

CITY OF ROCKLIN



DESIGN REVIEW GUIDELINES

February 2011

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DESIGN REVIEW OBJECTIVES AND CRITERIA

A. DESIGN REVIEW: WHEN REQUIRED.

The Design Review Board shall review each application for a building permit for the following types of construction within all areas subject to design review under Rocklin Municipal Code Chapter 17.72.:

1. All new construction of multi-family structures (two or more units), and non-residential structures, including permanent signs or sign relocation, that are associated with multifamily residential and non-residential projects.
2. All new construction of single-family residential units on lots less than 6,000 square feet in area, except those that are located in the R1-5 zoning district.
3. Any exterior addition or modification of multi-family and non-residential structures, including significant changes to permanent sign structure.
4. Relocation of any multifamily residential or non-residential building or structure.
5. Parking lots and parking structures.

The following shall not be subject to design review.

1. Repainting where the color of the paint substantially complies with the approved paint color unless specifically stated in the approving Design Review resolution.
2. Re-roofing, or re-siding where the new material substantially complies with the approved existing material.
3. Repair, cleaning, or refurbishing of an existing permanent building, structure or sign.
4. Permanent sign replacement where a sign is similar in design to the entitled permanent sign.
5. Minor architectural elements of a sign, building or structure that substantially comply with the approved design.
6. Temporary signs.
7. Resurfacing of existing paved parking lot areas.
8. Installation of new landscaping areas.

B. DESIGN REVIEW OBJECTIVES

In previous decades, cities and counties relied almost exclusively on zoning and subdivision ordinances to regulate the design and appearance of new development. However, in recent years, staff and decision makers have become increasingly aware that those techniques and standards alone are not adequate to deal effectively with some of the more subtle aspects of development related to building aesthetics, design quality, the relationship of new development with existing buildings, or in some instances, with the character of the community as a whole.

One of the City's primary desires is to create a "sense of place" in Rocklin by incorporating unique natural features, creating thoughtful layouts and connections between projects, establishing desirable public spaces, softening the suburban hardscape with ample landscaping, including focal points with decorative accent features (i.e., fountains and public art), and insisting on the use of quality materials and design rather than accepting standardized corporate image driven design that can lead city after city to appear like "Anywhere USA". The market, economy, and land values all change fairly rapidly, but poor design lasts forever.

The objective of design review is to provide a forum to review small lot single family developments, multi-family residential, and nonresidential development to encourage originality in building and landscaping design in a manner that will enhance the physical appearance of the community; encourage harmonious and compatible development; reduce potential visual conflicts with adjacent development (both existing and proposed); and involve area residents, owners, and merchants in the review process. The Board shall evaluate design review applications by applying the following criteria in conjunction with Chapter 17.72. These criteria are not intended to supersede requirements in the City's development and construction regulations, or restrict imagination, innovation or variety, but rather to assist in focusing on design principles that can result in creative solutions to assist in promoting the objectives of design review.

As used herein, the terms "should" or "are encouraged" means the city strongly prefers that the applicant apply the criteria to his or her project, but the applicant may use an alternative design feature to the one expressed by the criteria, if they can demonstrate that an alternative design feature may be used to achieve the design concept or desired aesthetic.

The applicant is generally expected to comply with the criteria unless he or she can demonstrate that unique circumstances or special characteristics applying to the project warrant the use of an acceptable alternative to the standard expressed in the criteria or they can demonstrate that adherence to the criteria (1) will render the project infeasible and (2) even without complying with the specific criteria, the project design as a whole will still achieve the City's design goals and policies.

The term “prohibited” is intended to illustrate those aspects of design which do not achieve the city’s design review objectives or meet the design review criteria and are therefore, not permitted.

The final determination regarding whether or not a project meets the City’s design review objectives and criteria rests with the approving body (i.e., the Planning Commission). The only exceptions to this being those instances when entitlements that are processed concurrently with design review require City Council approval, or a decision made by the Planning Commission is appealed to the City Council.

The authority for the City to make these determinations emanates from the police power which is defined as the power of the government to enforce regulations designed to protect public health, safety, morals, and general welfare. This includes land-use and aesthetic restrictions.

As stated by the California Supreme Court: “We have recognized that a city’s or county’s power to control its own land use decisions derives from this inherent police power, not from the delegation of authority by the state. *See, e.g., Candid Enters., Inc. v. Grossmont Union High Sch. Dist.*, 39 Cal. 3d 878, 885-86 (1985).”

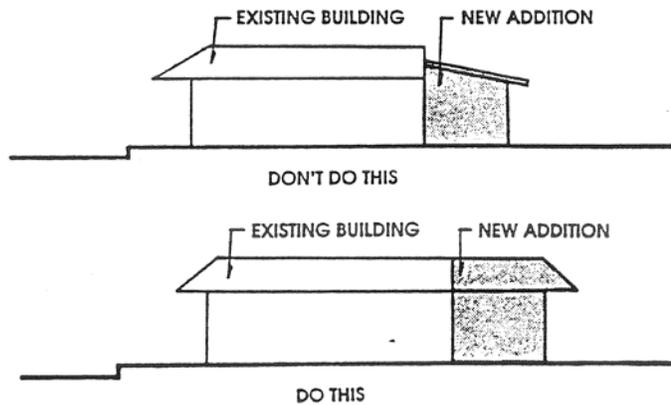
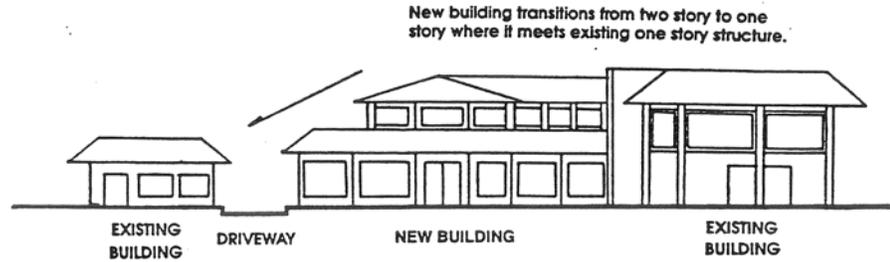
The police power allows cities to tailor regulations to suit the interests and needs of a “modern, enlightened and progressive community,” even as those interests and needs change. *Rancho La Costa v. County of San Diego*, 111 Cal. App. 3d 54, 60 (1980).

The City may exercise its police power to achieve an expansive range of interests. The California Supreme Court has held that aesthetic reasons alone can justify the exercise of the police power.

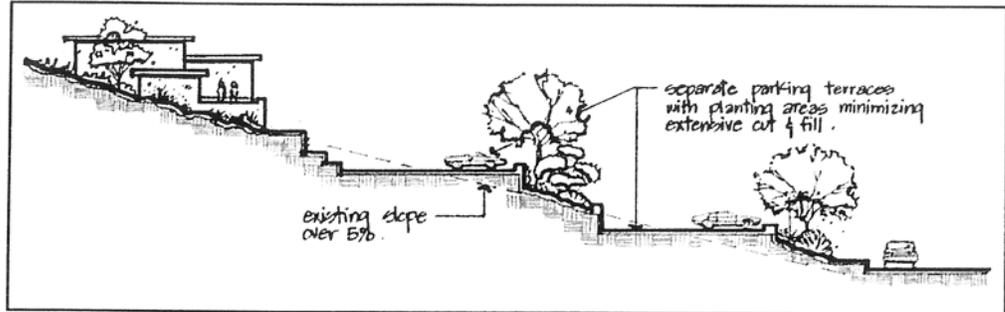
C. DESIGN REVIEW CRITERIA

1. Locating or siting of the proposed structure and/or addition to an existing structure.

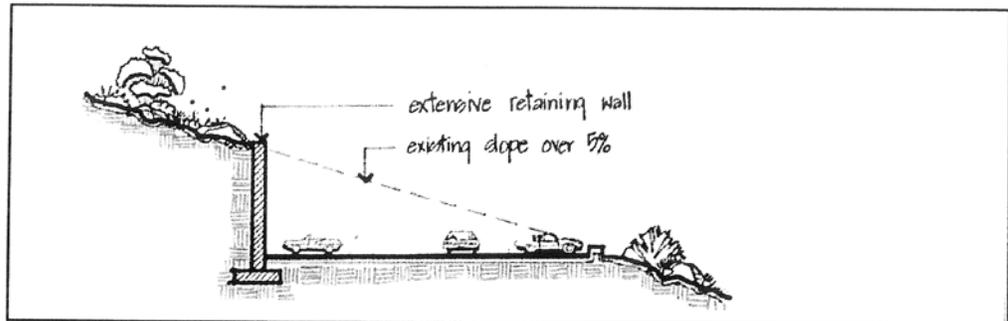
- a. Height and scale of each structure, including signs, should be compatible with its site improvements and buildings in the surrounding area.



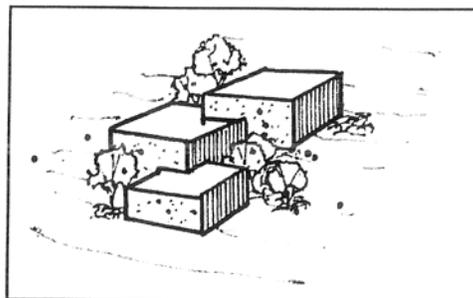
- b. Where natural or existing topographic patterns contribute to the beauty and unity of the building site and surrounding development, they should be preserved and incorporated into the plan.



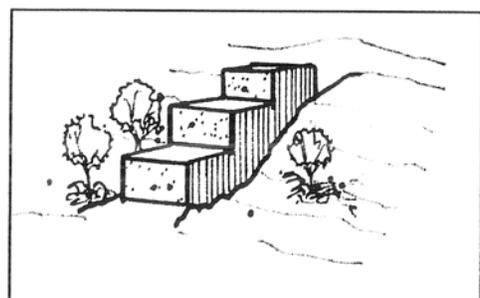
Encouraged



Discouraged



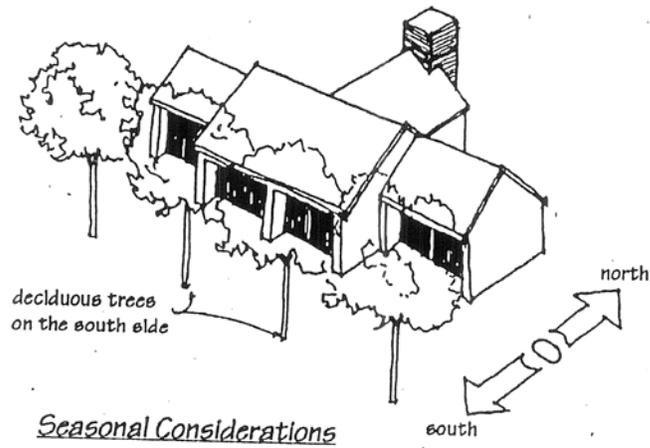
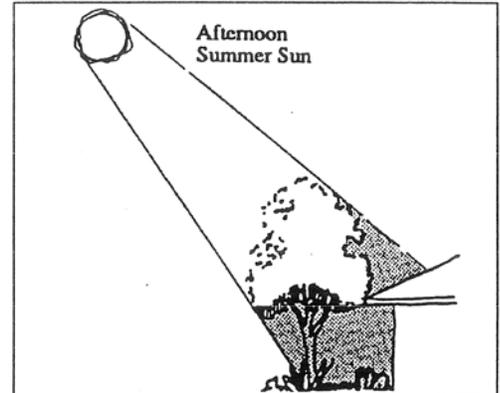
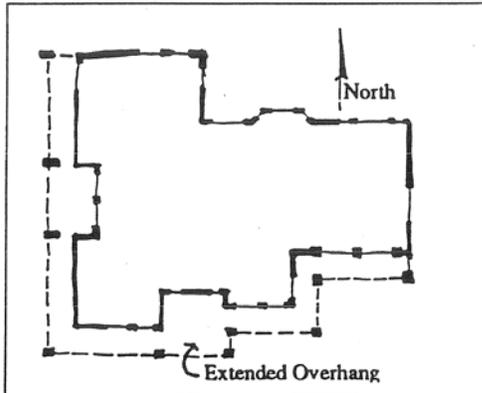
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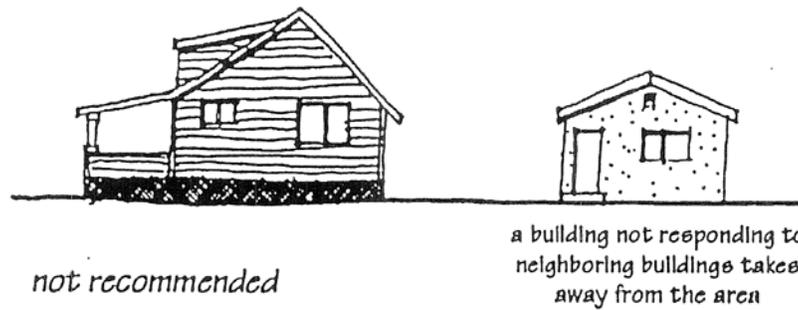
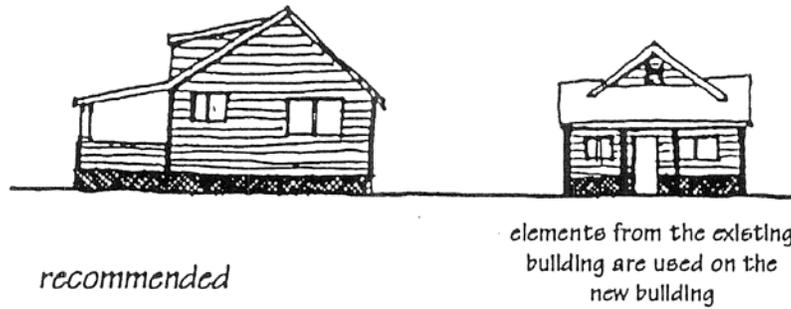
- c. Every effort should be made to preserve oak trees as a part of the site design for a project.

- d. Structures should be oriented in such a way as to take advantage of known atmospheric conditions (such as wind, sun, etc.) for purposes of heating and cooling, so as to conserve energy.



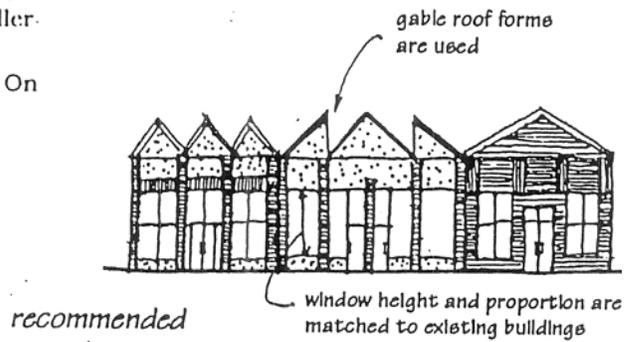
2. Site Planning.

- a. Proposed buildings and structures of different architectural styles to those of the surrounding buildings should be made compatible by such methods as screening, site breaks, color or materials.

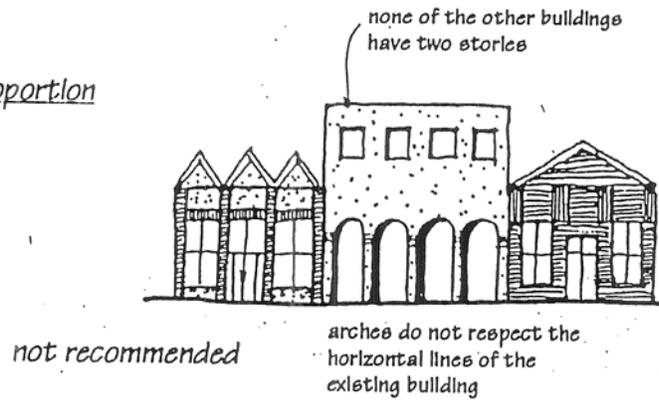


Continuity of Design

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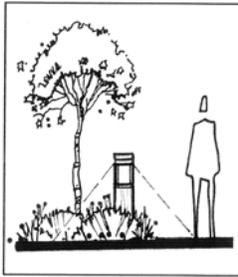


Proportion



- b. Buildings and structures shadowing onto adjacent properties should be minimized.

- c. Lighting standards and fixtures should be of a design and size compatible with the building and with adjacent areas and be complementary to the architectural style of the buildings. Lighting should be restrained in brilliance by meeting Dark Sky principles. Adverse glare onto adjacent properties is prohibited. More, smaller scale parking lot lights instead of fewer, overly tall and large parking lot lights should be installed. The use of bollard lighting, decorative poles and fixtures is strongly encouraged. Outdoor light fixtures mounted on building walls should relate to the height of pedestrians and not exceed 8 to 10 feet.



- d. "Row" buildings and structures should be avoided except in the Downtown/Central Rocklin area. Variation may be achieved through the use of such measures as setbacks, building height variation, and wall and roof offsets, to prevent a monotonous appearance. Multiple buildings should be clustered to achieve a "village" scale with plazas and pedestrian areas. When clustering is impractical, a visual link should be established between buildings through the use of arcades, trellises, colonnades, landscaping and trees, or enhanced paving.

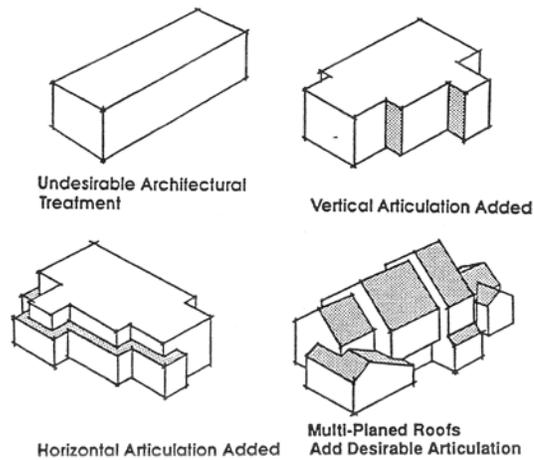
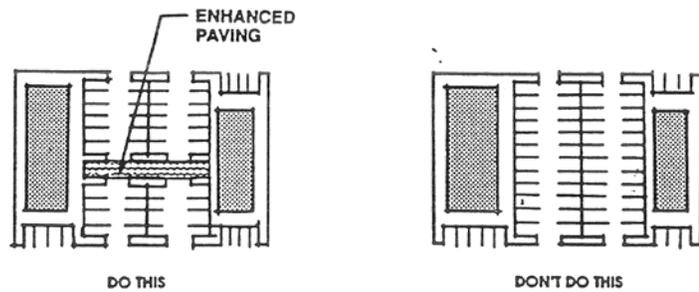
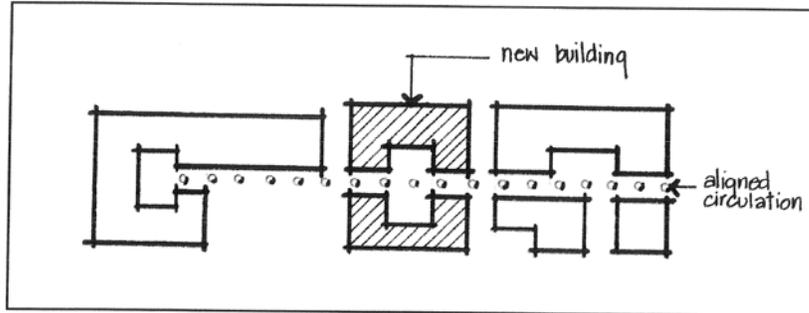


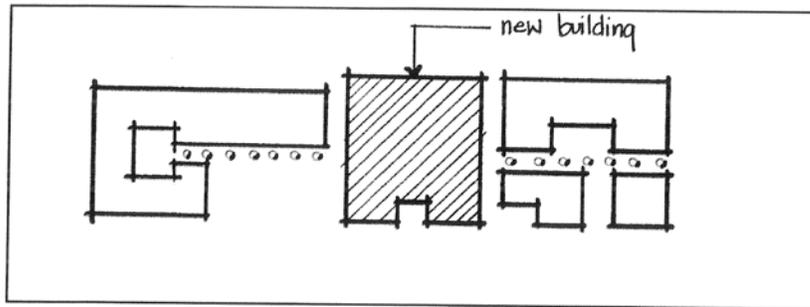
Figure 3-15 - Walkways Separate From Vehicle Access



- e. Projects with multiple phases, regardless of ownership of the applicable properties, should be coordinated in architecture and site design.

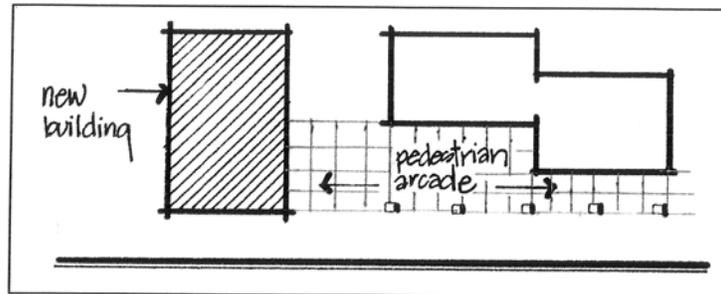
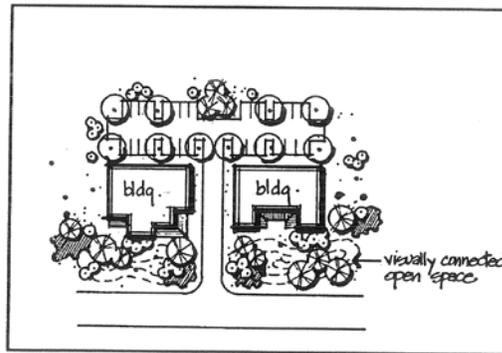


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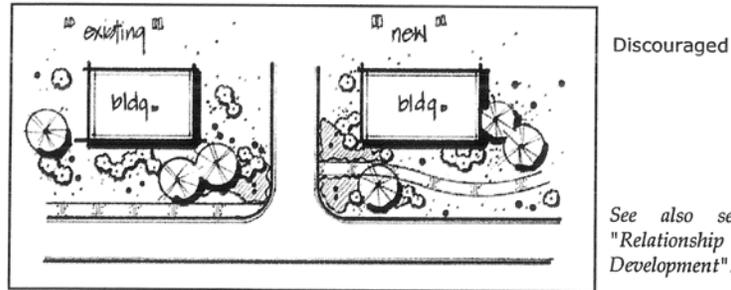
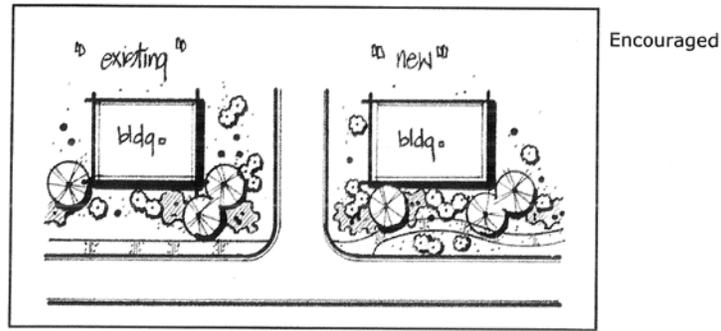


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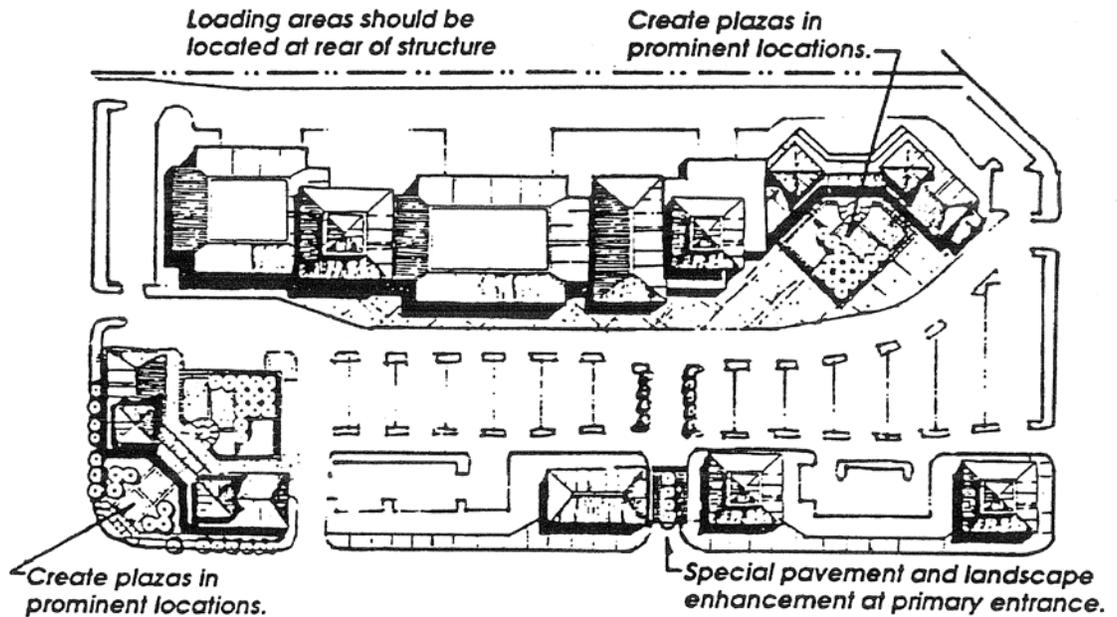
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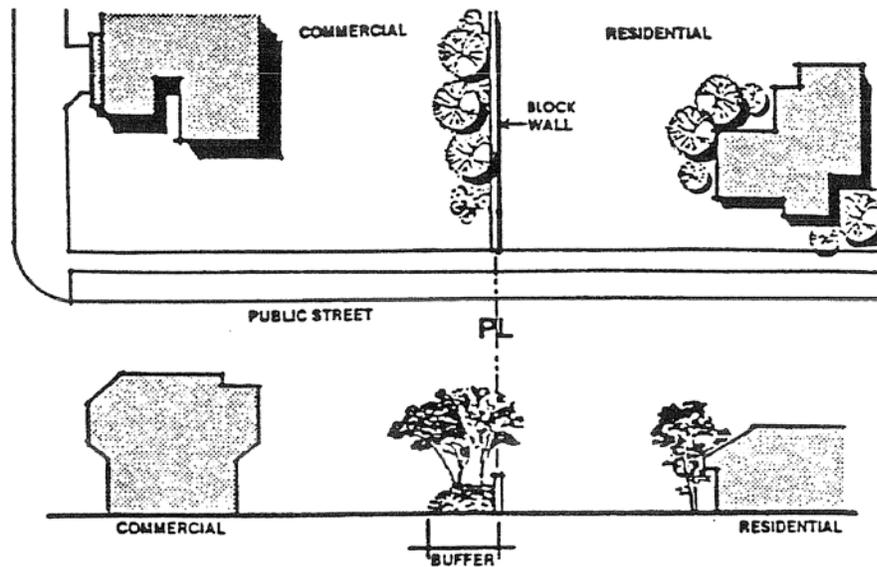
- f. Loading facilities should not be located at the front of buildings where they will interfere with customer and employee traffic and can be difficult to adequately screen. These facilities are usually more appropriate at the rear of buildings.



- g. Loading docks should be screened from street and off-site views to maximum extent feasible, and be architecturally integrated with the design of the building. Loading dock screen walls should include the materials used on the building where the dock is located and should include decorative caps and pilasters. Landscaping should be used to soften the appearance of the screen walls.

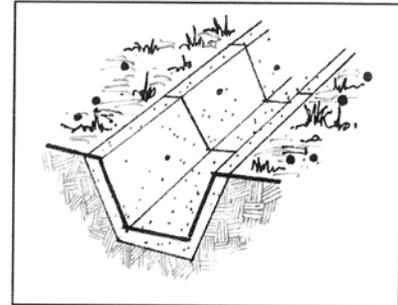
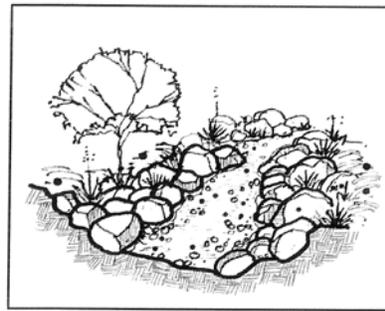
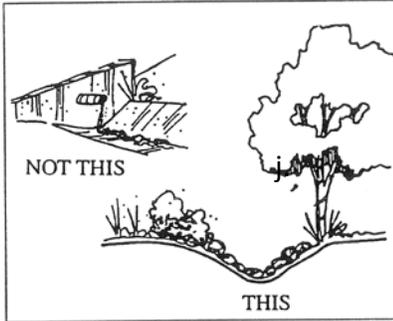


- h. Special attention should be given to the design of loading facilities adjacent to residential areas to minimize noise and visual conflicts. Techniques to achieve this guideline include lower lighting, orientation, sound walls and enclosed loading facilities.

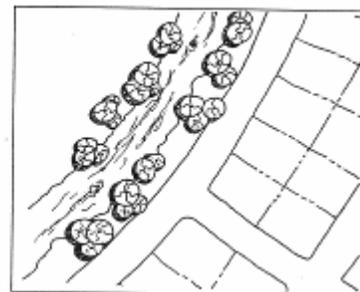
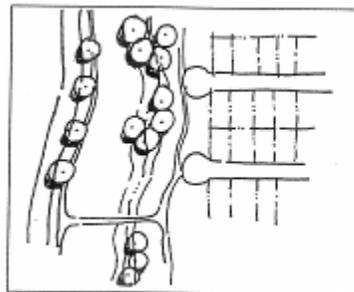
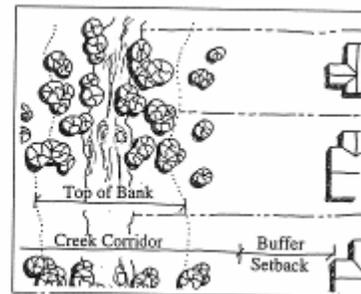
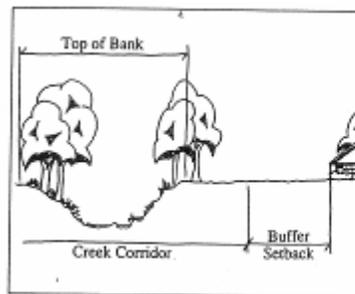


Buffer separation is required between different uses.

- i. Open drainage features should be designed to mimic natural creeks in their visual qualities where feasible. In areas where it is necessary to drain water more quickly from homes and properties, such as homes located at the bottom of a hill, with development located above, engineered and lined open drainage features should be used.



- j. Creeks and riparian areas should be protected through the use of setbacks in accordance with the City's General Plan policies.



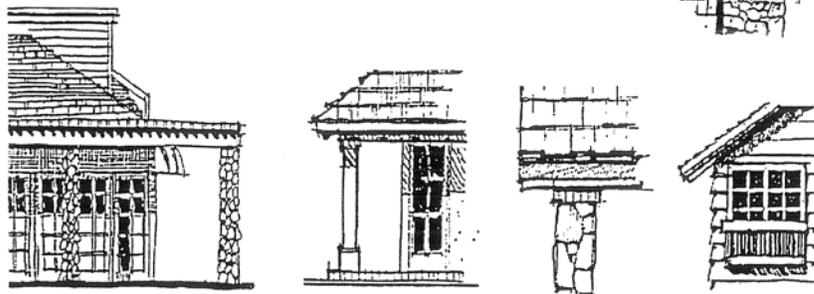
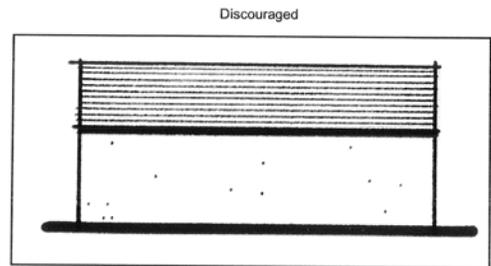
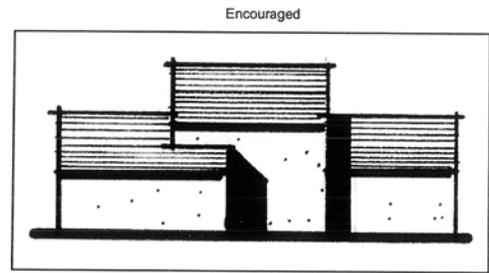
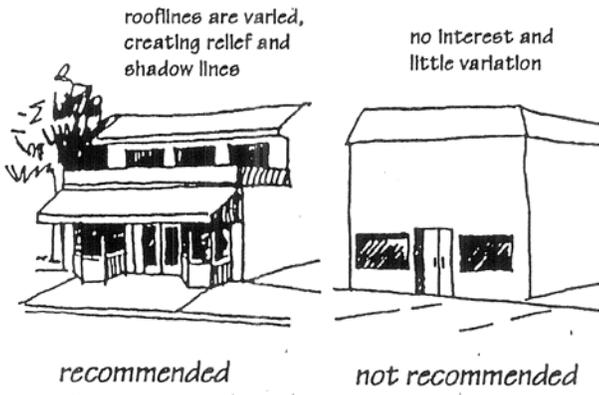
3. Building Elevations / Architecture

Architecture

- a. No particular architectural style or design is required by the City. However, prototypical building designs used by businesses should be avoided. Corporate colors should be used as an accent only.



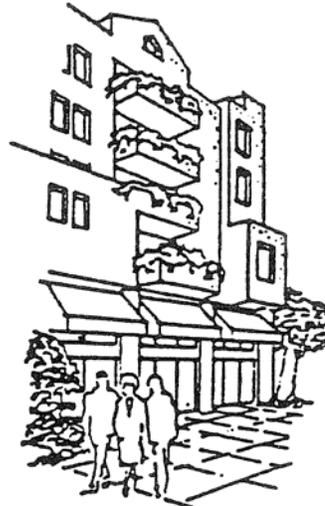
b. Monotony of texture, building lines or mass should be avoided.



Utilization of numerous desirable architectural elements.



Undesirable articulation of building facade



Desirable articulation of building facade

- c. Blank walls should be avoided by utilizing some combination of features such as window designs, window trim, trellis features, wall articulation, arcades, wall light, change in materials or other features.



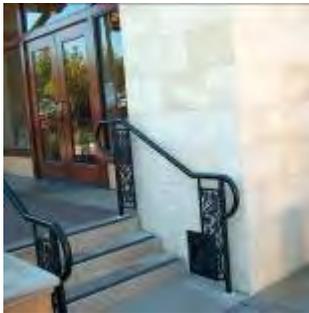
- d. Offsetting planes are encouraged, including variation in roof planes and variations of exterior building walls.



Excellent horizontal and vertical wall articulation



- e. A mixture of exterior building materials is encouraged.



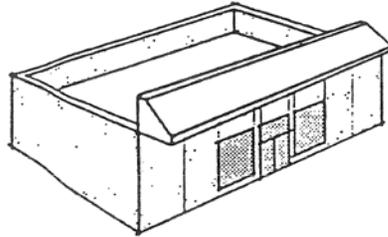
- f. Exterior finish materials should be chosen and applied so that they do not appear “thin” and otherwise artificial as in the case of brick veneer applied to a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2” x 2” or 2” x 4” members. Veneers should turn corners, avoiding exposed edges.



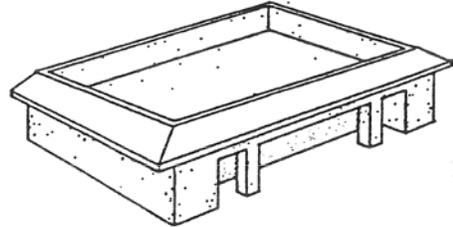
- g. Three dimensional architectural elements such as towers and boxed parapets should be designed with continuous parapet walls and not be designed as façade treatment only.



- h. Parapet walls should be designed to be proportional to the scale of the building. Bracing for the parapet wall should not be visible.



NOT ACCEPTABLE
Partial mansard roof appears added-on.



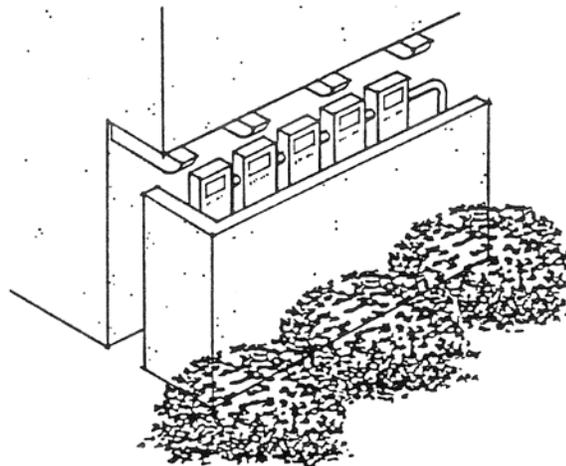
ACCEPTABLE
Mansard roof wraps around entire building.



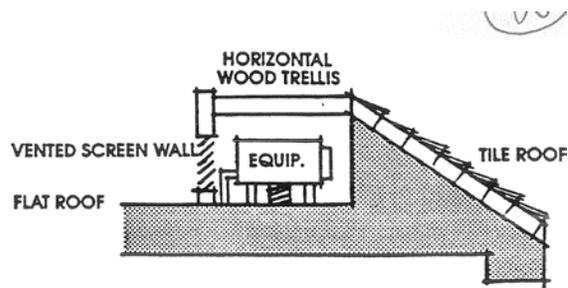
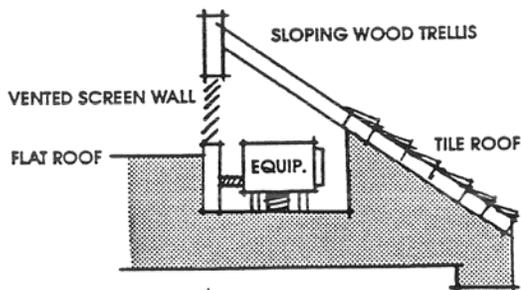
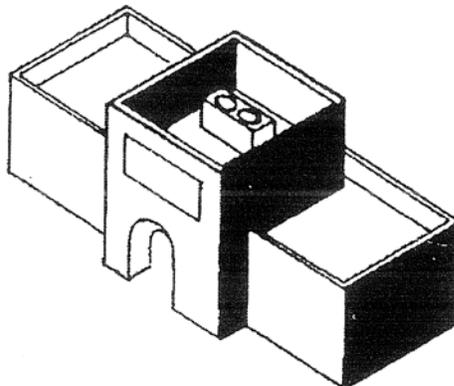
- i. Painted concrete blocks or CMUs should be avoided.

Mechanical Equipment, Drains and Valves

- j. Mechanical equipment, utility meters and service equipment, fire risers, and related piping or wiring should be located within the building or in an equipment room with an exterior entrance. If located outside the building, equipment should be screened from public streets and neighboring properties.



- k. Roof mounted mechanical equipment should be screened from all views by a building parapet or other effective roof design.



- l. Ground mounted mechanical equipment should be hidden from all views with a durable solid screen painted to match adjacent building and landscaping. Screen materials should compliment the architecture of the building.



- m. Consideration should be taken to plan for screening of all roof mounted equipment from existing or planned overpasses, hillsides, etc. Cross sections should be submitted demonstrating that the proposed screening will be effective where these circumstances apply.

- n. Downspouts and drain pipes should preferably be placed within building walls. If they must be placed on a building exterior, they should be integrated with the architectural design, colors and finish materials of the building.
- o. All check valves and back flow prevention devices should be covered with a dark green all weather blanket or screened in some manner acceptable to the Design Review Board.



Trash Enclosures

- p. An enclosure(s) designed to screen all trash containers, including trash bins, recycling bins, grease rendering bins, containers, and toters should be included for every project. The design of the enclosure should be constructed from similar architectural features and materials to the principal buildings and should include solid metal doors, decorative caps, blocks and other decorative features.



4. Signage: General Guidelines for All Permanent Signs.

- a. Sign designs should be coordinated with the architecture of the buildings on site. The sign structure and graphic imagery should relate to the building form and design concept of the entire project.



- b. Materials and colors of signs should be coordinated with the building materials and colors of the buildings on site and be durable.



- c. Signs should not consist of traditional cabinet signs, flat plywood, signs painted directly on building siding, or other flat signs without three-dimensional character.

Traditional cabinet signs referenced above, are defined by the City as those cabinet signs consisting of a shaped box (i.e., square, rectangle, round, oval, triangle or other shaped cabinet) which is typically internally illuminated and contains not only the sign copy and logos, but also a solid illuminated background or panel that is a component of the sign. The solid background or panel also fills the space between the copy presented in the sign and the outside perimeter of the cabinet.

The following are examples of traditional cabinet signs:



Signs may, however, consist of Contoured Cabinet Signs (also known as Individual Pan Channel Word signs) that are in substantial compliance with the following design parameters:

- 1) The perimeter of the sign follows the outside boundary of all of the copy and is an irregular shape, with significant articulation.
- 2) In cases where the copy consists of multiple words, each word is typically created by a separate can or cabinet meeting all design parameters.
- 3) The sign contains minimal to no background color.
- 4) Although the letters in the copy may be connected, there are substantial "cut out" or void spaces which still allow the building surface to be seen behind and amongst the lettering. The use of cut out spaces is maximized within the sign design.
- 5) The use of cursive font lends itself to more articulation and void spaces, therefore, cursive font is preferred to print or block style letters.
- 6) The letter outline or background color should be darker than the lettering color. However, if a light or white outline/background color is used, the width of the outline should be minimized to the extent possible.

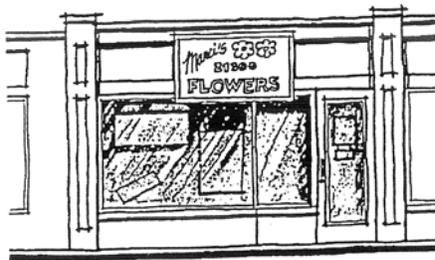
- 7) Raceways which match the building color and/or blend with the building materials may be used as part of the installation of contoured style cabinet signs, as well as, other signs consisting of individual pan channel letters. Raceways are defined as a rectangular box or channel upon which illuminated letters or other illuminated sign components are attached in such a manner that all of the electrical apparatus for the sign is prewired and contained entirely within the raceway.

The following are examples of Contoured Cabinet signs that **COMPLY WITH** the design parameters established for these types of signs:

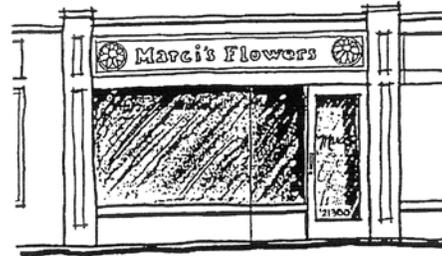




- d. The size of signs should be coordinated with, and be proportional to, the elements of the building.

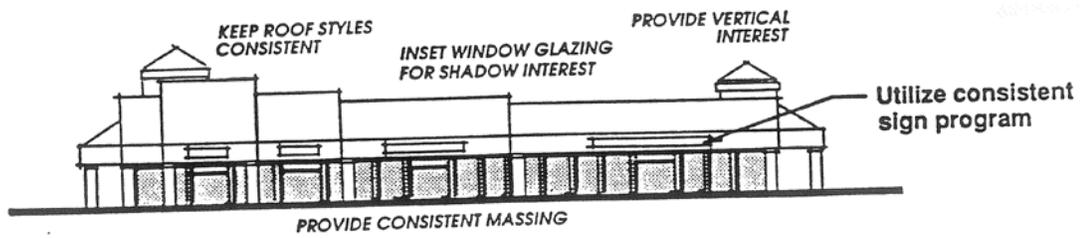


Inappropriate sign placement



Recommended sign placement





- e. Sign illumination that creates adverse glare on adjoining properties or public streets is prohibited.
- f. Signs facing adjacent residential areas should be non-illuminated.

5. Signage: Freestanding Permanent Signs.

- a. Freestanding signs with a solid base (sometimes called blade or monolithic signs) and background are preferred. This is due in part to the fact that the solid signs assume the character of a building and therefore, tend to incorporate more architectural features such as reveals, horizontal offsets and canopies. The entire sign, including the sign base should be clad with materials to make the sign architecturally compatible with the buildings.



- b. Exposed pole signs are prohibited.



- c. The number of colors on the sign structure should be minimized. The sign structure(s) within a project should have a consistent background and materials with the goal being consistency and uniformity among the signs within a project.



- d. Corporate logos may be integrated into the sign design.



- e. Architectural features from the building(s) on the site should be integrated into the sign design. This may be a combination of color, materials, style, cornice elements or other design features from the building.



6. Signage: Permanent Building Mounted Signs

- a. Building/wall mounted signs with individual letters are preferred over signs with traditional cans or cabinets. Halo-lit signs are strongly encouraged.



Standard Channel Letters



Reverse Channel Letters



Open Face Channel Letters



Front & Back Lit Channel Letters



Contoured Cabinet signs that are in substantial compliance with the design parameters established in Section C.4.c. of the Citywide Design Criteria are also considered acceptable.



Traditional cabinet signs are generally not allowed, however, they will be considered when it is demonstrated that it is a necessary component of the overall sign presentation. A traditional cabinet sign component is considered generally acceptable if the area of the traditional cabinet is not more than 25% of the total sign area being proposed. In addition, ancillary traditional cabinet sign components greater than 25% of the total sign area being proposed may be considered upon submittal of clear and convincing evidence of necessity, and if it can be demonstrated that such components are an integral part of the overall design, enhance the aesthetic of the sign presentation rather than detract from it, are in appropriate proportion to other components of the sign and are not greater than 50% of the total sign area. Traditional cabinet signs may only be used in association with a sign composed of individual or contour cabinets, not as stand alone signage. The use of an opaque background is preferred.



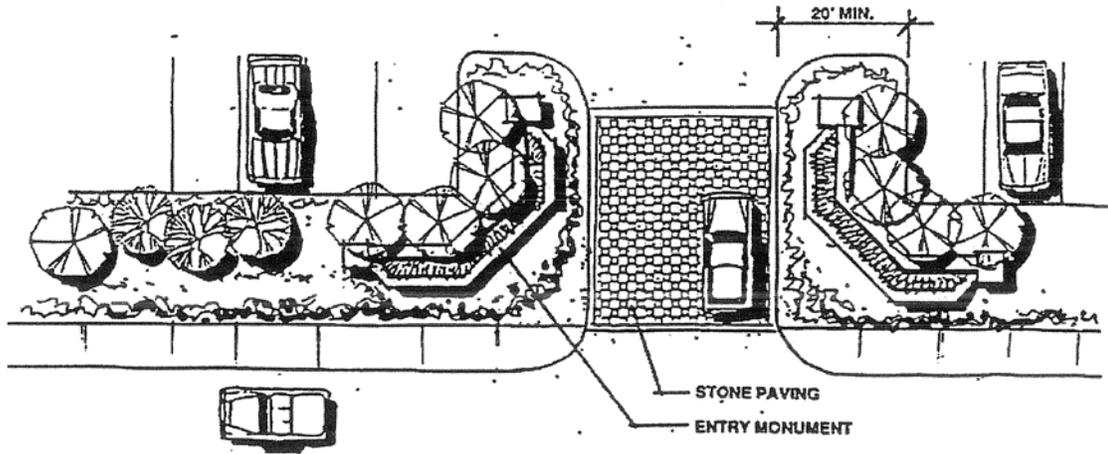


7. Parking Lots, Landscaping and Pedestrian Access

Parking Lots

- a. Parking lot access points should have sufficient throat depth from the street to the first point of vehicular conflict, be it a parking space or a cross access aisle. Sufficient depth is the amount necessary to ensure adequate space to maneuver onto the site before encountering the first point of conflict and adequate stacking. The number of access points should be limited to the minimum amount necessary to provide adequate circulation.

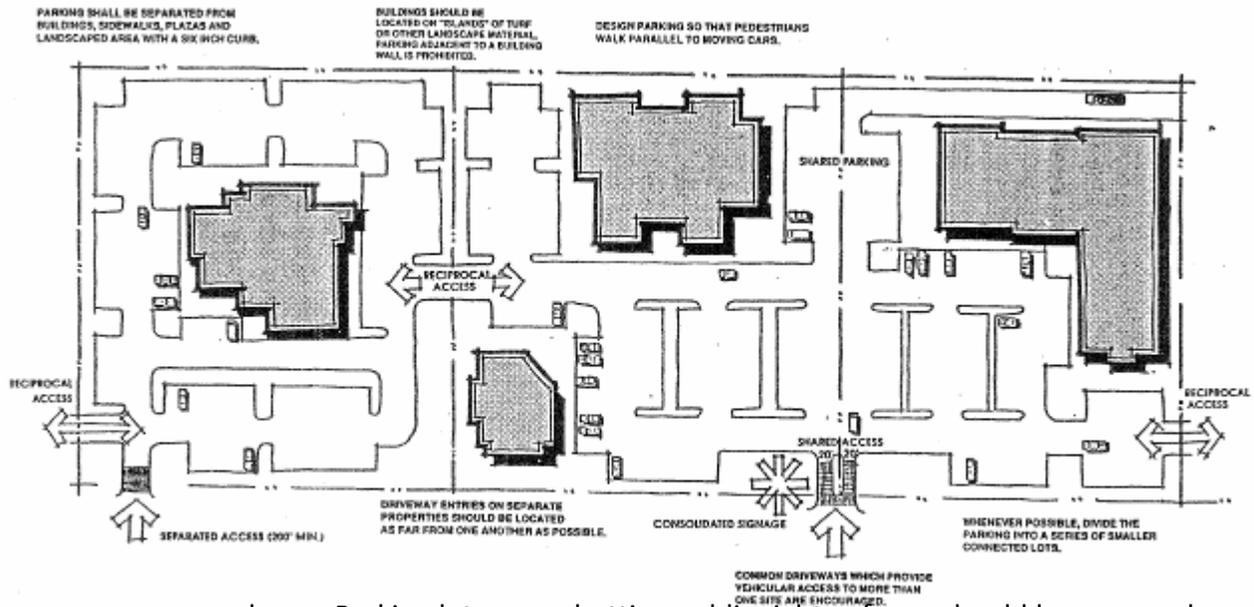




- b. Parking lots should be treated with some combination of features in order to break up large expanses of paved areas and make them pedestrian friendly. The features should include, but not be limited to, decorative elements such as, building wall extensions, plantings, berms, trellises, stamped pavement, water features, and potted plants.

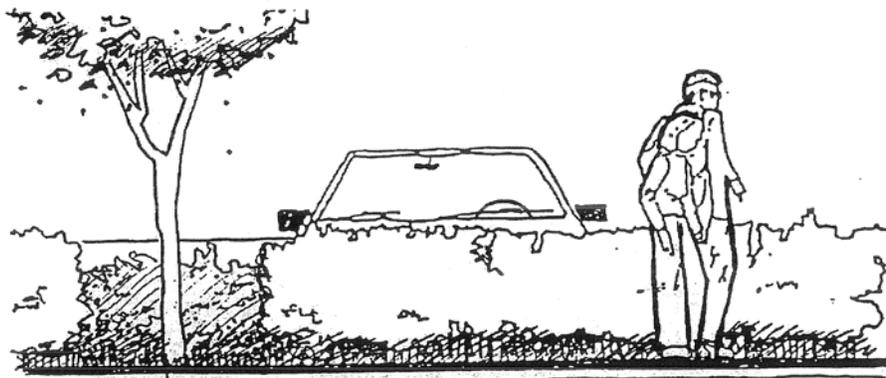
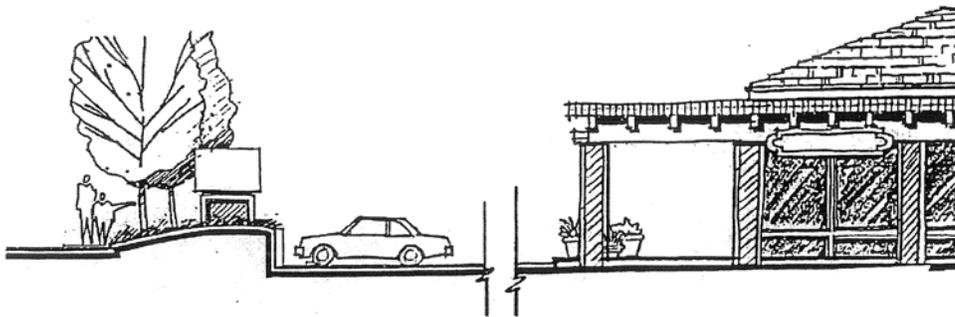
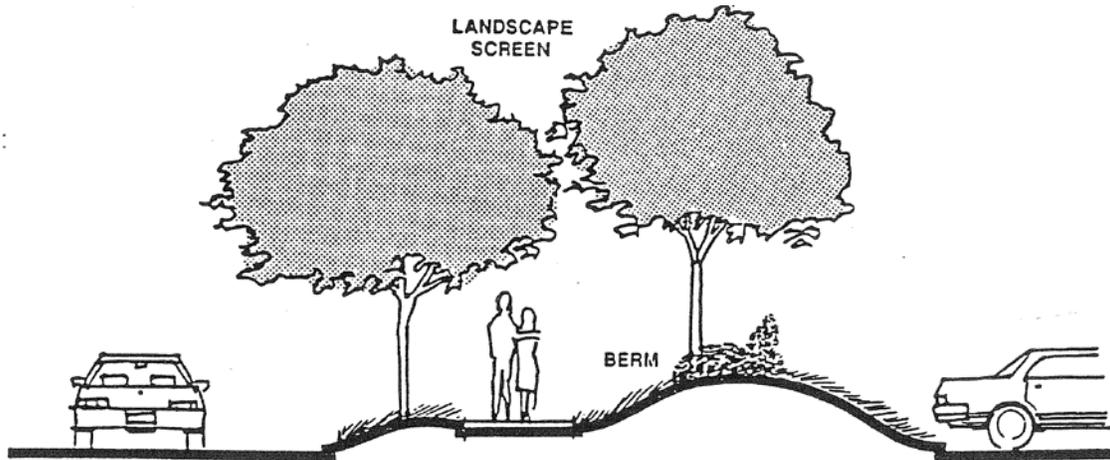


- c. Parking lot designs which incorporate reciprocal access points between adjoining properties that have the same or similar land uses are encouraged.



- d. Parking lot areas abutting public rights-of-way should be screened from the street by a landscaped area wide enough (typically 15 feet or more) to include earth berms or low walls, typically 3 feet in height as measured above the adjoining parking stall. Preliminary designs for berming or screening should be shown on the grading and/or landscaping plans. The design of the berms should be sculpted and undulating rather than angular in appearance. Additional landscape width should be provided where there is a substantial differential (i.e., more than 3 feet) between the street and parking lot grade to accommodate berms that are tall enough to screen vehicle undercarriages yet look natural.

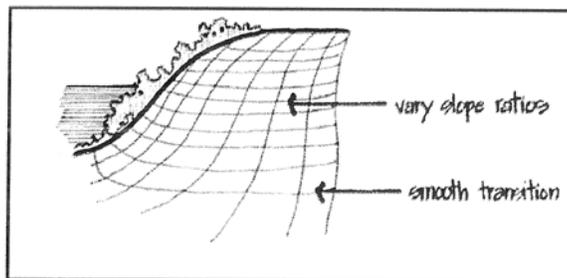
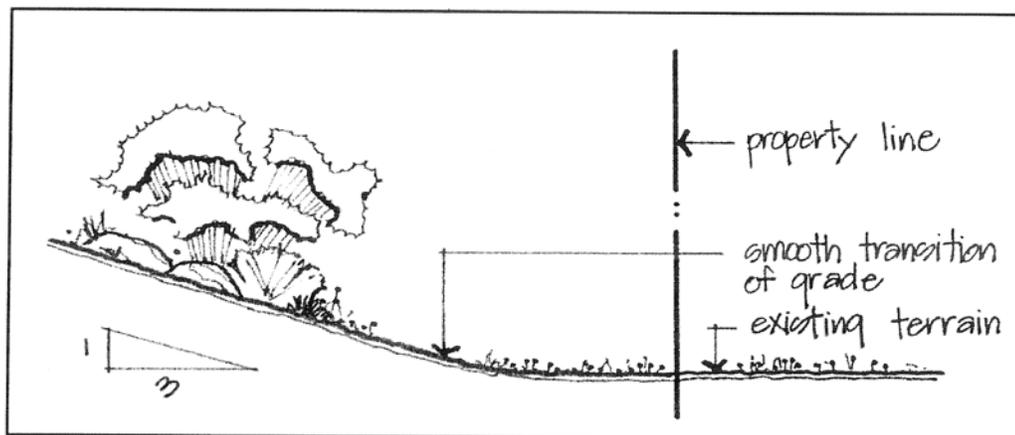




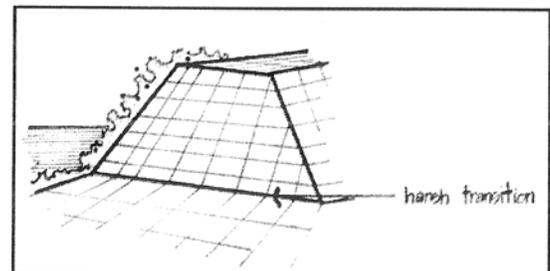
- e. Parking lots should be shaded by tree planting at one tree per 5 spaces. Trees should be located throughout the parking lot, not just at the ends of parking aisles. Parking lot planters should be designed with consideration of pedestrian access through the landscaping to get from the parking area to the building. Parking lot trees should be large canopy trees to maximize the amount of shade produced by the tree.

Landscaping

- f. Dense and sustainable landscaping should be included within the project design to soften the hardscape, provide transitions and screening where necessary.
- g. Principal entries to projects should be enhanced with a combination of pavers, landscaping, rocks, signage and other appropriate features to enhance the project's image.
- h. Tree wells and landscaping planters should be large enough to prevent cars from striking the mature trees and any associated plants within the planter areas. Landscaped areas susceptible to injury by motor or pedestrian traffic should be protected by appropriate curbs, tree guards and other devices.
- i. Existing topographic or natural patterns and existing trees should be incorporated into landscaping designs wherever possible.

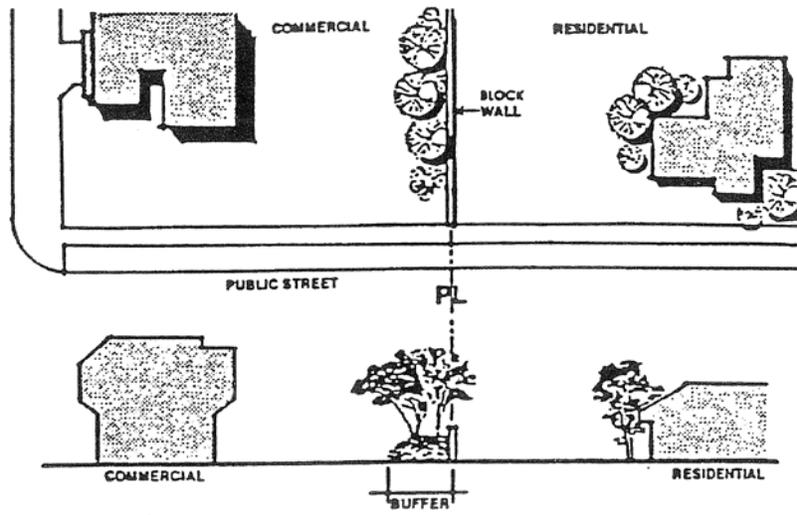


Encouraged



Discouraged

- j. All landscaped areas should have water efficient irrigation systems.
- k. Landscaping should be used wherever possible to provide additional screening between single-family neighborhoods and non-single family areas. Landscaping should also be used wherever possible to provide additional screening between multi family projects and adjoining areas.



Buffer separation is required between different uses.

- l. Natural granite or moss rock boulders should be included within the landscaped areas along the public right of way.



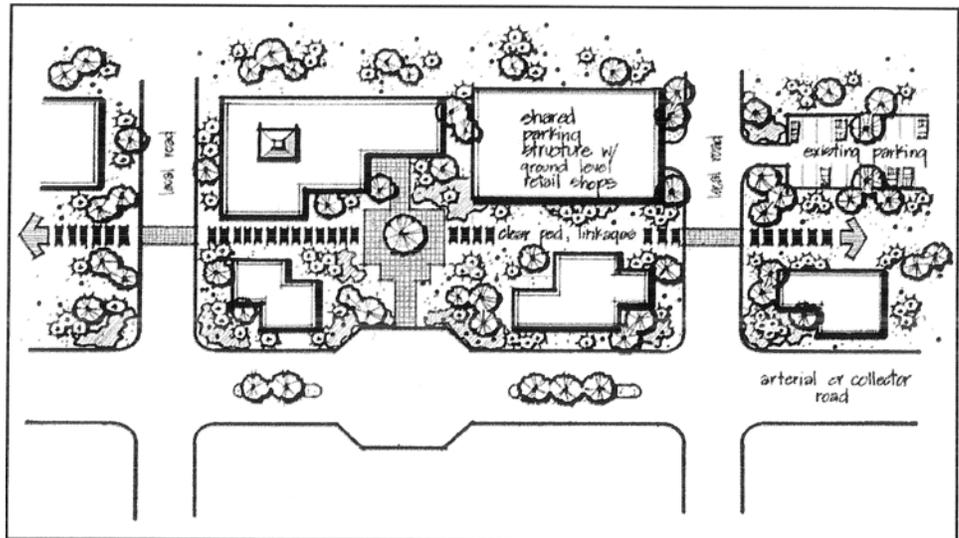
- m. Plant sizes and species and granite boulders will be approved with the Design Review entitlement.

Pedestrian Access

- n. Pedestrian access throughout the site should be distinguished from driving surfaces and enhanced with design features such as colored pavement, sitting areas, dedicated pathways, enhanced landscaping and decorative architectural features.



- o. Pedestrian connections should be provided between separate buildings within a project and to existing centers on adjoining sites.

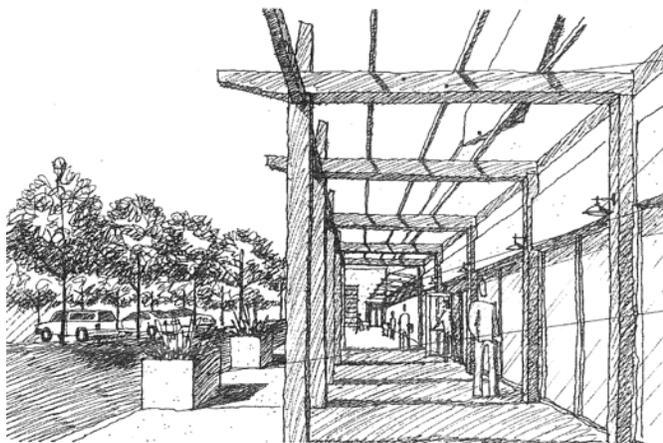


- p. Sidewalks should have canopy trees at regular intervals along the edge adjacent to the parking areas or vehicular access ways, so that the combination of building walls, sidewalk, and trees provide an enhanced pedestrian experience.





- q. The use of on-site pedestrian amenities, such as coordinated benches, shelters, fountains, lighting, planter pots and trash receptacles is encouraged.



- Wood or metal bracing at key locations
- Lighting to compliment buildings & accent key locations
- Majority of pedestrian ways adjacent to storefront shall be covered with permanent building elements or awnings
- Planters & site furniture shall provide relief and scale

- r. Pedestrian walkways throughout the site and in the parking lot should be related to the central building entrances and be a part of the total design.



8. Walls and Fencing

- a. The height measurement for all walls/fencing should be taken from the point where the fence sits on the ground using the higher finished grade elevation.
- b. Chain link fencing is prohibited along the railroad right of way or in any location clearly visible to the public right-of-way unless otherwise previously authorized by resolution or ordinance.
- c. All open fencing should be wrought iron or medium gauge decorative tubular steel painted black or other dark color. White, or any other similar light color should not be a permitted color on open fencing. All wrought iron or tubular steel fences should be designed to result in a smooth line following a slope, to the extent feasible. Where fencing has to be stepped due to topographical constraints, no two horizontal sections can be separated by more than four (4) inches.



- d. Decorative masonry walls should be provided for all single family residential fencing along major arterials and collectors. The masonry walls should step down around corners, transitioning into the front yards.



- e. Decorative masonry walls should incorporate the use of materials with texture and architectural interest, capped pilasters spaced no more than every 80-100 feet and at every corner.

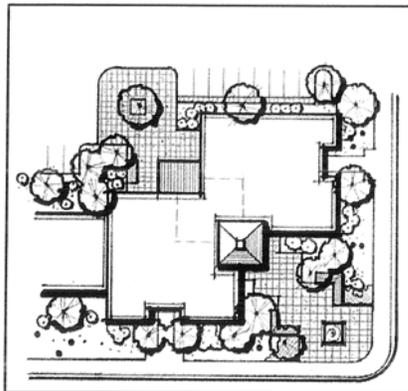


Service yards, refuse areas, trash containers/bins (whether residential or non-residential) which could be visible to the public should be screened by a solid masonry wall or a combination of masonry wall, solid doors and plantings designed to be complementary to the architecture of the building. These areas should be located away from the front of buildings, property lines or near streets, to the extent feasible.

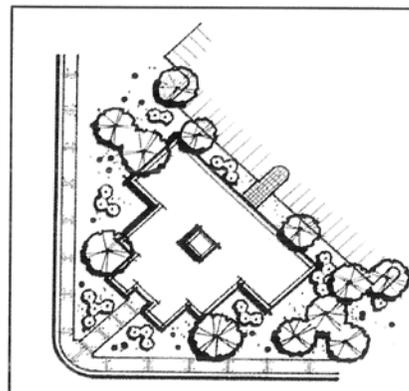


9. Special Features

- a. If a project sits on a corner lot, the corner landscaping should be enhanced with features such as special plantings, outdoor dining areas, trellises, water features, public art or columns.



Encouraged



Discouraged



- b. All commercial centers should include a dedicated outdoor space of a sufficient size, number and location for people to gather (“people places”) for passive activities.



- c. Awnings should be a complimentary shape and design to the opening it covers. Plastic or vinyl materials are not appropriate. Single building faces with multiple tenants should use a consistent awning design and color.



- d. Banners or flags (such as seasonal light pole banners) may be used to enhance non-residential projects except they may not be used for any product advertising or include any logos or project names



**D. Design Guidelines For Small Lot Single Family Subdivisions
(Lots Less than 6,000 square feet)**

Subdivision Design

- 1. Innovation and creativity in subdivision design is highly encouraged. Rear facing garages (“alley-loaded” design) are especially encouraged for lots less than 4,000 square feet.



- 2. Separated sidewalks should be part of the street design for small lot “alley-loaded” and “greencourt” subdivisions where access to garages is provided from the rear of homes. A minimum four foot wide planter strip or parkway that includes trees should be provided. Meandering sidewalks could have sections closer to the curb as long as the overall intent is achieved.



- 3. The City of Rocklin’s Standard Drawing for an alley is designed for commercial applications. In individual subdivisions, a modified alley apron (or taper) may be considered appropriate as recommended by the City Engineer.

4. The subdivision design should address trash pick for dead-end alley units and other situations where clustered home designs are proposed.
5. Garages for alley-loaded houses should be setback either:
 - a. Twenty feet or more from the property line/alley right-of-way (to accommodate a parked vehicle on the driveway);
 - Or
 - b. No less than four feet and no greater than five feet from the property line/alley right-of-way (to discourage parking in alleys)
6. The subdivision design for green court, six pack, and other clustered home products, should include a central green space that would be property owner association maintained. At a minimum, the green space should include seating, shade trees, accent landscaping, and turf.



7. The subdivision design should include provisions for sufficient visitor parking. Visitor parking can be located along the streets or in dedicated parking stalls but not on the driveways.
8. Shared common areas should be designed into the neighborhood.



House Design

9. The house designs should incorporate a strong mix of styles and materials to avoid monotony, including varied architectural elements and details. The following are encouraged (not limited to):
- a. Usable porches
 - b. Balconies
 - c. Bay and dormer windows
 - d. Special window treatments and shapes (mullions, Palladian windows, etc.)
 - e. Shutters
 - f. Awnings
 - g. Brackets, out-lookers, corbels, etc.
 - h. Accent trim, vents, and other changes in material and texture
 - i. Avoid the use of obvious false, tacked-on treatments such as false windows



10. Enhanced elevations should be provided when publicly visible from arterials and open space. Elements of enhanced elevations include, but are not limited to:
- a. Special window treatments and shapes (mullions, Palladian windows, etc.)
 - b. Shutters
 - c. Awnings
 - d. Brackets, out-lookers, corbels, etc.
 - e. Accent trim, vents, and other changes in material and texture
 - f. Avoid the use of obvious false, tacked-on treatments such as false windows



11. Enhanced landscaping that provides shade and year round color and interest should be installed at both corners of all alley entrances and at all entry points into the neighborhood. These landscape areas would be property owner association maintained.
12. Enhanced landscaping should be installed in the ends of alley termini and at internal alley corners, to complement the landscaping found at the alley entrance. These landscape areas would be property owner association maintained.



13. All fences in areas viewed by the public from outside of the subdivision or in key locations within the subdivision should be enhanced. Some examples of enhanced fence construction are framed wood and wrought iron. “Good neighbor” fences are not acceptable in these key locations. Enhanced fencing would be property owner association maintained or a homeowner’s association should have the right to cause the maintenance of the enhanced fence if not maintained in accordance with the approved plans.
14. Front and street side yard landscaping should be maintained by a homeowners association or a homeowners association should have the right to cause the maintenance of the front or street side yard landscaping if not maintained in accordance with the approved landscaping plans.
15. House plans should indicate the location for storage of garbage totes, for when they are and when they are not out for pick up by the disposal company.
16. Any wall space designed above the first level of the garage should be architecturally integrated into the overall house design. Blank walls are unacceptable.

E. MINOR CHANGES.

Changes to an approved entitlement may be approved by the Community Development Director, provided such changes do not change the character or intent of the project.

F. VALIDITY.

An approved design review entitlement shall expire and become null and void two (2) years after approval; provided, that if at the end of the two (2) year period a building permit for the project is active, the approval shall expire and become null and void upon the expiration of the building permit.

G. DEFINITIONS

1. Adjacent – Next to or adjoining.
2. Breezeway – A porch or roofed passageway open on the sides which functions to connect two buildings or parts of a building.
3. Pergola – A structure of parallel colonnades supporting an open roof of beams and crossing rafters or trelliswork, over which climbing plants are trained to grow.
4. Plaza – A public square or open area usually located near or between urban buildings that is designed as a gathering place and often features walkways, decorative paving, trees, shrubs, places to sit, fountains and/or public art,
5. Prototypical Building Designs – A standard or typical design that is often replicated with little deviation.
6. Trellis – A frame supporting open latticework, used as a screen or a support for growing vines or plants.
7. Usable porches – Porches that are open on at least two sides and a minimum of 5 feet deep and 10 feet long. The area calculated as the usable porch should not include any area that functions as the access way into the dwelling. In zoning districts where front setback encroachments are permitted for usable porches, the porch should not occupy more than 50% of the front width of the house.
8. Water Features – Fountains, waterfalls, and other similar facilities which include water movement as part of their visual display.