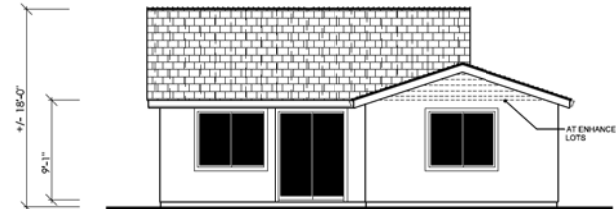
ROOF PLAN
OVERHANG: 12"
RAKE: 12"
ROOF PITCH: 3:12 U.N.O

Scale: 1/8" = 1'-0"
0 4 8 16



LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



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SCHEMATIC DESIGN
09-12-2017

Scale: 1/4" = 1'-0"
0 2 4 8

ELEVATION 1D



FRONT ELEVATION '1XB'
MODERN PRAIRIE

FRONT ELEVATION '1XA'
URBAN FARMHOUSE



FRONT ELEVATION '1XC'
CALIFORNIA COTTAGE

FRONT ELEVATION '1XD'
CONTEMPORARY



1XB MODERN PRAIRIE
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Brick Veneer
 Enhanced Sills
 1x Stucco Finish Trim



FRONT ELEVATION '1XB'
 MODERN PRAIRIE

1XA URBAN FARMHOUSE
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Board and Batt Siding
 Enhanced Sills
 1x Stucco Finish Trim



FRONT ELEVATION '1XA'
 URBAN FARMHOUSE

1XC CALIFORNIA COTTAGE
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding
 Shutters
 Brick Veneer
 Enhanced Sills
 1x Stucco Finish Trim



FRONT ELEVATION '1XC'
 CALIFORNIA COTTAGE

1XD CONTEMPORARY
 Material Legend:
 Flat Concrete Tile Roofing
 Stucco Finish
 Cementitious Siding
 Stone Veneer
 Enhanced Sills
 1x Stucco Finish Trim



FRONT ELEVATION '1XD'
 CONTEMPORARY



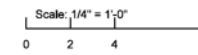
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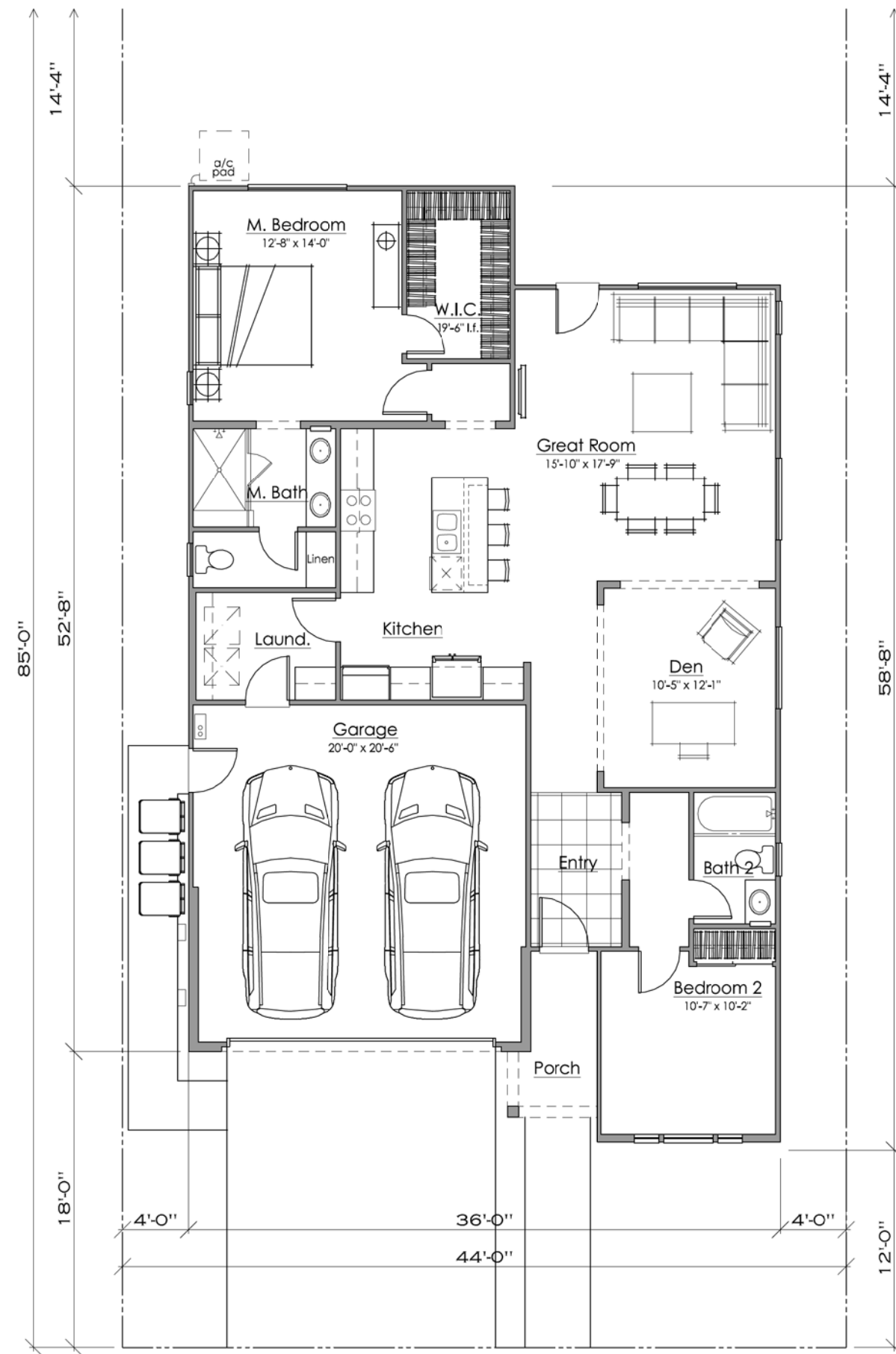
SCHEMATIC DESIGN
11-28-2017

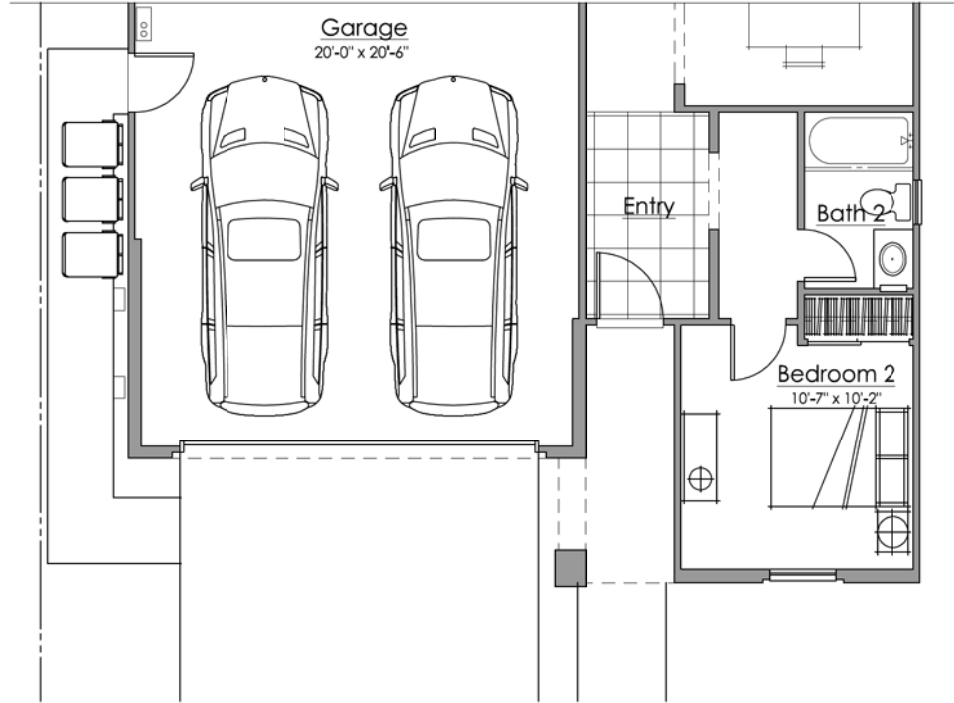


2 Bedroom + Den
2 Bathroom
1,402 Sq. Ft.

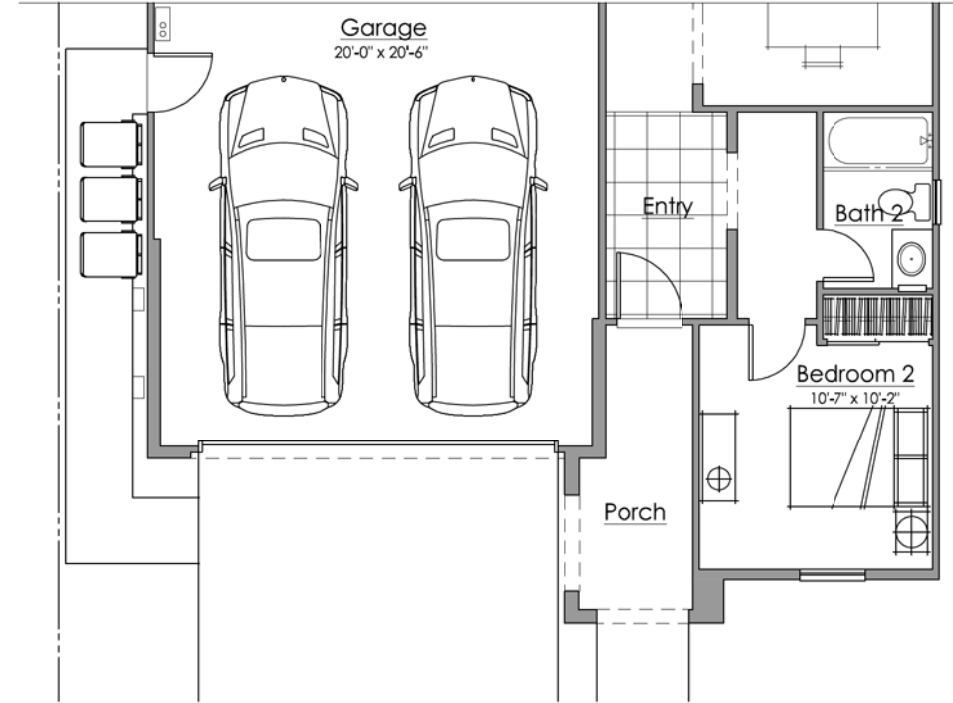
PLAN 1X
FLOOR PLAN

A1X.

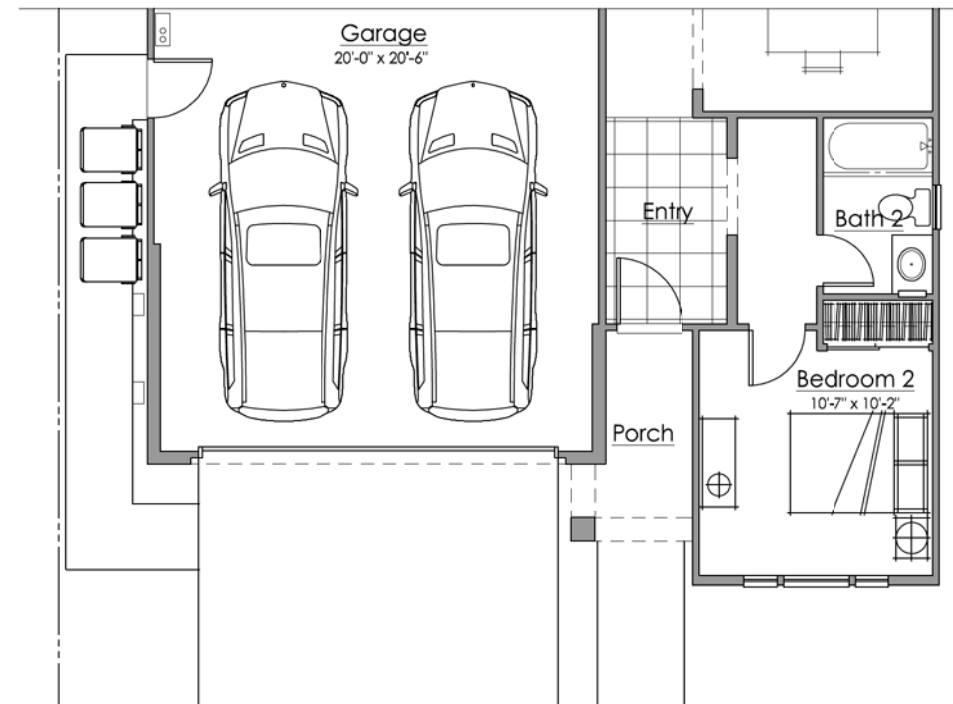




PLAN 1XD ADDENDA

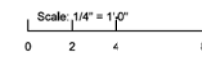


PLAN 1XC ADDENDA



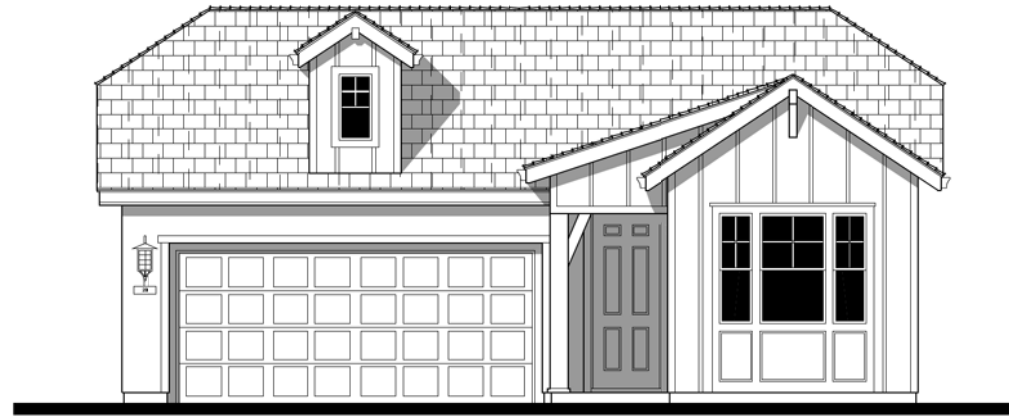
PLAN 1XB ADDENDA

SCHMATIC DESIGN
11-23-2017



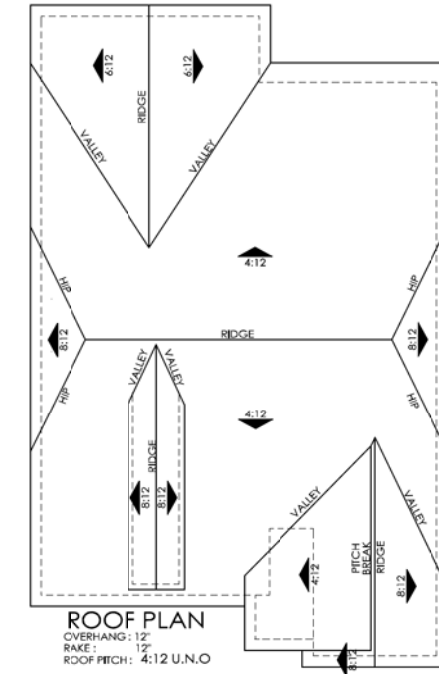
PLAN 1X FLOOR PLAN ADDENDA

A1X.1



FRONT ELEVATION '1XA'
URBAN FARMHOUSE

Scale: 1/4" = 1'-0"
0 2 4 8



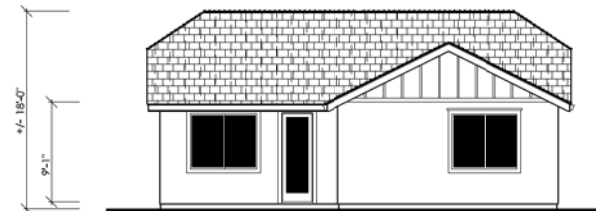
ROOF PLAN
OVERHANG: 12"
RAKE: 12"
ROOF PITCH: 4:12 U.N.O.

Scale: 1/8" = 1'-0"
0 4 8 16



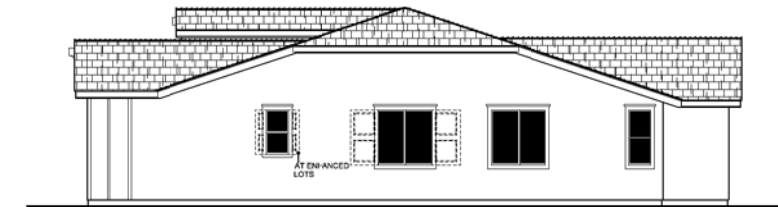
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



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11-28-2017

Scale: 1/4" = 1'-0"
0 2 4 8

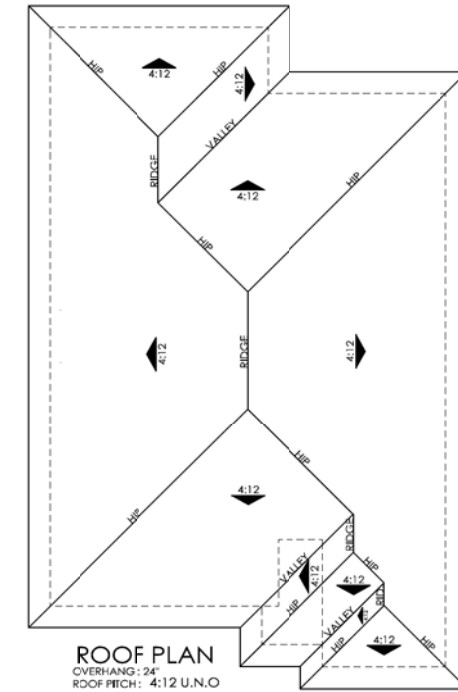
ELEVATION 1XA

A1X



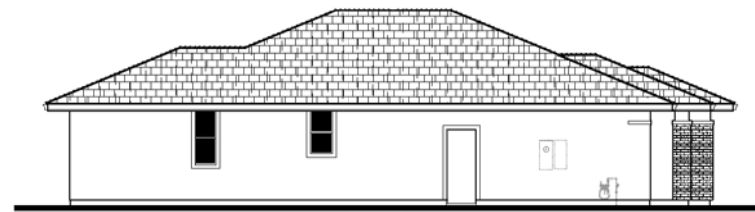
FRONT ELEVATION '1XB'
MODERN PRAIRIE

Scale: 1/4" = 1'-0"
0 2 4 8



ROOF PLAN
OVERHANG: 24"
ROOF PITCH: 4:12 U.N.O

Scale: 1/8" = 1'-0"
0 4 8 16



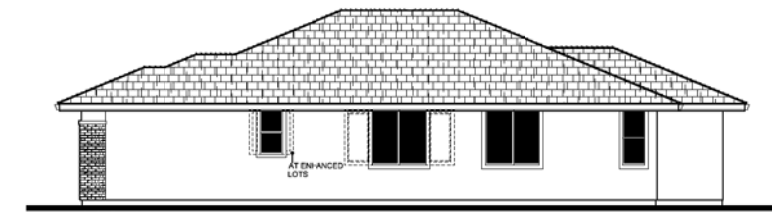
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



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SCHEMATIC DESIGN
11-28-2017

Scale: 1/4" = 1'-0"
0 2 4 8

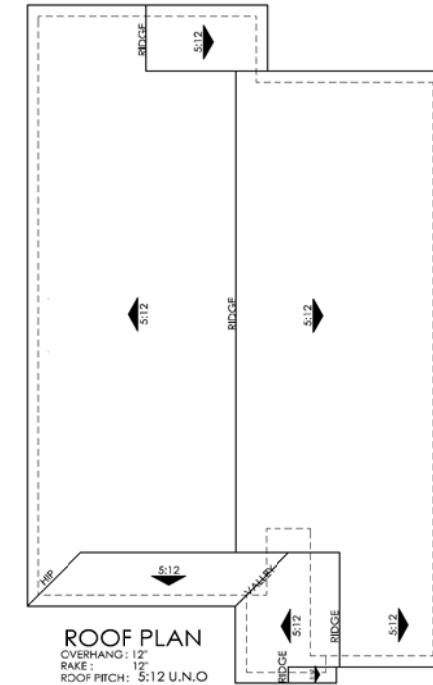
ELEVATION 1XB

A1X



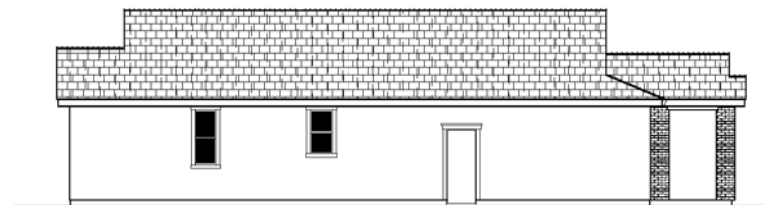
FRONT ELEVATION '1XC'
CALIFORNIA COTTAGE

Scale: 1/4" = 1'-0"
0 2 4 8



ROOF PLAN
OVERHANG: 12"
RAKE: 12"
ROOF PITCH: 5:12 U.N.O.

Scale: 1/8" = 1'-0"
0 4 8 16



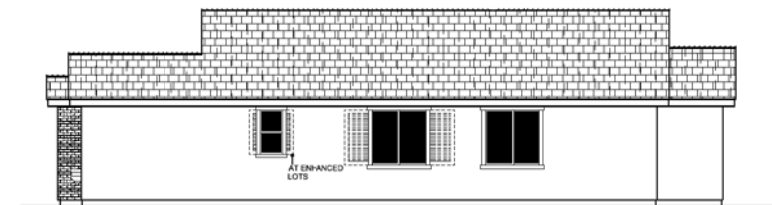
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



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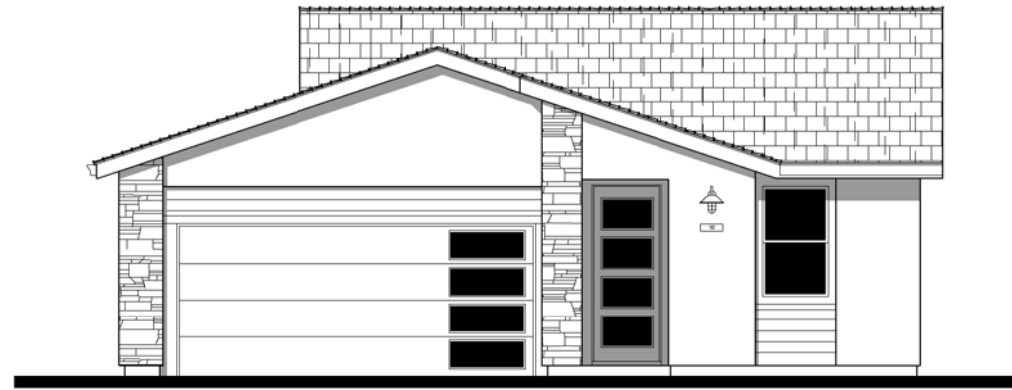
#2017-0280

SCHEMATIC DESIGN
11-28-2017

Scale: 1/4" = 1'-0"
0 2 4 8

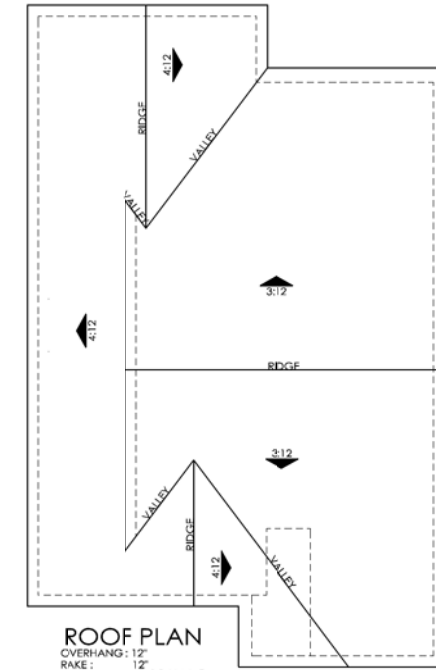
ELEVATION 1XC

A1X



FRONT ELEVATION '1XD'
CONTEMPORARY

Scale: 1/4" = 1'-0"
0 2 4 8



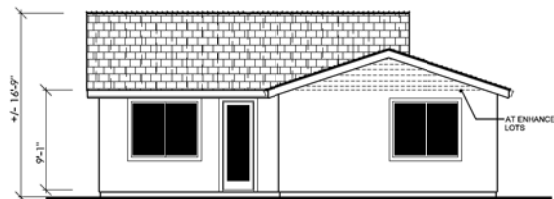
ROOF PLAN
OVERHANG: 12"
RAKE: 12"
ROOF PITCH: 3:12 U.N.O.

Scale: 1/8" = 1'-0"
0 4 8 16



LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

+1'-10 1/2"

Scale: 1/8" = 1'-0"
0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



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#2017-0280

SCHEMATIC DESIGN
11-28-2017

Scale: 1/4" = 1'-0"
0 2 4 8

ELEVATION 1XD

A1X



FRONT ELEVATION '2C'
CALIFORNIA COTTAGE

FRONT ELEVATION '2B'
MODERN PRAIRIE

FRONT ELEVATION '2A'
URBAN FARMHOUSE



**FRONT ELEVATION '2C'
CALIFORNIA COTTAGE**

2C CALIFORNIA COTTAGE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding
Shutters
Brick Veneer
Enhanced Sills
1x Stucco Finish Trim



**FRONT ELEVATION '2B'
MODERN PRAIRIE**

2B MODERN PRAIRIE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Brick Veneer
Enhanced Sills
1x Stucco Finish Trim



**FRONT ELEVATION '2A'
URBAN FARMHOUSE**

2A URBAN FARMHOUSE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Board and Batt Siding
Shutters
Enhanced Sills
1x Stucco Finish Trim





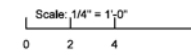
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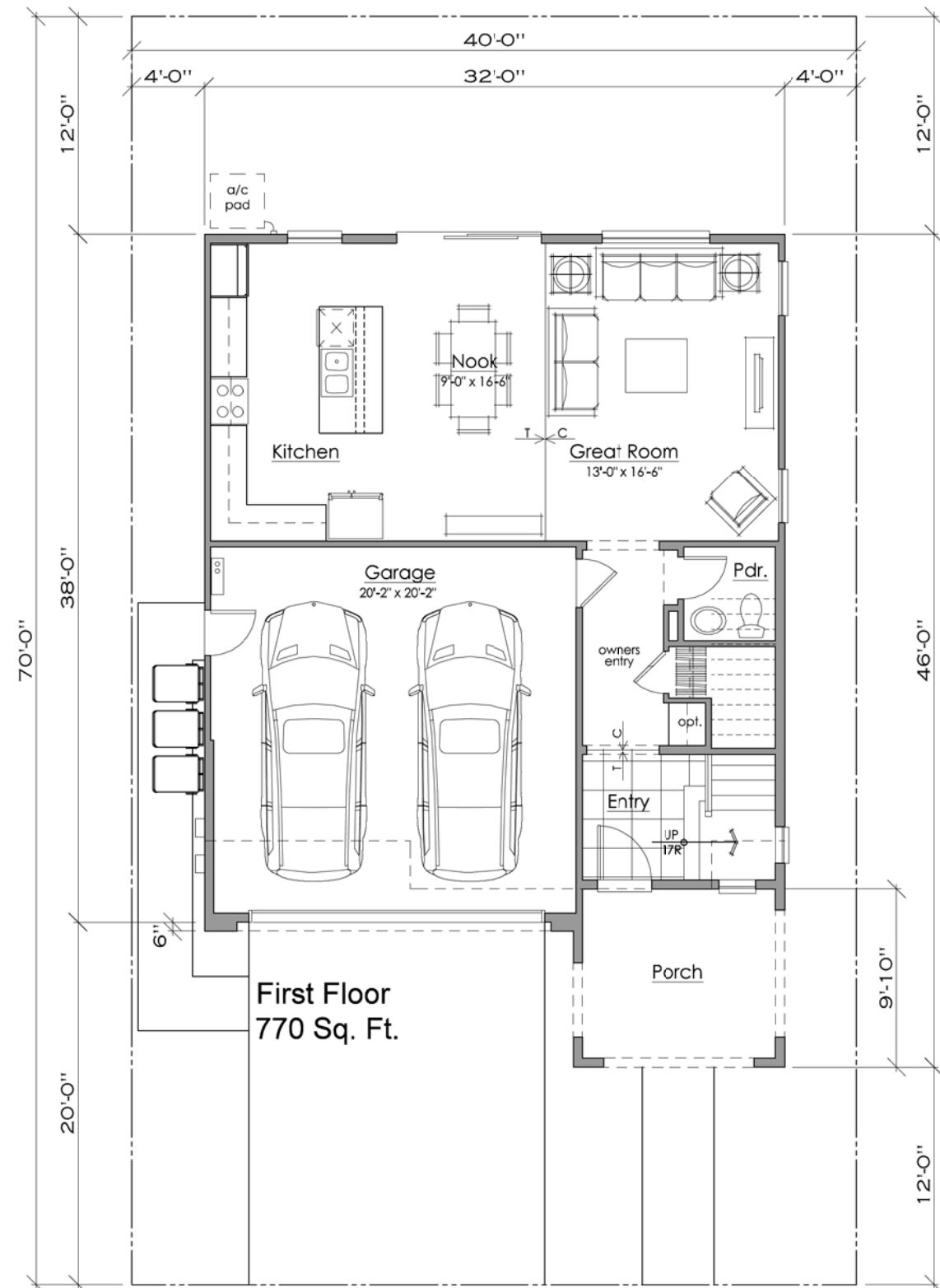
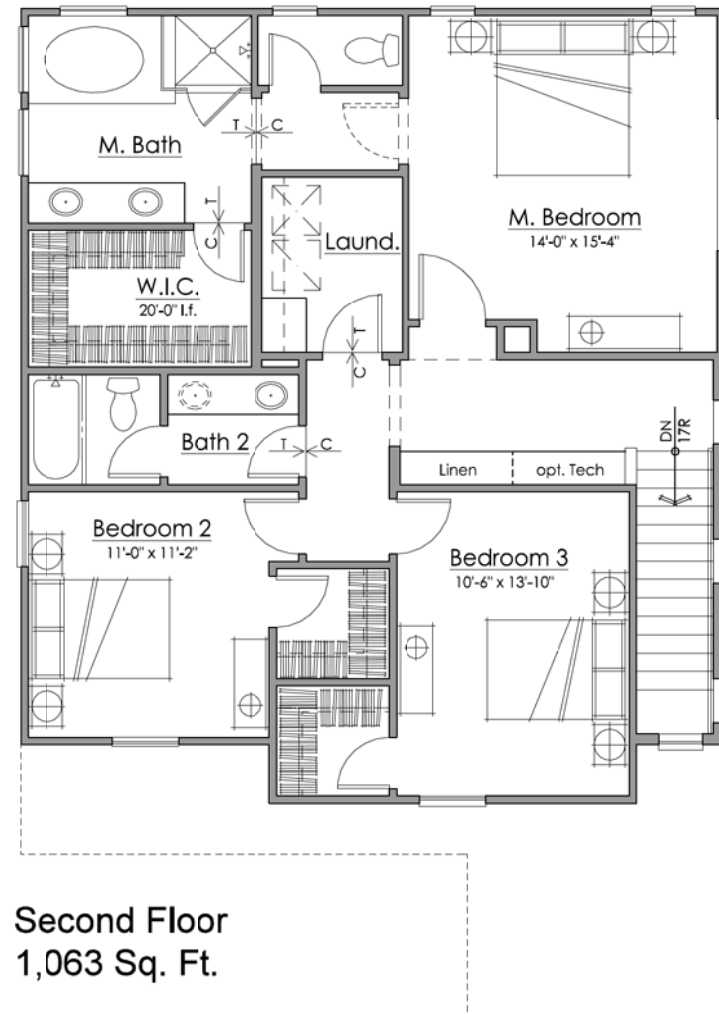
SCHEMATIC DESIGN
08-31-2017

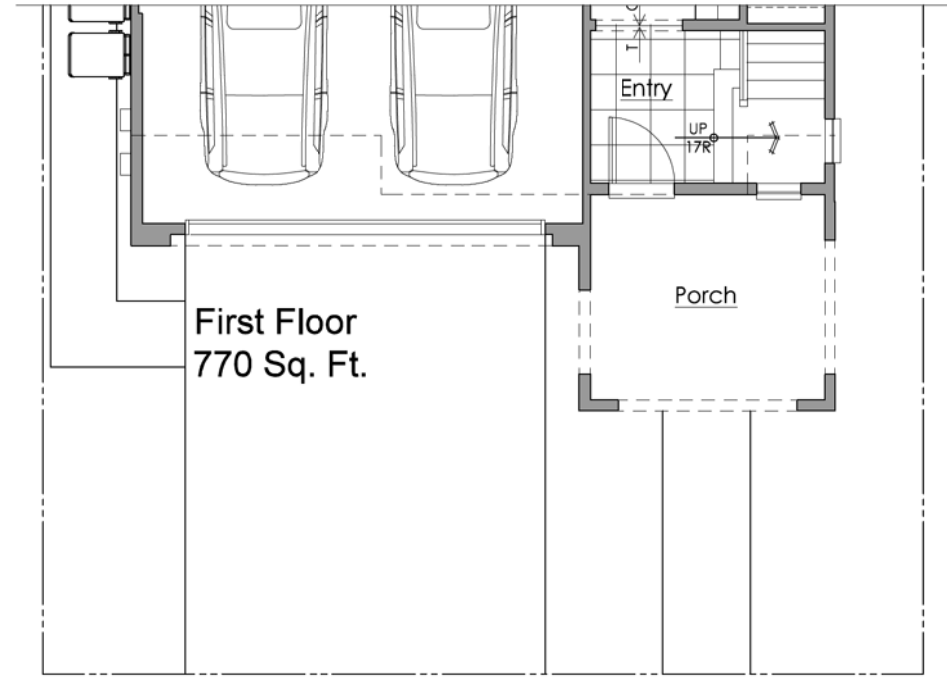
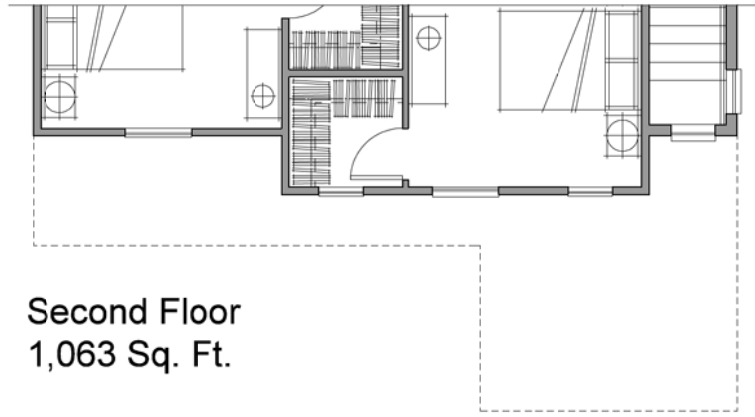


3 Bedroom
2.5 Bath
1,833 Sq. Ft.

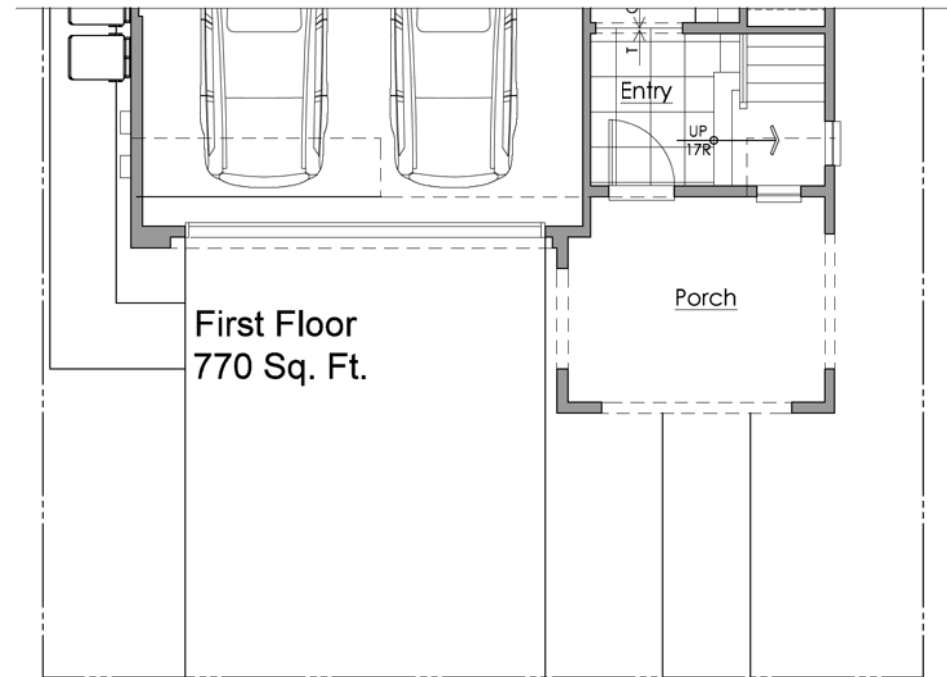
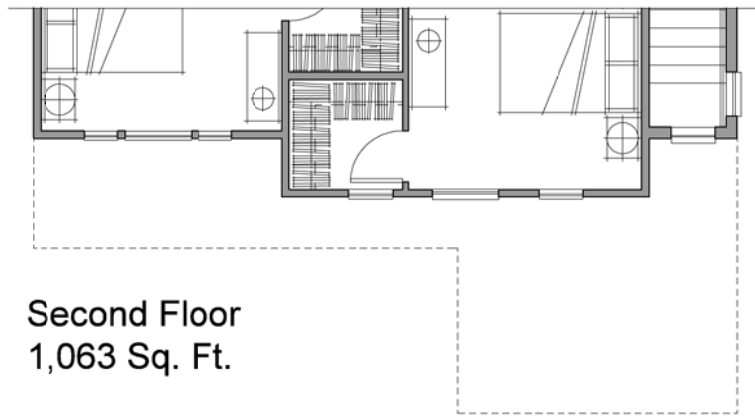
PLAN 2
FLOOR PLAN

A2.1





PLAN 2C ADDENDA

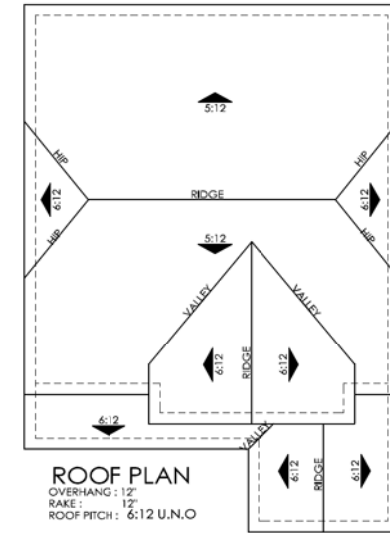


PLAN 2B ADDENDA



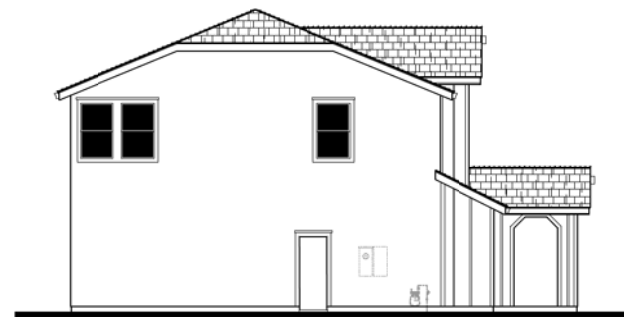
FRONT ELEVATION '2A'
URBAN FARMHOUSE

Scale: 1/4" = 1'-0"
0 2 4 8



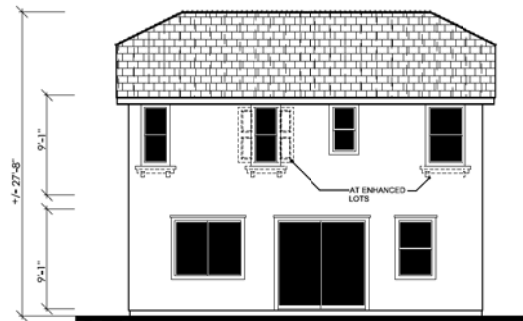
ROOF PLAN
OVERHANG: 12"
RAKE: 12"
ROOF PITCH: 6:12 U.N.O

Scale: 1/8" = 1'-0"
0 4 8 16



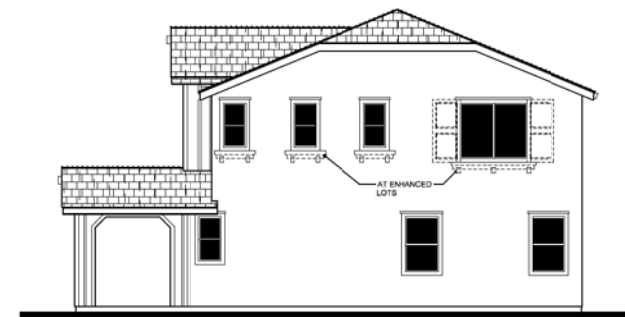
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



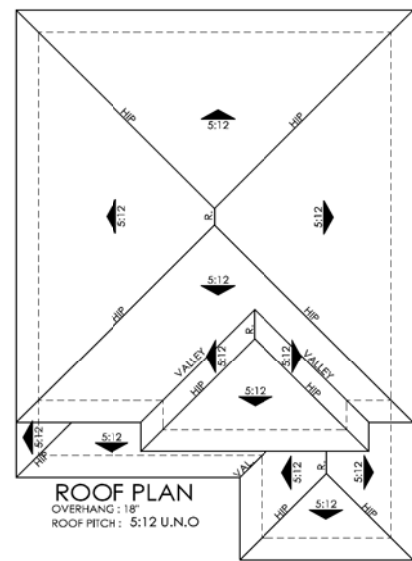
RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



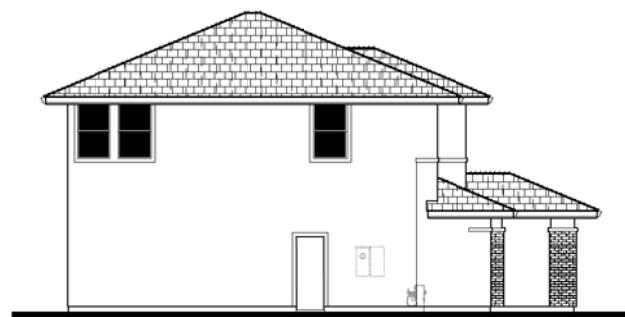
FRONT ELEVATION '2B'
MODERN PRAIRIE

Scale: 1/4" = 1'-0"
0 2 4 8



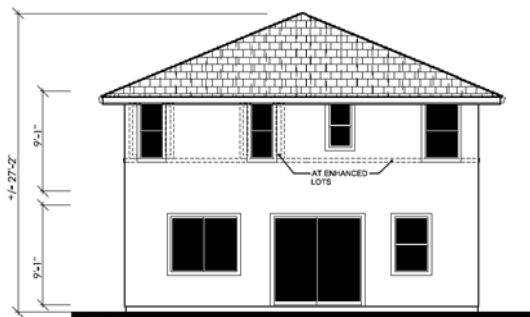
ROOF PLAN
OVERHANG: 18"
ROOF PITCH: 5:12 U.N.O.

Scale: 1/8" = 1'-0"
0 4 8 16



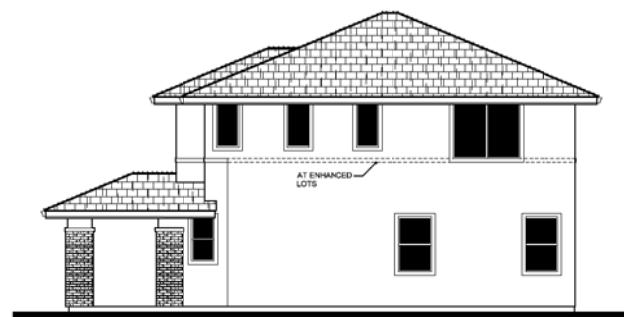
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



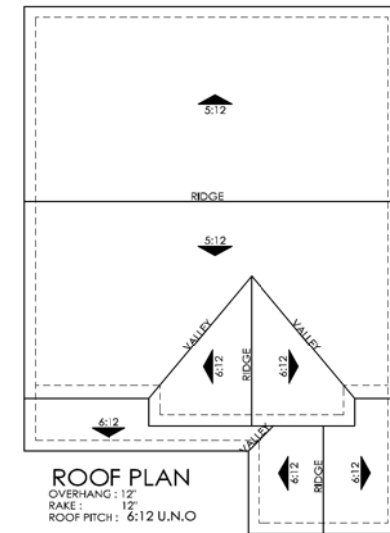
RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



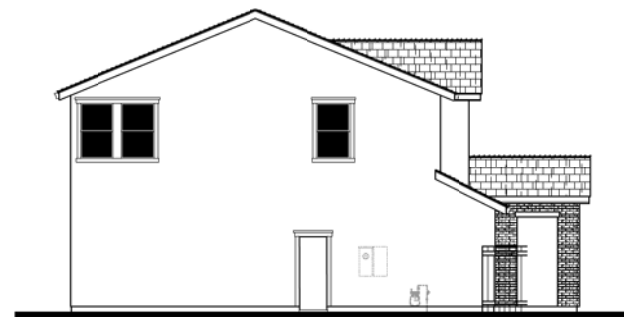
FRONT ELEVATION '2C'
CALIFORNIA COTTAGE

Scale: 1/4" = 1'-0"
0 2 4 8



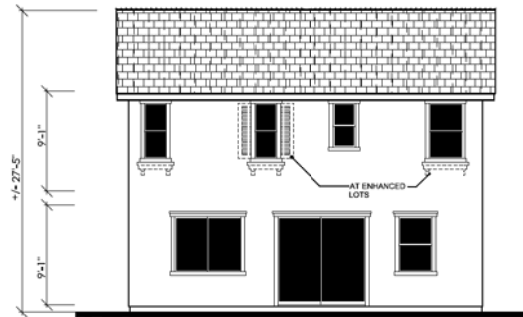
ROOF PLAN
OVER-HANG: 12"
RAKE: 12"
ROOF PITCH: 6:12 U.N.O.

Scale: 1/8" = 1'-0"
0 4 8 16



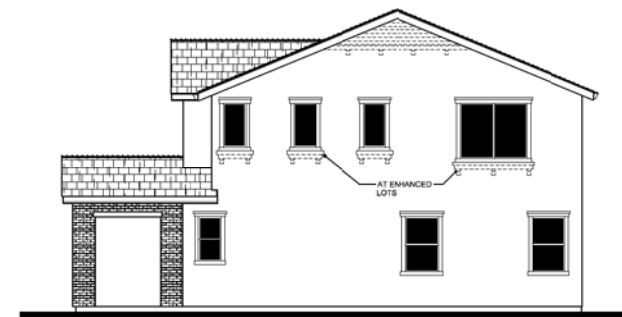
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



FRONT ELEVATION '3D'
CONTEMPORARY

FRONT ELEVATION '3B'
MODERN PRAIRIE

FRONT ELEVATION '3A'
URBAN FARMHOUSE



**FRONT ELEVATION '3D'
CONTEMPORARY**

3D CONTEMPORARY
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding
Stone Veneer
Enhanced Sills
1x Stucco Finish Trim

**FRONT ELEVATION '3B'
MODERN PRAIRIE**

3B MODERN PRAIRIE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Brick Veneer
Enhanced Sills
1x Stucco Finish Trim

**FRONT ELEVATION '3A'
URBAN FARMHOUSE**

3A URBAN FARMHOUSE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Board and Batt Siding
Shutters
Enhanced Sills
1x Stucco Finish Trim





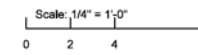
Architecture + Planning
888.456.5849
ktgy.com



DURANGO
ROCKLIN, CALIFORNIA

#2017-0280

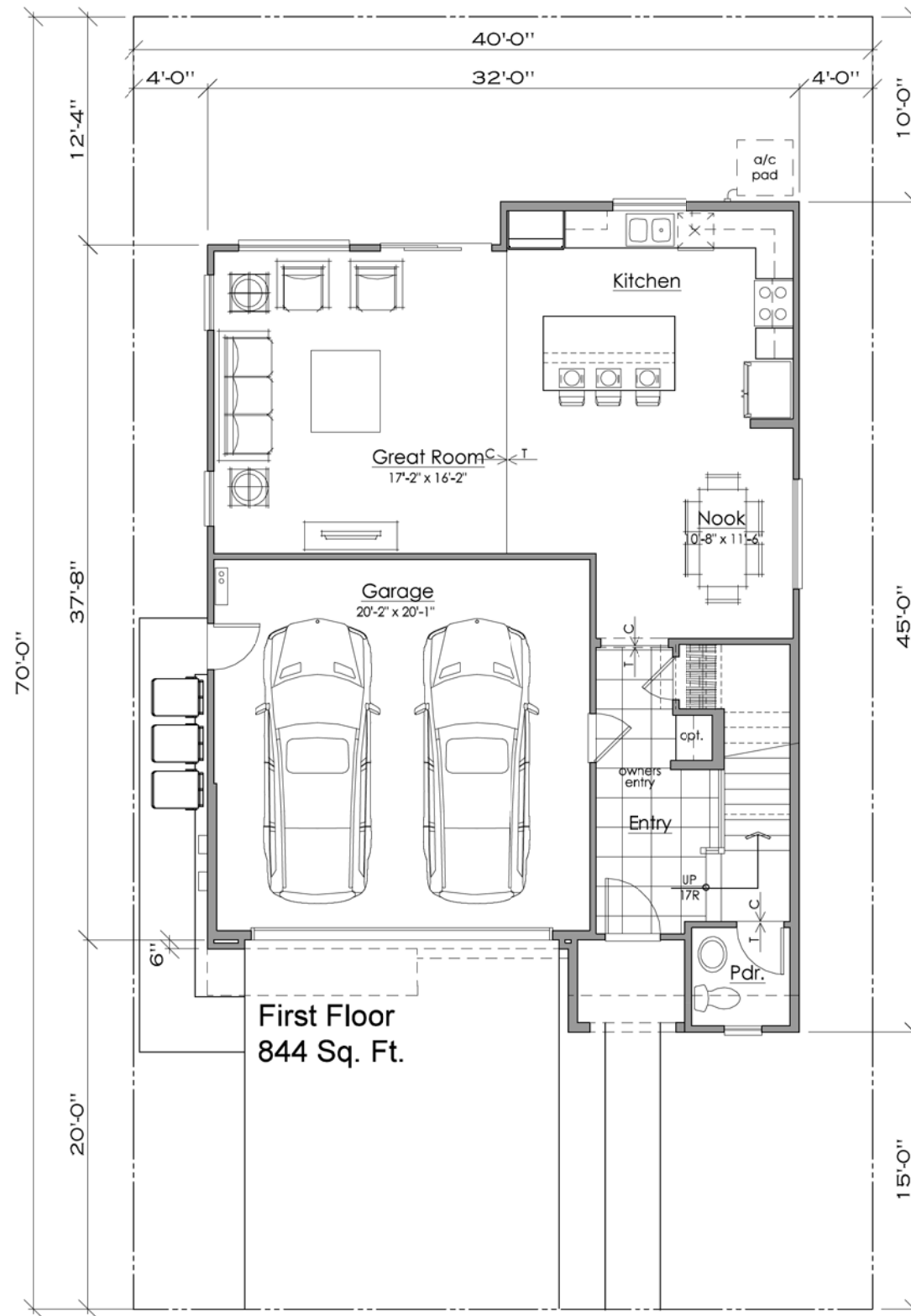
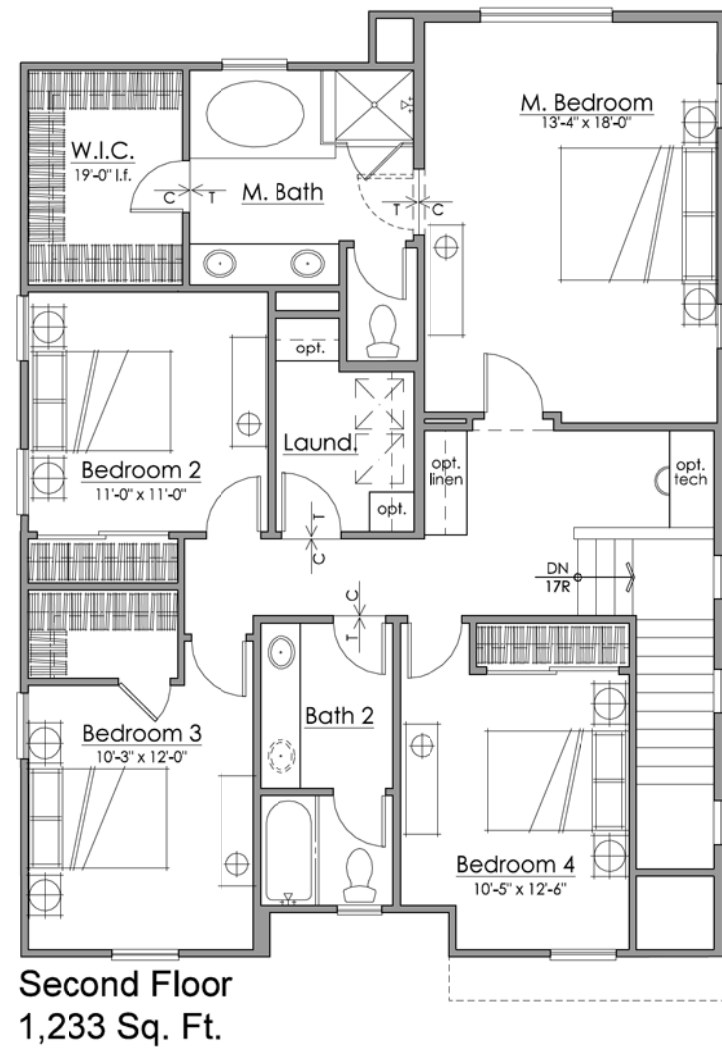
SCHEMATIC DESIGN
08-31-2017

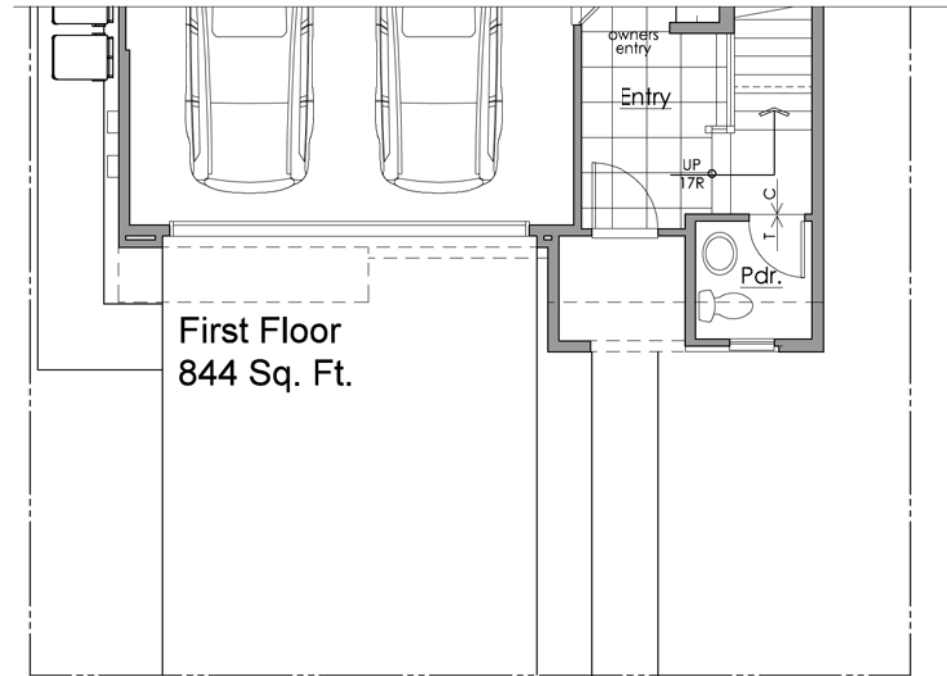
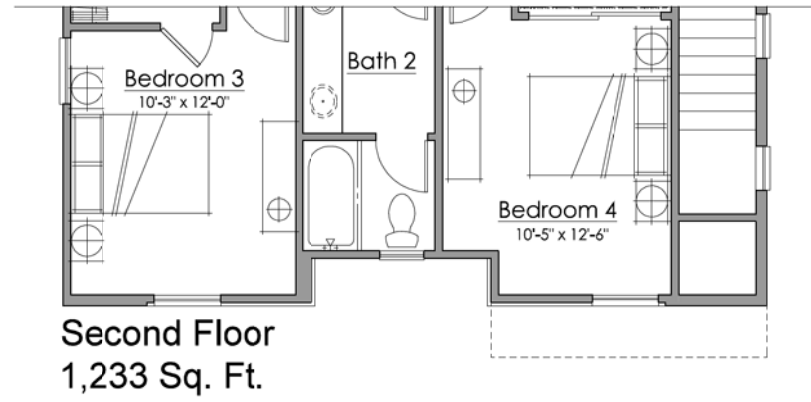


4 Bedroom
2.5 Bath
2,077 Sq. Ft.

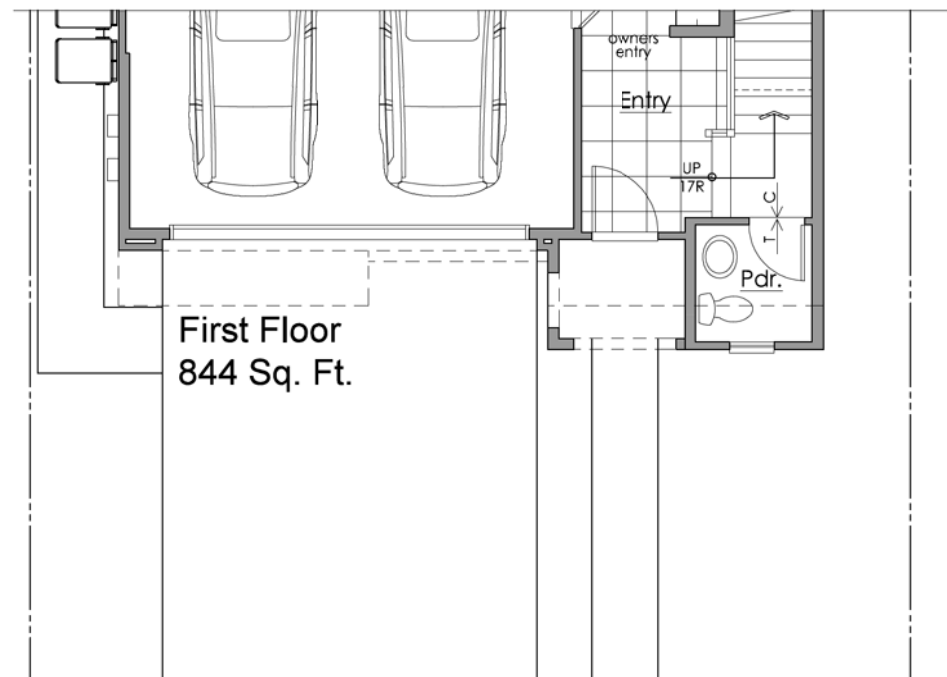
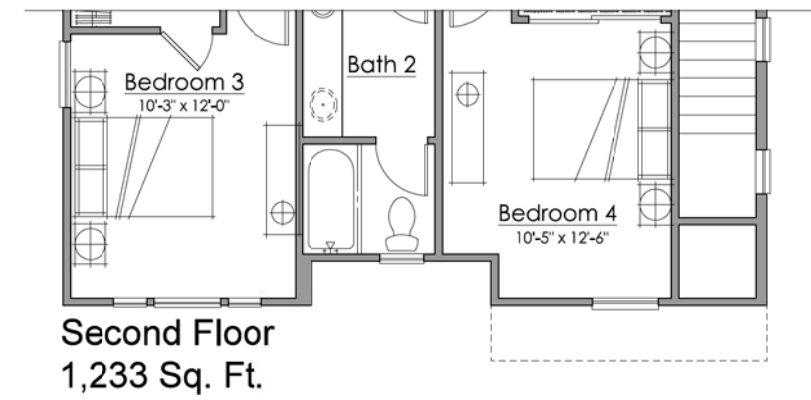
PLAN 3
FLOOR PLAN

A3.1





PLAN 3D ADDENDA

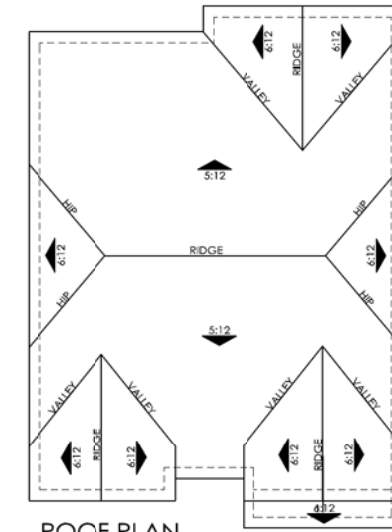


PLAN 3B ADDENDA



FRONT ELEVATION '3A'
URBAN FARMHOUSE

Scale: 1/4" = 1'-0"
0 2 4 8



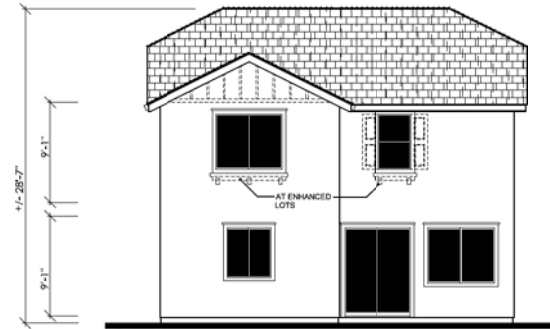
ROOF PLAN
OVERHANG: 12"
RAKE: 12"
ROOF PITCH: 6:12 U.N.O

Scale: 1/8" = 1'-0"
0 4 8 16



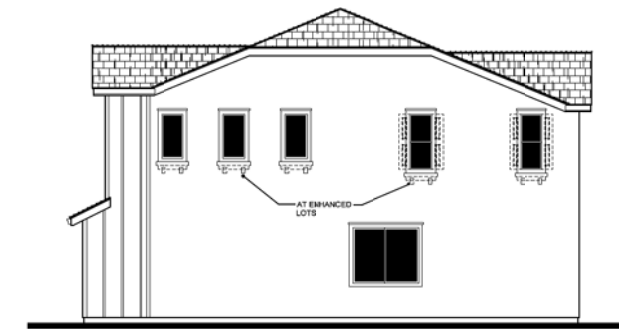
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



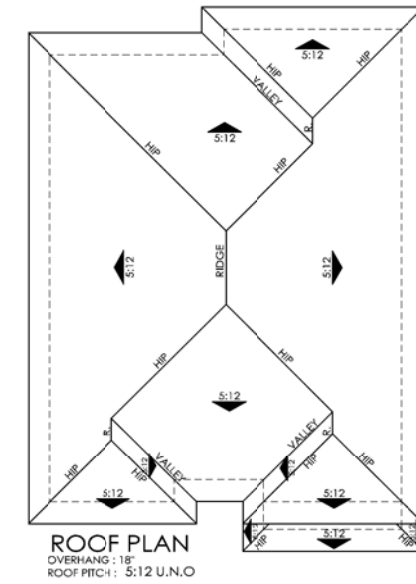
RIGHT

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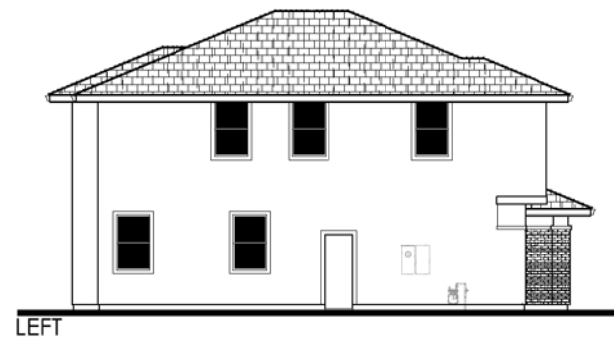


FRONT ELEVATION '3B'
MODERN PRAIRIE

Scale: 1/4" = 1'-0"
0 2 4 8

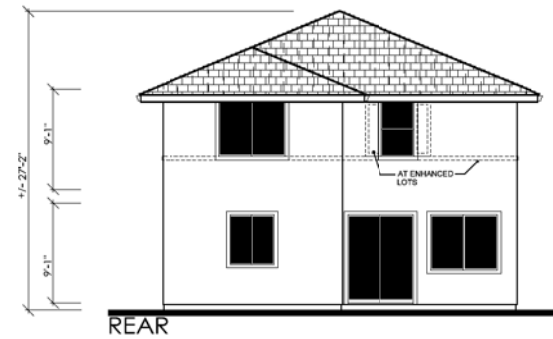


Scale: 1/8" = 1'-0"
0 4 8 16



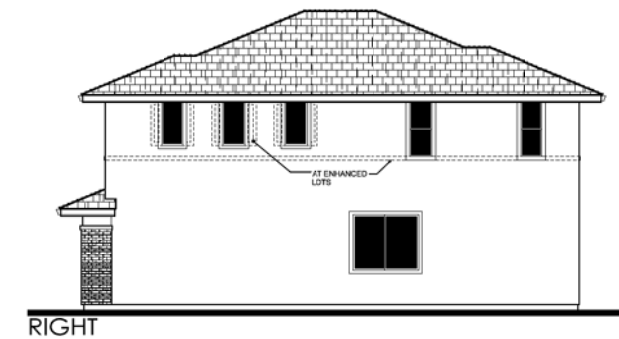
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



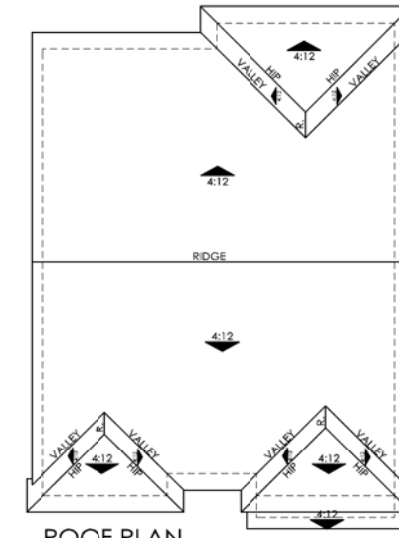
RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



FRONT ELEVATION '3D'
CONTEMPORARY

Scale: 1/4" = 1'-0"
0 2 4 8



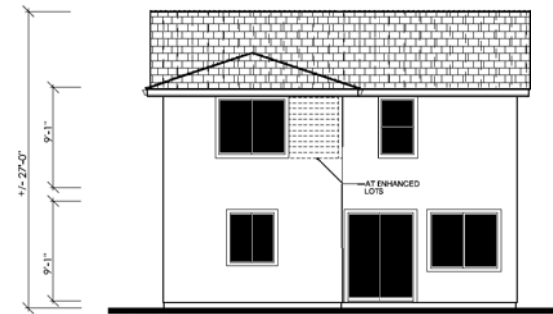
ROOF PLAN
OVERHANG: 18"
RAKE: 12"
ROOF PITCH: 4:12 U.N.O

Scale: 1/8" = 1'-0"
0 4 8 16



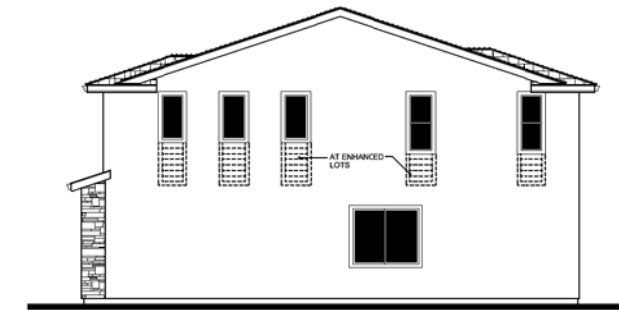
LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"
0 4 8 16



FRONT ELEVATION '4C'
CALIFORNIA COTTAGE

FRONT ELEVATION '4B'
MODERN PRAIRIE

FRONT ELEVATION '4A'
URBAN FARMHOUSE



**FRONT ELEVATION '4C'
CALIFORNIA COTTAGE**

4C CALIFORNIA COTTAGE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Siding
Shutters
Brick Veneer
Enhanced Sills
1x Stucco Finish Trim

**FRONT ELEVATION '4B'
MODERN PRAIRIE**

4B MODERN PRAIRIE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Brick Veneer
Enhanced Sills
1x Stucco Finish Trim

**FRONT ELEVATION '4A'
URBAN FARMHOUSE**

4A URBAN FARMHOUSE
Material Legend:
Flat Concrete Tile Roofing
Stucco Finish
Cementitious Board and Batt Siding
Shutters
Enhanced Sills
1x Stucco Finish Trim



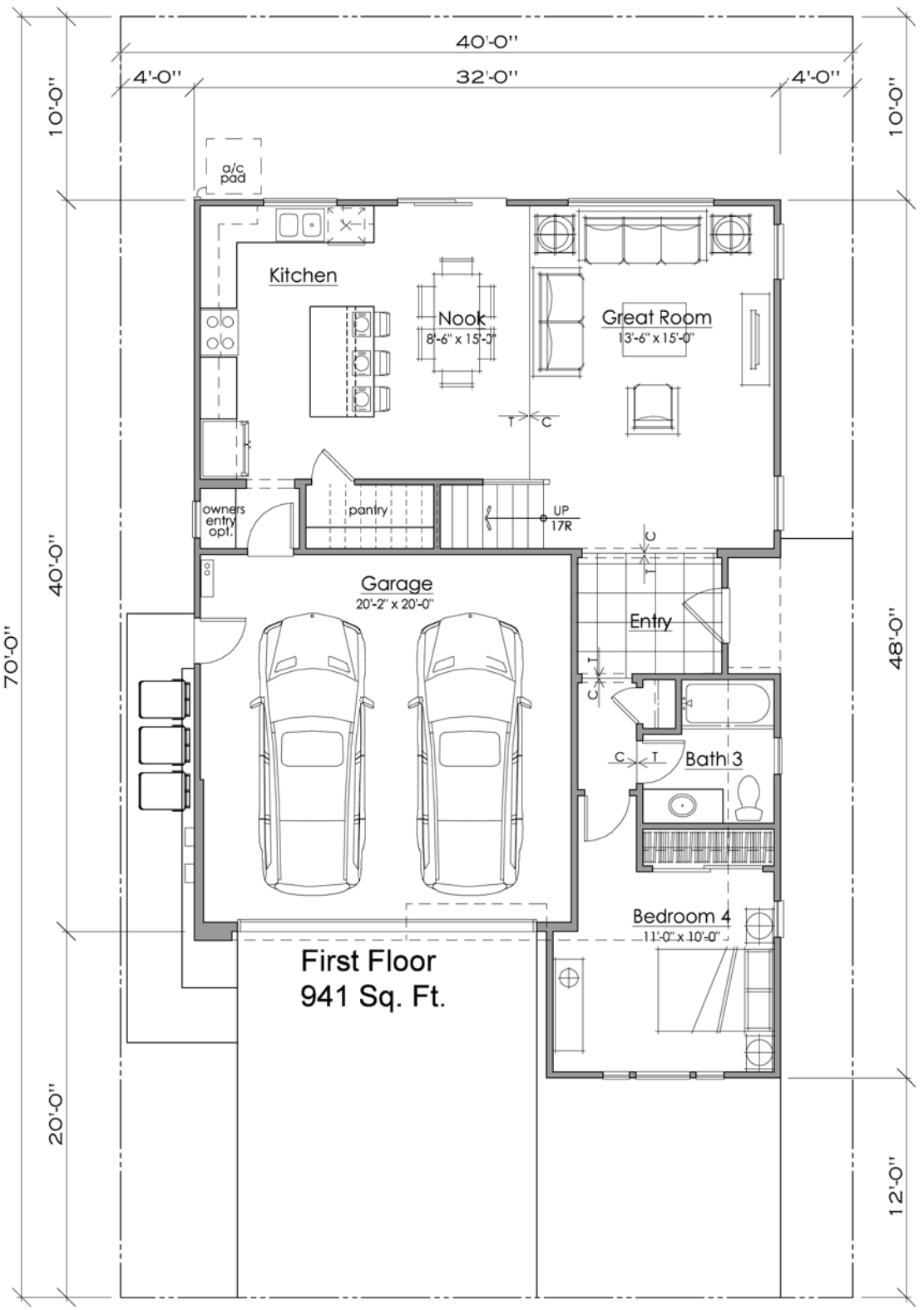
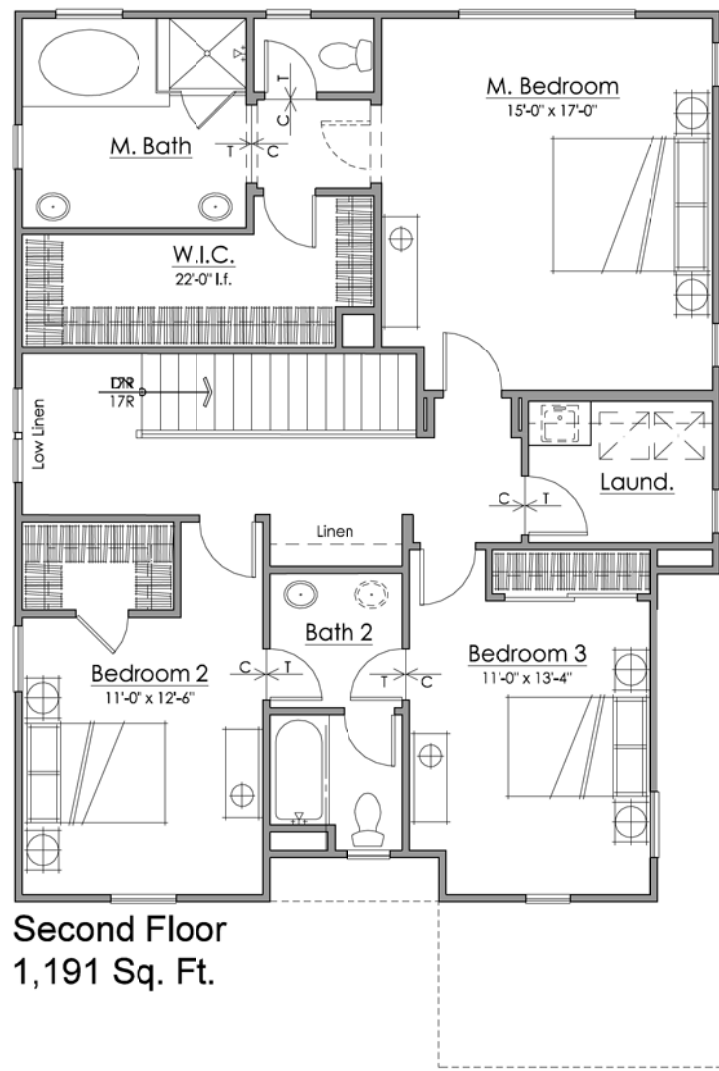
RIGHT ELEVATION '4B' - MODERN PRAIRIE

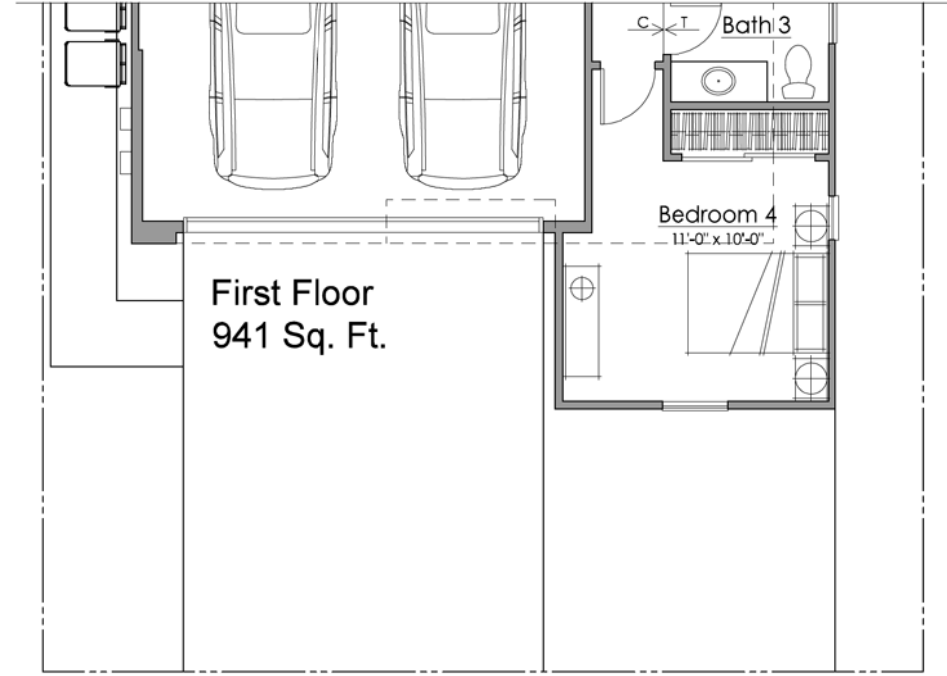
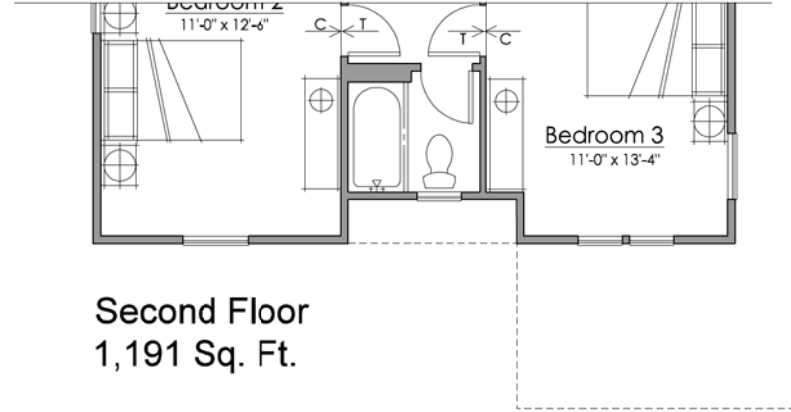


RIGHT ELEVATION '4A' - URBAN FARMHOUSE

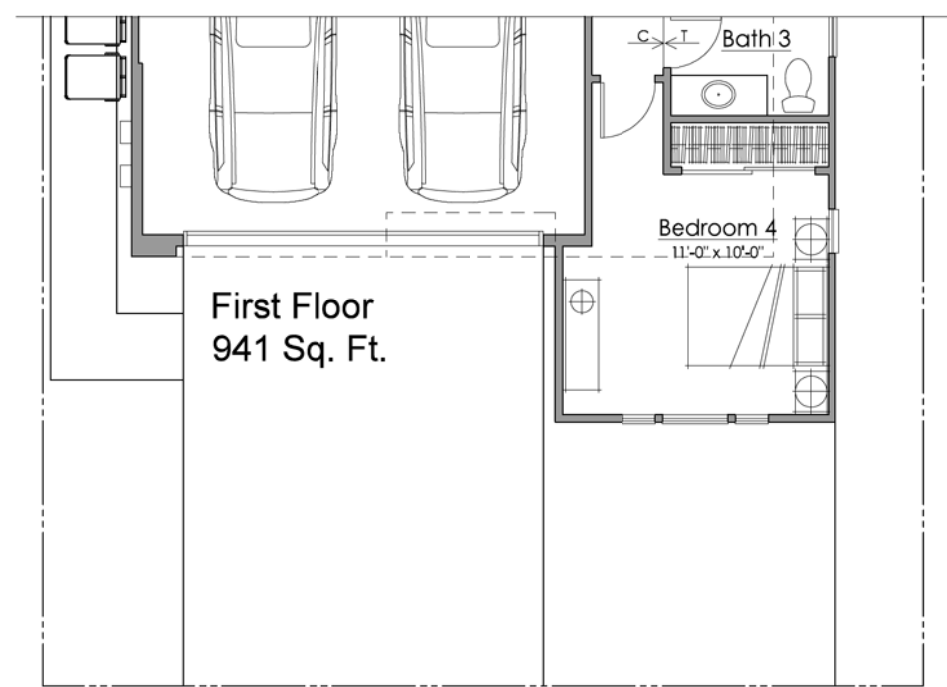
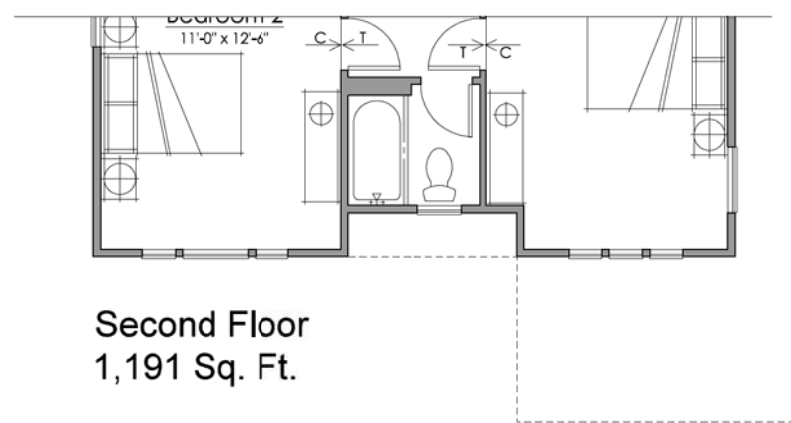


FRONT ELEVATION '4C' - CALIFORNIA COTTAGE





PLAN 4C ADDENDA

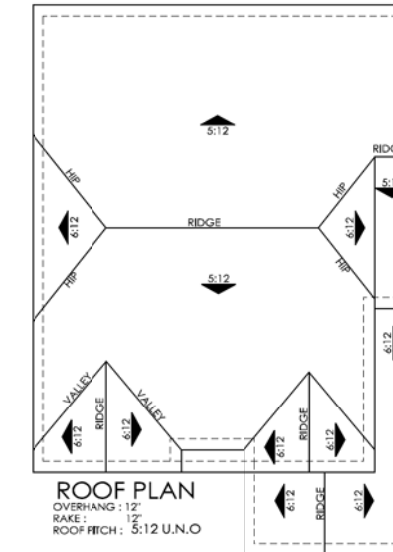


PLAN 4B ADDENDA



FRONT ELEVATION '4A'
URBAN FARMHOUSE

Scale: 1/4" = 1'-0"

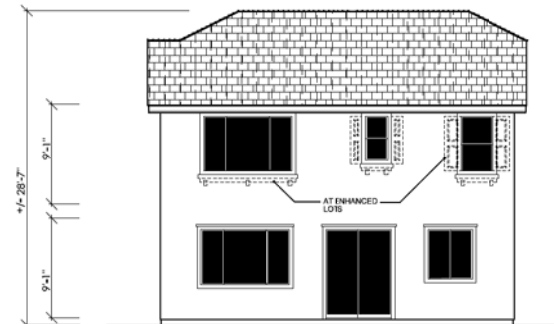


Scale: 1/8" = 1'-0"



LEFT

Scale: 1/8" = 1'-0"



REAR

Scale: 1/8" = 1'-0"



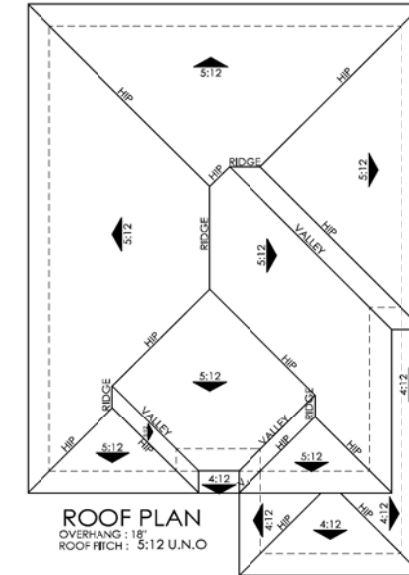
RIGHT ELEVATION '4A' - URBAN FARMHOUSE

Scale: 1/8" = 1'-0"

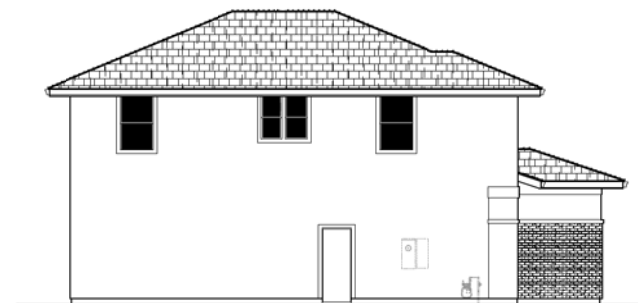


FRONT ELEVATION '4B'
MODERN PRAIRIE

Scale: 1/4" = 1'-0"
0 2 4 8

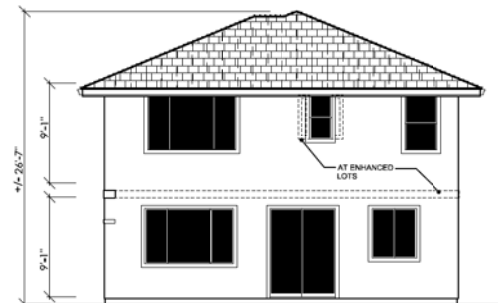


Scale: 1/8" = 1'-0"
0 4 8 16



LEFT

Scale: 1/8" = 1'-0"
0 4 8 16



REAR

Scale: 1/8" = 1'-0"
0 4 8 16



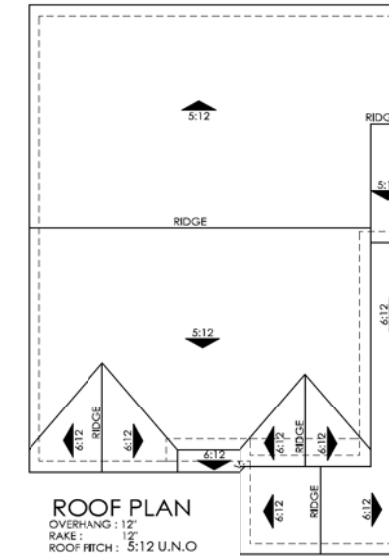
RIGHT ELEVATION '4B' - MODERN PRAIRIE

Scale: 1/8" = 1'-0"
0 4 8 16



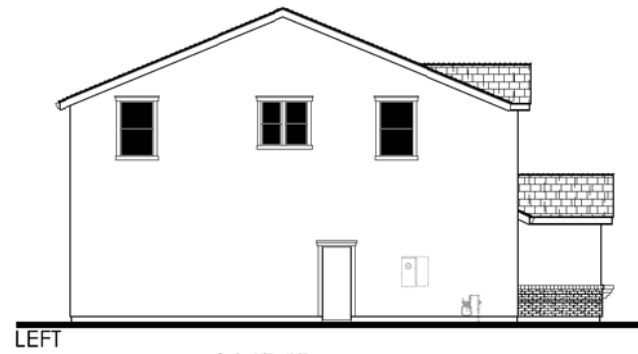
FRONT ELEVATION '4C'
CALIFORNIA COTTAGE

Scale: 1/4" = 1'-0"



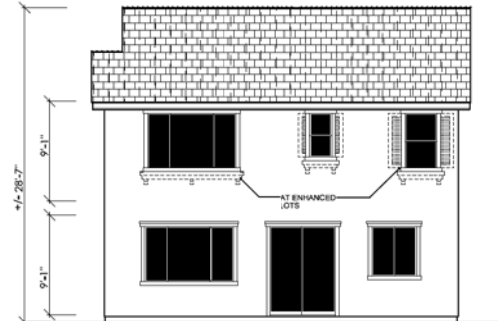
ROOF PLAN
OVERHANG: 12"
RAKE: 12"
ROOF PITCH: 5:12 U.N.O

Scale: 1/8" = 1'-0"



LEFT

Scale: 1/8" = 1'-0"



REAR

Scale: 1/8" = 1'-0"

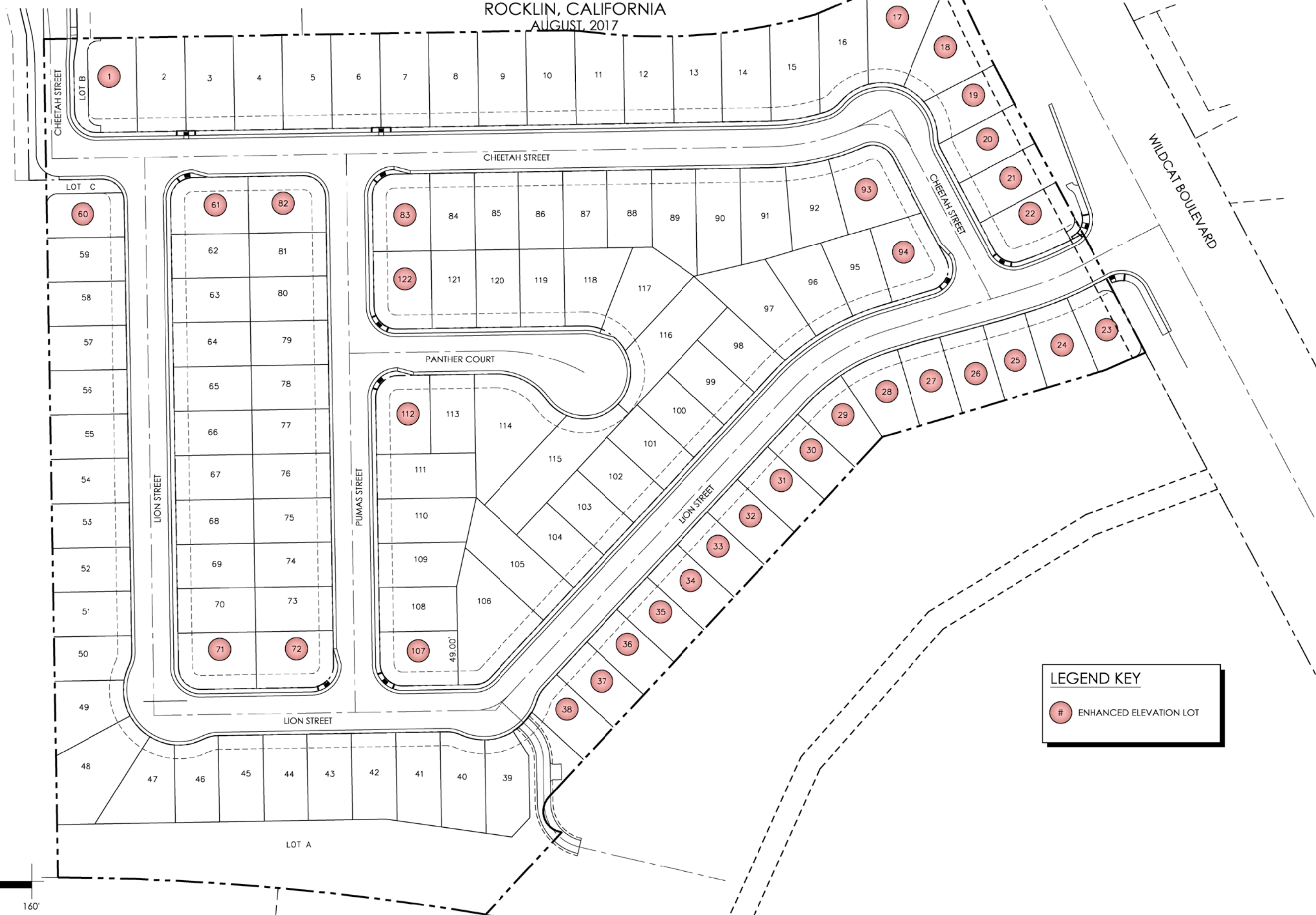


FRONT ELEVATION '4C' - CALIFORNIA COTTAGE

Scale: 1/8" = 1'-0"

SITE PLAN DURANGO SUBDIVISION - MERITAGE HOMES

ROCKLIN, CALIFORNIA
AUGUST, 2017



FRONTYARD TYPICAL LANDSCAPE EXHIBIT 2 OF 2

DURANGO SUBDIVISION - MERITAGE HOMES

ROCKLIN, CALIFORNIA
AUGUST, 2017
(REVISED OCTOBER, 2017)

PLANTING NOTES

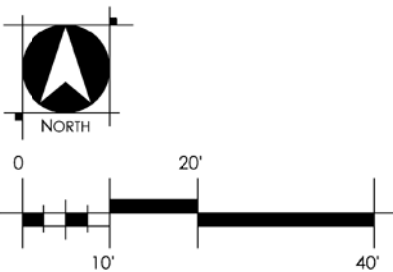
1. LANDSCAPE WILL UTILIZE LOW AND MEDIUM WATER USE PLANT MATERIAL.
2. ALL SHRUB AND GROUND COVER AREAS ARE TO RECEIVE A 3" LAYER OF BARK MULCH. MULCH TO BE MEDIUM SIZED WALK-ON-BARK.
3. PROPOSED TREE LOCATIONS ARE BASED ON STANDARD JOINT TRENCH LOCATIONS. TREE LOCATIONS SHOWN ARE INTENDED TO HELP DEFINE QUANTITY OF TREES TO BE INSTALLED ON EACH RESIDENTIAL LOT. ALL LOTS SHALL HAVE A MINIMUM OF ONE STREET TREE PER LOT. FINAL TREE LOCATIONS TO BE DETERMINED WHEN FINAL UTILITY LOCATIONS ARE PROVIDED. TREE PLACEMENT MAY BE ADJUSTED BUT THE TREE QUANTITIES PER LOT SHALL REMAIN AS SHOWN.
4. TREE SYMBOLS ARE SHOWN AT ROUGHLY 85% OF THEIR MATURE SIZE TO DEMONSTRATE SUFFICIENT ROOM FOR TREE GROWTH AND HEALTH.

IRRIGATION NOTES

1. IRRIGATION DESIGN FOR THE SITE WILL COMPLY WITH THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO). ALL NECESSARY MWEO DOCUMENTATION INCLUDING WATER CALCULATIONS, AND CERTIFICATES SHALL BE SUBMITTED WITH THE LANDSCAPE IMPROVEMENT PLANS FOR REVIEW AND APPROVAL.
2. IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY A MWEO COMPLIANT SMART CONTROLLER WITH RAIN SHUT-OFF SENSOR.
3. IRRIGATION DESIGN WILL UTILIZE HYDRO ZONING WHERE PLANTS ARE GROUPED ONTO SEPARATE VALVES ACCORDING TO SUN EXPOSURE AND WATER USE.
4. THE IRRIGATION SYSTEM WILL CONSIST PRIMARILY OF LOW FLOW HIGH EFFICIENCY DRIP APPLICATION FOR SHRUBS AND GROUNDCOVERS, AND BUBBLERS FOR TREES.

CONCEPT PLANT SCHEDULE

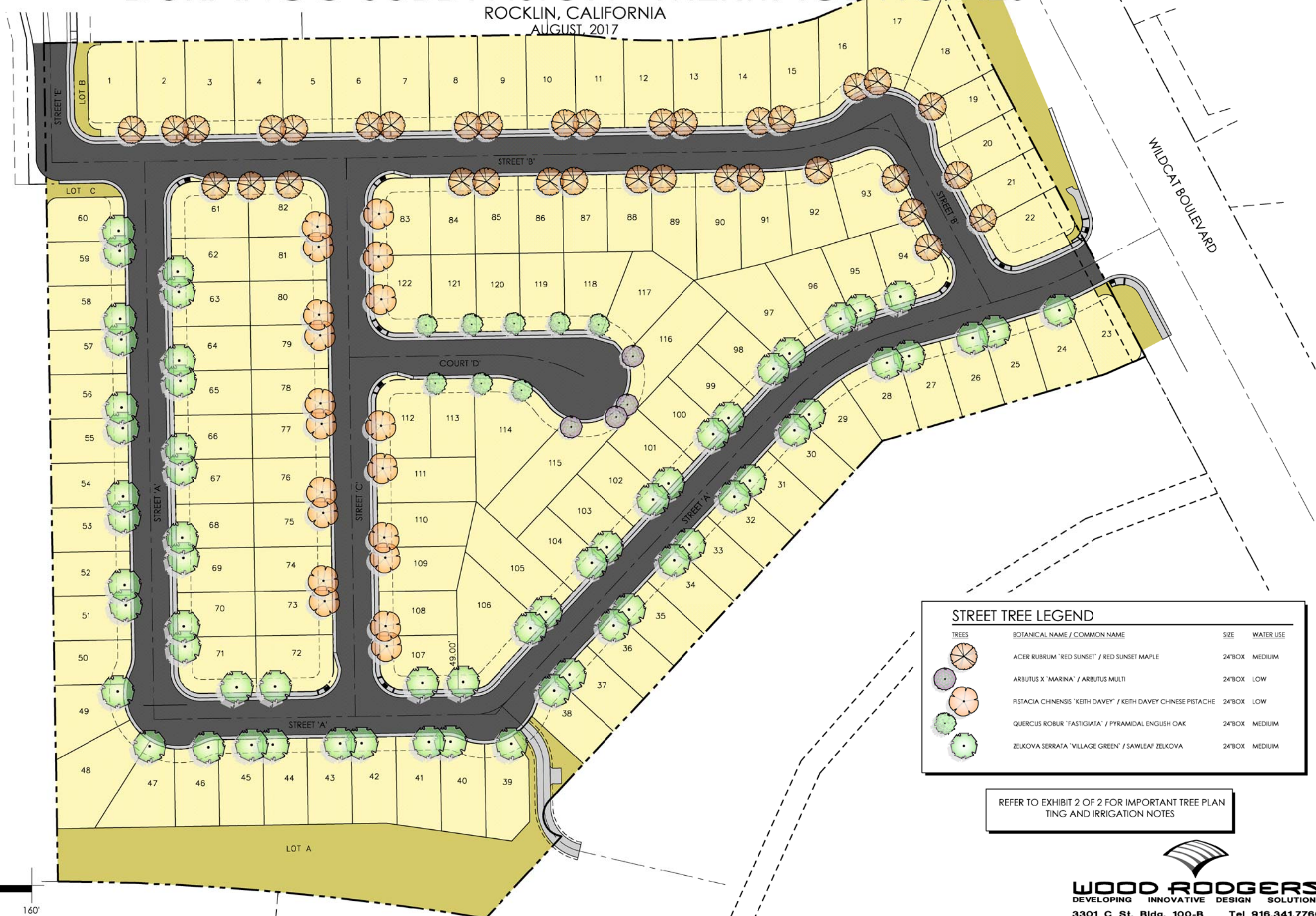
	"ST" / REFER TO STREET TREE MASTER PLAN	
	"A" / SMALL FOUNDATION SHRUB (ALTERNATE SP. PER LOT) DIETES VEGETA / AFRICAN IRIS LOW WATER USE EUONYMUS JAPONICUS "MICROPHYLLA" / BOXLEAF EUONYMUS LOW WATER USE FESTUCA OVINA GLAUCA "ELIJAH BLUE" / BLUE FESCUE LOW WATER USE	5 GAL 1 GAL 5 GAL
	"B" / MEDIUM FOUNDATION SHRUB (ALTERNATE SP. PER LOT) CALLISTEMON CITRINUS "LITTLE JOHN" / DWARF BOTTLE BRUSH LOW WATER USE MYRTUS COMMUNIS "COMPACTA" / DWARF MYRTLE LOW WATER USE RHAPHIDOLEPIS INDICA "BALLERINA" / BALLERINA INDIAN HAWTHORN LOW WATER USE	5 GAL 5 GAL 5 GAL
	"C" / LARGE SHRUB (ALTERNATE SP. PER LOT) EURYOPS PECTINATUS / EURYOPS LOW WATER USE PRUNUS CAROLINIANA "BRIGHT 'N TIGHT" TM / BRIGHT 'N TIGHT CAROLINA LAUREL LOW WATER USE XYLOSMA CONGESTUM / SHINY XYLOSMA LOW WATER USE	5 GAL 5 GAL 5 GAL
	"D" / FOLIAGE ACCENT SHRUBS (ALTERNATE SP. PER LOT) BERBERIS THUNBERGII "CRIMSON PYGMY" / CRIMSON PYGMY BARBERRY LOW WATER USE MUEHLENBERGIA CAPILLARIS / PINK MUHLY LOW WATER USE NANDINA DOMESTICA "GULF STREAM" TM / HEAVENLY BAMBOO LOW WATER USE	5 GAL 5 GAL 5 GAL
	"E" / FLOWERING ACCENT SHRUBS (ALTERNATE SP. PER LOT) HEMEROCALLIS X "MONOLD" TM / STARBURST DOUBLE GOLD EVERGREEN DAYLILY LOW WATER USE LAVANDULA ANGUSTIFOLIA "HIDCOTE" / HIDCOTE LAVENDER LOW WATER USE SALVIA GREGGII "HEATWAVE BLAZE" / HEATWAVE BLAZE SAGE LOW WATER USE	5 GAL 5 GAL 5 GAL
	"GC" ARCTOSTAPHYLOS UVA-URSI / KINNIKINNICK LOW WATER USE COPROSMA PUMILA "VERDE VISTA" / CREEPING COPROSMA LOW WATER USE MYOPORUM PARVIFOLIUM "PROSTRATUM" / MYOPORUM LOW WATER USE	100% 1 gal 36" oc 100% 1 gal 36" oc 100% 1 gal 36" oc








STREET TREE MASTER PLAN EXHIBIT 1 OF 2

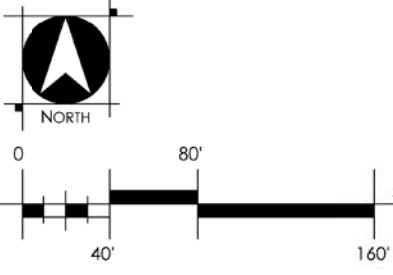
DURANGO SUBDIVISION - MERITAGE HOMES

ROCKLIN, CALIFORNIA
AUGUST, 2017



TREES	BOTANICAL NAME / COMMON NAME	SIZE	WATER USE
	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	24"BOX	MEDIUM
	ARBUTUS X 'MARINA' / ARBUTUS MULTI	24"BOX	LOW
	PISTACIA CHINENSIS 'KEITH DAVEY' / KEITH DAVEY CHINESE PISTACHE	24"BOX	LOW
	QUERCUS ROBUR 'FASTIGIATA' / PYRAMIDAL ENGLISH OAK	24"BOX	MEDIUM
	ZELKOVA SERRATA 'VILLAGE GREEN' / SAWLEAF ZELKOVA	24"BOX	MEDIUM

REFER TO EXHIBIT 2 OF 2 FOR IMPORTANT TREE PLAN
TING AND IRRIGATION NOTES



Packet Pg. 170

Agenda Item #9.a.

WOOD RODGERS
DEVELOPING INNOVATIVE DESIGN SOLUTIONS
3301 C St, Bldg. 100-B Tel 916.341.7760
Sacramento, CA 95816 Fax 916.341.7767

*Meritage Homes
Wildcat / Durango
PRODUCT FIT LIST*

2017-11-27
BY : WOOD RODGERS

122 Medium Residential Lots (Rocklin, Ca)						
Zoning Classification: PD-7.3, 8, 8.1, 8.3, & 10 (Min Lot Size 30x70 [interior] & 40x70 [corner])						
Meritage Homes Plan #						
Final Map Lot #	1	1x	2	3	4	Product Fit Notes
1	X	X	X	X	X	2 Story not allowed
2	X	X	X	X	X	2 Story not allowed
3	X	X	X	X	X	2 Story not allowed
4	X	X	X	X	X	2 Story not allowed
5	X	X	X	X	X	2 Story not allowed
6	X	X	X	X	X	2 Story not allowed
7	X	X	X	X	X	2 Story not allowed
8	X	X	X	X	X	2 Story not allowed
9	X	X	X	X	X	2 Story not allowed
10	X	X	X	X	X	2 Story not allowed
11	-	X	X	X	X	2 Story not allowed
12	-	X	X	X	X	2 Story not allowed
13	-	X	X	X	X	2 Story not allowed
14	-	X	X	X	X	2 Story not allowed
15	-	X	X	X	X	2 Story not allowed
16	-	X	X	X	X	Left Garage offset = 27.9' Center Garage offset = 21.1' Right Garage offset = 17.5'
17	-	X	X	X	X	2 Story not allowed
18	-	-	X	X	X	2 Story not allowed
19	-	-	X	X	X	2 Story not allowed
20	-	-	X	X	X	2 Story not allowed
21	-	-	X	X	X	2 Story not allowed
22	-	-	X	X	X	2 Story not allowed
23	-	-	X	X	X	2 Story not allowed
24	-	-	X	X	X	2 Story not allowed
25	-	-	X	X	X	Model Home Lot
26	-	-	X	X	X	Model Home Lot
27	-	-	X	X	X	Model Home Lot
28	-	-	X	X	-	
29	-	-	X	X	-	
30	-	-	X	X	X	
31	-	-	X	X	X	
32	-	-	X	X	X	
33	-	-	X	X	X	
34	-	-	X	X	X	
35	-	-	X	X	X	
36	-	-	X	X	X	
37	-	-	X	X	X	
38	-	-	X	-	-	
39	-	-	X	X	X	
40	-	-	X	X	X	
41	-	-	X	X	X	
42	-	-	X	X	X	
43	-	-	X	X	X	
44	-	-	X	X	X	
45	-	-	X	X	X	
46	-	-	X	X	X	
47	-	-	X	X	X	
48	-	-	X	X	X	
49	-	-	X	-	-	

Meritage Homes
 Wildcat / Durango
PRODUCT FIT LIST

2017-11-27
 BY : WOOD RODGERS

122 Medium Residential Lots (Rocklin, Ca)						
Zoning Classification: PD-7.3, 8, 8.1, 8.3, & 10 (Min Lot Size 30x70 [interior] & 40x70 [corner])						
Meritage Homes Plan #						
Final Map Lot #	1	1x	2	3	4	Product Fit Notes
50	-	-	X	X	-	
51	-	-	X	X	X	
52	-	-	X	X	X	
53	-	-	X	X	X	
54	-	-	X	X	X	
55	-	-	X	X	X	
56	-	-	X	X	X	
57	-	-	X	X	X	
58	-	-	X	X	X	
59	-	-	X	X	X	
60	-	-	X	X	X	
61	-	-	X	X	X	
62	-	-	X	X	X	
63	-	-	X	X	X	
64	-	-	X	X	X	
65	-	-	X	X	X	
66	-	-	X	X	X	
67	-	-	X	X	X	
68	-	-	X	X	X	
69	-	-	X	X	X	
70	-	-	X	X	X	
71	-	-	X	X	X	
72	-	-	X	X	X	
73	-	-	X	X	X	
74	-	-	X	X	X	
75	-	-	X	X	X	
76	-	-	X	X	X	
77	-	-	X	X	X	
78	-	-	X	X	X	
79	-	-	X	X	X	
80	-	-	X	X	X	
81	-	-	X	X	X	
82	-	-	X	X	X	
83	-	-	X	X	X	
84	-	-	X	X	X	
85	-	-	X	X	X	
86	-	-	X	X	X	
87	-	-	X	X	X	
88	-	-	X	X	X	
89	-	-	X	X	X	
90	-	-	X	X	X	
91	-	-	X	X	X	
92	-	-	X	X	X	
93	-	-	X	X	X	
94	-	-	X	X	X	
95	-	-	X	X	X	
96	-	-	X	X	X	
97	-	-	X	X	X	



DURANGO

ROCKLIN, CALIFORNIA

CITY SUBMITTAL | August 1, 2017

Exterior Color/Material Specifications

REVISED: September 13, 2017



2211 michelson dr suite 450 irvine ca 92612
949 724 1619 www.atconsulting.us



All samples are approximate. All photo images only represent the general characteristics and colors of the material, but may not satisfactorily represent the actual material or availability at the time of construction.

In our continuing efforts to improve our communities, these specifications are subject to change without notice. Some colors on this form may be shown with upgrades.





Exterior Color + Material Specifications

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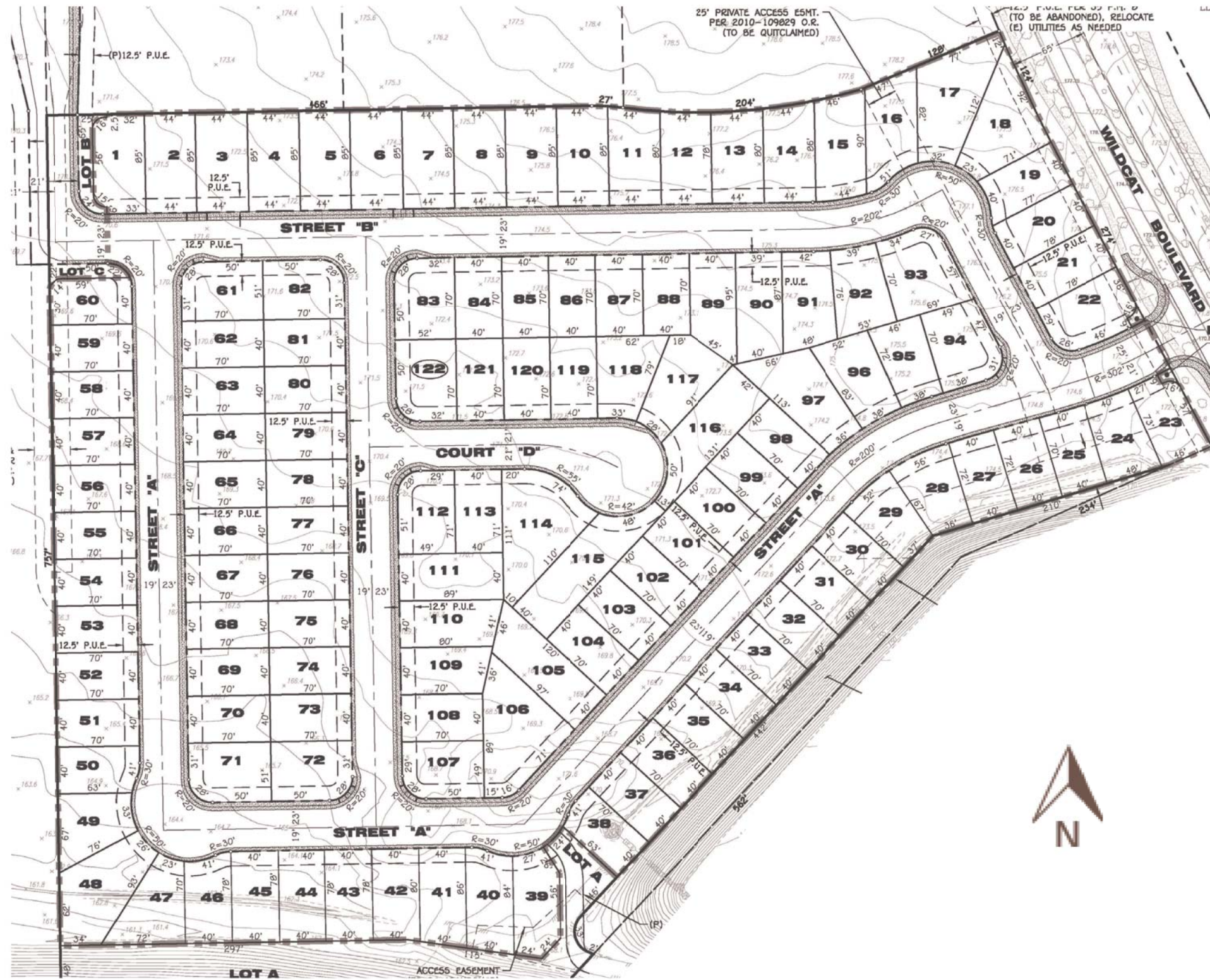
09/13/2017

Per Client's request, a stone pattern has been selected for schemes 13-16.



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- PAINT MANUFACTURER** All paint to be Sherwin Williams, unless otherwise stated differently.
- PAINT APPLICATION** Typical, all paint colors should finish in inside corners.
Fascia boards, overhangs, eaves, headers, etc. should be painted their specifically designated colors with the paint color being applied on all sides of each item, including the undersides.
- NON-DECORATIVE ITEMS** All non-decorative items such as meter doors, non-decorative vents, etc. to be painted the same paint color as the adjacent field color.
- ROOFTOP METALS** All rooftop metals to be painted to match the darkest color from the roof tile blend. See Exterior Color + Materials Specifications for exact roof tile specification.
- WROUGHT IRON** All wrought iron to be painted Sherwin Williams, 7020-Black Fox in a Flat finish.

SCHEME 1: Urban Farmhouse

	Item	Manufacturer	Color & Name
	Body 1 (Stucco)	Sherwin Williams	7102, White Flour
	Body 2 (Board & Batten)	Sherwin Williams	7102, White Flour
	Trim (Wood Trim, Fascia Boards, Brackets, Corbels, Posts, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7102, White Flour
ACCENT OPTION #1	Front Door #1	Sherwin Williams	0040, Roycroft Adobe
	Shutters #1	Sherwin Williams	7048, Urbane Bronze
ACCENT OPTION #2	Front Door #2	Sherwin Williams	2813, Downing Straw
	Shutters #2	Sherwin Williams	6207, Retreat
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Bel Air	4687, Brown Gray Range

SCHEME 1: Urban Farmhouse



SCHEME 2: Urban Farmhouse

	Item	Manufacturer	Color & Name
	Body 1 (Stucco)	Sherwin Williams	6150, Universal Khaki
	Body 2 (Board & Batten)	Sherwin Williams	7743, Mountain Road
	Trim (Wood Trim, Fascia Boards, Brackets, Corbels, Posts, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	0050, Classic Light Buff
ACCENT OPTION #1	Front Door #1	Sherwin Williams	7645, Thunder Gray
	Shutters #1	Sherwin Williams	0050, Classic Light Buff
ACCENT OPTION #2	Front Door #2	Sherwin Williams	7705, Wheat Penny
	Shutters #2	Sherwin Williams	7745, Muddled Basil
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Bel Air	4602, Concord Blend

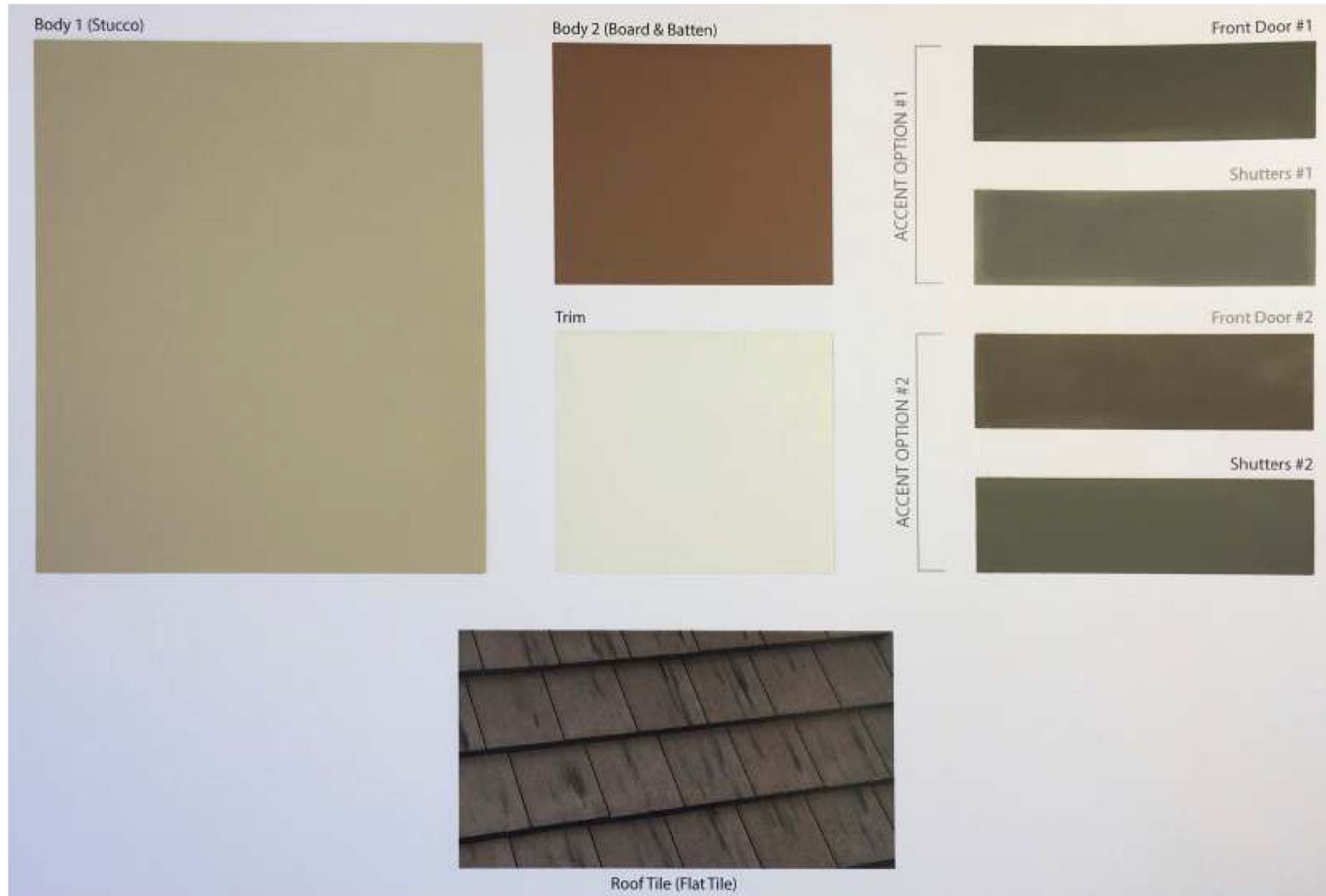
SCHEME 2: Urban Farmhouse



SCHEME 3: Urban Farmhouse

	Item	Manufacturer	Color & Name
	Body 1 (Stucco)	Sherwin Williams	6142, Macadamia
	Body 2 (Board & Batten)	Sherwin Williams	7705, Wheat Penny
	Trim (Wood Trim, Fascia Boards, Brackets, Corbels, Posts, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7566, Westhighland White
ACCENT OPTION #1	Front Door #1	Sherwin Williams	7745, Muddled Basil
	Shutters #1	Sherwin Williams	6201, Thunderous
ACCENT OPTION #2	Front Door #2	Sherwin Williams	7027, Well-Bred Brown
	Shutters #2	Sherwin Williams	6173, Cocoon
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Bel Air	4502, Arcadia

SCHEME 3: Urban Farmhouse



SCHEME 4: Urban Farmhouse

	Item	Manufacturer	Color & Name
	Body 1 (Stucco)	Sherwin Williams	7547, Sandbar
	Body 2 (Board & Batten)	Sherwin Williams	9172, Studio Clay
	Trim (Wood Trim, Fascia Boards, Brackets, Corbels, Posts, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7757, High Reflective White
ACCENT OPTION #1	Front Door #1	Sherwin Williams	6201, Thunderous
	Shutters #1	Sherwin Williams	6152, Superior Bronze
ACCENT OPTION #2	Front Door #2	Sherwin Williams	6054, Canyon Clay
	Shutters #2	Sherwin Williams	7055, Enduring Bronze
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Bel Air	4690, Pewter Bronze Blend

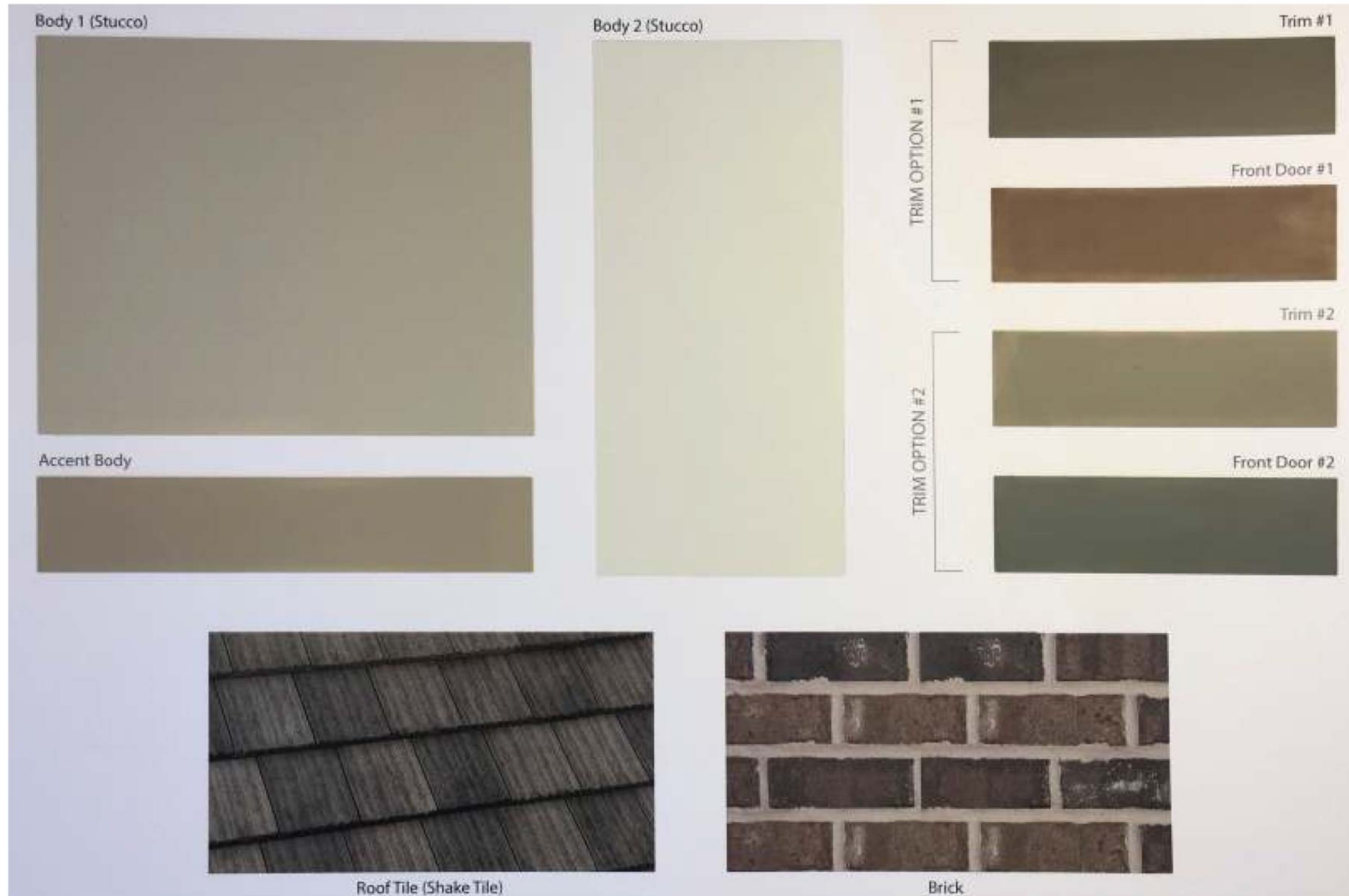
SCHEME 4: Urban Farmhouse



SCHEME 5: Modern Prairie

	Item	Manufacturer	Color & Name
	Body 1 (Stucco)	Sherwin Williams	7506, Loggia
	Body 2	Sherwin Williams	7009, Pearly White
	Accent Body	Sherwin Williams	7513, Sanderling
TRIM OPTION #1	Trim #1 (Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7026, Griffin
	Front Door #1	Sherwin Williams	6062, Rugged Brown
TRIM OPTION #2	Trim #2 (Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7032, Warm Stone
	Front Door #2	Sherwin Williams	7061, Night Owl
	Windows	Plygem	White
	Roof Tile (Shake Tile)	EAGLE Roofing: Ponderosa	5687, Brown Gray
	Brick	Boral Brick	Mosswood
	Brick Mortar	ORCO Blended Products	Smoke
	Brick Lay-Up	1/2" Grout Joints	

SCHEME 5: Modern Prairie



SCHEME 6: Modern Prairie

	Item	Manufacturer	Color & Name
	Body 1 (Stucco)	Sherwin Williams	7540, Artisan Tan
	Body 2	Sherwin Williams	7045, Intellectual Gray
	Accent Body	Sherwin Williams	7568, Neutral Ground
TRIM OPTION #1	Trim #1 (Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7568, Neutral Ground
	Front Door #1	Sherwin Williams	7048, Urbane Bronze
TRIM OPTION #2	Trim #2 (Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7040, Smokehouse
	Front Door #2	Sherwin Williams	7701, Canyon Clay
	Windows	Plygem	White
	Roof Tile (Shake Tile)	EAGLE Roofing: Ponderosa	5582, Fawn Gray
	Brick	Boral Brick	Ortega, Queen
	Brick Mortar	ORCO Blended Products	Surf
	Brick Lay-Up	1/2" Grout Joints	

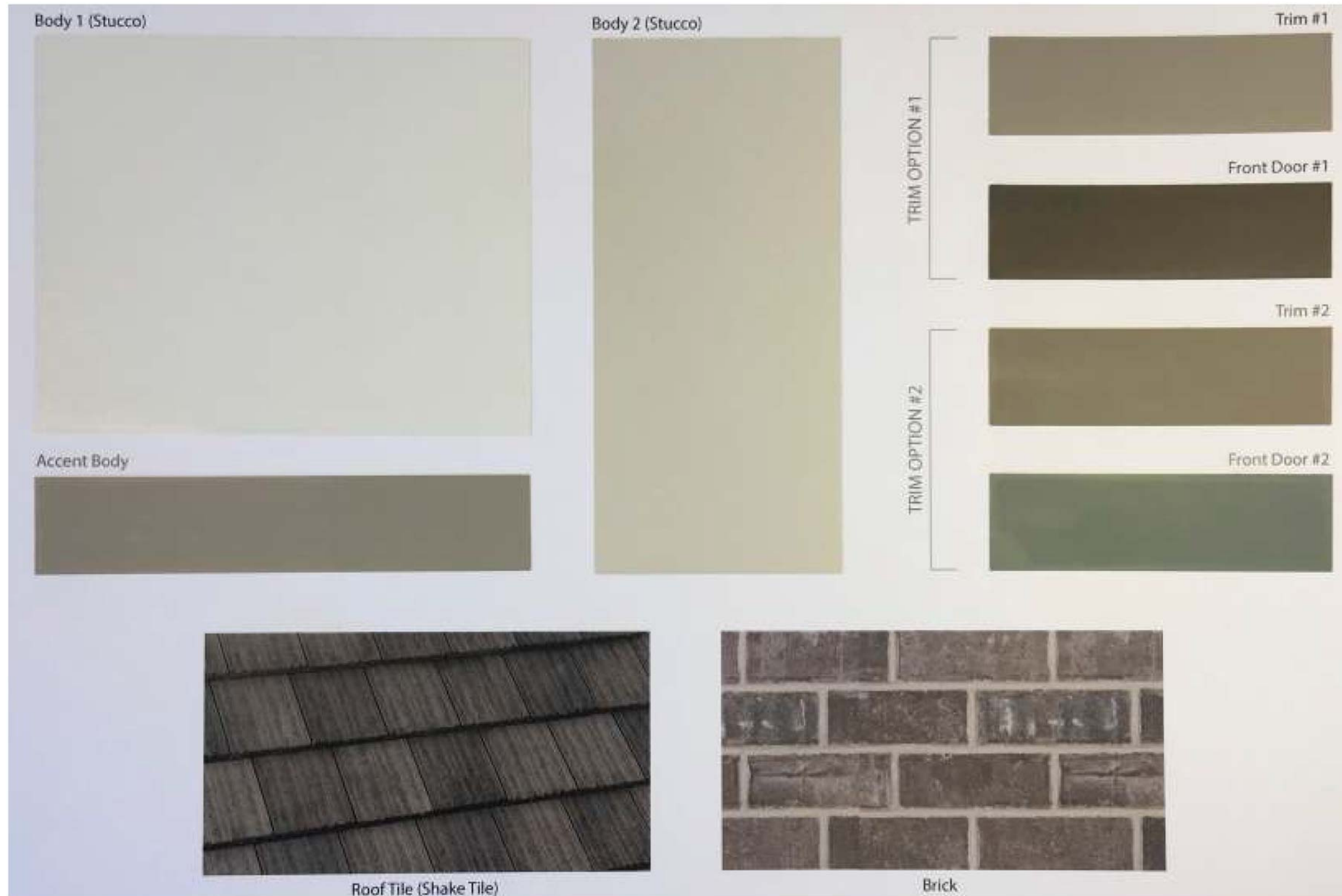
SCHEME 6: Modern Prairie



SCHEME 7: Modern Prairie

	Item	Manufacturer	Color & Name
	Body 1 (Stucco)	Sherwin Williams	7551 Greek Villa
	Body 2	Sherwin Williams	7567, Natural Tan
	Accent Body	Sherwin Williams	7633, Taupe Tone
TRIM OPTION #1	Trim #1 (Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7633, Taupe Tone
	Front Door #1	Sherwin Williams	7041, Van Dyke Brown
TRIM OPTION #2	Trim #2 (Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7039, Virtual Taupe
	Front Door #2	Sherwin Williams	6207, Retreat
	Windows	Plygem	White
	Roof Tile (Shake Tile)	EAGLE Roofing: Ponderosa	5687, Brown Gray
	Brick	Boral Brick	Shadow Stone
	Brick Mortar	ORCO Blended Products	Khaki
	Brick Lay-Up	1/2" Grout Joints	

SCHEME 7: Modern Prairie



SCHEME 8: Modern Prairie

	Item	Manufacturer	Color & Name
	Body 1 (Stucco)	Sherwin Williams	7639, Ethereal Mood
	Body 2	Sherwin Williams	0050, Classic Light Buff
	Accent Body	Sherwin Williams	7528, Windsor Greige
TRIM OPTION #1	Trim #1 (Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7068, Grizzle Gray
	Front Door #1	Sherwin Williams	6068, Brevity Brown
TRIM OPTION #2	Trim #2 (Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7046, Anonymous
	Front Door #2	Sherwin Williams	2848, Roycroft Pewter
	Windows	Plygem	White
	Roof Tile (Shake Tile)	EAGLE Roofing: Ponderosa	5582, Fawn Gray
	Brick	Boral Brick	Capers Island, Queen
	Brick Mortar	ORCO Blended Products	Gray
	Brick Lay-Up	1/2" Grout Joints	

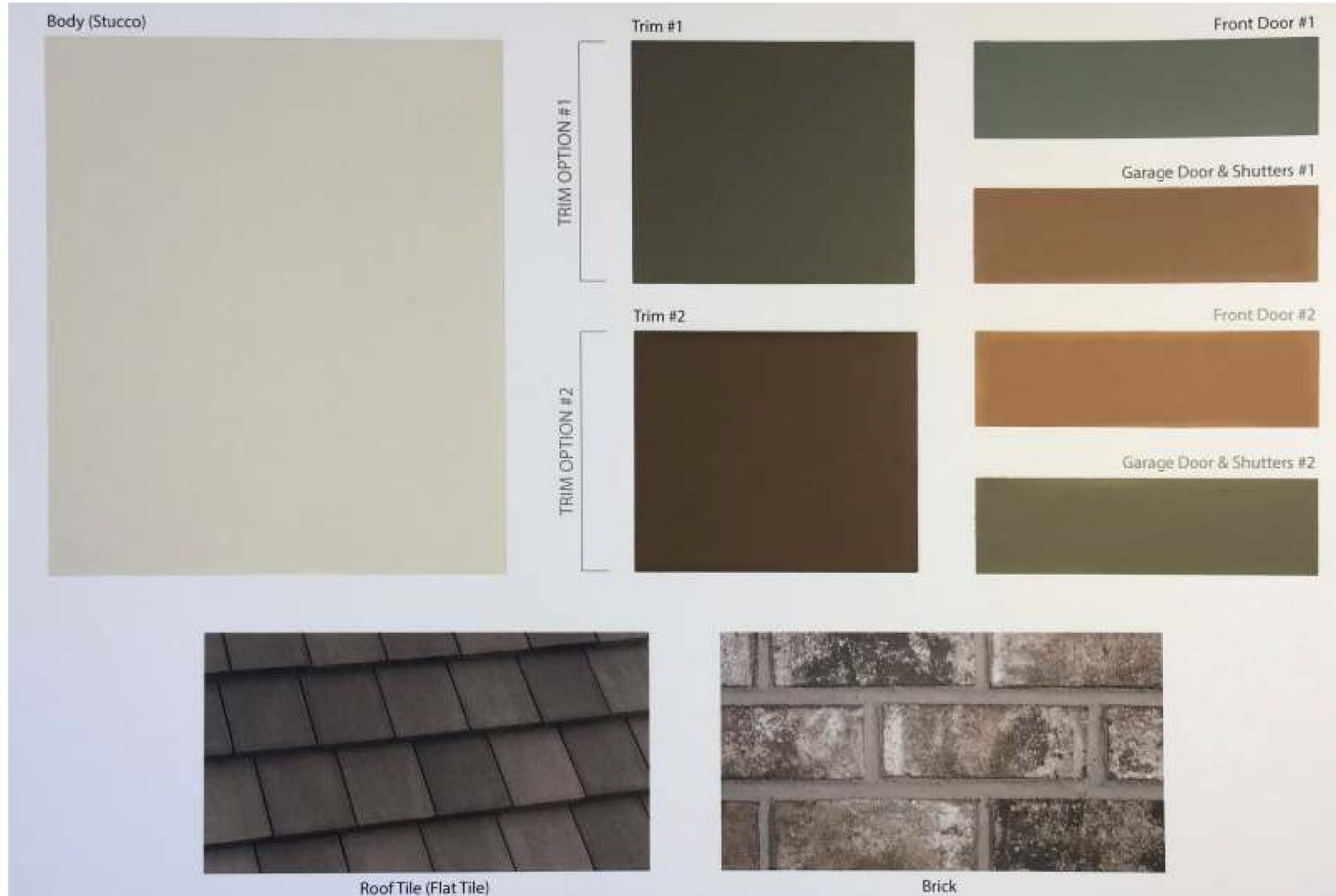
SCHEME 8: Modern Prairie



SCHEME 9: California Cottage

	Item	Manufacturer	Color & Name
	Body (Stucco)	Sherwin Williams	6140, Moderate White
TRIM OPTION #1	Trim #1 (Horizontal Siding, Wood Trim, Fascia Boards, Corbels, French Doors, Gutters & Downspouts, etc.)	Sherwin Williams	7033, Brainstorm Bronze
	Front Door #1	Sherwin Williams	6207, Retreat
	Garage Door & Shutters #1	Sherwin Williams	7705, Wheat Penny
TRIM OPTION #2	Trim #2 (Horizontal Siding, Wood Trim, Fascia Boards, Corbels, French Doors, Gutters & Downspouts, etc.)	Sherwin Williams	6097, Sturdy Brown
	Front Door #2	Sherwin Williams	7710, Brandywine
	Garage Door & Shutters #2	Sherwin Williams	6152, Superior Bronze
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Bel Air	4689, Brown Range
	Brick	Boral Brick	Ortega, Queen
	Brick Mortar	ORCO Blended Products	Antique Linen
	Brick Lay-Up	1/2" Grout Joints	

SCHEME 9: California Cottage



SCHEME 10: California Cottage

	Item	Manufacturer	Color & Name
	Body (Stucco)	Sherwin Williams	6101, Sands of Time
TRIM OPTION #1	Trim #1 (Horizontal Siding, Wood Trim, Fascia Boards, Corbels, French Doors, Gutters & Downspouts, etc.)	Sherwin Williams	7571, Casa Blanca
	Front Door #1	Sherwin Williams	6165, Connected Gray
	Garage Door & Shutters #1	Sherwin Williams	6152, Superior Bronze
TRIM OPTION #2	Trim #2 (Horizontal Siding, Wood Trim, Fascia Boards, Corbels, French Doors, Gutters & Downspouts, etc.)	Sherwin Williams	7054, Suitable Brown
	Front Door #2	Sherwin Williams	6061, Tanbark
	Garage Door & Shutters #2	Sherwin Williams	7053, Adaptive Shade
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Bel Air	4687, Brown Gray Range
	Brick	Boral Brick	Smithsonian
	Brick Mortar	ORCO Blended Products	Sourdough
	Brick Lay-Up	1/2" Grout Joints	

SCHEME 10: California Cottage



SCHEME 11: California Cottage

	Item	Manufacturer	Color & Name
	Body (Stucco)	Sherwin Williams	9110, Malabar
TRIM OPTION #1	Trim #1 (Horizontal Siding, Wood Trim, Fascia Boards, Corbels, French Doors, Gutters & Downspouts, etc.)	Sherwin Williams	7047, Porpoise
	Front Door #1	Sherwin Williams	7020, Black Fox
	Garage Door & Shutters #1	Sherwin Williams	9164, Illusive Green
TRIM OPTION #2	Trim #2 (Horizontal Siding, Wood Trim, Fascia Boards, Corbels, French Doors, Gutters & Downspouts, etc.)	Sherwin Williams	7566, Westhighland White
	Front Door #2	Sherwin Williams	9131, Cornwall Slate
	Garage Door & Shutters #2	Sherwin Williams	7047, Porpoise
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Bel Air	4602, Concord Blend
	Brick	Boral Brick	Laredo, Queen
	Brick Mortar	ORCO Blended Products	Smoke
	Brick Lay-Up	1/2" Grout Joints	

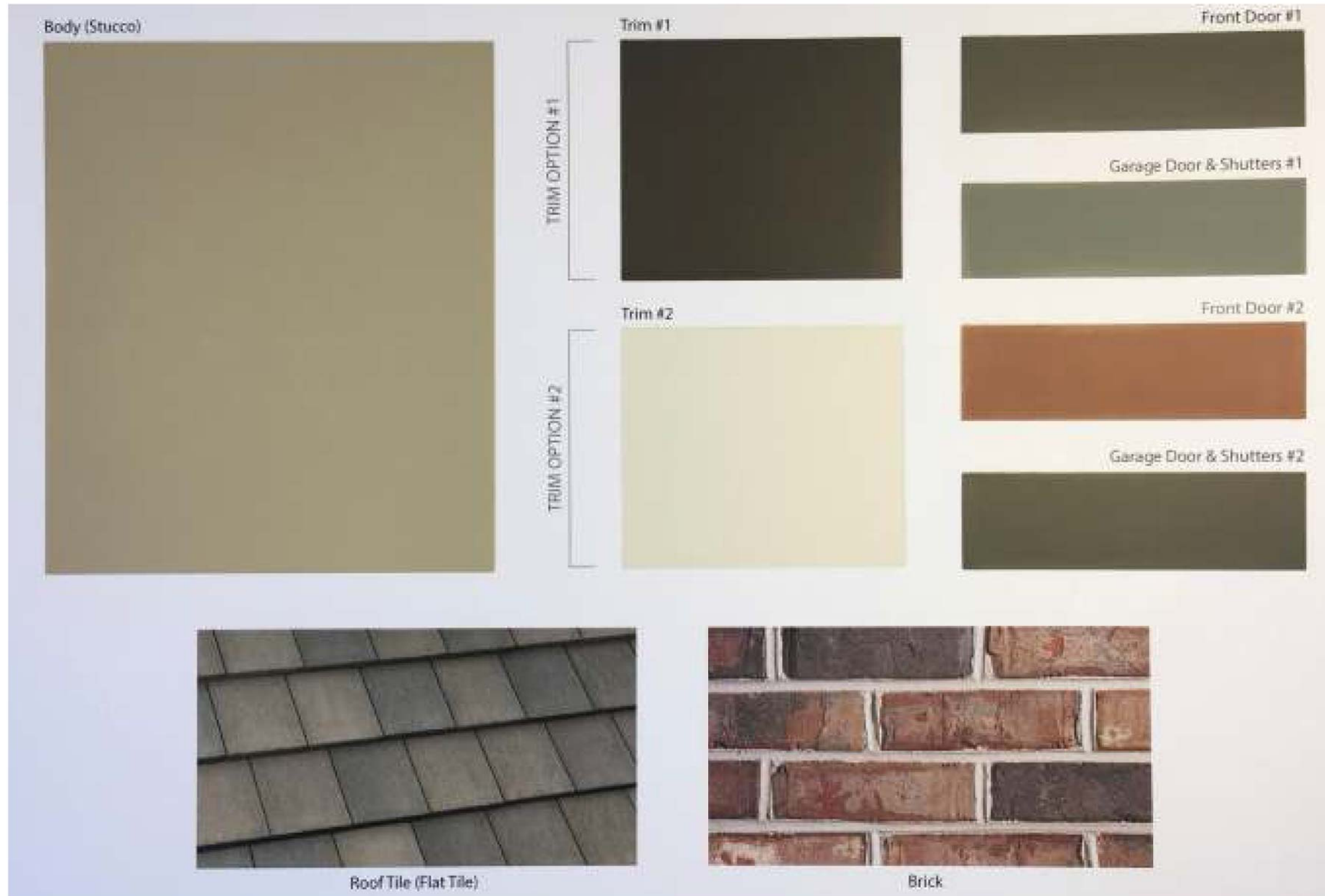
SCHEME 11: California Cottage




SCHEME 12: California Cottage

	Item	Manufacturer	Color & Name
	Body (Stucco)	Sherwin Williams	6143, Basket Beige
TRIM OPTION #1	Trim #1 (Horizontal Siding, Wood Trim, Fascia Boards, Corbels, French Doors, Gutters & Downspouts, etc.)	Sherwin Williams	7027, Well-Bred Brown
	Front Door #1	Sherwin Williams	7054, Suitable Brown
	Garage Door & Shutters #1	Sherwin Williams	6200, Link Gray
TRIM OPTION #2	Trim #2 (Horizontal Siding, Wood Trim, Fascia Boards, Corbels, French Doors, Gutters & Downspouts, etc.)	Sherwin Williams	7554, Steamed Milk
	Front Door #2	Sherwin Williams	2803, Rookwood Terra Cotta
	Garage Door & Shutters #2	Sherwin Williams	7054, Suitable Brown
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Bel Air	4690, Pewter Bronze Blend
	Brick	Boral Brick	Weracoba II
	Brick Mortar	ORCO Blended Products	Light Khaki
	Brick Lay-Up	1/2" Grout Joints	

SCHEME 12: California Cottage




SCHEME 13: Contemporary

	Item	Manufacturer	Color & Name
	Body (Stucco)	Sherwin Williams	7036, Accessible Beige
TRIM OPTION #1	Siding #1	Sherwin Williams	7033, Brainstorm Bronze
	Trim #1 (Wood Trim, Fascia Boards, French Doors, Garage Door, Gutters & Downpsouts, etc.)	Sherwin Williams	0050, Classic Light Buff
	Front Door #1	Sherwin Williams	6214, Underseas
TRIM OPTION #2	Siding #2	Sherwin Williams	9132, Acacia Haze
	Trim #2 (Wood Trim, Fascia Boards, French Doors, Garage Door, Gutters & Downpsouts, etc.)	Sherwin Williams	7033, Brainstorm Bronze
	Front Door #2	Sherwin Williams	2814, Rookwood Antique Gold
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Tapered Slate	49602, Concord Blend
	Stone	Boral: Cultured Stone	Talus, Hewn
	Stone Mortar	ORCO Blended Products	Natural Gray
	Stone Lay-Up & Pattern	Dry Stack Boral Pattern: HSP35809	

SCHEME 13: Contemporary




SCHEME 14: Contemporary

	Item	Manufacturer	Color & Name
	Body (Stucco)	Sherwin Williams	7572, Lotus Pod
TRIM OPTION #1	Siding #1	Sherwin Williams	6172, Hardware
	Trim #1 (Wood Trim, Fascia Boards, French Doors, Garage Door, Gutters & Downpsouts, etc.)	Sherwin Williams	6153, Protégé Bronze
	Front Door #1	Sherwin Williams	2824, Renwick Golden Oak
TRIM OPTION #2	Siding #2	Sherwin Williams	6137, Burlap
	Trim #2 (Wood Trim, Fascia Boards, French Doors, Garage Door, Gutters & Downpsouts, etc.)	Sherwin Williams	7061, Night Owl
	Front Door #2	Sherwin Williams	2811, Rookwood Blue Green
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Tapered Slate	49602, Concord Blend
	Stone	Boral: Cultured Stone	Foundation, Hewn
	Stone Mortar	ORCO Blended Products	Light Sesame
	Stone Lay-Up & Pattern	Dry Stack Boral Pattern: HSP35809	

SCHEME 14: Contemporary




SCHEME 15: Contemporary

	Item	Manufacturer	Color & Name
	Body (Stucco)	Sherwin Williams	2844, Roycroft Mist Gray
TRIM OPTION #1	Siding #1	Sherwin Williams	7012, Creamy
	Trim #1 (Wood Trim, Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7645, Thunder Gray
	Front Door #1	Sherwin Williams	6341, Red Cent
TRIM OPTION #2	Siding #2	Sherwin Williams	7048, Urbane Bronze
	Trim #2 (Wood Trim, Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7012, Creamy
	Front Door #2	Sherwin Williams	9026, Tarnished Trumpet
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Tapered Slate	49655, Mount Dora
	Stone	Boral: Cultured Stone	Span, Hewn
	Stone Mortar	ORCO Blended Products	Natural Gray
	Stone Lay-Up & Pattern	Dry Stack Boral Pattern: HSP35809	

SCHEME 15: Contemporary



SCHEME 16: Contemporary

	Item	Manufacturer	Color & Name
	Body (Stucco)	Sherwin Williams	9112, Song Thrush
TRIM OPTION #1	Siding #1	Sherwin Williams	6061, Tanbark
	Trim #1 (Wood Trim, Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	7047, Porpoise
	Front Door #1	Sherwin Williams	7048, Urbane Bronze
TRIM OPTION #2	Siding #2	Sherwin Williams	7060, Attitude Gray
	Trim #2 (Wood Trim, Fascia Boards, French Doors, Garage Door, Gutters & Downspouts, etc.)	Sherwin Williams	6152, Superior Bronze
	Front Door #2	Sherwin Williams	2803, Rookwood Terra Cotta
	Windows	Plygem	White
	Roof Tile (Flat Tile)	EAGLE Roofing: Tapered Slate	49581, Arcadia Canyon Brown
	Stone	Boral: Cultured Stone	Foundation, Hewn
	Stone Mortar	ORCO Blended Products	Light Sesame
	Stone Lay-Up & Pattern	Dry Stack Boral Pattern: HSP35809	

SCHEME 16: Contemporary



RESOLUTION NO. PC-2017-XX

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN APPROVING A VARIANCE
(Wildcat (Durango) Subdivision / V2017-0003)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. A Mitigated Negative Declaration (MND) of environmental impacts for this project has been certified via City Council Resolution No. 2015-205. The MND analyzed the anticipated potential environmental impacts associated with the construction of homes in the Wildcat (Durango) Subdivision. A Variance allowing for a 1.2% maximum lot coverage increase on Lot 1 and an encroachment of approximately 2.5 feet on the front garage setback of Lot 16 would not result in substantial changes which would require revisions to the MND. The MND adequately describes the project for purposes of CEQA, for the following reasons:

- 1) No new significant environmental impacts, nor any substantial increase in the severity of previously identified significant impacts, will occur from the project.
- 2) No substantial changes occur with respect to the circumstances under which the project will be undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental impacts or a substantial increase in the severity of previously identified significant impacts.
- 3) No new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MND was certified as complete shows any of the following:
 - a. That the project will have one or more significant effects not discussed in the previous MND;
 - b. That significant effects previously examined will be substantially more severe than shown in the previous MND;
 - c. That mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one

or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.

- d. That mitigation measures or alternatives which are considerably different from those analyzed in the previous MND would substantially reduce one or more significant effects of the environment, but the project proponents declined to adopt the mitigation measure or alternative.

B. This Variance would allow structures on Lot 1 of the previously-approved Wildcat (Durango) Subdivision (SD2014-0001) to exceed the 60% maximum lot coverage specified in the Northwest Rocklin General Development Plan by approximately 1.2%, thereby allowing for a maximum lot coverage of 61.2%.

C. This Variance would allow structures on Lot 16 of the previously-approved Wildcat (Durango) Subdivision (SD2014-0001) to encroach approximately 2.5 feet into the required 20-foot garage front setback specified in the Northwest Rocklin General Development Plan, thereby allowing a minimum garage front setback of 17.5 feet.

D. The applicant has demonstrated that certain physical features associated with the properties exist. For Lot 1, the side yard is impacted by the hardscape constructed on Lot B, a landscape parcel. The radius of the block wall and the accompanying mow strip between these parcels has reduced the overall square footage of the lot and has resulted in a buildable area which is less than that of typical lots within the subdivision. For Lot 16, a knuckle in the design of Cheetah Street resulted in a shallower depth to this lot. This shallower depth does not fit any of the one-story homes included in this design review package and a deviation is requested where the garage extends into the 20-foot setback on the right side of the lot. Strict application of the standards would deprive the subject properties of privileges enjoyed by other properties in the vicinity and under identical zoning classifications.

E. Grant of a Variance does not constitute a grant of special privilege inconsistent with the limitation upon other properties in the vicinity and zone in which the subject properties are located. Due to the unique layouts which exist for both lots, the applicant is not able to site the same homes which can be located on all other lots within the subdivision. The Variance approves deviations which would allow development on these lots which is consistent with that of other homes within the subdivision and does not constitute a grant of special privilege.

F. The granting of the Variance would not authorize a use or activity which is not otherwise expressly authorized by the zoning applicable to the site.

Section 2. The Variance (Wildcat (Durango) Subdivision / V2017-0003) is hereby approved by the Planning Commission, as depicted and further described in Exhibit A of the concurrent design review application, DR2017-0012.

PASSED AND ADOPTED this _____ day of _____, 20 , by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

Chairperson

ATTEST:

Secretary