



New Project Information

The City of Rocklin has begun processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

Application Received: April 18, 2024

Project Name and Requested Approvals:

STANFORD RANCH 6.8 APARTMENTS
DESIGN REVIEW, DR2024-0001
ENVIROMENTAL, ENV2024-0004

Staff Description of Project:

This application is a request for approval of a Design Review to allow for the development of a 165 unit apartment complex. The project proposes a mix of one, two, and three-bedroom units in six (6) three-story buildings arranged around the site.

Location:

The subject site is located on the northeast corner of West Oaks Boulevard and Lonetree Boulevard. APN 017-284-015.

Existing Land Use Designations:

The property is zoned Mixed Use Twenty-Four Units an Acre (MU-24+).
The General Plan designation is Mixed Use (MU).

This project **does** / **XX** **does not** require modification or change of the land use designations and regulations currently applicable to the project site.

Compliance with the California Environmental Quality Act:

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Mitigated Negative Declaration (ENV2024-0004) as the appropriate level of environmental review for this project.

Applicant & Property Owner:

The applicant is David Jacobson with Jacobson Consulting. The property owner is Rocklin Corporate Center, LLC.

Attached Information:

For additional detail please see the attached information from the project application form and the submitted application exhibits.



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Stanford Ranch 6.8 Apartments

LOCATION: Northeast Corner of Lonetree Blvd. and West Oaks Blvd.

ASSESSOR'S PARCEL NUMBERS: 017-284-015-000

DATE OF APPLICATION (STAFF): 4/18/24 **RECEIVED BY (STAFF INITIALS):** MC

FILE NUMBERS (STAFF): DR2024-0001, ENV2024-0004 **FEES:** \$18,258

RECEIPT No.: R58165

Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: Feb. 29, 2024

THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

<input type="checkbox"/> General Plan Amendment (GPA) Fee:	<input type="checkbox"/> Tentative Subdivision Map (SD) Fee:)	<input type="checkbox"/> Use Permit (U) <input type="checkbox"/> Minor (PC Approval – New Bldg) Fee: <input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee: <input type="checkbox"/> Major (CC Approval) Fee:
<input type="checkbox"/> BARRO Zone Application (BZ) Fee:	<input type="checkbox"/> Tentative Parcel Map (DL) Fee:	<input type="checkbox"/> Variance (V) Fee:
<input type="checkbox"/> Rezone (Reclassification) (Z) Fee:	<input checked="" type="checkbox"/> Design Review (DR) Commercial Fee: Residential Fee: Signs Fee:	<input type="checkbox"/> Oak Tree Preservation Plan Permit Planning Commission Fee: City Council Fee:
<input type="checkbox"/> General Development Plan (PDG) Fee:	<input type="checkbox"/> Concurrent Application (2 or more entitlements) Fee:	<input type="checkbox"/> Modification to Approved Projects Fee:
_____ File Number		

Environmental Requirements: (STAFF)	<input type="checkbox"/> Exempt - <input type="checkbox"/> Negative Declaration -	<input type="checkbox"/> Mitigated Negative Declaration - <input type="checkbox"/> EIR - See Fee Schedule
--	--	--

UNIVERSAL APPLICATION FORM (CONT.)

GENERAL PLAN DESIGNATION:	PROPERTY DATA:	UTILITIES:	
		EXISTING	PROPOSED
Existing: <u>Hi Density Residential Allowed</u>	Acres: <u>6.82</u>	<input checked="" type="checkbox"/> Pub. Sewer	<input type="checkbox"/> Pub. Sewer
Proposed: _____	Square Feet: <u>297,079</u>	<input checked="" type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
Zoning:	Dimensions: <u>Irregular</u>	<input checked="" type="checkbox"/> Pub. Water	<input type="checkbox"/> Pub. Water
Existing: <u>MU-24+</u>	No. of Units: <u>165</u>	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
Proposed: <u>Same</u>	Building Size: <u>145,000</u>	<input checked="" type="checkbox"/> Electricity	<input type="checkbox"/> Electricity
	Proposed Parking: <u>349 Spaces</u>	<input checked="" type="checkbox"/> Gas	<input type="checkbox"/> Gas
	Required Parking: <u>347 Spaces</u>	<input checked="" type="checkbox"/> Cable	<input type="checkbox"/> Cable
	Access: <u>8 Spaces</u>		

PROJECT REQUEST: Request approval for design review to construct an apartment complex consisting of 165 dwelling units, 145,000+/- sf of conditioned space, in 6 buildings and a 5,274 sf clubhouse on a 6.82 acre vacant parcel.

(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Rocklin Corporate Center, LLC, Attn: Richard Griffin

ADDRESS: 8100 Cantershire Way

CITY: Granite Bay STATE: CA ZIP: 95746

PHONE NUMBER: 916-768-8410

EMAIL ADDRESS: rpg@surewest.net

FAX NUMBER: N/A

SIGNATURE OF OWNER _____

(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT
(If different than owner): Blue Mountain General Contracting

CONTACT: David Jacobson (Jacobson Consulting, authorized agent)

ADDRESS 707 Aldridge Road

CITY: Vacaville STATE: CA ZIP: 95688

PHONE NUMBER: 925-989-9180

EMAIL ADDRESS: drjacobson1@comcast.net

FAX NUMBER: N/A

SIGNATURE OF APPLICANT 

UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Rocklin Corporate Center, LLC, Attn: Richard Griffin

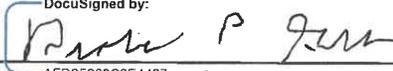
ADDRESS: 8100 Cantershire Way

CITY: Granite Bay STATE: CA ZIP: 95746

PHONE NUMBER: 916-768-8410

EMAIL ADDRESS: rpg@surewest.net

FAX NUMBER: N/A

DocuSigned by:

SIGNATURE OF OWNER _____
(Signature Authorizing Application, provide owner's signature letter if signature is other than property owner.)

NAME OF APPLICANT
(If different than owner): Blue Mountain General Contracting

CONTACT: David Jacobson (Jacobson Consulting, authorized agent)

ADDRESS 707 Aldridge Road

CITY: Vacaville STATE: CA ZIP: 95688

PHONE NUMBER: 925-989-9180

EMAIL ADDRESS: drjacobson1@comcast.net

FAX NUMBER: N/A

SIGNATURE OF APPLICANT  _____



April 17, 2024

RE: Letter of Authorization

To Whom It May Concern:

Dave Jacobson is working on behalf of Blue Mountain as a consultant and authorized agent for the Stanford Ranch 6.8 Apartments in the City of Rocklin.

Please do not hesitate to contact me should you have any questions.

Best Regards,

A handwritten signature in blue ink, appearing to read "Andrew Wong".

Andrew Wong
Senior Vice President

Blue Mountain
707 Aldridge Road
Vacaville, CA 95688
707-451-8111

AGENT AUTHORIZATION FORM

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name:	Stanford Ranch 6.8 Apartments
Location:	Northeast corner of Lonetree Blvd. and West Oaks Blvd.
Assessors Parcel Number(s):	017-284-015-000
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):	Design Review
Name of person and / or firm authorized to represent property owner (Please print):	David Jacobson, agent to Blue Mountain General Contracting
Address (Including City, State, and Zip Code):	707 Aldridge Road Vacaville, CA 95688
Phone Number:	925-989-9180
Fax Number:	
Email Address:	drjacobson1@comcast.net
The above named person or firm is authorized as:	Agent (<input checked="" type="checkbox"/>) Buyer (<input type="checkbox"/>) Lessee (<input type="checkbox"/>)
The above named person or firm is authorized to (check all that are applicable):	(<input checked="" type="checkbox"/>) File any and all papers in conjunction with the aforementioned request, including signing the application (<input checked="" type="checkbox"/>) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. (<input checked="" type="checkbox"/>) Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be:	(<input type="checkbox"/>) Unrestricted (<input checked="" type="checkbox"/>) Valid until: 6/4/2025
Owners Authorization Signature & Date:	
Owners Name (Please Print):	Rocklin Corporate Center, LLC Attn: Richard Griffin
Owners Address (Including City, State, and Zip Code):	8100 Cantershire Way Granite Bay, CA 95746
Phone Number:	916-768-8410
Email Address:	rpg@surewest.net

NOTIFICATION OF OWNERS OF MINERAL RIGHTS

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

See page 24 of this application for instructions on how to submit mailing labels.

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

There **are** / **are not** (circle one) owner(s) of record of preserved mineral rights on the subject property and I, David Jacobson, the applicant or applicant's representative, **have** / **have not** (circle one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

 _____
Signature

9/17/24
Date

**STATE OF CALIFORNIA
DEPARTMENT OF FISH AND GAME
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount no later than the day of the final scheduled public hearing for the proposed project.

PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

I, David Jacobson, the applicant or applicant's representative, have read the information above and understand its meaning.

 4/17/24
Signature Date

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, _____ is, is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: N/A Date of list: _____

Type of problem: N/A

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 4/17/24
Applicant: 

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:
<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

MITIGATION FOR AIR QUALITY IMPACTS (CONT.)

MITIGATIONS

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

David Jacobson

Applicant's Name (printed)


Applicant's Signature

9/17/24
Date



City of Rocklin

Planning Division
3970 Rocklin Road
Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

**ENVIRONMENTAL
INFORMATION SHEET**
(To be completed by
applicant)

LOCATION OF PROJECT (ADDRESS) Northeast corner of Lonetree Blvd and West Oaks Blvd.

ASSESSORS PARCEL # 017-284-015-000

NAME OF PROJECT Stanford Ranch 6.8 Apartments

CONTACT/APPLICANT David Jacobson / Blue Mountain General Contracting

ADDRESS 707 Aldridge Road
Vacaville, CA 95688

PHONE 925-989-9180

EMAIL drjacobson1@comcast.net

Project Description - Describe in detail. Add separate sheet if necessary.

See Attachment "Project Narrative"

Property size:	<u>297,079</u>	<u>6.8</u>
	Square Feet	Acres
Land Use:	<u>MU (Mixed Use)</u>	<u>Same as Existing (Multifamily allowed)</u>
	Existing	Proposed

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. _____

Rocklin Corporate Center General Plan Amendment/Rezone, GPA2020-0003, PDG2020-001, Z2020-001

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: Mitigated Negative Declaration for Rocklin Corporate Center (Reso approved approx. February, 2003)

OTHER REQUIRED PERMITS OR APPROVALS:

<u>Permit or Approval</u>	<u>Agency</u>	<u>Address</u>	<u>Contact Person/Phone</u>
<u>401C</u>	<u>Regional Water Quality Control Board,</u>	<u>Central Valley</u>	
<u>11020 Sun Center Dr.,</u>	<u>#200, Rancho Cordova, CA</u>	<u>95670</u>	<u>Attn: Kelli Garver</u>

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more: Land has been fallow for at least the past 10 years.

SITE CHARACTERISTICS

- 1. What natural features (trees, rock outcroppings etc.) presently exist on the site?
Site has several isolated small seasonal ponds. There are no trees or significant rock outcroppings onsite.

- 2. What are the surrounding land uses?
East Office complex West Open space North Light Industrial South Community Park

- 3. Is the project proposed on land which contains fill or a slope of 10% or more? No

- 4. Are there any existing erosion problems? No

- 5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? _____
If so, describe in detail, or refer to attached soils report.
Rocklin 6 Apartments, Preliminary Geotechnical Report by Engeo prepared on 8/24/2023 is attached.

- 6. Grading, excavating or filling activities - Quantity of cubic yards to be:
 - a. Moved within the site 19,750
 - b. Deposited on the site 0
 - c. Removed from the site 7,450 (NET EXPORT CONDITION)Disposal site TBD

- 7. Are there any streams or permanent water courses on the site? No
Describe _____

- 8. Will the proposed project change drainage patterns or the quality of groundwater?
If so explain. If not, why not. Yes, drainage will be detained and treated onsite via an underground system and then discharged to a city storm drain pipe on the North portion of the site.

- 9. Will the project affect any drainage channel, creek, pond or any other water body?
Describe below: Yes, project proposes to fill several seasonal ponds. Aquatic Resources Delineation map is attached.

10. Is any portion of the property located in a flood plain? No
If so describe _____
11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? No
12. Are there any trees or shrubs on the project site? No
What types? _____
Are any to be removed or transplanted? _____
State the location of transplant site: _____
State the number & species to be removed: _____
13. Will the project affect the habitat of any endangered, threatened, or other special status species?
No
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? No
15. What type of equipment will be associated with the project during construction?
Heavy grading equipment, generators, fork lifts, nailguns, paint sprayers, and other equipment typically used in residential construction
During permanent operation? landscaping maintenance equipment
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.
Project will generate dust during construction which will be mitigated by moisture treating soils
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: No, dwelling units don't include fireplaces, appliances to be electric
18. Will the project create any new light source, other than street lighting? If yes, describe below:
No
19. Is this property covered by a Williamson Act contract? No
20. Has this property ever been used for agricultural purposes? No If so, for what purpose and when? _____
21. Does the project involve the use of routine transport or disposal of hazardous materials?
No
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? No known mineral resources
23. How close is the nearest school? 1 mile (Jessup University)

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: See architecture plans

Building height measured from ground to highest point in feet: 39'7"

Number of floors/stories: 3

Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: About 32' (hidden by parapet walls)

Project site coverage: Building	<u>73,153</u>	sq.ft.	<u>24</u>	%
Landscaping	<u>81,762</u>	sq.ft.	<u>28</u>	%
Paving	<u>142,120</u>	sq.ft.	<u>48</u>	%

Exterior building materials: Stucco, Cementitious Lap Siding, Stone Veneer, Metal Awnings

Exterior building colors: See architecture plans, sheet A6.1

Wall and/or fencing material: Wrought iron

Total number of off-street parking spaces required: 347 Provided: 349

Total number of bicycle parking spaces: 0

25. Is there any exposed mechanical equipment associated with the project? No

Location and screening method Rooftop, parapet walls

26. RESIDENTIAL PROJECTS

Total lots 1 Total dwelling units 165

Density/acre 24.19 Total acreage 6.82

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			<u>165</u>
Size of lot/unit			
Studio			<u>470 sf</u>
1 Bedroom			<u>805 sf</u>
2 Bedroom			<u>983-1,098 sf</u>
3 Bedroom			<u>1,186 sf</u>
4+ Bedroom			<u>N/A</u>

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): None

Oriented to: Regional _____ City _____ Neighborhood _____

Hours of operation: _____

Total occupancy/Building capacity: _____

Gross floor area: _____ Number of fixed seats: _____

Number of employees (total): _____ Employees per shift: _____ Number of Shifts _____

Number of visitors/customers on site at busiest time (best estimate): _____

Other occupants (specify): _____

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? To be determined upon CD submittal

29. Will the proposed use involve any toxic or hazardous material? No
 Is the project site within 2,000 feet of an identified hazardous/toxic site? _____
 Is the project site within 2,000 feet of a school or hospital? _____
 If the project involves any hazardous material, explain: N/A

30. How many new residents is the project estimated to generate? 330 residents (average 2 per unit)
31. Will the project generate a demand for additional housing? No
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? Current is zero (vacant land), Estimated is 1650 (10 trips per day)
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? No
 If yes, explain Site entrances have been strategically located to minimize traffic issues, north entrance is right-in, right-out only
34. How close is the project to the nearest public park or recreation area? Adjacent to park
35. What school districts will be affected by this project? Rocklin Unified School District
36. Describe energy-efficient features included in the project. Project will meet or exceed current energy code. Energy features are to be determined.

37. Describe how the following services or utilities will be provided:
 Power and Natural Gas PG&E
 Telephone CONSOLIDATED COMMUNICATIONS
 Water PLACER COUNTY WATER AGENCY
 Sewer SOUTH PLACER MUNICIPAL UTILITY DISTRICT
 Storm Drainage CITY OF ROCKLIN
 Solid Waste RECOLOGY AUBURN PLACER
38. Will the project block any vista or view currently enjoyed by the public? No
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? No
40. Are there any archaeological features on the site? No If so, will the project result in any impact to these features?

FORMATTING AND MINIMUM INFORMATION REQUIREMENTS
To Be Completed By Applicant

INSTRUCTIONS: The following are the formatting and minimum information requirements for the applicable exhibits and documents submitted as a part of all applications. Please check off the line indicating the information has been included and / or formatting requirements met and **submit this checklist with your application**. Mark the line *N/A* if the item is not applicable.

EXHIBIT SETS (Copies of all project drawings stapled together as follows, except tentative maps)

- 1. All project maps and drawings collated together
- 2. Sets stapled together along the left margin
- 3. Each set folded to 8-1/2" x 11" (If there are too many sheets to staple and fold to 8 1/2" x 11" in a single set the plan sets may be broken into two to three subsets, each subset to be stapled, folded to 8 1/2" x 11", and labeled as "1 of ___", "2 of ___", etc. as appropriate, and the subsets rubber banded together into units.)
- 4. Full sized and 11" x 17" reduced sets collated in the same order and including the same sheets
- 5. All sheets in the 11" x 17" reduced sets clearly legible
- 6. For the initial submittal and re-submittals, provide 2 sets of full size and 2 sets of 11" x 17" reduced size drawings (Additional copies to be provided when requested by the City for referral and final, pre-hearing submittals.)

COLORED EXHIBITS (Full size drawings, colored)

- N/A* 1. Exhibits rolled not mounted
- 2. Colors as close as possible to the true colors proposed to be used

MATERIALS SAMPLE BOARD (Accurate samples of colors and materials for ALL finishes proposed)

- 1. Maximum size not to exceed 8-1/2" x 14" (May be a series labeled with the project name and numbered "1 of ___", "2 of ___", etc.)
- 2. Actual chips, samples, and swatches (preferred) or colors shown as close as possible to the true colors proposed to be used
- 3. Manufacturer name and product name and identification number called out

SITE PLAN (A plot plan drawn to scale showing the following)

- 1. Proposed and existing structures (including those to be relocated or removed)
- 2. Square footage of structures and area of all parcels or pads *(see Sheet A-1-1)*
- 3. Dimensions (i.e. property lines, driveways, structures)
- N/A* 4. Natural features (Trees to stay and be removed, rock outcroppings, quarries, etc.)

- 5. All property lines, including those on-site, those immediately off-site and those across any street.
- 6. Circulation
- 7. All existing and proposed public right-of-way improvements
- 8. North arrow
- 9. Vicinity map
- 10. Reciprocal driveways, if appropriate
- 11. Trash enclosures. (Auburn Placer Disposal to approve location and size.)
- 12. Landscaped areas
- 13. Prominent features including structures and natural features of surrounding properties
- 14. All existing and proposed easements (i.e. open space, floodplain, scenic, proposed abandonments, etc., including name of person or group to own and maintain area)
- 15. Location, size, and height of pole lights, signs, street lights, flag poles
- 16. Scale (Scale shall be shown in printed text and with a bar scale).
- 17. Project notes including
 - Owner;
 - Developer;
 - Engineer/Architect;
 - Service Providers;
 - General Plan and Zoning;
 - Assessors Parcel Number(s);
 - Land Area;
 - Building Area;
 - Parking including calculations for parking requirements (The general parking lot design shall be consistent with City of Rocklin Improvement Standards, including size, dimensions, driveway widths, and required landscaping)

DISABLED ACCESS REQUIREMENTS FOR SITE PLANS

- 1. Accessible route of travel requirements (per Title 24): *(see Access Plan)*
 - At least one accessible route within the boundary of the site shall be provided from public transportation stops, public streets, or sidewalks
 - The accessible route of travel shall be the most practical direct route between the accessible entrance to the site and accessible building entrance and accessible site facilities
 - The accessible route of travel shall be provided to all entrances and exterior ground floor exits along normal paths of travel, as well as to the trash enclosure(s)
 - When more than one building or facility is located on a site, the accessible route of travel shall be provided between buildings and accessible facilities
 - The accessible route of travel shall be at least 48 inches wide and have a cross slope no greater than 1/4 inch per foot (1 inch vertical per 50 inches horizontal)
 - The accessible route of travel shall be provided in such a way that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own
 - Clearly delineate all accessible routes and accessible parking areas and include sufficient grade call outs to assure compliance with required slopes
- 2. Accessible parking area requirements:
 - Accommodate required number of handicap spaces

- One-quarter inch per foot slope in any direction, maximum
- Reasonable distance to entrance
- Equally dispersed throughout project for multiple buildings

Questions or clarification of the Disabled Access requirements should be addressed by the Building Department. Sites that require variation from the guidelines will be handled on a case by case basis.

PHASING PLAN *N/A Built in 1 phase*

- ___ 1. A complete phasing plan including improvements to be completed at each phase.
- ___ 2. Interim dead-end streets more than 150' in length require a temporary turn-around.

PRELIMINARY GRADING AND DRAINAGE PLANS

- N/A* ✓ 1. Natural features, soils and geology studies as required by the City Engineer *flat, open field*
- ✓ 2. Natural and finished contours and spot elevations where appropriate *probably mocs*
- ✓ 3. Wetland and riparian delineation *on separate sheet* *graded*
- ✓ 4. Existing or proposed drainage facilities including detention basins
- ✓ 5. Standard utilities (i.e. storm drains, sewer, and water)
- ___ 6. Amount of cut and fill in cubic yards
- N/A* ✓ 7. Identified archeological sites including mortar beds
- ✓ 8. Typical street gradients in percentages
- ✓ 9. Existing and proposed public right-of-way improvements
- ✓ 10. Spot elevations immediately off-site
- ✓ 11. 100 year flood plains *(NOT IN FLOOD PLAN)*
- ✓ 12. Proposed retaining walls
- ✓ 13. North arrow
- ✓ 14. Scale (Scale shall be shown in printed text and with a bar scale)

PRELIMINARY LANDSCAPING PLAN

- ✓ 1. Planting schedule that includes quantities, botanical and common names of all plants used, symbols for all plants, minimum container size (specify 15 gallon size for trees and 5 gallon for shrubs), and the average height range for trees in the specified container size (based on the American Standards for Nursery Stock).
- ✓ 2. Detailed planting plans are required for entrances to multifamily residential, commercial, and industrial projects
- ✓ 3. Indicate use of granite in landscaping/freestanding signage, plants will not block signs
- ___ 4. Parking lot shading provided at 1 tree located every 5 spaces *(proposing carports)*
- N/A* 5. Provide calculations demonstrating that at least 20% of a non-residential site is in landscaping
- ___ 6. Berming or masonry screening walls three feet high along rights-of-way where adjacent to proposed parking or driveway aisles. Provide line of sight cross sections from streets and parking areas including medians and entrances to assure traffic safety

- 7. Year round color and screening
- 8. Utility features such as manholes, pipes, and ditches are to be kept out of the landscape planter areas to the extent possible. In instances where such features are proposed in the landscape areas, they should be located in a way that minimizes impacts to anticipated tree locations or the establishment of trees, shrubs, and ground cover.
- 9. Drought resistant plantings, use of appropriate plant materials, meets requirements of the Water Conservation in Landscaping Act
- 10. Fencing, materials and location *Also see detail sheets*
- N/A* 11. Indicate preserved oak trees and tree preservation techniques implemented
- 12. Scale (Scale shall be shown in printed text and with a bar scale)

BUILDING ELEVATIONS

- 1. All four elevations of each proposed building labeled to include directional and other information to clarify orientation (i.e. North/Granite Drive Elevation). Designs should depict compatibility with neighboring structures and terrain
- 2. Building height
- 3. At least one elevation calling out colors and materials
- 4. Location of mechanical equipment and screening (Cross sections and roof plan)
- 5. Lighting specifications (manufacture name, fixture type and identification information, and proposed wattage). Submittal of cut sheets is encouraged *(TO BE PROVIDED WITH CUTS)*
- 6. Scale (Scale shall be shown in printed text and with a bar scale)
- 7. For multi-building projects, provide a key plan on each sheet

FLOOR PLAN

- 1. Dimensions
- 2. Square footage
- 3. Intended uses
- 4. Scale (Scale shall be shown in printed text and with a bar scale)

OAK TREE PRESERVATION PLAN *N/A*

- 1. All existing oak trees located on site (Tree Survey)
- 2. All trees labeled with corresponding number from arborist report
- 3. Schedule of trees by number, type, size, condition, and removal information
- 4. All trees to be removed should have an X through the center
- 5. Spot elevation of tree at base
- 6. Scale (Scale shall be shown in printed text and with a bar scale)

SIGN ELEVATION

- 1. Elevations of all signs (Freestanding and building-mounted)
- 2. Location(s) of wall sign(s) on building(s)
- 3. Sign height dimensioned
- 4. Sign length dimensioned
- 5. Call out all materials and colors
- 6. Location of all freestanding signs on site plan
- 7. Type of illumination specified
- 8. Scale (scale shall be shown in printed text with a bar scale)

1 SIGN AT TWO LOCATIONS

TENTATIVE PARCEL MAP N/A

- 1. The scale of the tentative parcel map should be 1" = 50 feet unless otherwise permitted by the City Engineer
- 2. All dimensions shown in feet and hundredths of a foot
- 3. If more than three sheets are necessary to show the entire subdivision, an index map shall be included on one of the sheets
- 4. Scale (Scale shall be shown on each sheet in both printed text and with a bar scale)
- 6. North arrow on each sheet
- 7. Title sheet shall be provided except where the size of the subdivision permits the information required to be included on the same sheet as the map of the subdivision.
- 8. All existing property lines with dimensions
- 9. All proposed property lines with dimensions
- 10. Parcel area (Square footage and/or acreage) for each proposed parcel
- 11. The adjacent public rights-of-way, with dimension(s) of the right of way
- 12. All existing structures
- 13. All oak trees and granite outcroppings
- 14. Riparian boundary (as identified by a qualified biologist)
- 15. 100 year floodplain boundaries
- 16. All existing and proposed easements
- 17. Archeological features
- 18. Surrounding land uses, particularly locations of structures and driveways

TENTATIVE SUBDIVISION MAP N/A

- 1. Project notes including Proposed subdivision name
Service Providers;
General Plan and Zoning;
Assessors Parcel Number;
Land Area;
North Arrow;
Existing Land Use;
Proposed Land Use

- _____ 2. Names, addresses and telephone numbers of record owners and subdivider of the land.
- _____ 3. Name, address, and phone number of the persons, firm, or organization that prepared the map and the applicable registration or license number.
- _____ 4. A vicinity or key map of appropriate scale covering sufficient adjoining territory so as to clearly indicate the nearest street intersections, major access streets, property lines of other adjacent properties in the ownership of the subdivider, and other significant features which will have a bearing on the proposed subdivision and its location in relationship to surrounding areas.
- _____ 5. The scale of the map shall be at least one inch equals one hundred feet. The scale shall be shown as both printed text and with a bar scale on each page.
- _____ 6. No single sheet shall exceed 72 inches in length and 54 inches in width. The minimum sheet shall be 18 inches in width and 26 inches in width.
- _____ 7. Boundaries of the subdivision with sufficient information to locate the property
- _____ 8. The boundaries and dimensions of all lots, with all lots consecutively numbered.
- _____ 9. The minimum, maximum, and average lots sizes shall be stated.
- _____ 10. Name of all adjacent subdivisions, if any, and property lines sufficient to show their relationship to the proposed subdivision
- _____ 11. Contour lines at intervals of not more than 2 feet, unless waived by the City Engineer. Topographic information shall be sufficient to fully show the configuration of the land and any and all depressions that may present drainage problems, and shall extend beyond the tract boundaries where necessary to show drainage conditions on surrounding property which may affect the subdivision.
- _____ 12. Lots exceeding a 25% slope shall be so noted.
- _____ 13. The location of all railroad rights of way and grade crossings
- _____ 14. Approximate location of all existing wells, abandoned wells and sumps, including septic systems or other underground systems
- _____ 15. The location of any active or abandoned quarries
- _____ 16. An indication of any physical restriction or condition in the subdivision which affects the use of the property
- _____ 17. All structures, including fences and signs, within the subdivision, dimensioned and distanced to the other structures and to existing and proposed street and lot lines, present and future use of all structures to be noted
- _____ 18. The locations, widths, and purposes of all existing and proposed easements for utilities, drainage, and other public purposes, whether private or public, shown by dashed lines, within and adjacent to the subdivision, including proposed building setback lines
- _____ 19. The location of all potentially dangerous areas, including geologically hazardous areas, and areas subject to inundation or flood hazard adjacent to the property involved and the proposed method of providing storm water drainage and erosion control.
- _____ 20. The location of all ponds, reservoirs, streams and tributaries and their respective floodplains
- _____ 21. The location and general description of any trees with a diameter of 6 inches or greater with notations as to their retention or destruction. Where groves of trees exist, the perimeter of the canopy shall be shown symbolically on the map.
- _____ 22. The location of any significant natural features and/or possible historical or archeological site or remains, including but not limited to, natural springs, caves, Indian grinding rocks, petroglyphs, burial sites, historical buildings and/or their ruins, and significant rock outcroppings

- _____ 23 The boundaries and dimensions of all lots, a number assigned to each lot, and the total number of lots.
- _____ 24. The location, width, and existing/proposed names or designations of all existing or proposed streets, alleys, pedestrian ways and other rights of ways, including but not limited to bikeways, paths, etc. whether public or private. Any change in existing street names shall be specifically requested in writing
- _____ 25. Any modification being requested in accordance with the provisions of Rocklin Municipal Code 16.36 which is shown on the tentative map shall be clearly labeled and identified as to nature and purpose
- _____ 26. The location of all natural and man-made improvements to all properties surrounding the subdivision, including but not limited to off-site natural contours, finished grades, buildings, existing road improvements, and property lines. Cross sections are encouraged or may be required to illustrate elevation differences between the project and existing adjacent development.

Stanford Ranch Apartments Project Narrative

Site

The 6.8-acre project site, APN: 017-284-015-000, is located at the northeast corner of Lonetree Boulevard and West Oaks Boulevard in the City of Rocklin.

Background

The Rocklin City Council passed Resolution PC-2022-05 and PC-2022-06, which rezoned the site from LI (Light Industrial) to MU (Mixed Use) and established the development standards for the new MU zone.

The Rocklin City Council also passed Ordinance No. 1146, establishing a new zoning designation for the site as MU-24+. This new zoning designation allows for multi-family developments at 24 units to the acre minimum.

Project Description

This new multifamily community offers ideal proximity to desirable existing neighborhood assets, conveniently located within walking distance of several office campuses, various services, and a large park with sports fields. The site plan's thoughtful design promotes walkability and ease of access to these and many other services. The site also has easy access to Highway 65 and several major Rocklin thoroughfares.

A centrally located community clubhouse and amenity space are integral parts of the design at the heart of the community. The amenity area provides a focal welcome for new visitors while also being centrally located for easy access by all residents. The approximately 5,274-square-foot clubhouse features leasing offices, the central mail and package room, indoor and outdoor fitness, and two gathering spaces. The L-shaped building cradles a resort pool and spa, ample outdoor seating and lounge areas, and a picnic and barbeque area, offering various recreational options for residents to enjoy.

The 165-unit community includes six buildings with studio, one-bedroom, two-bedroom, and three-bedroom floor plans ranging from 470 to 1,186 square feet in six unique floor plans. The assortment of unit designs provides variety to meet renters'

needs and enhances the exterior elevations with more building articulation, varied balcony sizes, and window locations. The 349 parking spaces provided exceed the required 347 spaces, and the parking is balanced throughout the community for easy access.

The modern architectural style creates a visually captivating series of buildings for the community while also complementing the surrounding commercial structures. The elevation design incorporates vertical and horizontal articulation to create dynamic movement. Vertical tower elements punctuate the corners, horizontal siding and grounding masonry add texture, and thoughtful color blocking of rich earth tones in a logical rhythm contributes to the buildings' distinctive character. Architectural details, such as metal awnings and standing seam metal shed accent roofs provide additional interest. These thoughtful features combine to create depth in the design and massing through shading, shadow, and contrast. The result is a cohesive community of buildings with character, interest, and a modern yet approachable vernacular woven into the location's fabric. Subtle material textures, expressive forms, and integrated colors combine to produce visually engaging exteriors from multiple vantage points.

This community's warm modern character contributes to the fabric of the surrounding existing neighborhood, which includes a blend of contemporary commercial and more traditional residential architecture. The aesthetic strives to create a complementary harmony with the surrounding context, along with plenty of visual interest and movement.

STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

BLUE MOUNTAIN
COMMUNITIES



CITY OF ROCKLIN, CALIFORNIA
04.17.2024 | PLANNING SUBMITTAL

VICINITY MAP



CONTEXT MAP



PROJECT TEAM

OWNER:
BLUE MOUNTAIN GENERAL CONTRACTING
707 ALDRIDGE ROAD
VACAVILLE, CALIFORNIA 95688
CONTACT: DAVE JACOBSON
PHONE: 925.989.9180
EMAIL: DRJACOBSON1@COMCAST.NET

ARCHITECT:
JEFFREY DeMURE + ASSOCIATES
ARCHITECTS PLANNERS, INC.
3001 DOUGLAS BOULEVARD, SUITE 110
ROSEVILLE, CALIFORNIA 95661
CONTACT: SEAN RICHARDSON
PHONE: 916.783.3700
EMAIL: SRICHARDSON@JDAARCH.COM

CIVIL ENGINEER:
CWE
2260 DOUGLAS BOULEVARD, SUITE 160
ROSEVILLE, CALIFORNIA 95661
CONTACT: TONY McCREARY
PHONE: 916.772.7800
EMAIL: AMCCREARY@CWECORP.COM

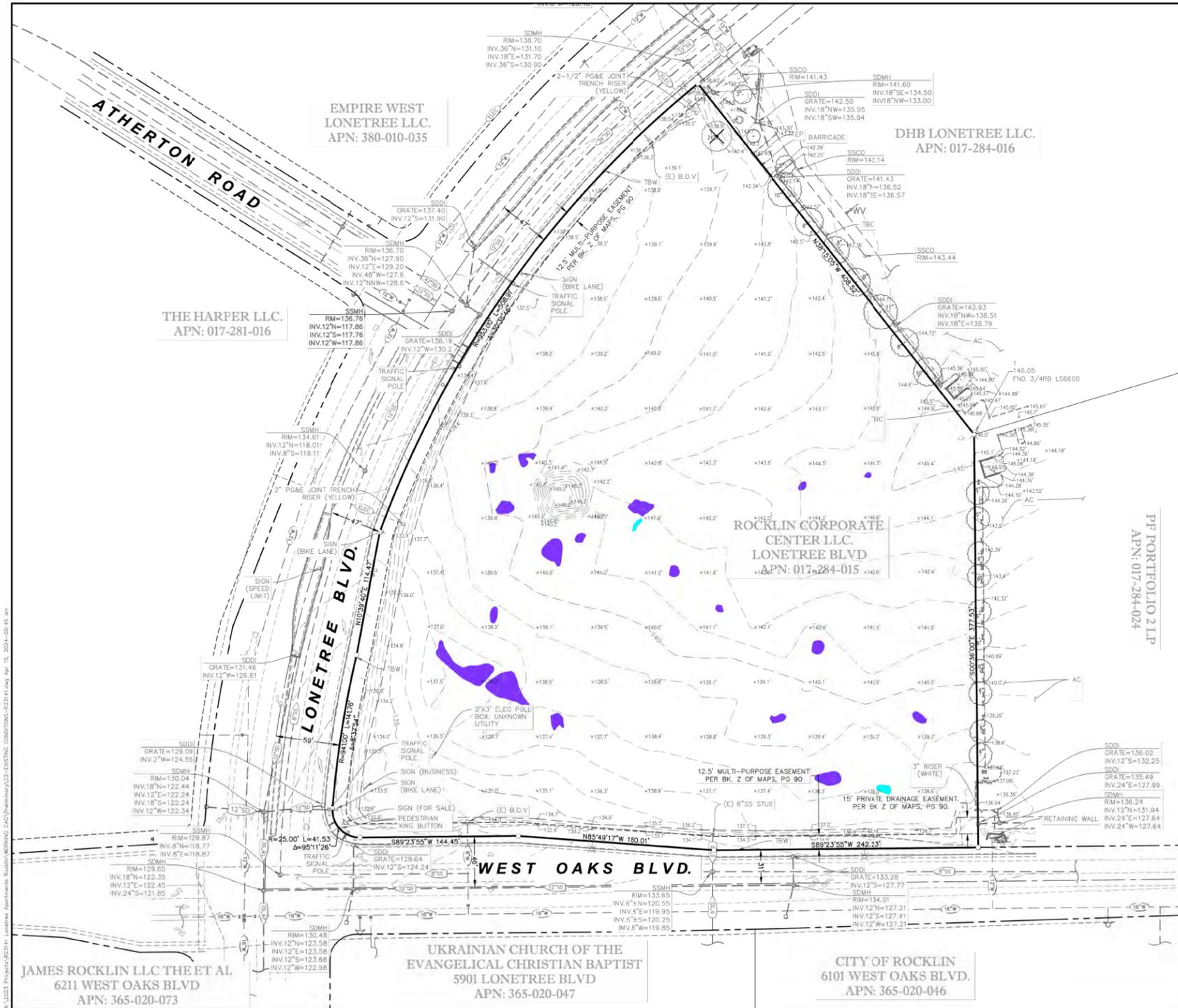
LANDSCAPE ARCHITECT:
FUHRMAN LEAMY LAND GROUP
2140 PROFESSIONAL DRIVE, SUITE 115
ROSEVILLE, CALIFORNIA 95661
CONTACT: STEVEN FUHRMAN
PHONE: 916.783.5263
EMAIL: STEVEF@FLLANDGROUP.COM

SHEET INDEX

A0	COVER SHEET
C1	PRELIMINARY SITE PLAN
C2.1	EXISTING CONDITIONS
C2.2	EXISTING CONDITIONS WITH AERIAL IMAGE OVERLAY
C3	PRELIMINARY GRADING, DRAINAGE & PAVING PLAN
C4	PRELIMINARY WATER & SANITARY SEWER PLAN
C5	PRELIMINARY STORMWATER QUALITY PLAN
C6	PRELIMINARY FIRE ACCESS PLAN
PL1	PRELIMINARY LANDSCAPE PLAN
PL2	PRELIMINARY AMENITY - ENLARGEMENT
PL3	PRELIMINARY LANDSCAPE DETAILS
A1.1	SITE PLAN
A2.1	SCHEMATIC UNIT PLANS UNIT 1 + 2
A2.2	SCHEMATIC UNIT PLANS UNIT 2 + 3
A2.3	SCHEMATIC UNIT PLANS UNIT 5 + 6
A3.1	SCHEMATIC FIRST FLOOR PLAN BUILDING A
A3.2	SCHEMATIC SECOND FLOOR PLAN BUILDING A
A3.3	SCHEMATIC THIRD FLOOR PLAN BUILDING A
A3.4	SCHEMATIC FIRST FLOOR PLAN BUILDING B
A3.5	SCHEMATIC SECOND FLOOR PLAN BUILDING B
A3.6	SCHEMATIC THIRD FLOOR PLAN BUILDING B
A3.7	SCHEMATIC FIRST FLOOR PLAN BUILDING C
A3.8	SCHEMATIC SECOND FLOOR PLAN BUILDING C
A3.9	SCHEMATIC THIRD FLOOR PLAN BUILDING C
A3.10	SCHEMATIC FIRST FLOOR PLAN BUILDING D
A3.11	SCHEMATIC SECOND FLOOR PLAN BUILDING D
A3.12	SCHEMATIC THIRD FLOOR PLAN BUILDING D
A4.1	SCHEMATIC BUILDING ELEVATIONS BUILDING A
A4.2	SCHEMATIC BUILDING ELEVATIONS BUILDING A
A4.3	SCHEMATIC BUILDING PERSPECTIVE BUILDING A

SHEET INDEX

A4.4	SCHEMATIC ROOF PLAN & BUILDING SECTION BUILDING A
A4.5	SCHEMATIC BUILDING ELEVATIONS BUILDING B
A4.6	SCHEMATIC BUILDING ELEVATIONS BUILDING B
A4.7	SCHEMATIC BUILDING PERSPECTIVE BUILDING B
A4.8	SCHEMATIC ROOF PLAN & BUILDING SECTION BUILDING B
A4.9	SCHEMATIC BUILDING ELEVATIONS BUILDING C
A4.10	SCHEMATIC BUILDING ELEVATIONS BUILDING C
A4.11	SCHEMATIC BUILDING ELEVATIONS BUILDING C
A4.12	SCHEMATIC BUILDING PERSPECTIVE BUILDING C
A4.13	SCHEMATIC ROOF PLAN & BUILDING SECTION BUILDING C
A4.14	SCHEMATIC BUILDING ELEVATIONS BUILDING D
A4.15	SCHEMATIC BUILDING ELEVATIONS BUILDING D
A4.16	SCHEMATIC BUILDING ELEVATIONS BUILDING D
A4.17	SCHEMATIC BUILDING PERSPECTIVE BUILDING D
A4.18	SCHEMATIC ROOF PLAN & BUILDING SECTION BUILDING D
A5.1	SCHEMATIC FLOOR PLAN CLUBHOUSE
A5.2	SCHEMATIC ELEVATIONS CLUBHOUSE
A5.3	SCHEMATIC ELEVATIONS CLUBHOUSE
A6.1	COLOR + MATERIAL PALETTES APARTMENTS & CLUBHOUSE
A7.1	CARPORT ROOF PLANS AND DIMENSIONS
A7.2	CARPORT ELEVATIONS, PERSPECTIVE & MATERIALS



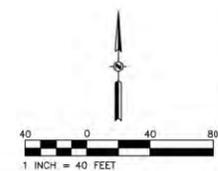
UTILITY NOTE:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

- NOTES:**
- REFER TO TITLE SHEET C1 FOR THE PROJECT FLOOD ZONE, BASIS OF BEARING, AND PROJECT DATUM.
 - BOUNDARY AND TOPOGRAPHIC INFO PROVIDED BY CTA, AS REFERENCED ON SHEET C1.
 - EXISTING UTILITIES SHOWN HEREON ARE PER THE CTA SURVEY AS WELL AS AS-BUILT/RECORD DRAWINGS AND UTILITY SCHEMATICS.
 - THERE ARE NO OAK TREES ON THE PROPERTY.

IMPACTED AQUATIC RESOURCES LEGEND:

SEASONAL WETLAND (0.003 ACRES) ■
 VERNAL POOL (0.074 ACRES) ■

811
 Know what's below.
 Call before you dig.
 or (800) 642-2444



DATE	BY	APPROV	NOT FOR CONSTRUCTION
REVISION	NO.	DATE	
DESIGN	DRAWN	QUANT.	
TSM	KSD	TSM	

0 ORIGINAL SCALE IS IN INCHES

PRELIMINARY NOT FOR CONSTRUCTION

BLUE MOUNTAIN CONSTRUCTION SERVICES, INC.
 707 ALDRIDGE RD.
 CONTACT: ANDREW WONG

STANFORD RANCH 6.8
 APN 017-284-015
 ROCKLIN, CA 95765
EXISTING CONDITIONS

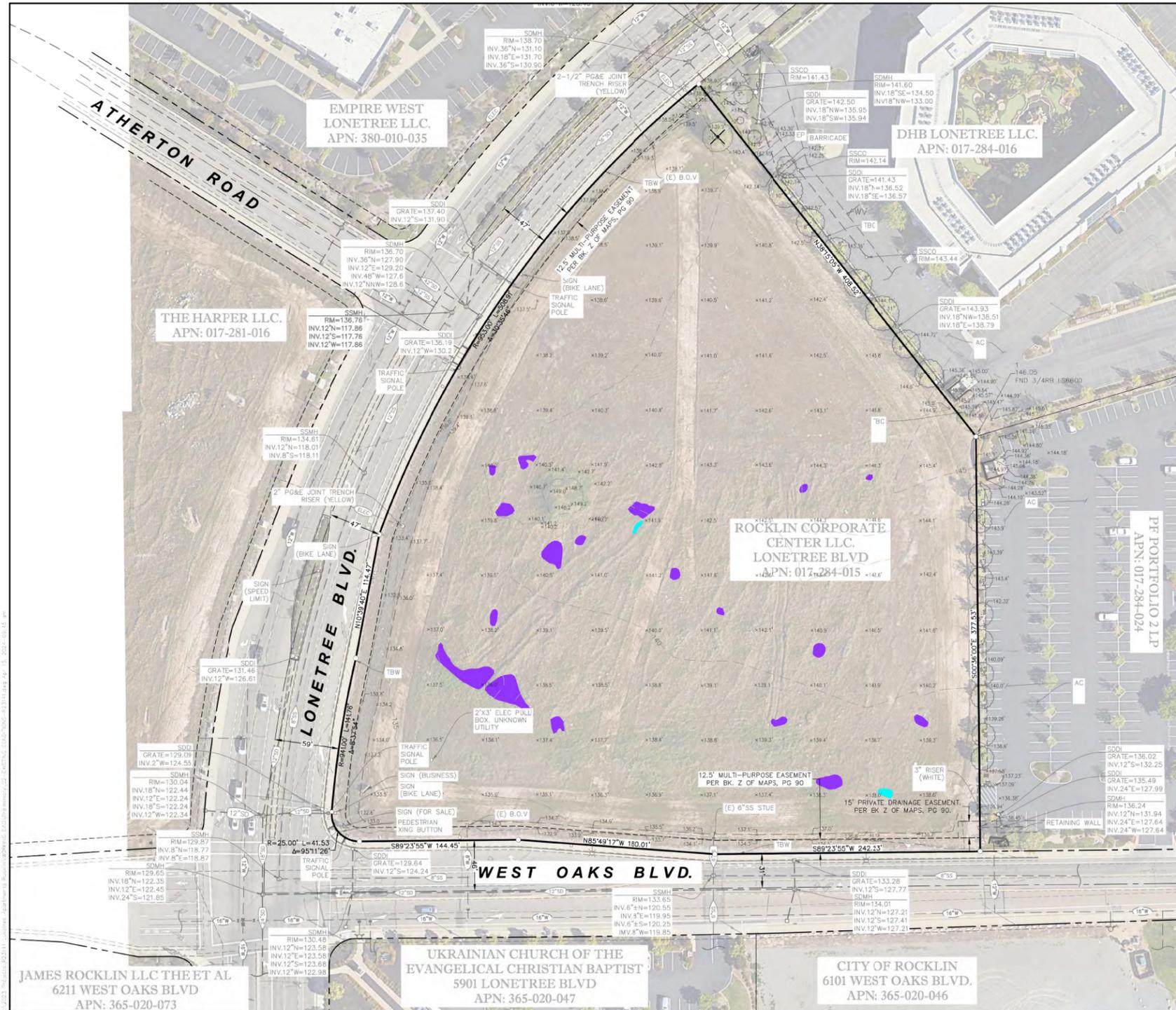
Sheet **C2.1**
 2 of 7
 04-12-2024

PROGRESS SET

STANFORD RANCH 6.8 APARTMENTS
 CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

JD+A JOB NUMBER: 23034
 DATE: 04.17.2024



UTILITY NOTE:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

NOTES:

- REFER TO TITLE SHEET C1 FOR THE PROJECT FLOOD ZONE, BASIS OF BEARING AND PROJECT DATUM.
- BOUNDARY AND TOPOGRAPHIC INFO PROVIDED BY CTA, AS REFERENCED ON SHEET C1.
- EXISTING UTILITIES SHOWN HEREON ARE PER THE CTA SURVEY AS WELL AS AS-BUILT/RECORD DRAWINGS AND UTILITY SCHEMATICS.
- THERE ARE NO OAK TREES ON THE PROPERTY.

IMPACTED AQUATIC RESOURCES LEGEND:

SEASONAL WETLAND (0.003 ACRES) ■

VERNAL POOL (0.074 ACRES) ■

PROFESSIONAL SEAL:
 ANDREW WONG, P.E., C.E., S.E., S.F.P.E., S.F.P.S.
 PRELIMINARY
 NOT FOR CONSTRUCTION



BLUE MOUNTAIN CONSTRUCTION SERVICES, INC.
 707 ALDRIDGE RD.
 CONTACT: ANDREW WONG

STANFORD RANCH 6.8
 APN 017-284-015
 ROCKLIN, CA 95765
 EXISTING CONDITIONS WITH AERIAL IMAGE OVERLAY

Sheet **C2.2**
 3 of 7
 04-12-2024

811
 Know what's below.
 Call before you dig.
 or (800) 642-2444

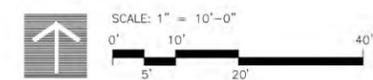
REVISION	DATE	BY	APPROV'D

CHECK	NO.	BY	DATE
DESIGN	KSD	TSM	
DRAWN	KSD	TSM	
QUANT.			
D ORIGINAL SCALE IS IN INCHES			

I:\Users\jleamy\OneDrive\Documents\Projects\Blue Mountain Communities\Stanford Ranch 6.8\CONCRETE APARTMENTS\DESIGN\WORKING FILES\LANDSCAPE_LAYOUT\16_LANDSCAPE_PLAN.rvt



SYMBOL	DESCRIPTION	DETAIL
1	EXISTING SIDEWALK TO REMAIN.	
2	PROPOSED BUILDINGS - SEE ARCHITECTURAL PLANS.	
3	PROPOSED POOL EQUIPMENT BUILDING - SEE ARCHITECTURAL PLANS.	
4	PROPOSED LANDSCAPE AREA.	
5	PROPOSED TRASH ENCLOSURE - SEE ARCHITECTURAL PLANS.	
6	PROPOSED CARPORTS - SEE ARCHITECTURAL PLANS.	
7	PROPOSED IRRIGATION WATER SERVICE - SEE CIVIL PLANS.	
8	PROPOSED SWALE - SEE CIVIL PLANS.	
9	PROPOSED PHOTO II SCREEN WALL WITH A PORTION OF PARTIAL RETAINAGE - SEE CIVIL PLANS. SEE ELEVATION ON PL3 FOR BLOCK FINISH.	A/PL3
10	PROPOSED MONUMENT SIGNAGE - BY OTHERS. SEE ELEVATION ON PL3 FOR PRELIMINARY DESIGN.	D/PL3
11	PROPOSED BIKE RACKS.	E/PL3
12	PROPOSED POOL AMENITY AREA WITH SPA AND OUTDOOR SHOWER.	
13	PROPOSED LOUNGE WITH SEATING.	
14	PROPOSED GROUP PICNIC AREA WITH BEQ.	
15	PROPOSED OUTDOOR FITNESS AREA WITH SYNTHETIC TURF.	
16	PROPOSED DECORATIVE SCREEN WALL PANELS.	B/PL3
17	PROPOSED MIN. 60" OPEN METAL POOL FENCE.	B/PL3
18	PROPOSED 72" OPEN METAL PERIMETER FENCE.	B/PL3
19	PROPOSED 72" CMU BLOCK SCREEN WALL.	



STANFORD RANCH 6.8 APARTMENTS Preliminary Amenity- Enlargement
 Rocklin, CA

SHEET **PL2**

 FUHRMAN LEAMY LAND GROUP
 DESIGN + SERVICE + SOLUTIONS
 2140 PROFESSIONAL DRIVE, SUITE 115 ROSELILLE, CA 95661
 DATE: 04/12/2024
 PROJECT: BMC 23071

PROGRESS SET



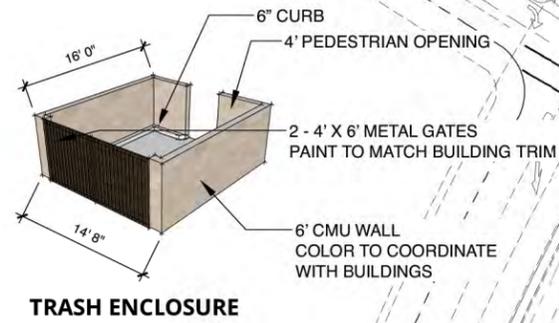
STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA
 © 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

3001 DOUGLAS BOULEVARD | SUITE 110 | ROSELILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.DAARCH.COM

JD+A JOB NUMBER: 23034
 DATE: 04.17.2024

ATHERTON ROAD



30' BUILDING SETBACK
12.5' MULTI-PURPOSE EASEMENT
15' PARKING SETBACK

BIKE RACKS (TYP.)
SEE LANDSCAPE PLANS

6' OPEN METAL SITE FENCE
REFER TO LANDSCAPE AND CIVIL PLANS

6' OPEN METAL SITE FENCE
REFER TO LANDSCAPE AND CIVIL PLANS

SECONDARY ENTRY
PROJECT MONUMENT SIGN
(APPROX 3' X 12' X 4' - REFER TO LANDSCAPE PLANS)

10' BUILDING SETBACK

6' SITE WALL
REFER TO LANDSCAPE AND CIVIL PLANS

CARPORT (TYP.)
SEE SHEET A7.1 FOR ADDITIONAL INFORMATION

TRASH ENCLOSURE (TYP.)
SEE DETAIL THIS SHEET

10' BUILDING SETBACK

AMENITY SITE
CLUBHOUSE BUILDING
REFER TO LANDSCAPE PLAN FOR ADDITIONAL DETAILS

60" OPEN METAL POOL FENCE
SEE LANDSCAPE PLANS

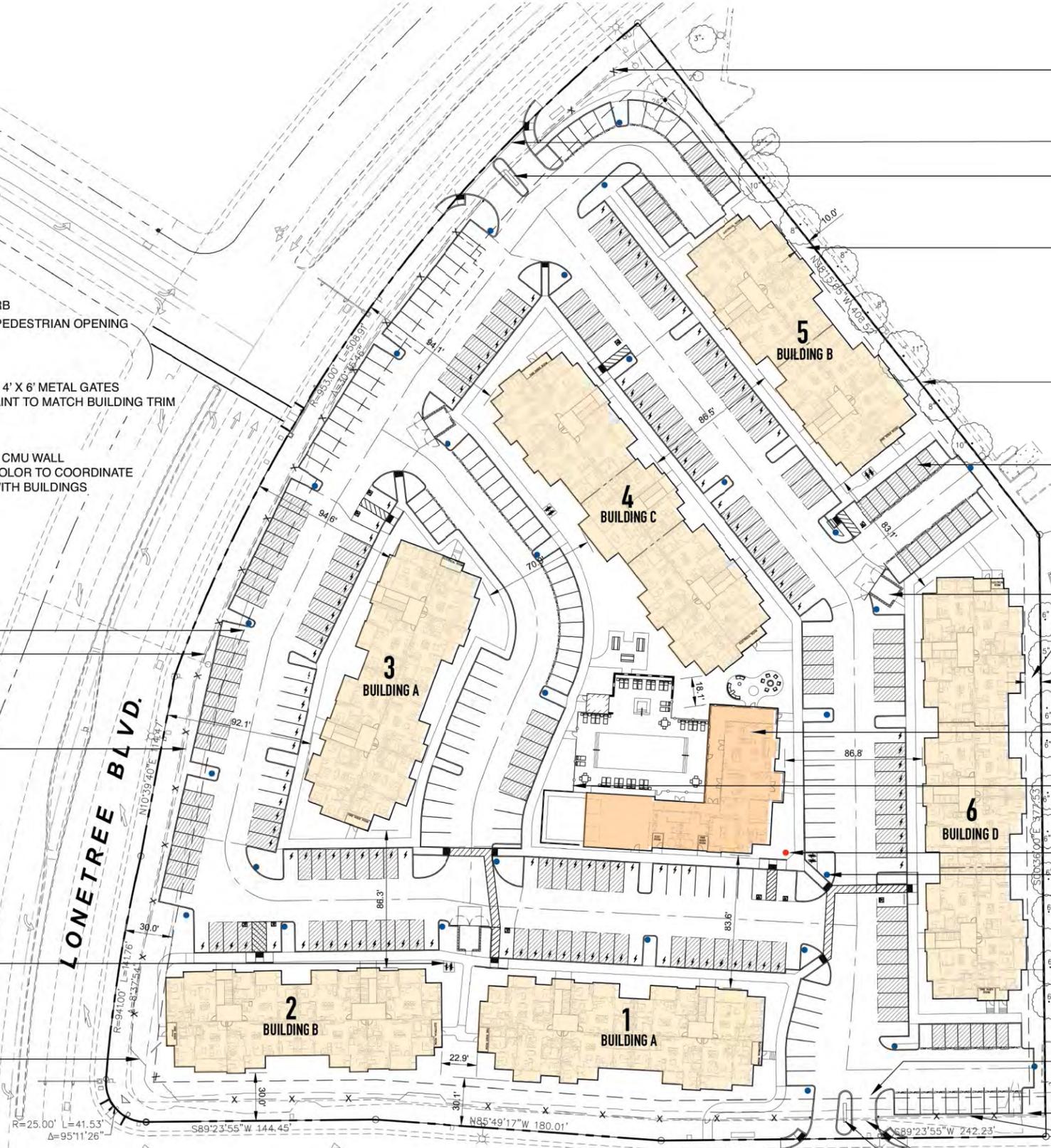
20' FLAG POLE
15' LIGHT POLE (TYP.)

25' BUILDING SETBACK

15' PARKING SETBACK
12.5' MULTI-PURPOSE EASEMENT

PRIMARY ENTRY

PROJECT MONUMENT SIGN
(APPROX 3' X 12' X 4' - REFER TO LANDSCAPE PLANS)



SCHEMATIC SITE PLAN
1" = 30'

SITE DATA

APN: 017-284-015-000
SITE AREA: 6.82 ACRES
DENSITY: 24.19 DU/A

BUILDING DATA:

BUILDING TYPE A (24 UNITS) | BUILDINGS 1 & 3:
FIRST FLOOR: 10,132.50 SF
SECOND FLOOR: 9,892.50 SF
THIRD FLOOR: 9,892.50 SF
TOTAL GROSS SF: 29,917.50 SF

NET CONDITIONED: 24,204.00 SF
PATIOS/BALCONIES: 3,147.00 SF
TOTAL LEASABLE SF: 27,951.00 SF
BUILDING EFFICIENCY: 93.43%

BUILDING TYPE B (24 UNITS) | BUILDINGS 2 & 5:
FIRST FLOOR: 9,891.00 SF
SECOND FLOOR: 9,751.00 SF
THIRD FLOOR: 9,751.00 SF
TOTAL GROSS SF: 29,393.00 SF

NET CONDITIONED: 23,319.00 SF
PATIOS/BALCONIES: 3,279.00 SF
TOTAL LEASABLE SF: 26,598.00 SF
BUILDING EFFICIENCY: 90.50%

BUILDING TYPE C (33 UNITS) | BUILDING 4:
FIRST FLOOR: 12,821.00 SF
SECOND FLOOR: 12,581.00 SF
THIRD FLOOR: 12,581.00 SF
TOTAL GROSS SF: 37,983.00 SF

NET CONDITIONED: 30,123.00 SF
PATIOS/BALCONIES: 4,326.00 SF
TOTAL LEASABLE SF: 34,449.00 SF
BUILDING EFFICIENCY: 90.70%

BUILDING TYPE D (36 UNITS) | BUILDING 6:
FIRST FLOOR: 14,962.00 SF
SECOND FLOOR: 14,722.00 SF
THIRD FLOOR: 14,722.00 SF
TOTAL GROSS SF: 44,406.00 SF

NET CONDITIONED: 35,670.00 SF
PATIOS/BALCONIES: 4,740.00 SF
TOTAL LEASABLE SF: 40,410.00 SF
BUILDING EFFICIENCY: 91.00%

UNIT MIX

UNIT 1 - STUDIO	470 SF	3.63%	6 UNITS
UNIT 2 - 1 BED	805 SF	25.5%	42 UNITS
UNIT 3 - 2 BED	983 SF	32.7%	54 UNITS
UNIT 4 - 2 BED	1,060 SF	1.81%	3 UNITS
UNIT 5 - 2 BED	1,098 SF	25.5%	42 UNITS
UNIT 6 - 3 BED	1,186 SF	10.9%	18 UNITS
TOTAL			165 UNITS

PARKING DATA:

PARKING REQUIRED

1 BEDROOM	1.5 SPACES/UNIT	48	75 SPACES
2 BEDROOM	2.0 SPACES/UNIT	99	198 SPACES
3 BEDROOM	2.0 SPACES/UNIT	18	32 SPACES
GUEST	0.25 SPACES/UNIT	165	42 SPACES
TOTAL			347 SPACES

PARKING PROVIDED: 349 SPACES

SURFACE

STANDARD	112 SPACES
COMPACT	53 SPACES
COVERED (1:1 REQUIRED 165) (1.08:1 PROVIDED 179)	147 SPACES
STANDARD	29 SPACES
COMPACT	29 SPACES
ACCESSIBLE	
STANDARD	5 SPACES
VAN	1 SPACE
COVERED	1 SPACE
COVERED EV	1 SPACE
EV SPACES (INCLUDED IN REQUIRED PARKING SPACES)	
EV CAPABLE 10%	35 SPACES
EV READY 25%	88 SPACES
EV CHARGERS 5%	18 SPACES

PARKING RATIO: 2.12:1

PLANNING SUBMITTAL

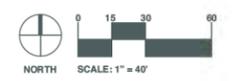


STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SITE PLAN



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A1.1

3001 DOUGLAS BOULEVARD | SUITE 1101 ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

\\nasprod\larry\cloud\storage\jdw\shared\project\blue mountain communities\2024\stanford ranch 6.8\lometre\apartment\19\1\design\2\working files\3\layout\01\bd0rhp2024_al_unit_plans_3.rvt



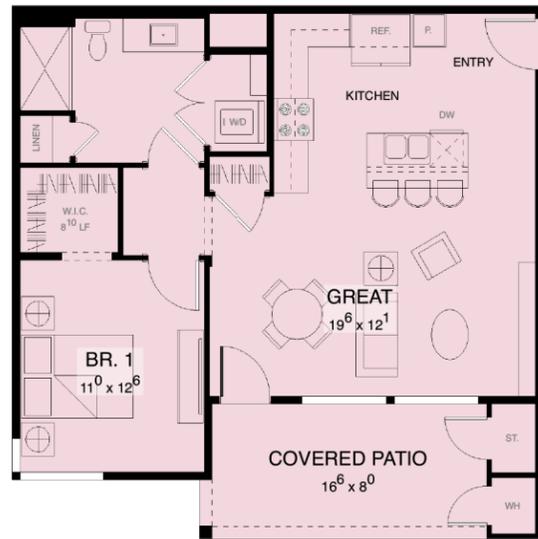
UNIT 1.1 | STUDIO
470 SF BUILDING C



UNIT 1.0 | STUDIO | ACCESSIBLE
470 SF BUILDING C



UNIT 2.1 ALT. ENTRY | 1 BEDROOM
826 SF BUILDING A, B, & D



UNIT 2.1 | 1 BEDROOM
805 SF BUILDING A, B, C, D



UNIT 2.0 ALT. ENTRY | 1 BEDROOM | ACCESSIBLE
826 SF BUILDING A, B, & D



UNIT 2.0 | 1 BEDROOM | ACCESSIBLE
805 SF BUILDING A, B, C, D

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC UNIT PLANS | UNIT 1 + 2

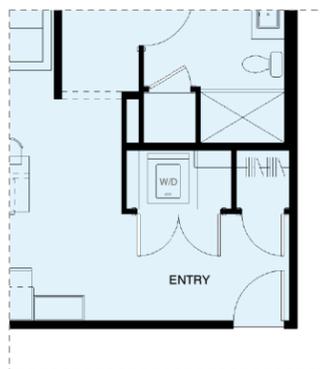


JD+A JOB NUMBER: 23034
DATE: 04.17.2024

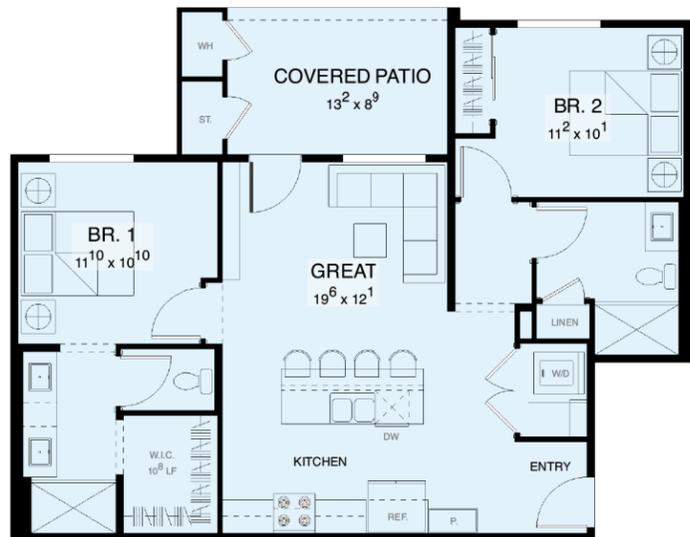
A2.1

3001 DOUGLAS BOULEVARD | SUITE 110 | ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

\\nasprod\larry\cloud\img\gym\blueMountainCommunities\PROJECTS\BLUE MOUNTAIN COMMUNITIES\STANFORD RANCH 6.8\LOMETRIE APARTMENTS\DESIGN\WORKING FILES\SCHEMATIC UNIT PLANS_3A1.dwg



UNIT 3.1 | ALT. ENTRY
1,043 SF



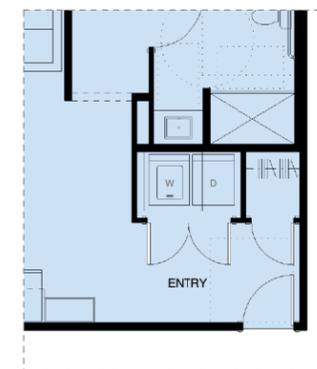
UNIT 3.1 | 2 BEDROOM
983 SF

BUILDING A, B, C, D

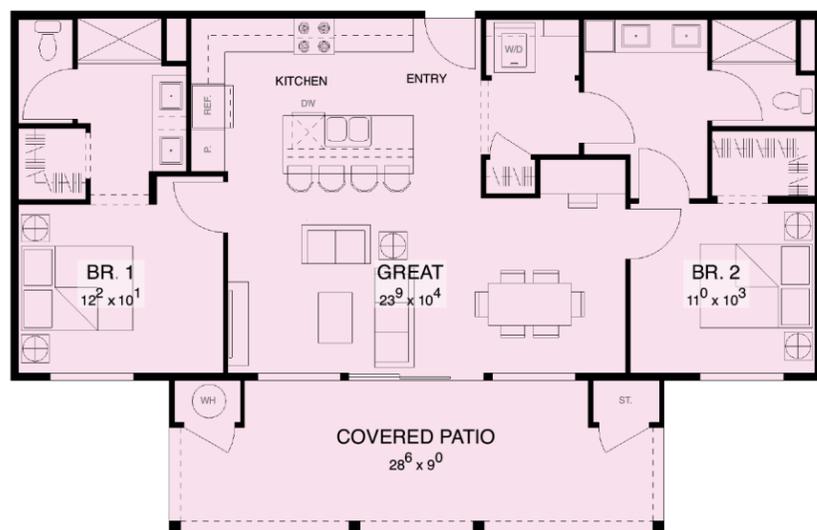


UNIT 3.0 | 2 BEDROOM | ACCESSIBLE
983 SF

BUILDING A, B, C, D



UNIT 3.0 | ALT. ENTRY
1,043 SF



UNIT 4.1 | 2 BEDROOM
1,060 SF

BUILDING C



UNIT 4.0 | 2 BEDROOM | ACCESSIBLE
1,060 SF

BUILDING C

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC UNIT PLANS | UNIT 3 + 4

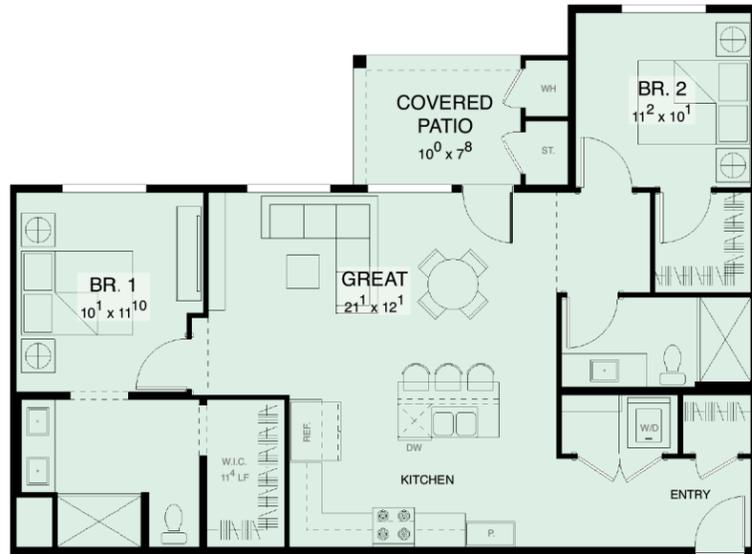


JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A2.2

3001 DOUGLAS BOULEVARD | SUITE 110 | ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

\\nasprod\larry\cloud\storage\jdw\shared\2024\PROJECTS\BLUE MOUNTAIN COMMUNITIES\23004 STANFORD RANCH 6.8 LONETREE APARTMENTS\101 DESIGN\2 WORKING FILES\SCHEMATIC UNIT PLANS_3.rvt



UNIT 5.1 | 2 BEDROOM | ACCESSIBLE
1,098 SF BUILDING A, B, C, D



UNIT 5.0 | 2 BEDROOM | ACCESSIBLE
1,098 SF BUILDING A, B, C, D



UNIT 6.1 | 3 BEDROOM | ACCESSIBLE
1,186 SF BUILDING A, C



UNIT 6.0 | 3 BEDROOM | ACCESSIBLE
1,186 SF BUILDING A, C

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

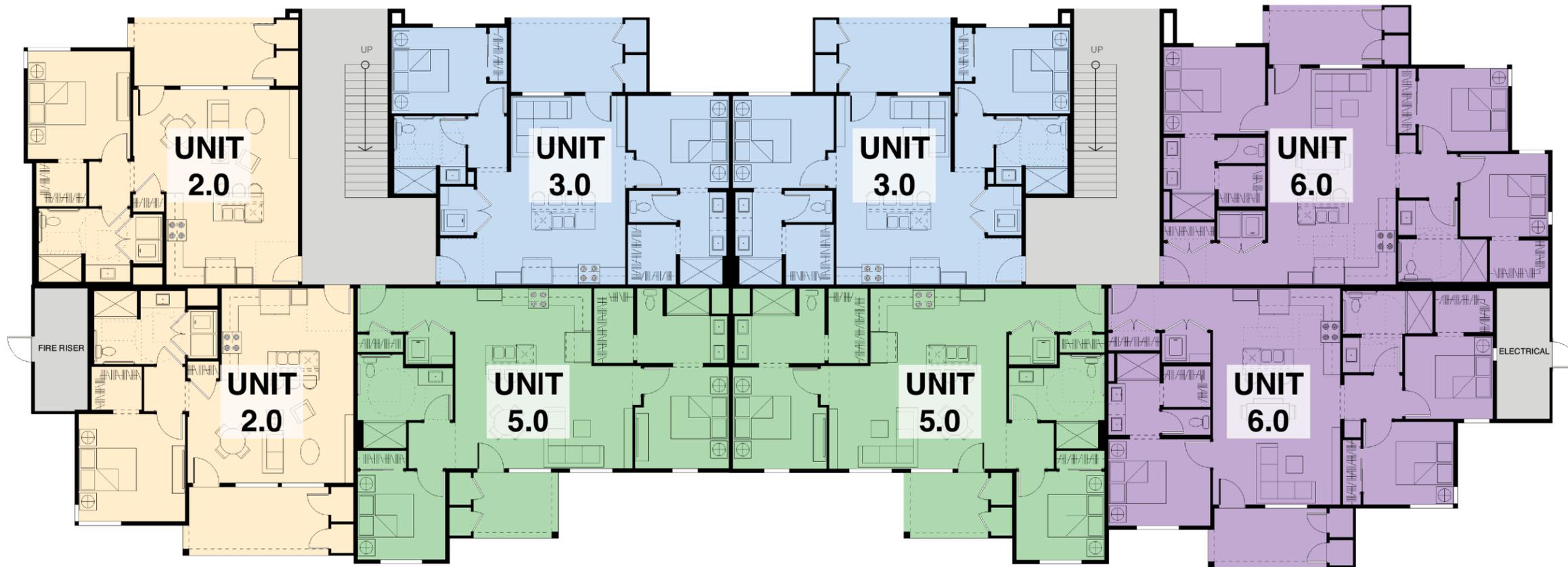
SCHEMATIC UNIT PLANS | UNIT 5 + 6



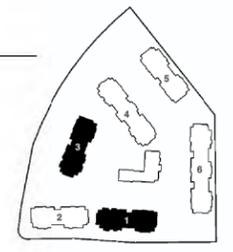
JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A2.3

3001 DOUGLAS BOULEVARD | SUITE 110 | ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM



FIRST FLOOR



SITE KEY PLAN

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC FIRST FLOOR PLAN | BUILDING A - 24 UNITS

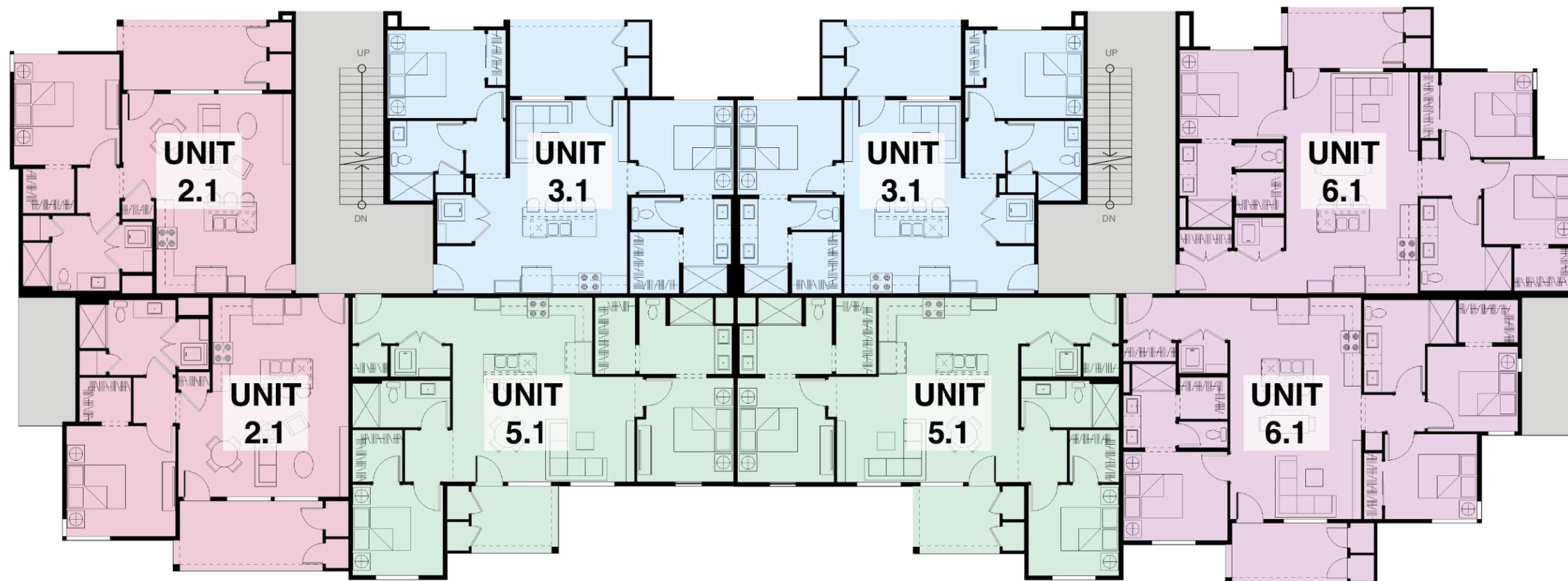


SCALE: 3/16" = 1'-0"



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A3.1



SECOND FLOOR



SITE KEY PLAN

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

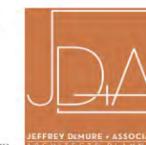
CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC SECOND FLOOR PLAN | BUILDING A - 24 UNITS



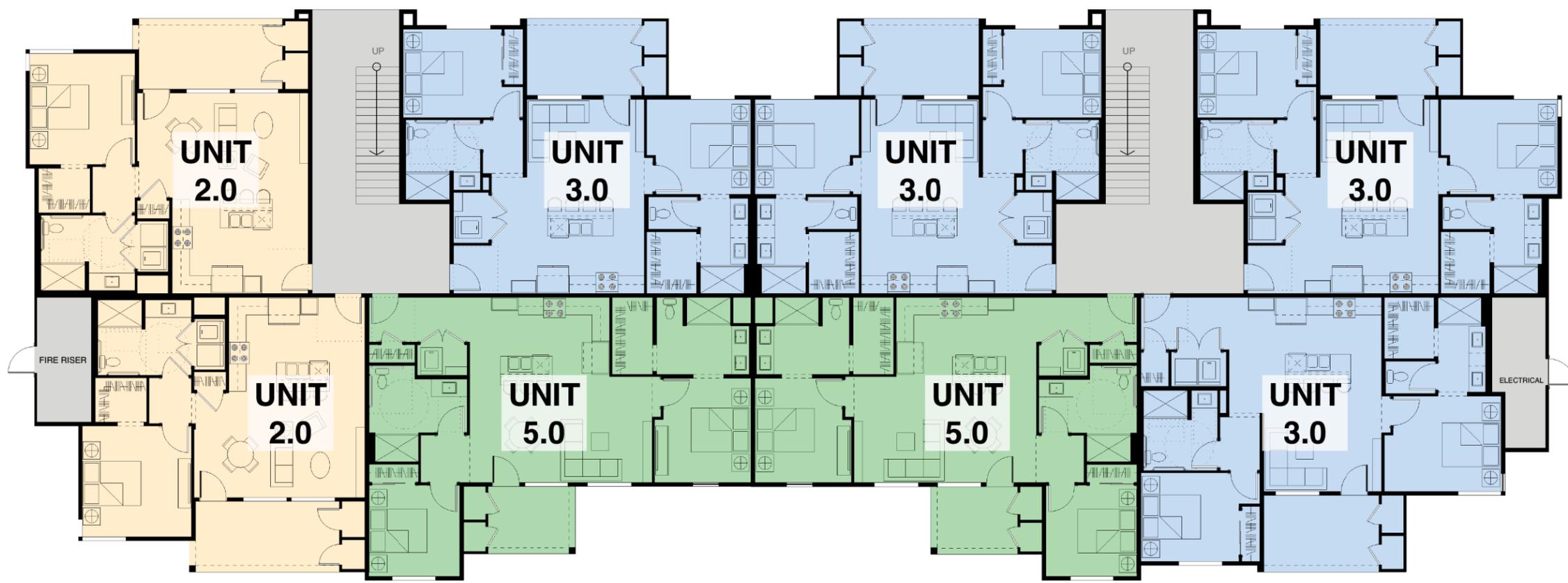
SCALE: 3/16" = 1'-0"



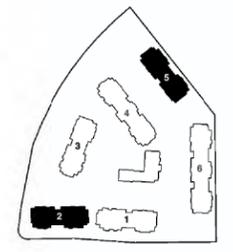
JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A3.2

\\nasprodglb\larry\cloud\img\eg\larry\larry\media\PROJECTS\BLUE MOUNTAIN COMMUNITIES\2024 STANFORD RANCH 6.8 APARTMENTS\101 DESIGN\2 WORKING FLOOR LAYOUT\101_SDP\BP2024_A3_BUILDING PLANS_3.rvt



FIRST FLOOR



SITE KEY PLAN

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC FIRST FLOOR PLAN | BUILDING B - 24 UNITS



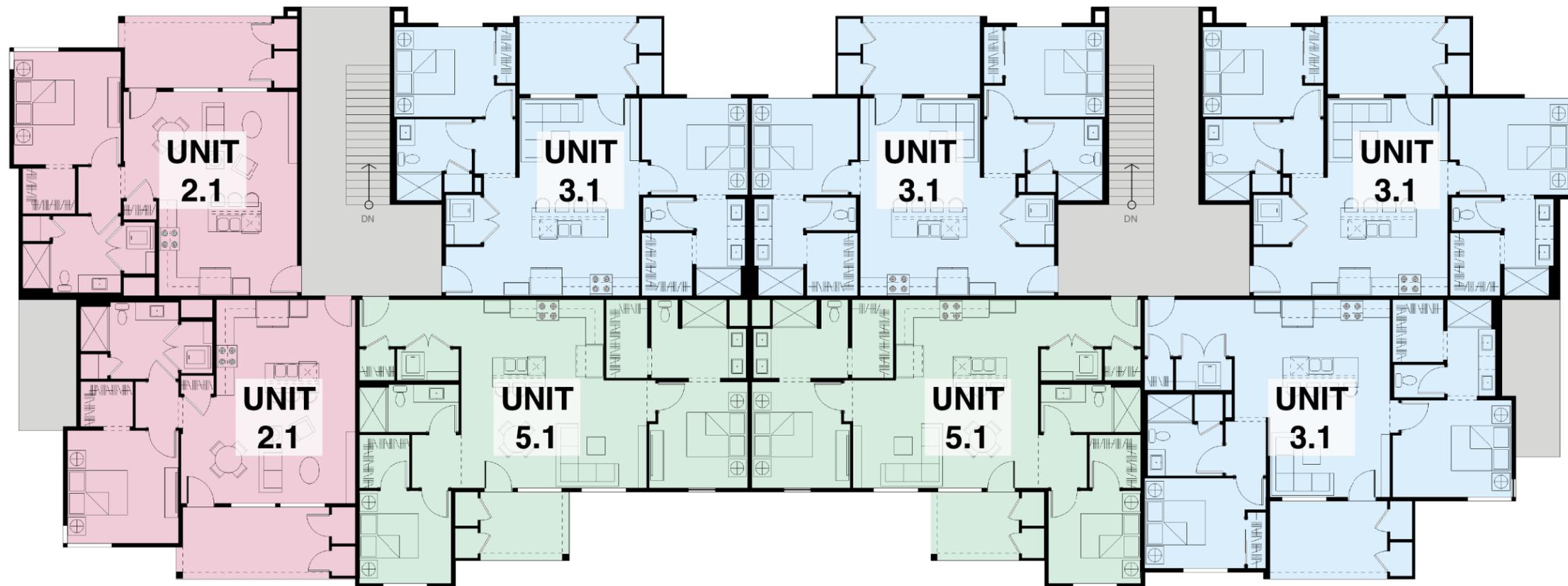
SCALE: 3/16" = 1'-0"



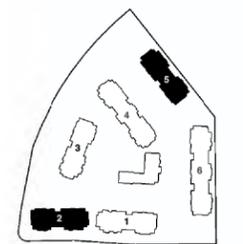
JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A3.4

3001 DOUGLAS BOULEVARD | SUITE 1101 ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM



THIRD FLOOR



SITE KEY PLAN

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 • 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC THIRD FLOOR PLAN | BUILDING B - 24 UNITS



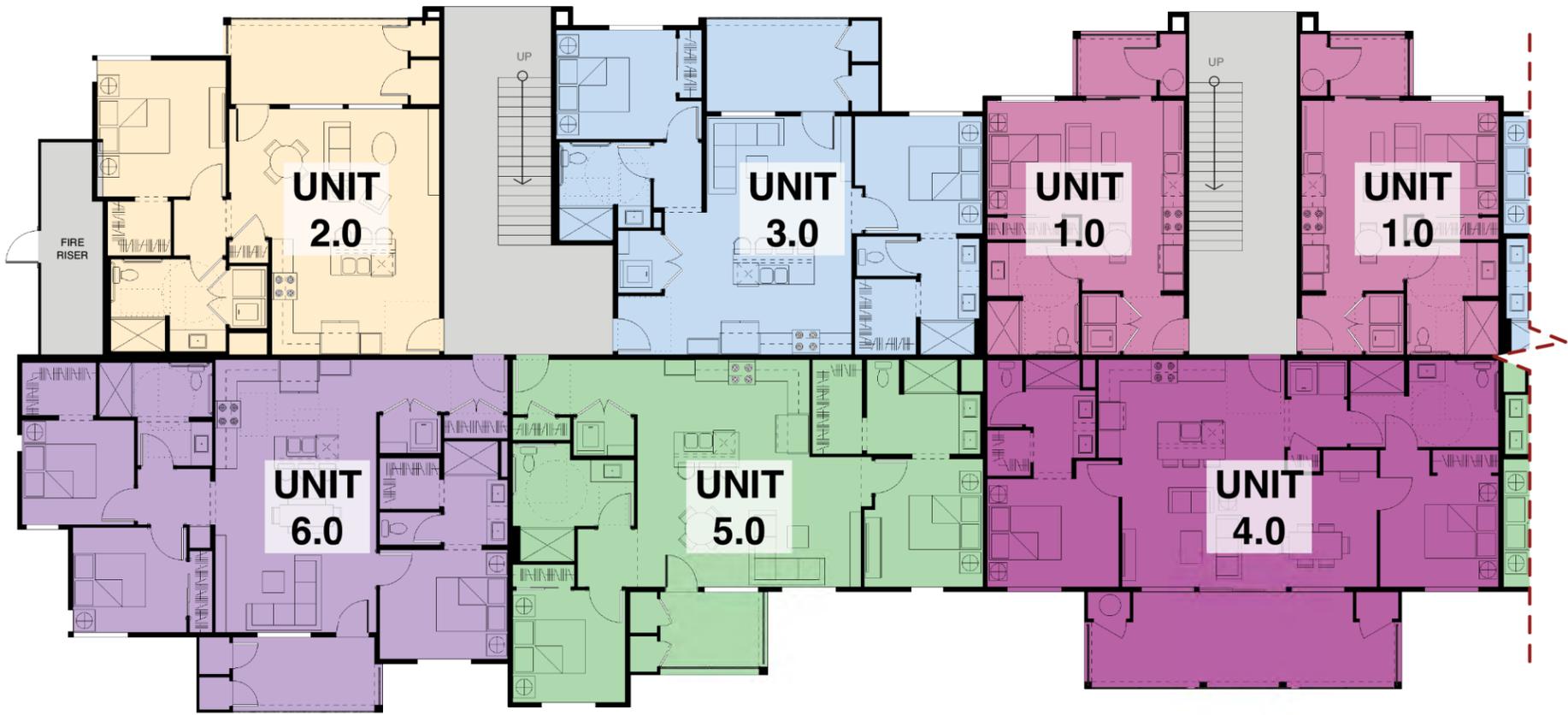
SCALE: 3/16" = 1'-0"



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A3.6

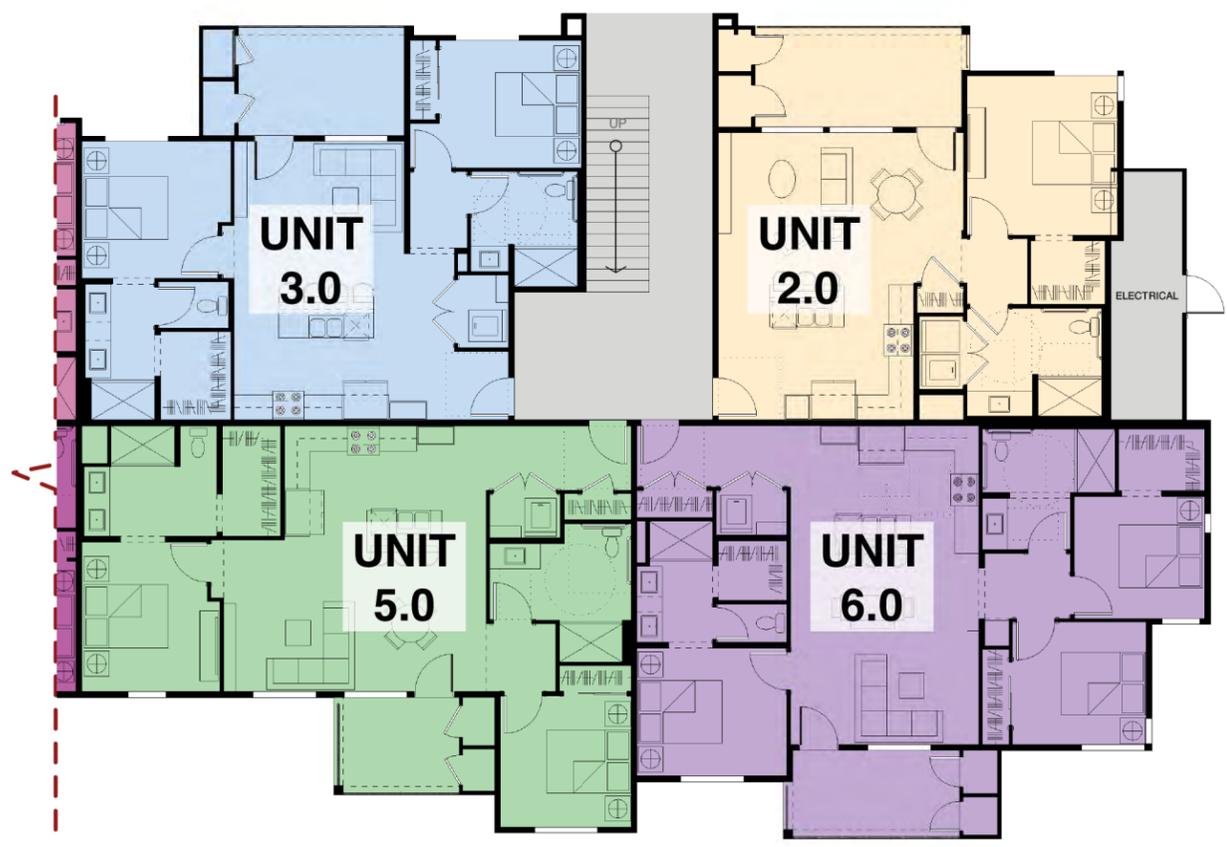
\\nasprgml\larry\cloud\larry\p\media\PROJECTS\BLUE MOUNTAIN COMMUNITIES\23034 STANFORD RANCH 6.8 APARTMENTS\WORKING FLOOR LAYOUT\01_SDP\SDP\SDP\03_A3_BUILDING PLANS_304E.dwg



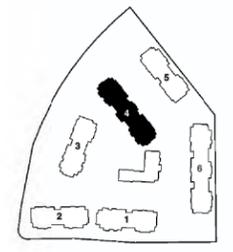
PARTIAL FIRST FLOOR



KEY PLAN



PARTIAL FIRST FLOOR



SITE KEY PLAN

PROGRESS SET

SCHEMATIC FIRST FLOOR PLAN | BUILDING C - 33 UNITS



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.



SCALE: 3/16" = 1'-0"



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A3.7

3001 DOUGLAS BOULEVARD | SUITE 110 | ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

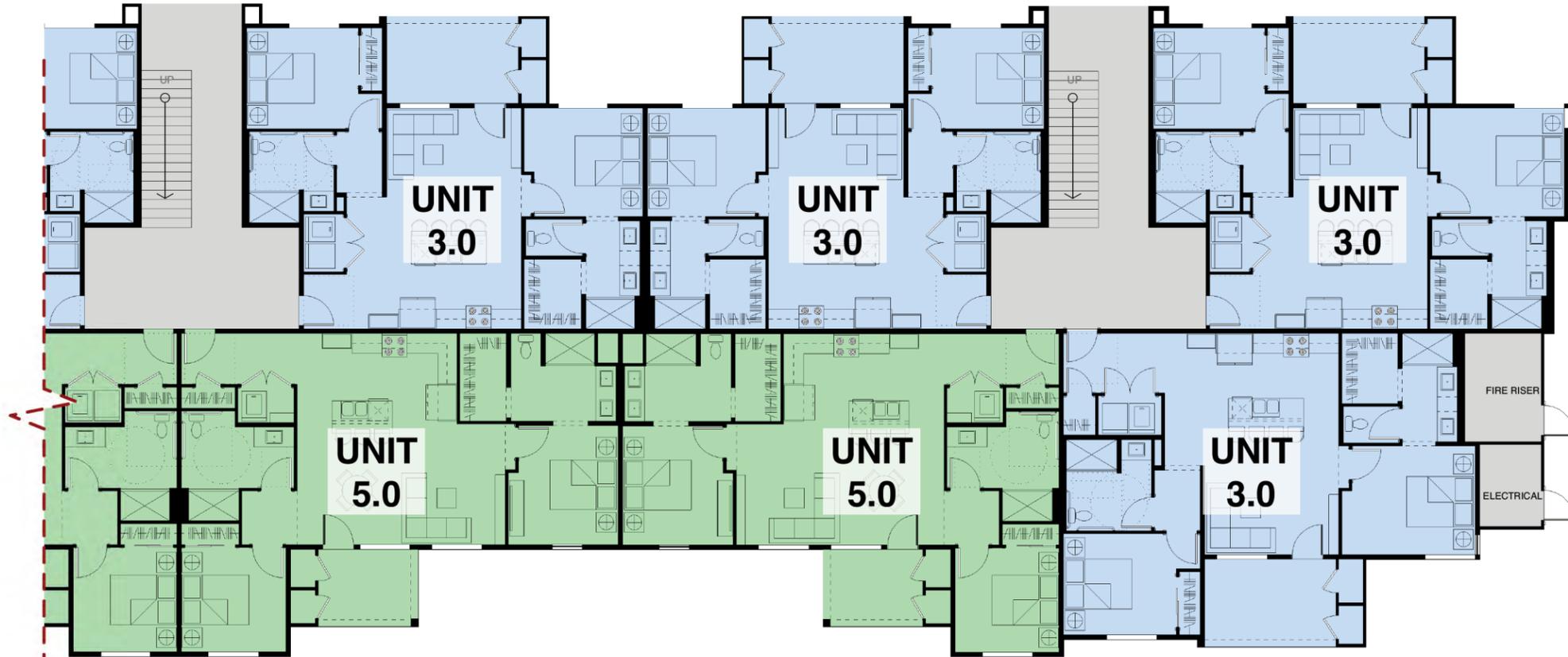
\\nasprodglb\larry\cloud\storage\larry\shared\media\PROJECTS\BLUE MOUNTAIN COMMUNITIES\2024 STANFORD RANCH 6.8 APARTMENTS\WORKING FLOOR LAYOUT\01 2024\BP2024_A3_BUILDING PLANS_304E.dwg



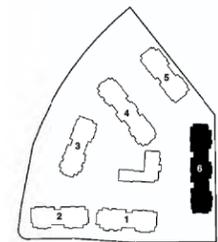
PARTIAL FIRST FLOOR



KEY PLAN



PARTIAL FIRST FLOOR



SITE KEY PLAN

PROGRESS SET

SCHEMATIC FIRST FLOOR PLAN | BUILDING D - 36 UNITS



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.



SCALE: 3/16" = 1'-0"

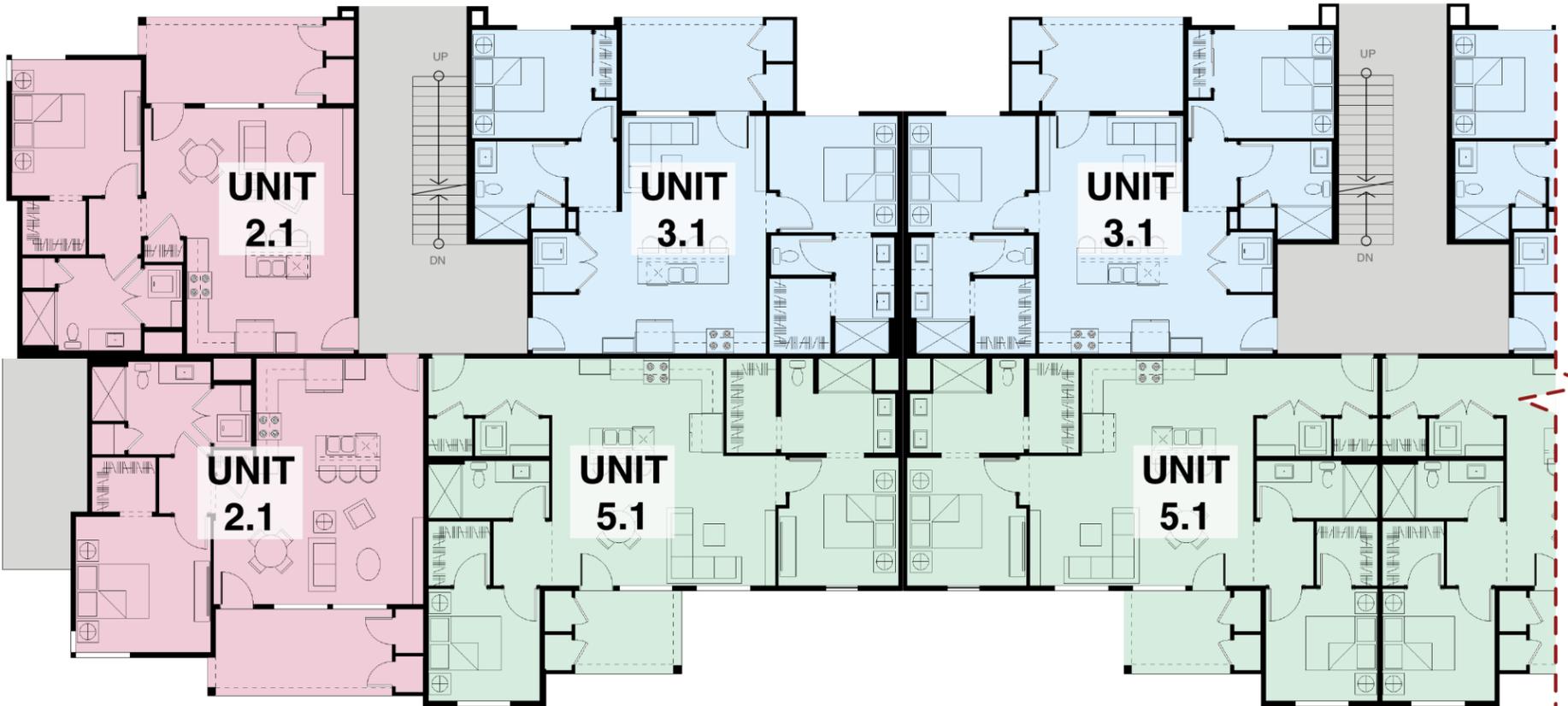


JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A3.10

3001 DOUGLAS BOULEVARD | SUITE 110 | ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

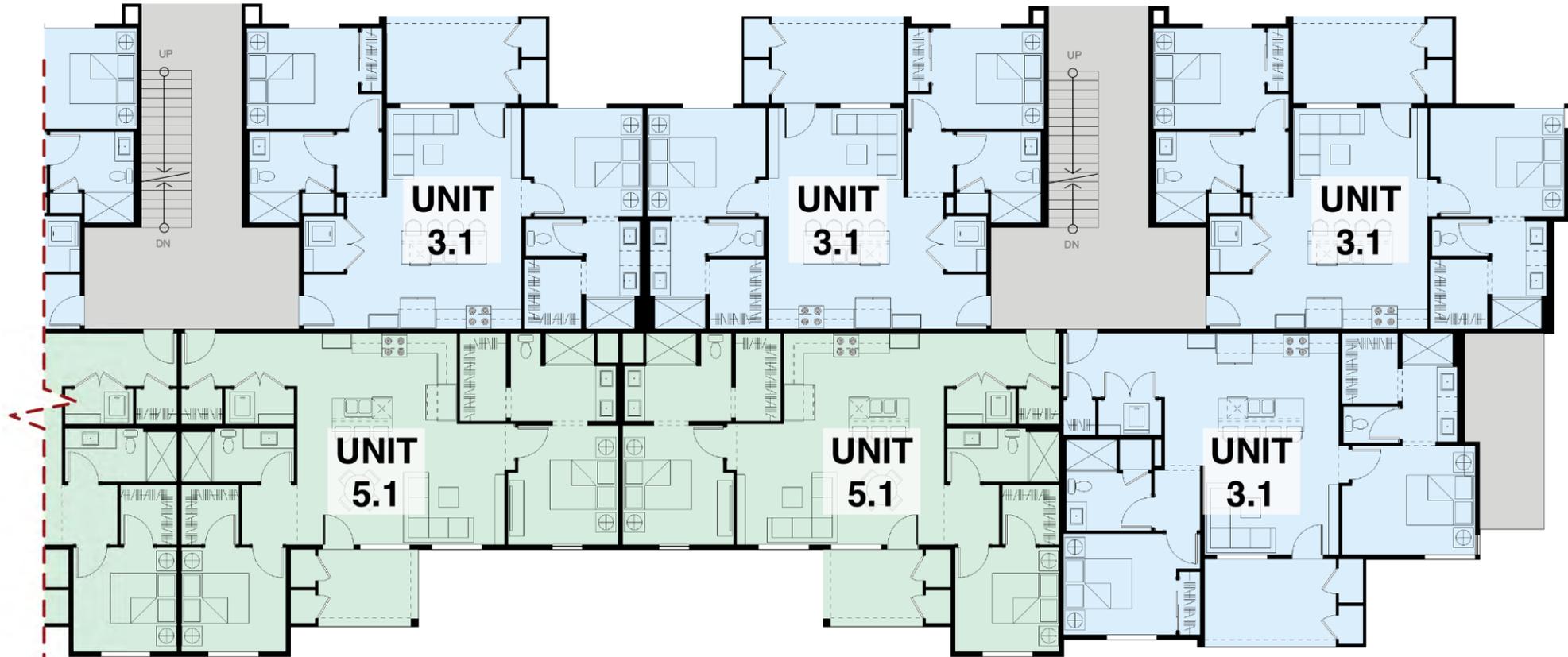
\\nasprodglb\larry\cloud\storage\jgryne\jgryne\shared\media\PROJECTS\BILUE MOUNTAIN COMMUNITIES\2024 STANFORD RANCH 6.8 LONETREE APARTMENTS\101 DESIGN\2 WORKING FLOOR LAYOUT\101 SDG\BIPR2024_A3_BUILDING PLANS_30K.dwg



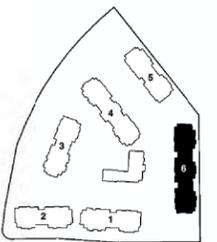
PARTIAL SECOND FLOOR



KEY PLAN



PARTIAL SECOND FLOOR



SITE KEY PLAN

SCHEMATIC SECOND FLOOR PLAN | BUILDING D - 36 UNITS

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.



SCALE: 3/16" = 1'-0"

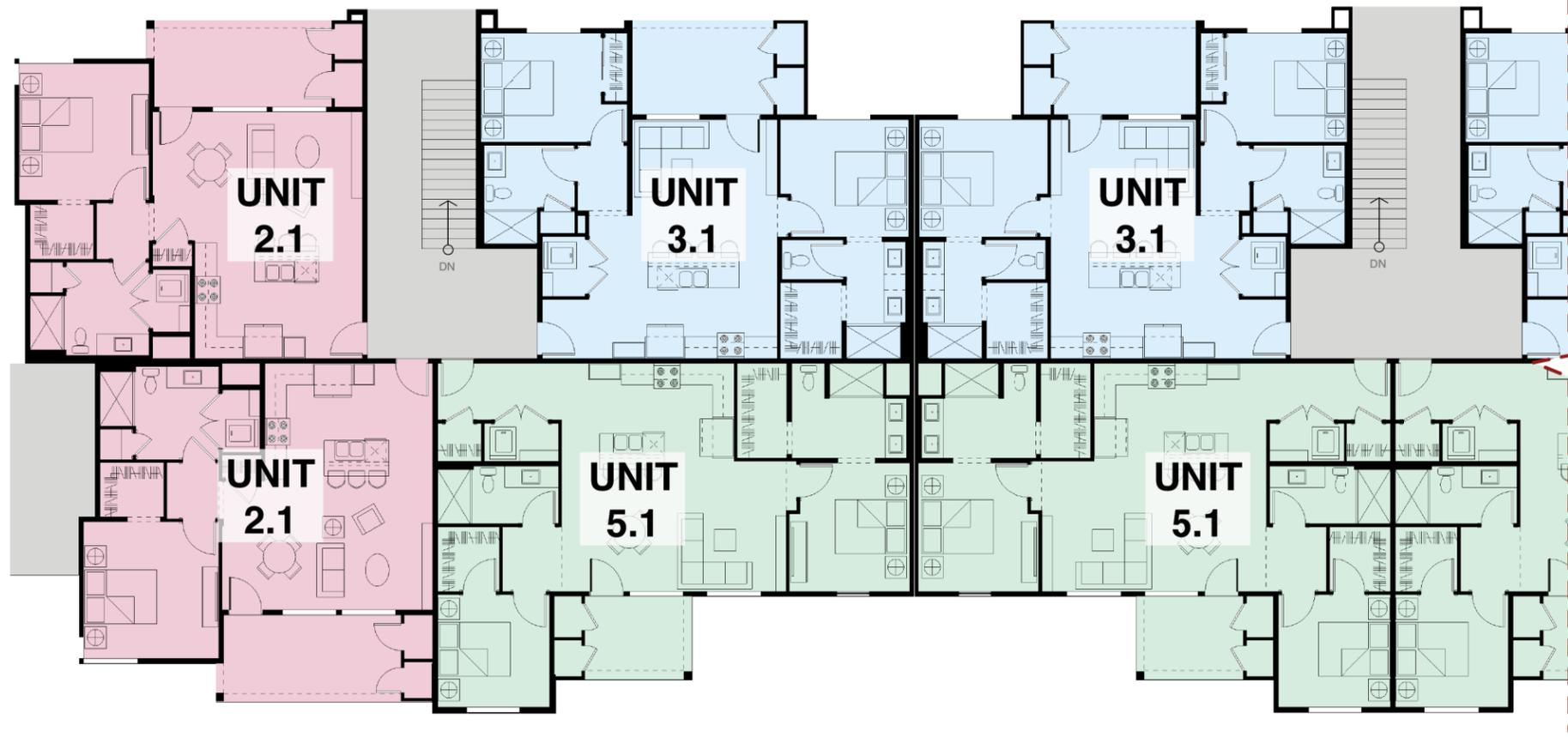


JD+A JOB NUMBER: 23034
DATE: 04.17.2024

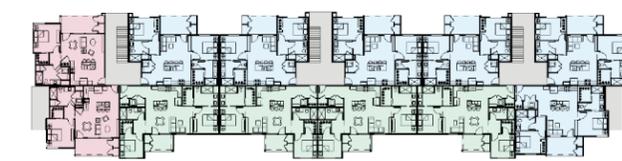
A3.11

3001 DOUGLAS BOULEVARD | SUITE 110 | ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

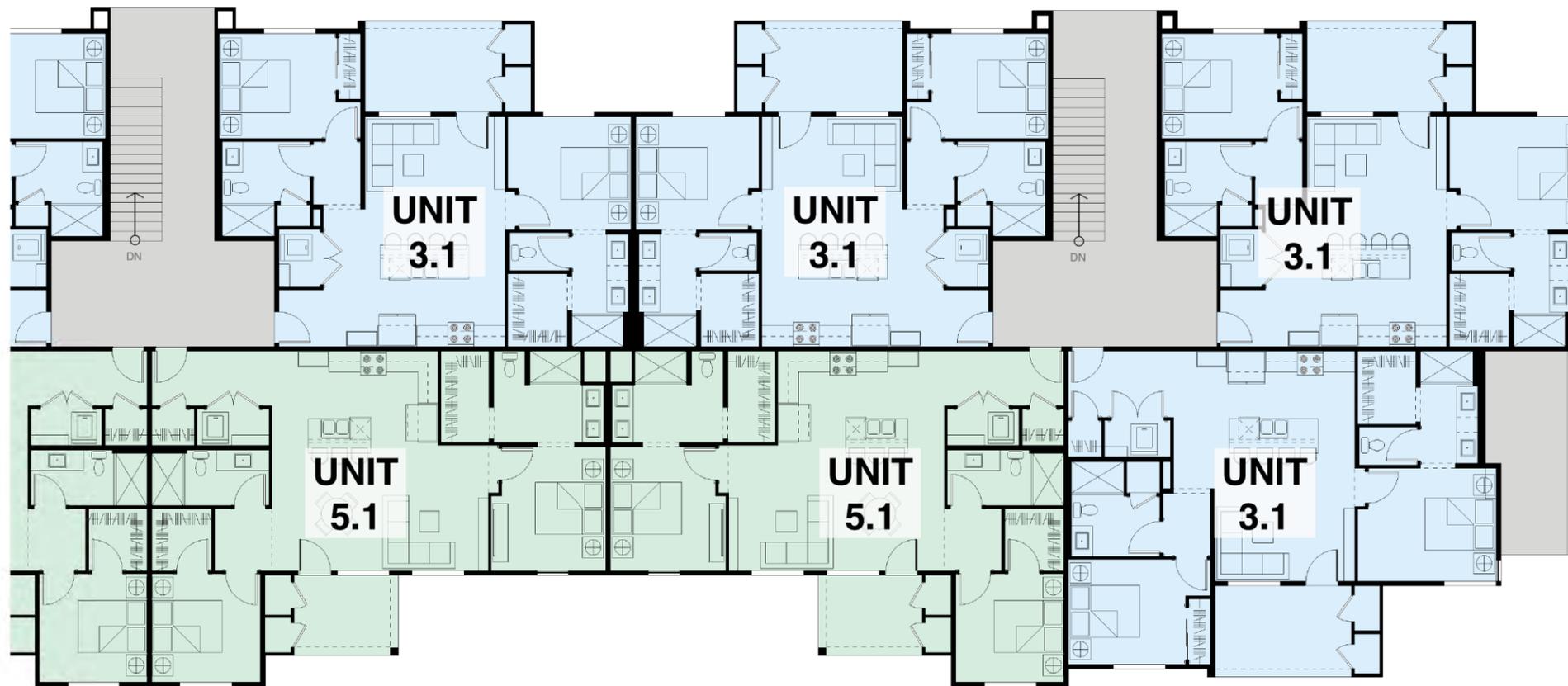
\\nasprgml\larry\cloud\storage\jgryne\jgryne\shared\media\PROJECTS\BLUE MOUNTAIN COMMUNITIES\2024 STANFORD RANCH 6.8 APARTMENTS\WORKING FLOOR LAYOUT\01_SDP\SDP\SDP\03_A3_BUILDING PLANS_KEY.rvt



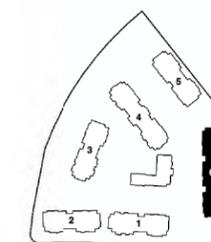
PARTIAL THIRD FLOOR



KEY PLAN



PARTIAL THIRD FLOOR



SITE KEY PLAN

PROGRESS SET

SCHEMATIC THIRD FLOOR PLAN | BUILDING D - 36 UNITS



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.



SCALE: 1/4" = 1'-0"



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A3.12

3001 DOUGLAS BOULEVARD | SUITE 1101 ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

C:\Users\jdemure\OneDrive\Documents\Projects\Blue Mountain Communities\Stanford Ranch 6.8 Units\Architectural\Drawings\Architectural\Building Elevations\New_JRKL



RIGHT ELEVATION
 BUILDING 1 : WEST
 BUILDING 3 : SOUTH



LEFT ELEVATION
 BUILDING 1 : EAST
 BUILDING 3 : NORTH

- 1

STUCCO WITH REVEAL & STUCCO WITH TRIM
SW 7568 NEUTRAL GROUND
- 2

STUCCO WITH REVEAL
SW 7039 VIRTUAL TAUPE
- 3

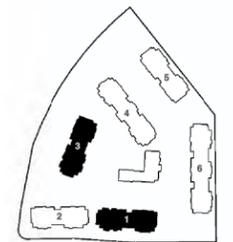
STUCCO WITH REVEAL & STUCCO WITH TRIM
SW 7644 GATEWAY GRAY
- 4

HORIZONTAL LAP SIDING
8" EXPOSURE
SW 9130 EVERGREEN FOG
- 5

TRIM & FASCIA
SW 7069 IRON ORE
- 6

STONE VENEER | CULTURED STONE | CAST FIT | FRENCH GRAY
- 7

STANDING SEAM METAL ROOF, METAL AWNING AND ACCENTS
TAYLOR METAL PRODUCTS (OR SIMILAR) | BLACK SRI-26



SITE KEY PLAN

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC ELEVATIONS | BUILDING A



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A4.2

3001 DOUGLAS BOULEVARD | SUITE 1101 ROSEMILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

A:\projects\stanford_ranch\6.8\6.8_01_schematic_elevations\6.8_01_schematic_elevations.dwg | 12/15/2024 | 10:00 AM | JDA | 1234



FRONT ELEVATION
 BUILDING 2 : NORTH
 BUILDING 5 : SOUTHWEST



REAR ELEVATION
 BUILDING 2 : SOUTH
 BUILDING 5 : NORTHEAST

- 1

STUCCO WITH REVEAL & STUCCO WITH TRIM
SW 7568 NEUTRAL GROUND
- 2

STUCCO WITH REVEAL
SW 7039 VIRTUAL TAUPE
- 3

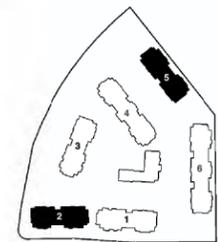
STUCCO WITH REVEAL & STUCCO WITH TRIM
SW 7644 GATEWAY GRAY
- 4

HORIZONTAL LAP SIDING
8" EXPOSURE
SW 9130 EVERGREEN FOG
- 5

TRIM & FASCIA
SW 7069 IRON ORE
- 6

STONE VENEER | CULTURED STONE | CAST FIT | FRENCH GRAY
- 7

STANDING SEAM METAL ROOF, METAL AWNING AND ACCENTS
TAYLOR METAL PRODUCTS (OR SIMILAR) | BLACK SRI-26



SITE KEY PLAN

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC ELEVATIONS | BUILDING B



SCALE: 3/16" = 1'-0"

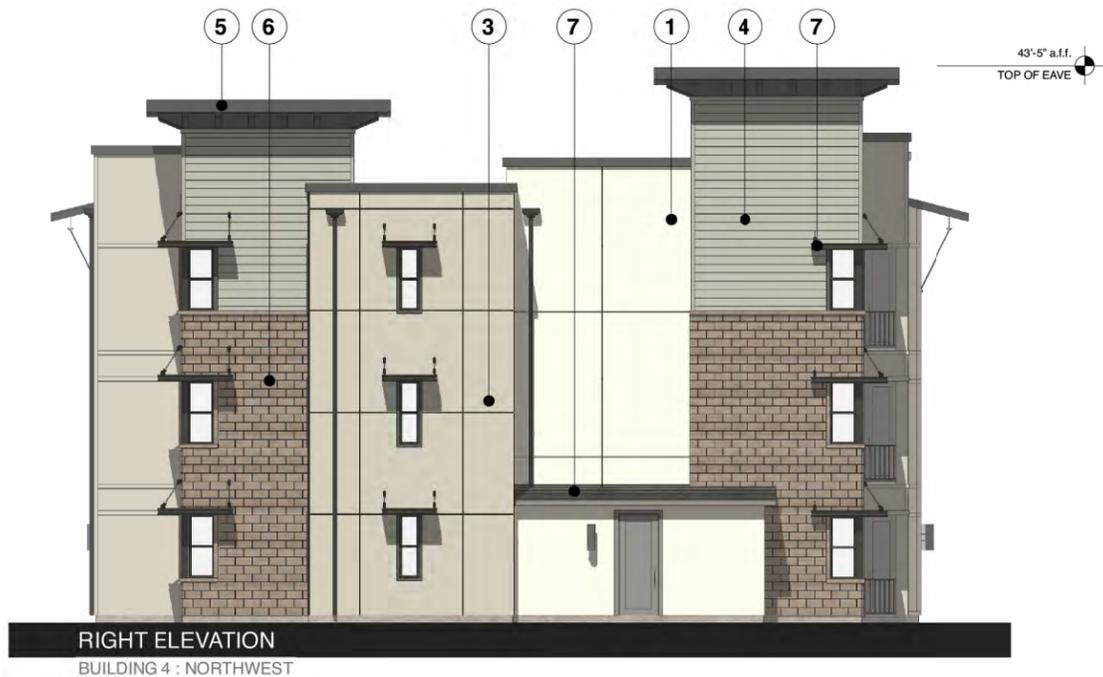


JD+A JOB NUMBER: 23034
 DATE: 04.17.2024

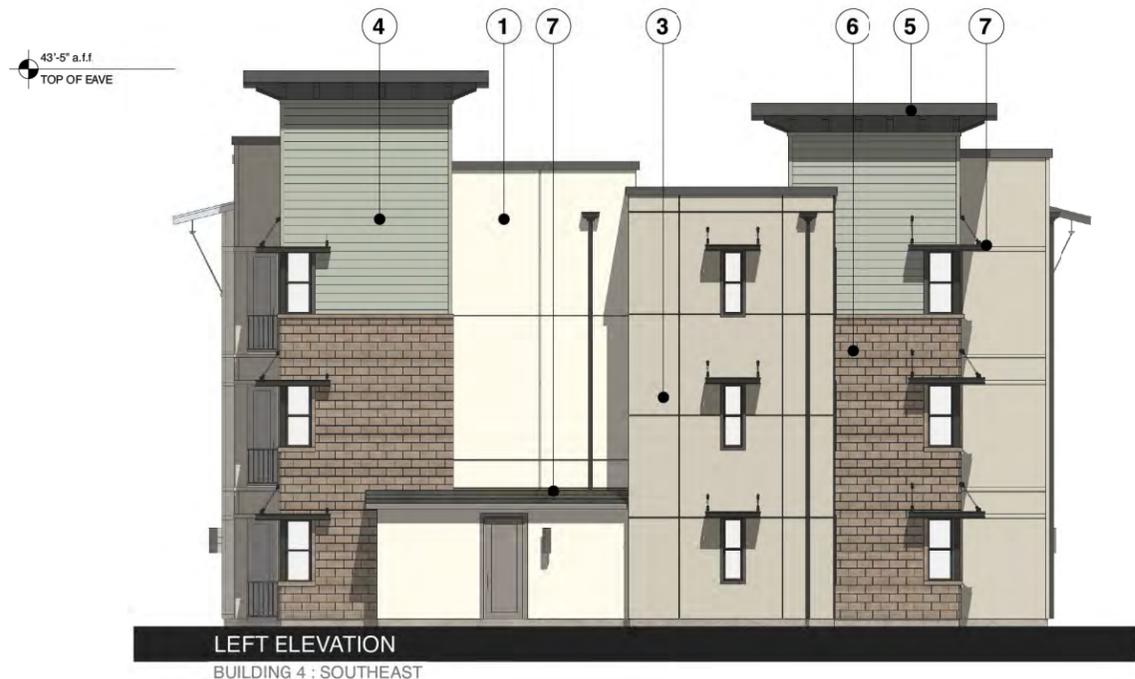
A4.5

3001 DOUGLAS BOULEVARD | SUITE 1101 ROSEMILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

\\nas01\project\blue_mountain_communities\2024\STANFORD RANCH 6.8 LONETREE APARTMENTS\01 DESIGN\WORKING FILES\LAYOUT\01 BUILDING ELEVATIONS\NEW_ARCH



RIGHT ELEVATION
BUILDING 4 : NORTHWEST



LEFT ELEVATION
BUILDING 4 : SOUTHEAST

- 1



STUCCO WITH REVEAL & STUCCO WITH TRIM
SW 7568 NEUTRAL GROUND
- 2



STUCCO WITH REVEAL
SW 7039 VIRTUAL TAUPE
- 3



STUCCO WITH REVEAL & STUCCO WITH TRIM
SW 7644 GATEWAY GRAY
- 4



HORIZONTAL LAP SIDING
8" EXPOSURE
SW 9130 EVERGREEN FOG
- 5



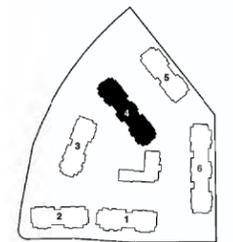
TRIM & FASCIA
SW 7069 IRON ORE
- 6



STONE VENEER | CULTURED STONE | CAST FIT | FRENCH GRAY
- 7



STANDING SEAM METAL ROOF, METAL AWNING AND ACCENTS
TAYLOR METAL PRODUCTS (OR SIMILAR) | BLACK SRI-26



SITE KEY PLAN

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC ELEVATIONS | BUILDING C



SCALE: 3/16" = 1'-0"

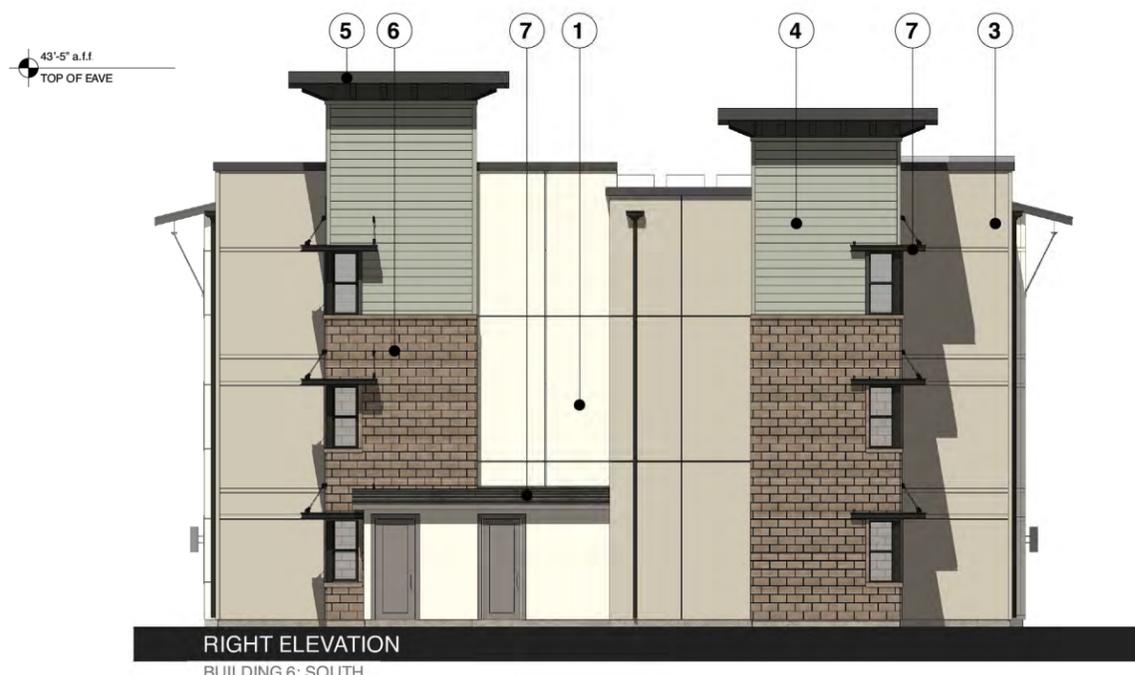


JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A4.11

3001 DOUGLAS BOULEVARD | SUITE 1101 ROSEMILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

A:\stansranch\stansranch\blue_mountain_communities\stansranch_6.8\lone_tree_apartments\01_designed\working_files\layout\01_building_elevations_new_rack.dwg

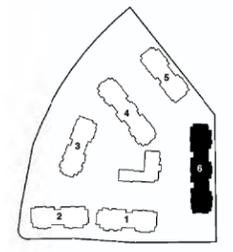


RIGHT ELEVATION
BUILDING 6: SOUTH



LEFT ELEVATION
BUILDING 6: NORTH

- 1
STUCCO WITH REVEAL & STUCCO WITH TRIM
SW 7568 NEUTRAL GROUND
- 2
STUCCO WITH REVEAL
SW 7039 VIRTUAL TAUPE
- 3
STUCCO WITH REVEAL & STUCCO WITH TRIM
SW 7644 GATEWAY GRAY
- 4
HORIZONTAL LAP SIDING
8" EXPOSURE
SW 9130 EVERGREEN FOG
- 5
TRIM & FASCIA
SW 7069 IRON ORE
- 6
STONE VENEER | CULTURED STONE | CAST FIT | FRENCH GRAY
- 7
STANDING SEAM METAL ROOF, METAL AWNING AND ACCENTS
TAYLOR METAL PRODUCTS (OR SIMILAR) | BLACK SRI-26



SITE KEY PLAN

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC ELEVATIONS | BUILDING D

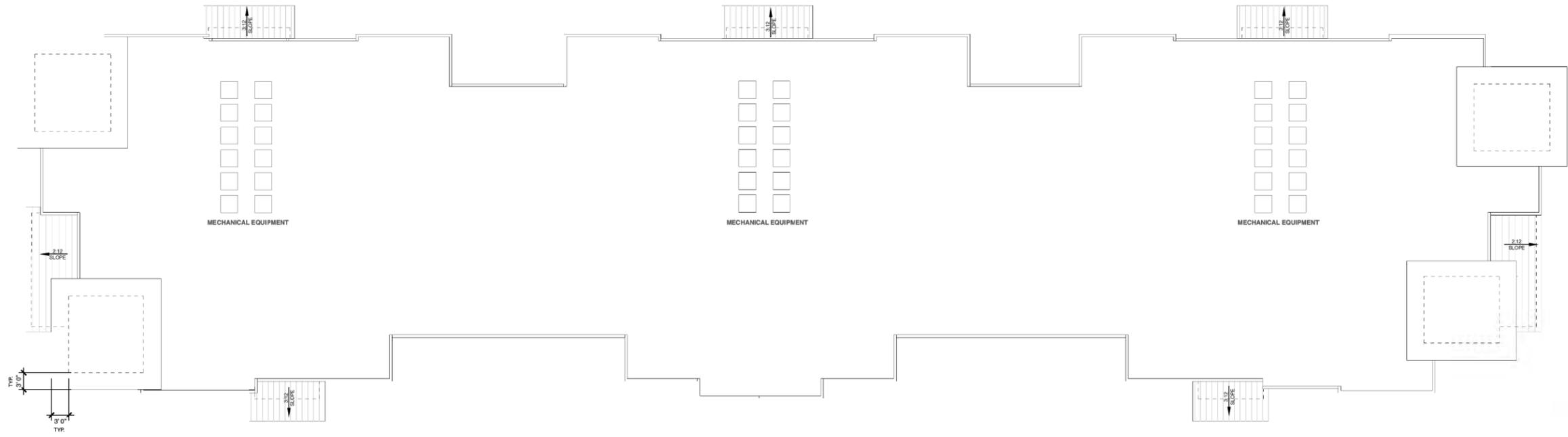
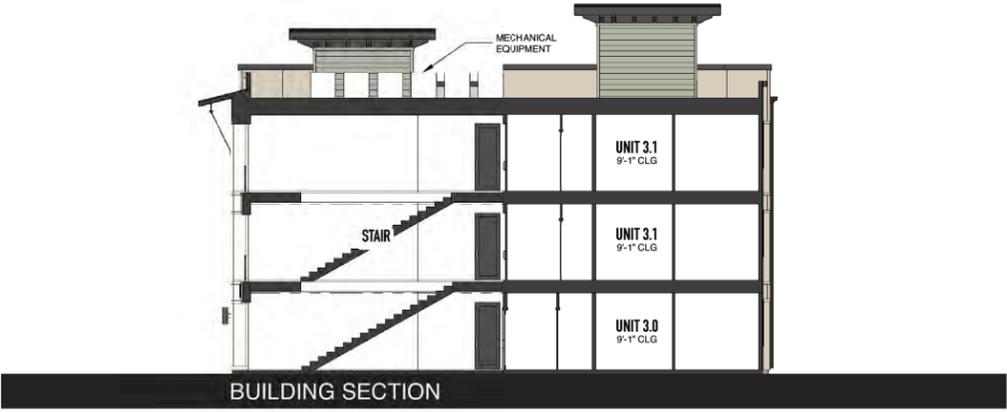


JD+A JOB NUMBER: 23034
DATE: 04.17.2024

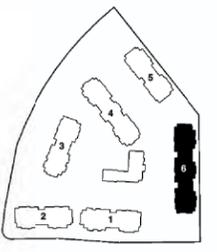
A4.16

3001 DOUGLAS BOULEVARD | SUITE 1101 ROSEMILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM

\\nas\shared\larry\cloud\shared\gym\blue mountain communities\2024 stanford ranch 6.8 units\apartments\01 design\working files\layout\01 doors\252504_01 BUILDING ELEVATIONS NEW_ARCH



BUILDING C ROOF PLAN



SITE KEY PLAN

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC ROOF PLAN & BUILDING SECTIONS | BUILDING D



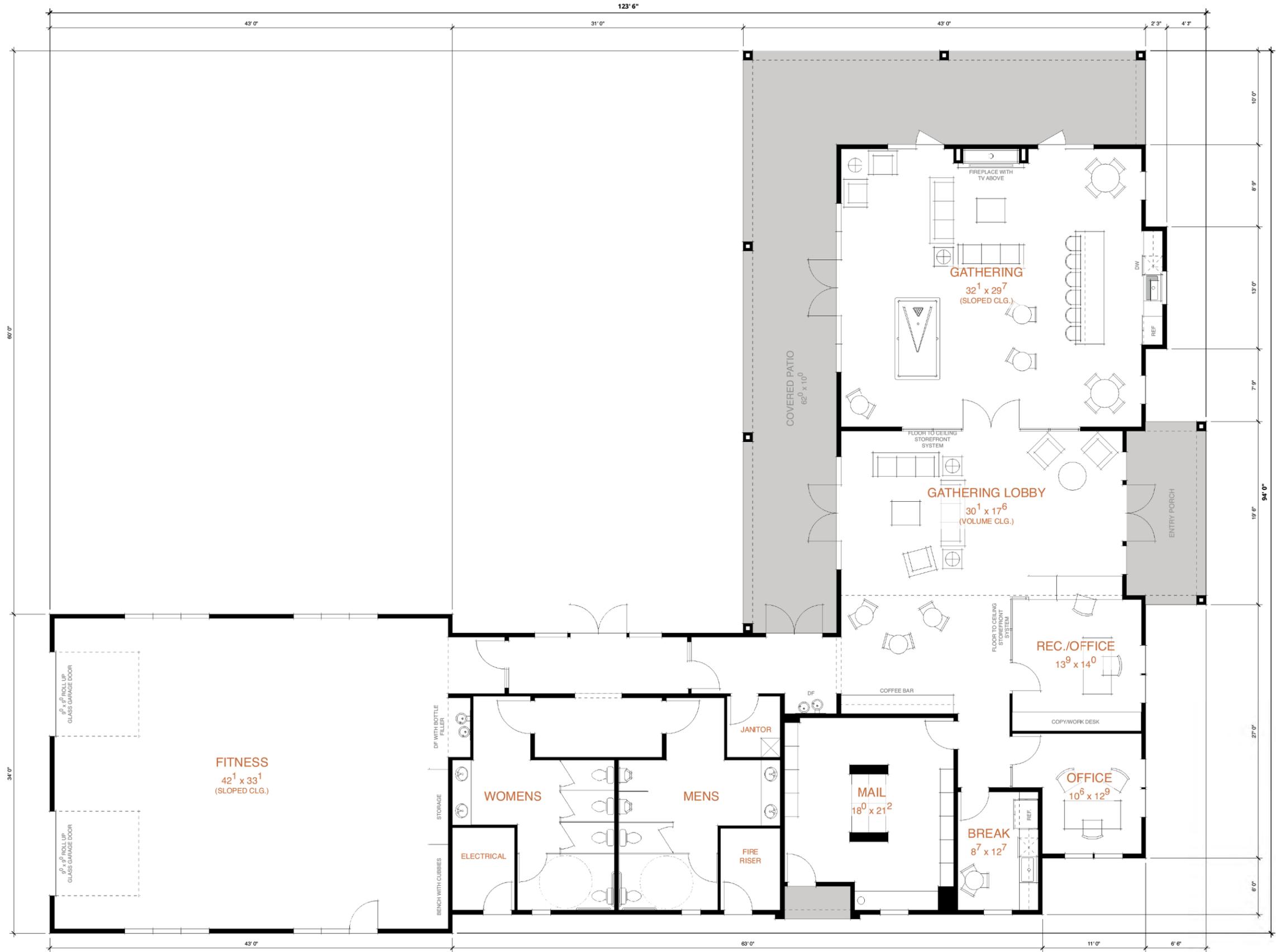
SCALE: 1/8" = 1'-0"



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A4.18

3001 DOUGLAS BOULEVARD | SUITE 1101 ROSELLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM



PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

CLUBHOUSE | SCHEMATIC FLOOR PLAN | 5,274 SF



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A5.1

\\nasprod\p\Library\Claudio\Images\Projects\Blue Mountain Communities\Stanford Ranch 6.8\LONETREE APARTMENTS\01 DESIGN WORKING FILES\02 LAYOUT\01 SCHEMATIC\02A_ARCHITECTURE



- 1



TRIM & FASCIA
SW 7069 IRON ORE
- 2



STUCCO WITH 1" REVEAL
SW 7568 NEUTRAL GROUND
- 3



STUCCO WITH 1" REVEAL
SW 7039 VIRTUAL TAUPE
- 4



HORIZONTAL LAP SIDING
8" EXPOSURE
SW 9130 EVERGREEN FOG
- 5



STONE VENEER | CULTURED
STONE | CAST FIT | FRENCH
GRAY
- 6



STANDING SEAM METAL ROOF
AND METAL AWNING
TAYLOR METAL PRODUCTS (OR
SIMILAR) | BLACK SRI-26

PROGRESS SET

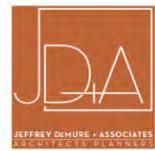
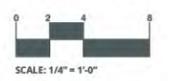


STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

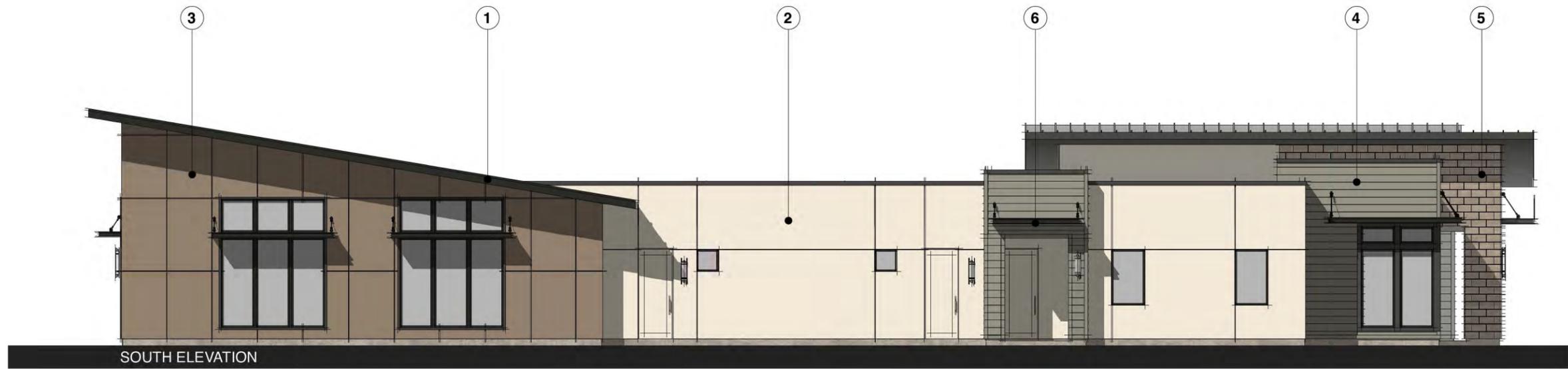
SCHEMATIC ELEVATIONS | CLUBHOUSE



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A5.2

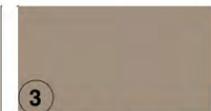
A:\projects\p2504\blue_mountain_communities\2504 stanford ranch 6.8 lone tree apartments\01 designs working files\01 sdwrp2504_a1_clubhouse



SOUTH ELEVATION



NORTH ELEVATION

- | | | | | | |
|--|--|---|---|--|---|
| <p>1</p>  <p>TRIM & FASCIA
SW 7069 IRON ORE</p> | <p>2</p>  <p>STUCCO WITH 1" REVEAL
SW 7568 NEUTRAL GROUND</p> | <p>3</p>  <p>STUCCO WITH 1" REVEAL
SW 7039 VIRTUAL TAUPE</p> | <p>4</p>  <p>HORIZONTAL LAP SIDING
8" EXPOSURE
SW 9130 EVERGREEN FOG</p> | <p>5</p>  <p>STONE VENEER CULTURED
STONE CAST FIT FRENCH
GRAY</p> | <p>6</p>  <p>STANDING SEAM METAL ROOF
AND METAL AWNING
TAYLOR METAL PRODUCTS (OR
SIMILAR) BLACK SRI-26</p> |
|--|--|---|---|--|---|

PROGRESS SET

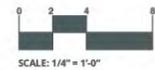


STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

SCHEMATIC ELEVATIONS | CLUBHOUSE



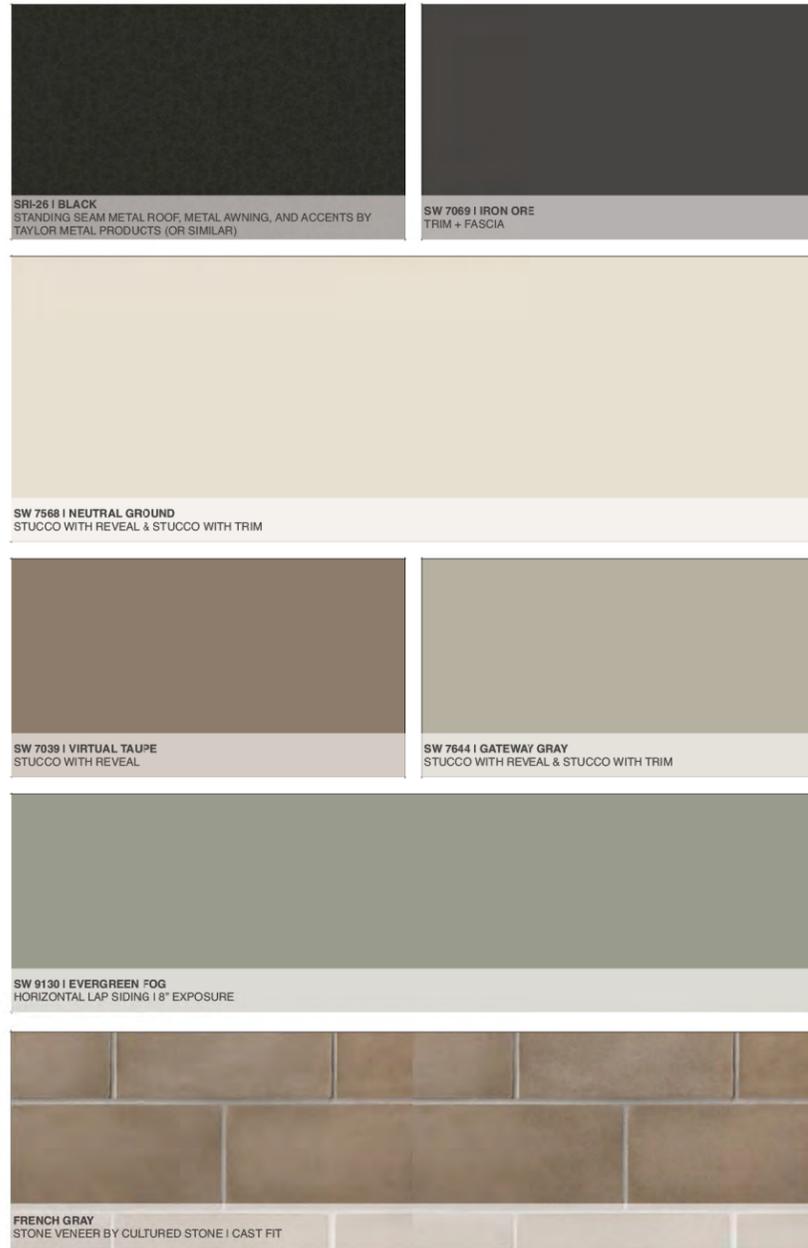
SCALE: 1/4" = 1'-0"



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A5.3

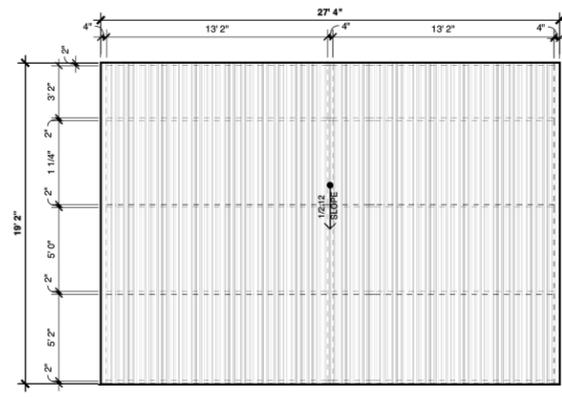
3001 DOUGLAS BOULEVARD | SUITE 1101 ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM



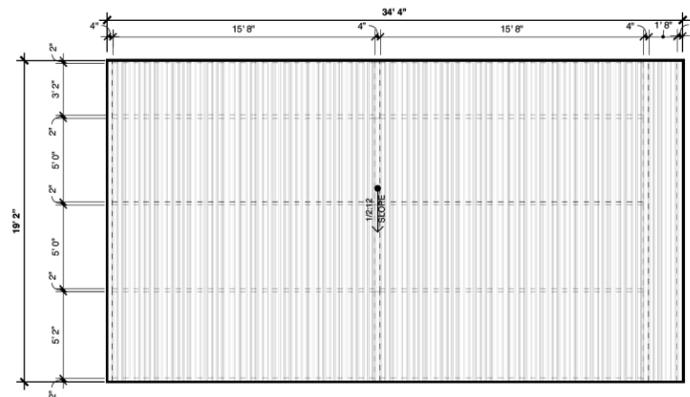
APARTMENTS | BUILDING A, B, C, D



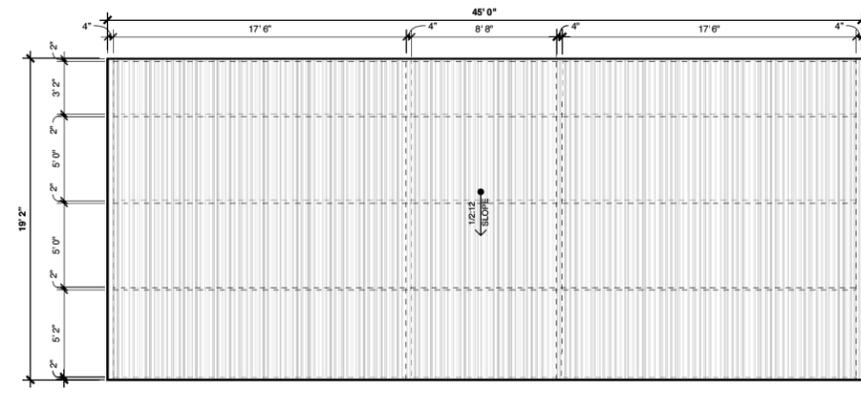
CLUBHOUSE



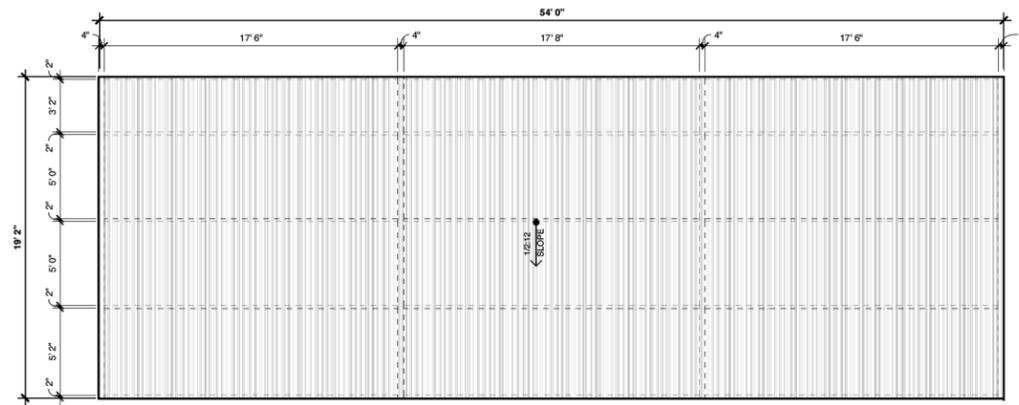
CARPORT 3



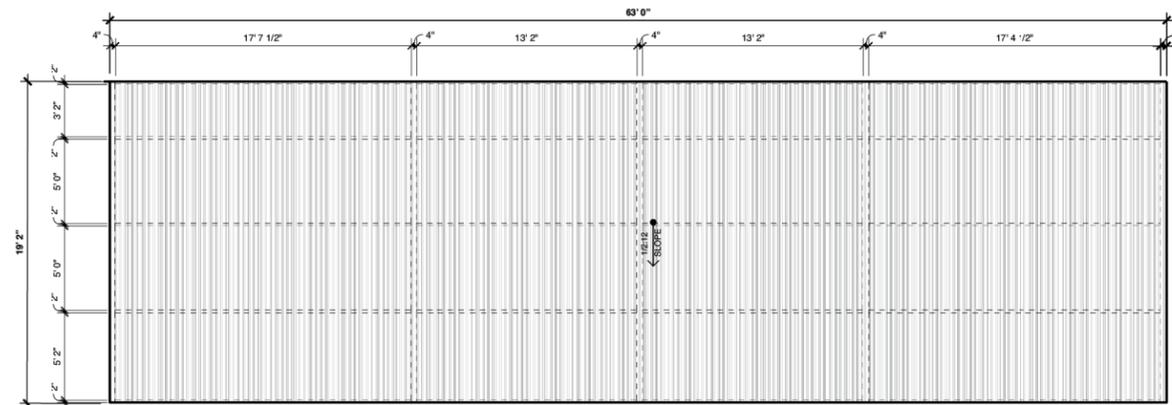
CARPORT 4



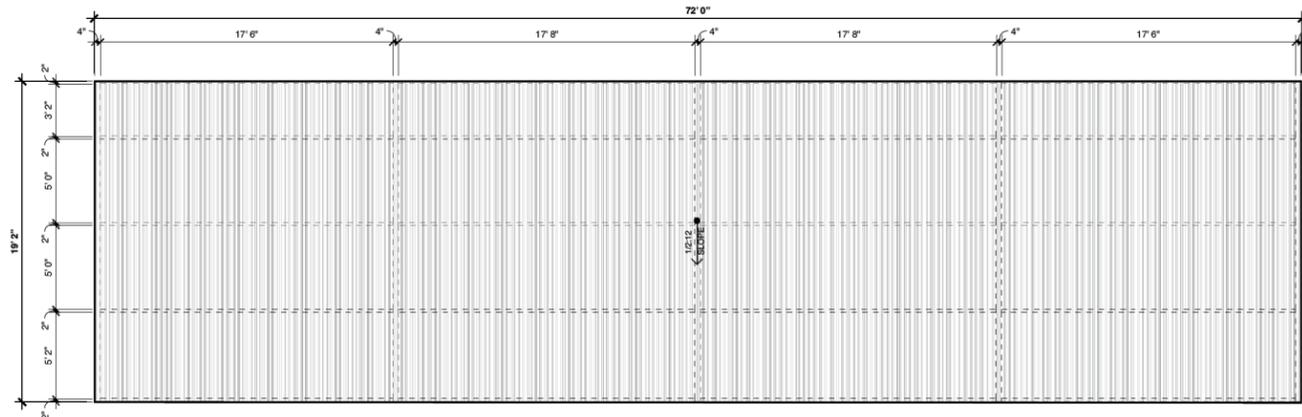
CARPORT 5



CARPORT 6

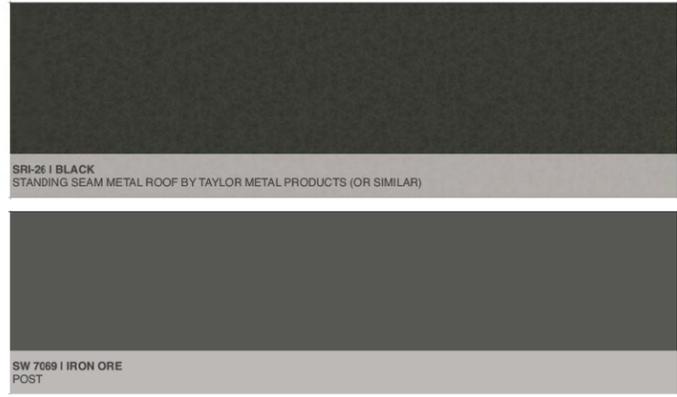


CARPORT 7



CARPORT 8

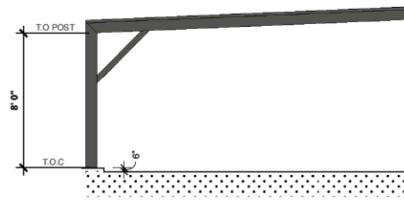
\\nas01\proj\12497\Drawings\02\PROJECTS\BLUE MOUNTAIN COMMUNITIES\23034 STANFORD RANCH 6.8 (CONCRETE APARTMENTS) DESIGN\02 WORKING PLEAS\LAYOUT1\BDRP\BDRP23034_A_CARPOR



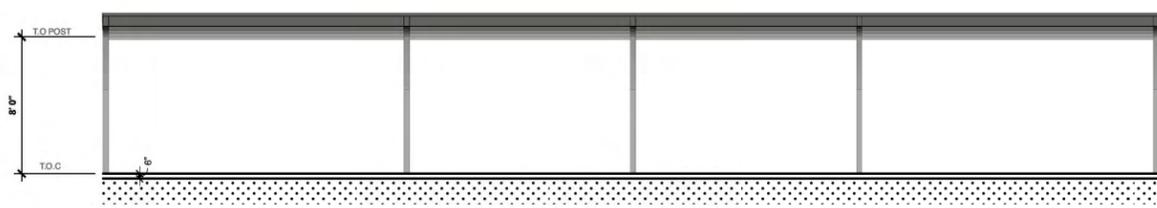
COLOR + MATERIAL



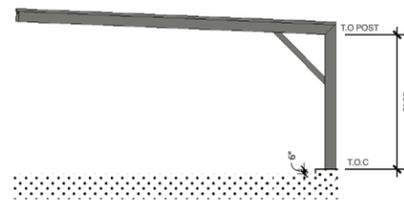
SCHEMATIC PERSPECTIVE



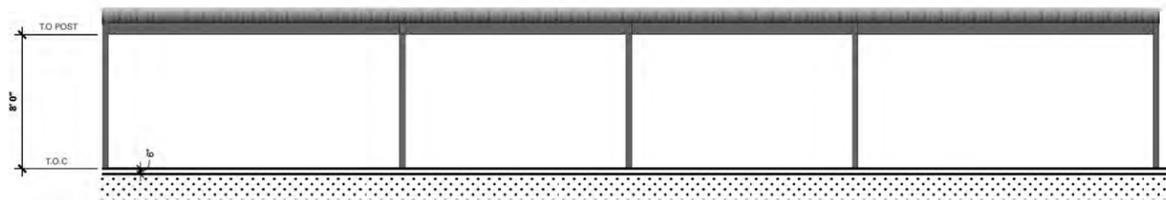
TYPICAL LEFT ELEVATION



TYPICAL FRONT ELEVATION



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION

PROGRESS SET



STANFORD RANCH 6.8 APARTMENTS

CITY OF ROCKLIN, CALIFORNIA

© 2024 - 2024 JEFFREY DEMURE + ASSOCIATES ARCHITECTS PLANNERS, INC.

CARPOR ELEVATIONS, PERSPECTIVE & MATERIALS



SCALE: 1/4" = 1'-0"



JD+A JOB NUMBER: 23034
DATE: 04.17.2024

A7.2

3001 DOUGLAS BOULEVARD | SUITE 110 | ROSEVILLE, CALIFORNIA 95661 | 916.783.3700 | WWW.JDAARCH.COM