



## New Project Information

The City of Rocklin has begun processing the below referenced applications for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved notice will be provided to alert neighbors and interested parties of the availability of project information, the opportunity to comment on a project, and of any pending review or action.

**Complete Application Received:** March 20, 2017

### **Project Name and Requested Approvals:**

QUARRY PLACE APARTMENTS – COBBLESTONE SINGLE FAMILY RESIDENTIAL (aka PACIFIC POINTE)  
TENTATIVE SUBDIVISION MAP, SD2017-0005  
DESIGN REVIEW, DR2017-0001

### **Staff Description of Project:**

This application is a request for approval of the following entitlements to allow the development of portions of the existing Kmart Shopping Center (approximately 15.22 acres) into apartments, single-family residential lots, and two commercial buildings:

- A Tentative Subdivision Map to create a 44-lot single family residential subdivision, a multi-family project site, and two commercial parcels.
- A Design Review for the site design, landscaping, architectural designs, colors and materials of a 180-unit apartment development and approximately 9,700 square feet of retail buildings.

### **Location:**

The subject site is located generally on the northeast corner of Pacific Street and Sunset Boulevard. APNs 010-470-003, -008, -021, -022, -023, -024, and -026.

### **Existing Land Use Designations:**

The property is zoned Multiple Family Residential (R-3), Single Family Residential 3,500 square foot minimum lot size (R1-3.5), and Retail Business (C-2).

The General Plan designations are High Density Residential (HDR), Medium Density Residential (MDR), and Retail Commercial (RC).

This project      **does / XX does not** require modification or change of the land use designations and regulations currently applicable to the project site.

### **Compliance with the California Environmental Quality Act:**

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified a Mitigated Negative Declaration as the appropriate level of environmental review for this project.

### **Applicant & Property Owner:**

The applicant and property owner is St. Anton Communities.

### **Attached Information:**

For additional detail please see the attached information from the project application form and the submitted application exhibits.

P:\PUBLIC PLANNING FILES\Request for Comment\2017\Quarry Place Apts-Cobblestone SFR\2-Project Information.docx



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

## UNIVERSAL APPLICATION FORM

**NAME OF PROJECT:** Quarry Place

**LOCATION:** 5615 Pacific St., Rocklin, CA

**ASSESSOR'S PARCEL NUMBERS:** 010-470-003, 008, 021, 022, 023, 024 and 026

**DATE OF APPLICATION (STAFF):** 2/15/17 **RECEIVED BY (STAFF INITIALS):** DD/AK

**FILE NUMBERS (STAFF):** SD2017-0225, DR2017-0001 **FEES:** \$22,152.00

**RECEIPT No.:** R17799

### Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

**DATE OF PRE-APPLICATION MEETING:** \_\_\_\_\_

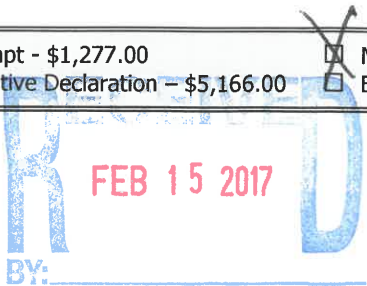
### THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> General Plan Amendment (GPA)<br>Fee: \$11,434 (< 100 Acres)<br>\$ 2,565 (each add'l 100 Acres)                           | <input type="checkbox"/> Tentative Subdivision Map (SD)<br>Fee: \$17,715 (1 <sup>st</sup> 50 lots)<br>\$2,188 (each add'l 50 lots)<br>\$10,337 Modification | <input type="checkbox"/> Use Permit (U)<br><input type="checkbox"/> Minor (PC Approval – New Bldg) Fee: \$9,888<br><input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee: \$7,496<br><input type="checkbox"/> Major (CC Approval) Fee: \$13,252 |
| <input type="checkbox"/> Rezone (Reclassification) (Z)<br>Fee: \$9,846 < 20 acres<br>\$10,850 > 20 acres  | <input type="checkbox"/> Tentative Parcel Map (DL)<br>Fee: \$9,888  | <input type="checkbox"/> Variance (V)<br>Fee: \$5,036  |
| <input type="checkbox"/> General Development Plan (PDG)<br>Fee: \$13,475  | <input type="checkbox"/> Design Review (DR)<br>Commercial Fee: \$9,888<br>Residential Fee: \$6,097<br>Signs Fee: \$4,233                                    | <input type="checkbox"/> Oak Tree Preservation Plan Permit<br>Planning Commission Fee: \$ 915<br>City Council Fee: \$1,232   |
| <input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements)<br>Fee: \$15,845<br>\$2,142 (each add'l 50 lots or 100 acres) |   | <input type="checkbox"/> Modification to Approved Projects<br>Fee: \$3,481   |

File Number \_\_\_\_\_

### Environmental Requirements: (STAFF)

- |  |   |
|--|---|
| <input type="checkbox"/> Exempt - \$1,277.00               | <input checked="" type="checkbox"/> Mitigated Negative Declaration – \$6,311.00 |
| <input type="checkbox"/> Negative Declaration – \$5,166.00 | <input type="checkbox"/> EIR – See Fee Schedule                                 |



## UNIVERSAL APPLICATION FORM (CONT.)

<b>GENERAL PLAN DESIGNATION:</b>	<b>PROPERTY DATA:</b>	<b>UTILITIES:</b>	
Existing: <u>HDR, MDR, RC</u>	Acres: <u>15.22 +/-</u>	<b>EXISTING</b>	<b>PROPOSED</b>
Proposed: <u>HDR, MDR, RC</u>	Square Feet: <u>662,983.2</u>	<input checked="" type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer
<b>Zoning:</b>	Dimensions: _____	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer
Existing: <u>HDR, MDR, RC</u>	No. of Units: _____	<input checked="" type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water
Proposed: <u>HDR, MDR, RC</u>	Building Size: _____	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water
	Proposed Parking: _____	<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity
	Required Parking: _____	<input checked="" type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas
	Access: _____	<input checked="" type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable

**PROJECT REQUEST:** Design Review for the 180-unit Apartment community, Design Review for 9,700 square feet of retail and a Tentative Map that includes subdividing the property into 44 single family lots. The project site was previously mass graded and the bulk of it developed with a K-Mart store, parking and access. Redevelopment of this site anticipates the construction of single family and multifamily residential on the major portion of the site with the Pacific Street frontage areas remaining commercial.

*(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)*

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

**UNIVERSAL APPLICATION FORM (CONT.)**

**PLEASE PRINT OR TYPE:**

NAME OF PROPERTY OWNER: St. Anton Rocklin, LLC (Owner 1), St. Anton Communities LLC (Owner 2)

ADDRESS: 1801 I St., Suite 200

CITY: Sacramento STATE: CA ZIP: 95811

PHONE NUMBER: (916) 471-3000

EMAIL ADDRESS: az@antoncap.com or jdc@antoncap.com

FAX NUMBER: (916) 444-9843

**SIGNATURE OF OWNER** 

*(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)*

NAME OF APPLICANT  
(If different than owner): St. Anton Communities

CONTACT: Ardie Zahedani

ADDRESS 1801 I St., Suite 200

CITY: Sacramento STATE: CA ZIP: 95811

PHONE NUMBER: (916) 471-3000 x 228 Ardie

EMAIL ADDRESS: az@antoncap.com or jdc@antoncap.com

FAX NUMBER: (916) 444-9843

**SIGNATURE OF APPLICANT** 

General Project Description  
7 April 2017

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***Quarry Place– A Mixed-Use Master Planned Community***

*Quarry Place* is a mixed-use master planned community comprised of approximately 180 income-restricted rental apartments, 44<sup>+/-</sup> detached single-family homes and 9,700<sup>+/-</sup> square feet of commercial uses proposed by St. Anton Communities, a privately owned local housing developer, builder and manager. The community is a Transit Oriented Development (“TOD”) with a pedestrian focus, adjacent to the future Quarry Park Trail System, 450 feet from the Placer County Transit Bus Stop and ½ mile from the Rocklin Amtrak station. This TOD community benefits from adjacency and access to the Amtrak Train Station, Downtown Rocklin businesses and major regional freeways.

The 15.22<sup>+/-</sup> gross acre site is an assemblage of six parcels consisting of a former Kmart and surrounding vacant parcels within an existing shopping center. The site is predominately flat and located within the Historic Quarry District. The property is bound by Pacific Street to the west, Sunset Boulevard to the south, existing retail which includes: Wal-Mart Neighborhood Market, Sherwin-Williams Paint Store and O’Reilly Auto Parts to the north and Ruhkala Road and residential to the east, which includes an adjacent R-3 zoned community. In December 2016, the Rocklin City Council unanimously approved the rezone from entirely Retail Commercial (C-2) to High Density Residential (R-3), Medium High Density Residential (R-1.5) and Retail Commercial (C-2) in anticipation of this project. Construction of the apartments is expected to begin in late 2017, with an anticipated 15-month construction completion.

The entitlements requested by St. Anton include two separate design review applications (one for the apartments and one for the retail buildings) and a tentative map for the entire assemblage that creates 44 single-family lots, a single lot for the apartments and two lots for the retail buildings. A design review application for the single-family lots will be submitted at a later date.

**Building**

The apartment project consists of multiple three-story, wood-frame buildings with stucco and stone veneer. The 180-unit multifamily project will be constructed in a single phase. Architectural elements

such as articulation of the façade are incorporated into the design of the buildings to create visual interest and to showcase the timeless elements of the Quarry District in the Historic Rocklin area. The building exteriors will include varying fenestration accented with extensive trim painting schemes. The multifamily project will be constructed in a single phase.

### Units

*Quarry Place* is a 100 percent affordable housing community offering 180 units to accommodate individuals with very low (50% AMI) and low incomes (60% AMI). Although the final unit mix may slightly change through the design process, of the 180 apartment homes, approximately 78 are one-bedroom units, 72 are two-bedroom units and 30 are three-bedroom units.

In addition to the apartments units, the community will have 44 detached single-family homes that are anticipated to range in size from 2,000 sq. ft to 2,750 sq. ft. (est.).

### Parking and Circulation

The primary access to the apartments will be from the existing entry off of Pacific Street that will continue to serve the existing retail businesses. A secondary access road will be provided to/from Ruhkala Road. Parking for the apartments will primarily be located in the center and northern boundary of the site. Rocklin Municipal Code, Section 17.66.020, requires 321 parking spaces for the proposed unit count with an additional 80 visitor spaces for a total of 401 parking spaces. However, State Density Bonus Law allows projects that provide affordable housing to be granted a reduction in parking standards. This reduction would require only 282 spaces for this project. Quarry Place proposes to provide a total of 324 spaces, which is a parking ratio (1.8 spaces/unit) that has performed well in St. Anton's other communities. A Fire Truck Access Plan has been prepared and submitted with the Rocklin Fire Department Turning specifications. Emergency Vehicles will have access to the entire site via the 25' wide driveway that loops through the project with points of access from both Pacific Street and Ruhkala Road. Radius standards and the 150' hose pull studied at all parts of the buildings. A gated EVA will be accessible at the north drive aisle via the Wal-Mart Neighborhood Market parking lot.

The single-family residences will be accessed from Sunset Boulevard via a looped road that connects with Ruhkala Road. The internal roads will be 32' wide with parking on one side. Each home will have a garage and an approximate 20' deep driveway for additional visitor parking, if needed.

The retail building will be accessed off of Pacific Street via a separate parking lot with 50 spaces. To reduce congestion in the residential community, vehicular circulation will not be permitted between the commercial and residential portions of the project. Pedestrian circulation, however, is available and encouraged with a linear park that connects all three uses.

### On-Site Amenities

The multifamily project consists of a clubhouse with kitchen and seating for community gatherings, leasing center, multimedia library, a fitness center, pool and spa, tot lot, game lawn and a dog park.

### Off-Site Amenities

This project is located in Downtown Rocklin, which is a traditional and historic neighborhood that already provides a variety of services for its residents. The project neighbors a grocery store and is within ½ mile from multiple smaller scale food and supplies shops, restaurants, the U.S. Post Office and many other businesses. Quarry Park and Johnson-Springview Park are both located within ¼ mile and the Rocklin Public Library is less than one mile from the project.

### Property Management

St. Anton Multifamily, Inc. (SAM), or an affiliate, will provide professional on-site management services to the apartment community. SAM is a full service property management company specializing in market rate and affordable housing management. SAM provides a wide range of property management services including initial and on-going leasing, marketing, compliance monitoring and property maintenance.



## ARCHITECTURE

### A1.0 SITE PLAN

- A2.0 BUILDING ELEVATIONS - BUILDING A
- A2.1 BUILDING ELEVATIONS - BUILDING A ENHANCED ELEVATION
- A2.2 BUILDING ELEVATIONS - BUILDING B
- A2.3 BUILDING ELEVATIONS - BUILDING C
- A2.4 BUILDING ELEVATIONS - AMENITY BUILDING
- A2.5 BUILDING ELEVATIONS - POOL HOUSE
- A2.6 BUILDING ELEVATIONS - SHOPS
- A2.7 BUILDING ELEVATIONS - DRIVE THRU

- A3.0 BUILDING PLANS - BUILDING A
- A3.1 BUILDING PLANS - BUILDING B
- A3.2 BUILDING PLANS - BUILDING C

- A5.0 UNIT PLANS
- A5.1 UNIT PLANS
- A5.2 FLOOR PLANS - AMENITY BUILDINGS

- A6.0 PERSPECTIVES - BUILDING A
- A6.1 PERSPECTIVES - AERIAL VIEW
- A6.2 PERSPECTIVES - POOL DECK
- A6.3 PERSPECTIVES - CLUBHOUSE
- A6.4 PERSPECTIVES - RETAIL
- A6.5 PERSPECTIVES - RETAIL

## LANDSCAPE

- L1.0 PRELIMINARY CONSTRUCTION PLAN
- L1.1 PRELIMINARY CONSTRUCTION PLAN
- L1.2 PRELIMINARY PLANTING PLAN
- L1.3 PRELIMINARY PLANTING PLAN
- L1.4 PRELIMINARY PLANTING PLAN

QUARRY PLACE

**ST. ANTON**  
COMMUNITIES

1801 I Street, Suite 200  
Sacramento, CA  
916.471.3000

SHEET INDEX

ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017

**KTGY Group, Inc.**  
**Architecture+Planning**  
17911 Von Karman #200  
Irvine, CA 92614  
949.851.2133  
ktgy.com



A0.1





Oak Tree Preserve  
 Ruhkala Road ROW Easement  
 3-story walk building, typ.

**Site Summary:**  
 Gross Site Area: ±15.2 acres

Retail Component: ±9,700sf

**Apartment Project Summary:**  
 Site Area: ±7.8 acres  
 Unit Count: 180 Units  
 Density: ±23.2 du/ac

**Unit Summary:**

1 Bedroom	78	(43%)
2 Bedrooms	72	(40%)
3 Bedrooms	30	(17%)
<b>Total Units</b>	<b>180</b>	<b>(100%)</b>

**Parking Required:**

1 Bedroom (1 Space)	X 78	= 78
2 Bedrooms (2 Spaces)	X 72	= 144
3 Bedrooms (2 Spaces)	X 30	= 60
<b>Total</b>		<b>282 spaces</b>

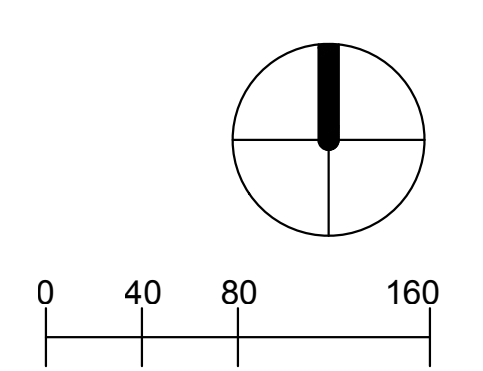
**Parking Provided:**

On-Grade	324 spaces (1.80 sp/unit)
Accessible	10 accessible spaces (includes 2 van acc.)

Leasing/Community Building: ±3,000 sf

**For-Sale Project Summary:**  
 ±5.4 acres ±44 lots (8.1 du/ac)

\*Enhanced Elevation - See A2.1



# QUARRY PLACE

**ST. ANTON**  
 COMMUNITIES  
 1801 I Street, Suite 200  
 Sacramento, CA  
 916.471.3000

# CONCEPTUAL SITE PLAN

ROCKLIN, CA  
 KTG # 2016-0189 02.15.2017

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 Irvine, CA 92614  
 949.851.2133  
 ktgy.com

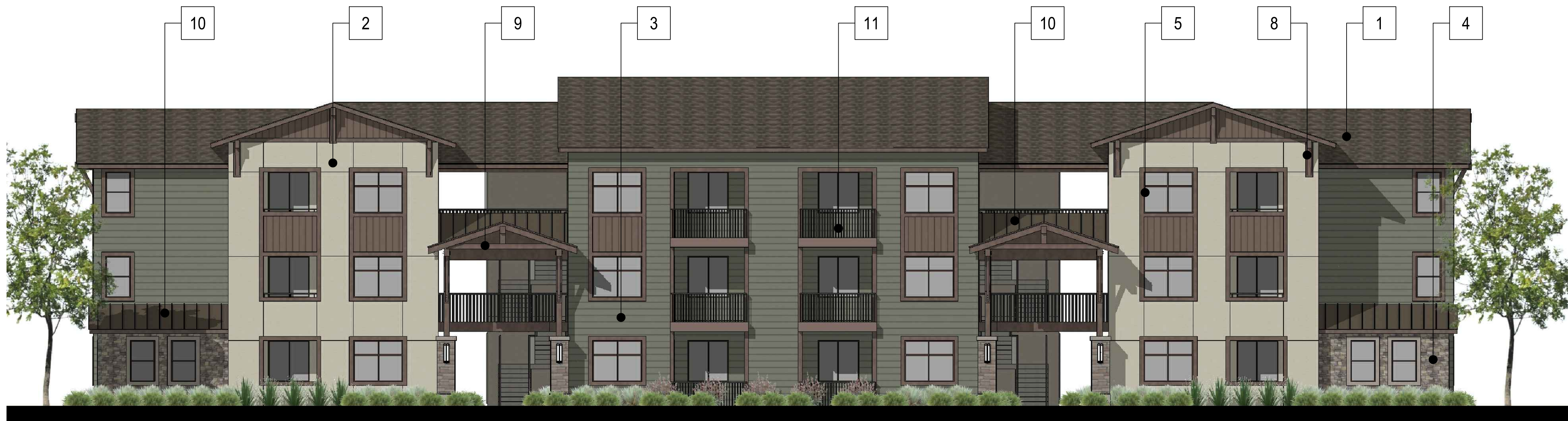


# A1.0



- Material Legend**
1. Asphalt Composite Roof
  2. Stucco
  3. Fiber Cement Siding
  4. Stone Veneer
  5. Vinyl Window With Trim
  6. Painted Vertical Siding
  7. Painted Metal Door
  8. Bracket
  9. Painted Wood
  10. Standing Seam Roof
  11. Metal Railings

Rear Elevation



Front Elevation



Typ. Side Elevation

# QUARRY PLACE

**ST. ANTON**  
COMMUNITIES

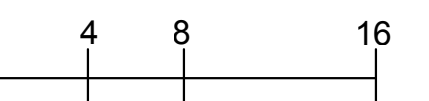
1801 I Street, Suite 200  
Sacramento, CA  
916.471.3000

# ELEVATIONS - 'BUILDING A'

ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017

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**A2.0**



Rear Elevation

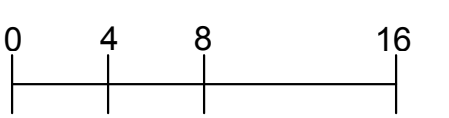
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Front Elevation



Typ. Side Elevation



**QUARRY PLACE**

**ST. ANTON**  
COMMUNITIES

1801 I Street, Suite 200  
Sacramento, CA  
916.471.3000

**ELEVATIONS - 'BUILDING A - ENHANCED ELEVATION A2.1**

ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017

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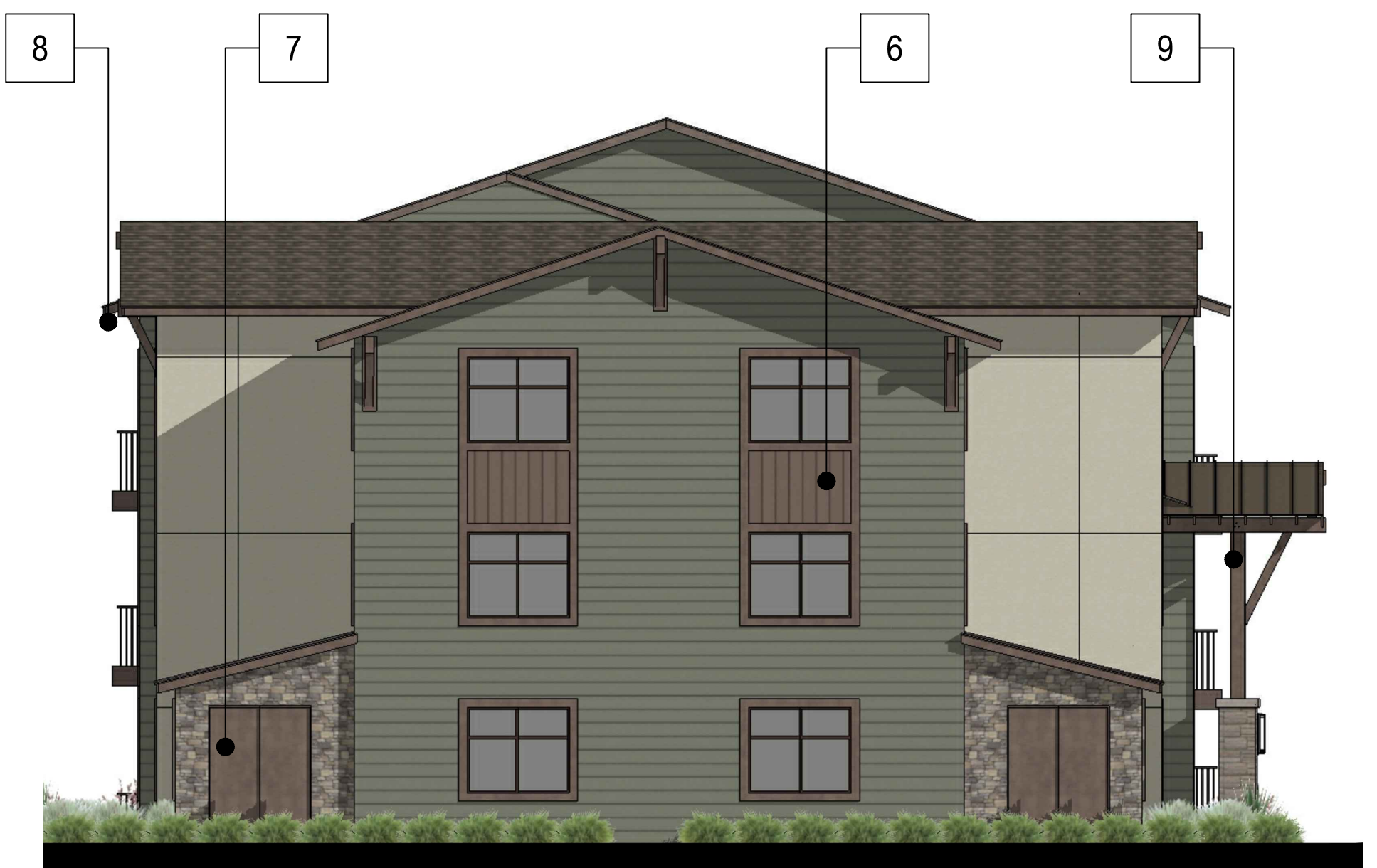


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  8. Bracket
  9. Painted Wood
  10. Standing Seam Roof
  11. Metal Railing

Rear Elevation



Front Elevation



Typ. Side Elevation

**QUARRY PLACE**

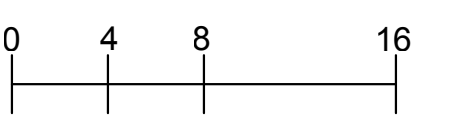
**ST. ANTON**  
COMMUNITIES

1801 I Street, Suite 200  
Sacramento, CA  
916.471.3000

**ELEVATIONS - 'BUILDING B'**

ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017



**A2.2**

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Rear Elevation



Right Elevation



Front Elevation



Left Elevation

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- 9. Painted Wood
- 10. Standing Seam Roof
- 11. Metal Railing

**QUARRY PLACE**

**ST. ANTON**  
COMMUNITIES

1801 I Street, Suite 200  
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**ELEVATIONS - BUILDING C**

ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017

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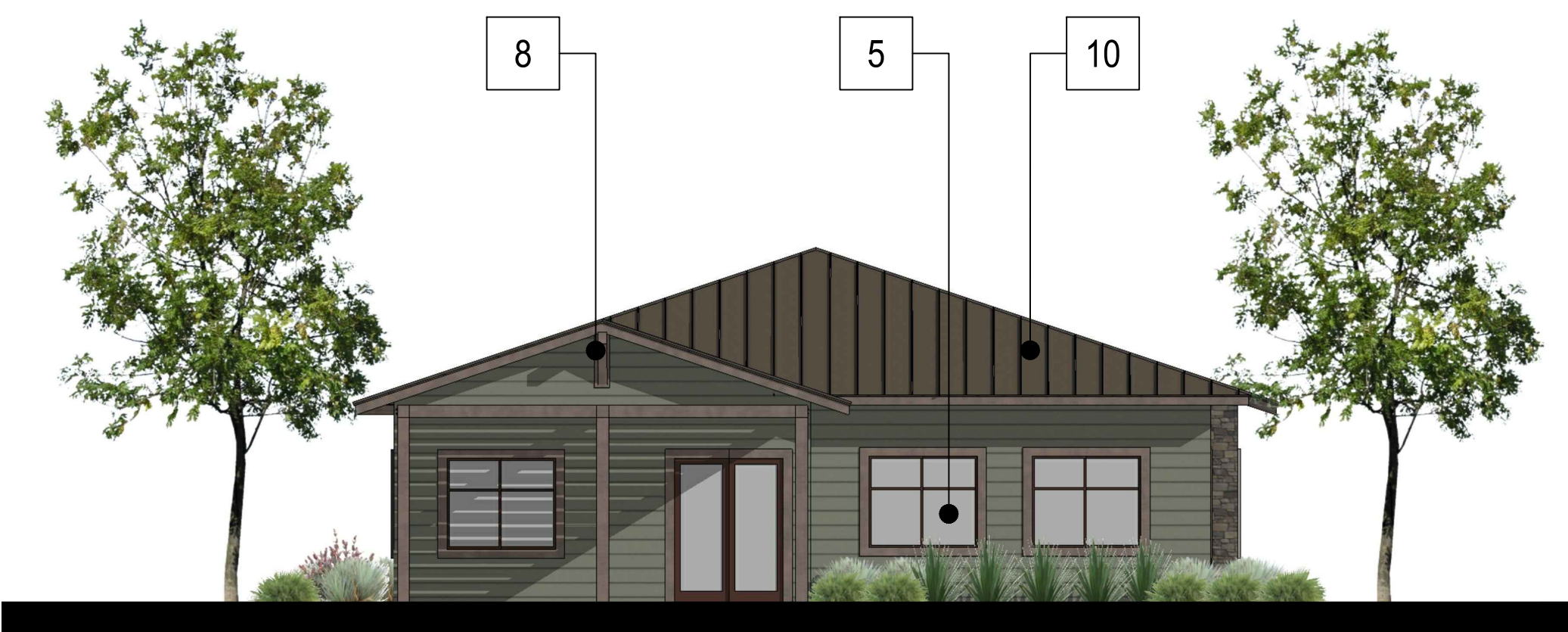
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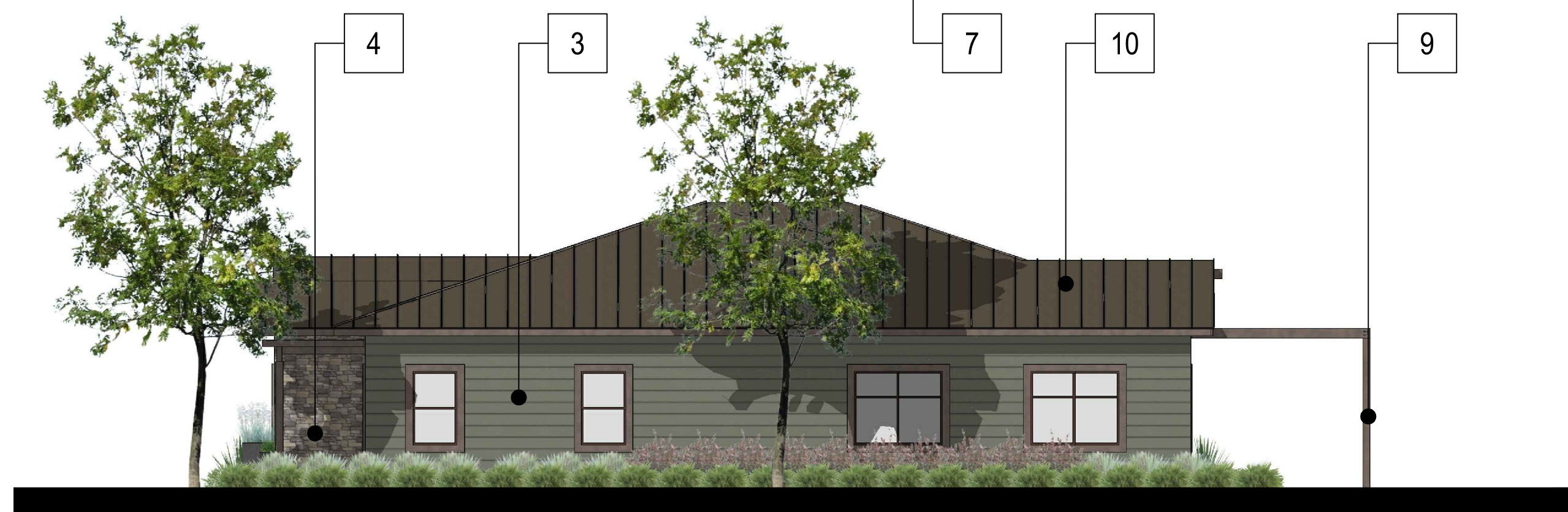
Front Elevation



Left Elevation



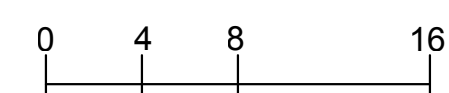
Rear Elevation



Right Elevation

**Material Legend**

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10. Standing Seam Roof



**QUARRY PLACE**

**ST. ANTON**  
COMMUNITIES

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**ELEVATIONS - 'AMENITY BUILDING' A2.4**

ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017

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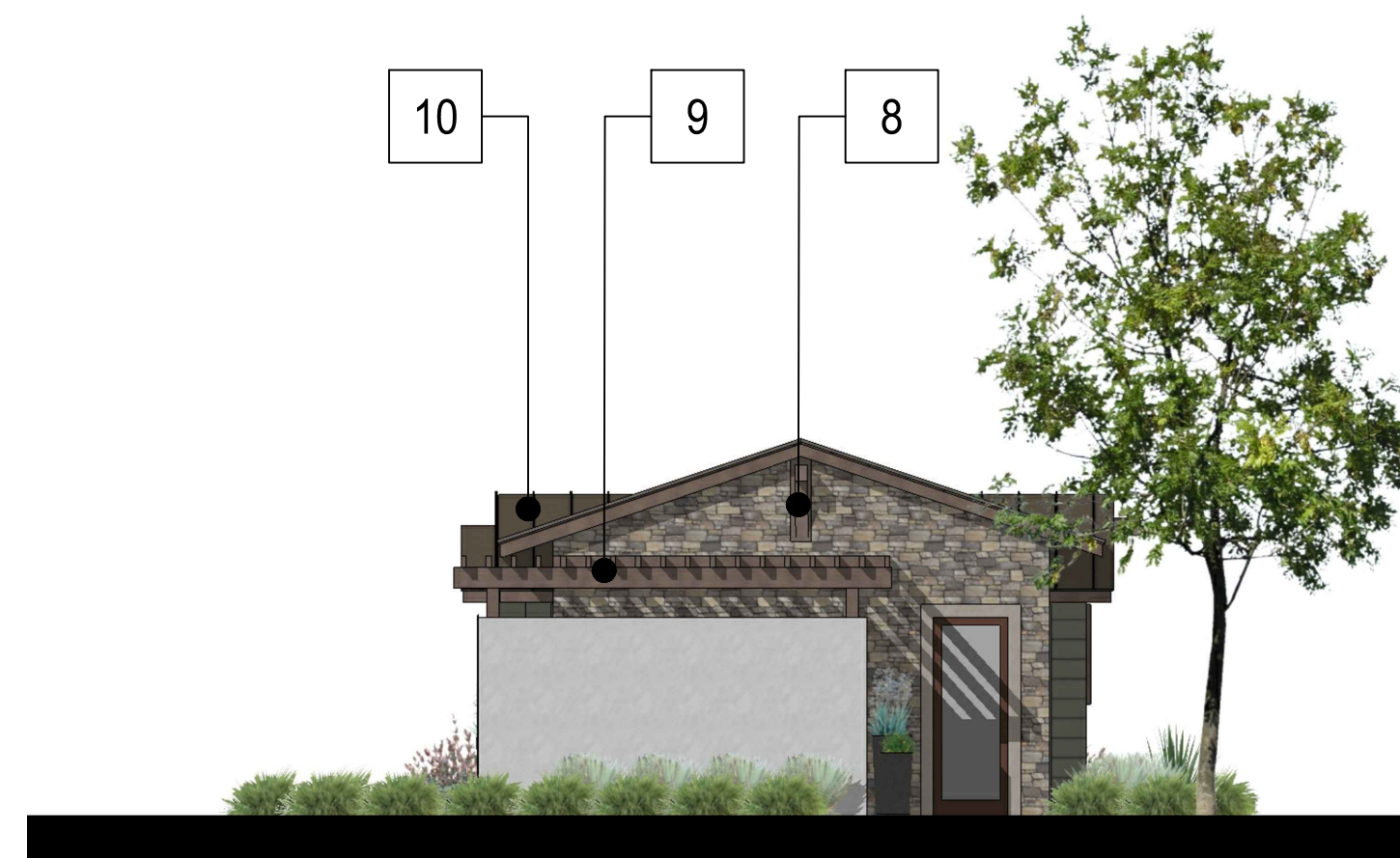
Front Elevation



Left Elevation



Rear Elevation



Right Elevation

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QUARRY PLACE

**ST. ANTON**  
COMMUNITIES

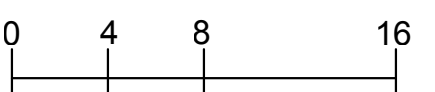
1801 I Street, Suite 200  
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916.471.3000

ELEVATIONS - 'POOL HOUSE'

ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017

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A2.5



Side Elevation - North



Side Elevation - South

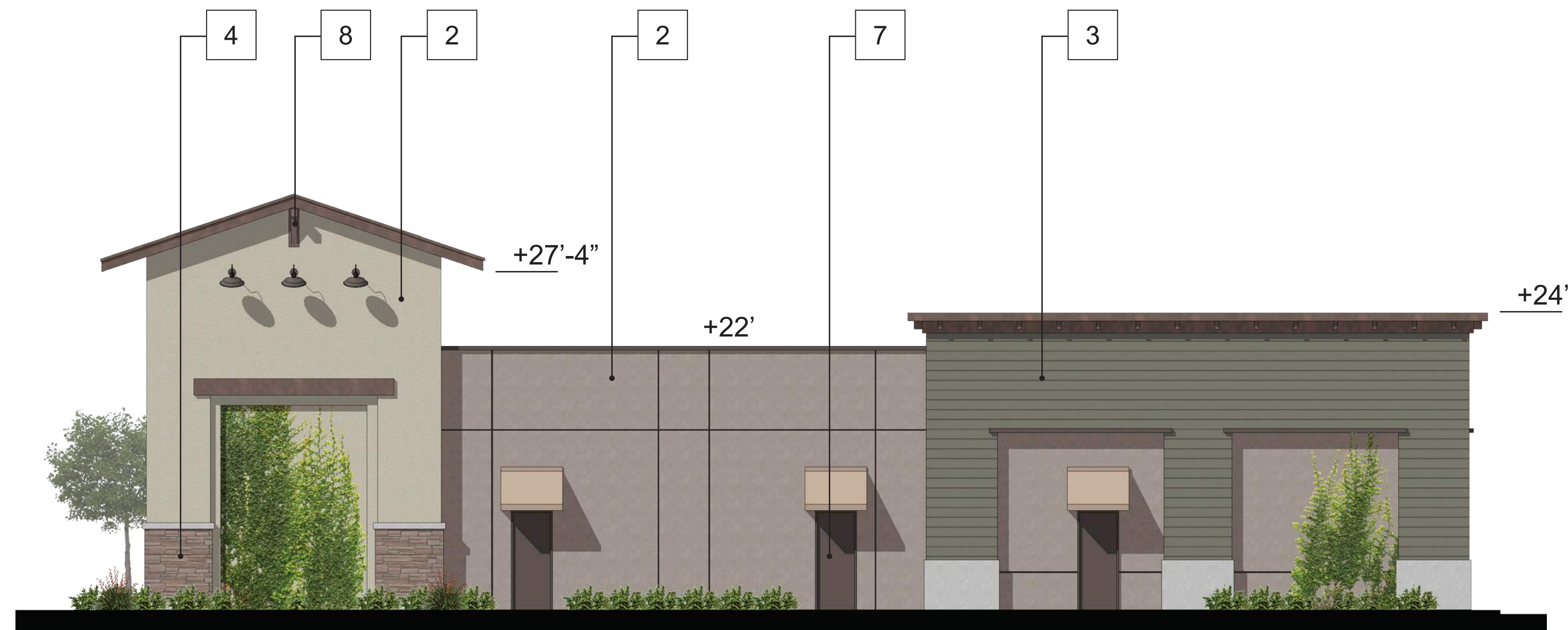
**Material Legend**

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Note: Food service tenants may desire greater amount of glass. Applicant to work with city as users are formalized.



Front Elevation - East



Rear Elevation - West

**QUARRY PLACE**

**ST. ANTON**  
COMMUNITIES

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**ELEVATIONS - SHOPS**

ROCKLIN, CA  
KTGY # 2016-0189

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**A2.6**





Drive Thru - North Elevation



Drive Thru - South Elevation

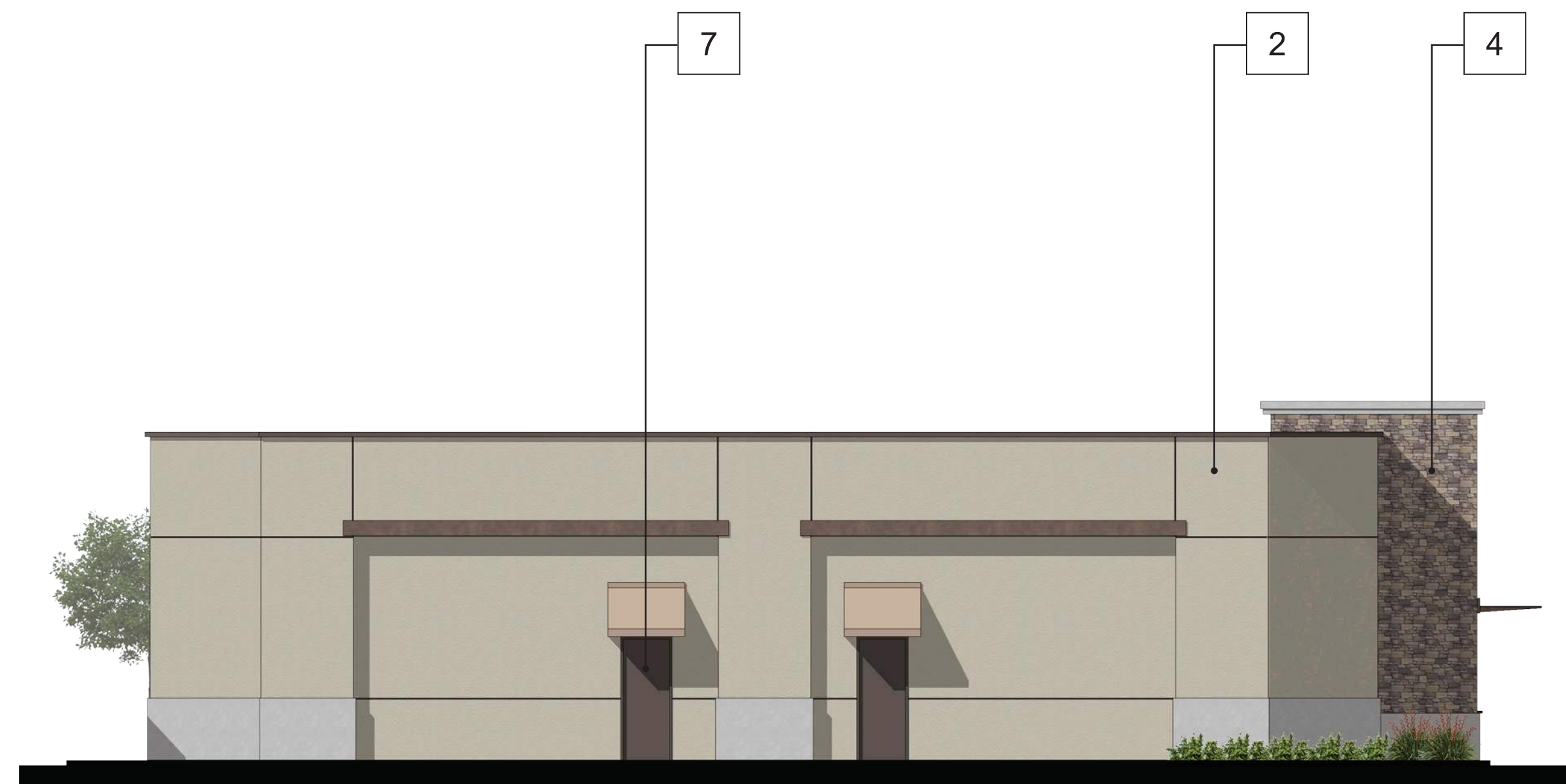
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- 9. Painted Wood
- 10. Standing Seam Roof

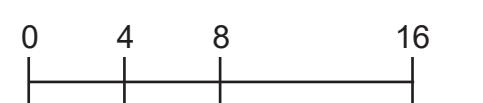
Note: Food service tenants may desire greater amount of glass. Applicant to work with city as users are formalized.



Front Elevation - East



Rear Elevation - West



**QUARRY PLACE**

**ST. ANTON**  
COMMUNITIES

1801 I Street, Suite 200  
Sacramento, CA  
916.471.3000

**ELEVATIONS - DRIVE THRU**

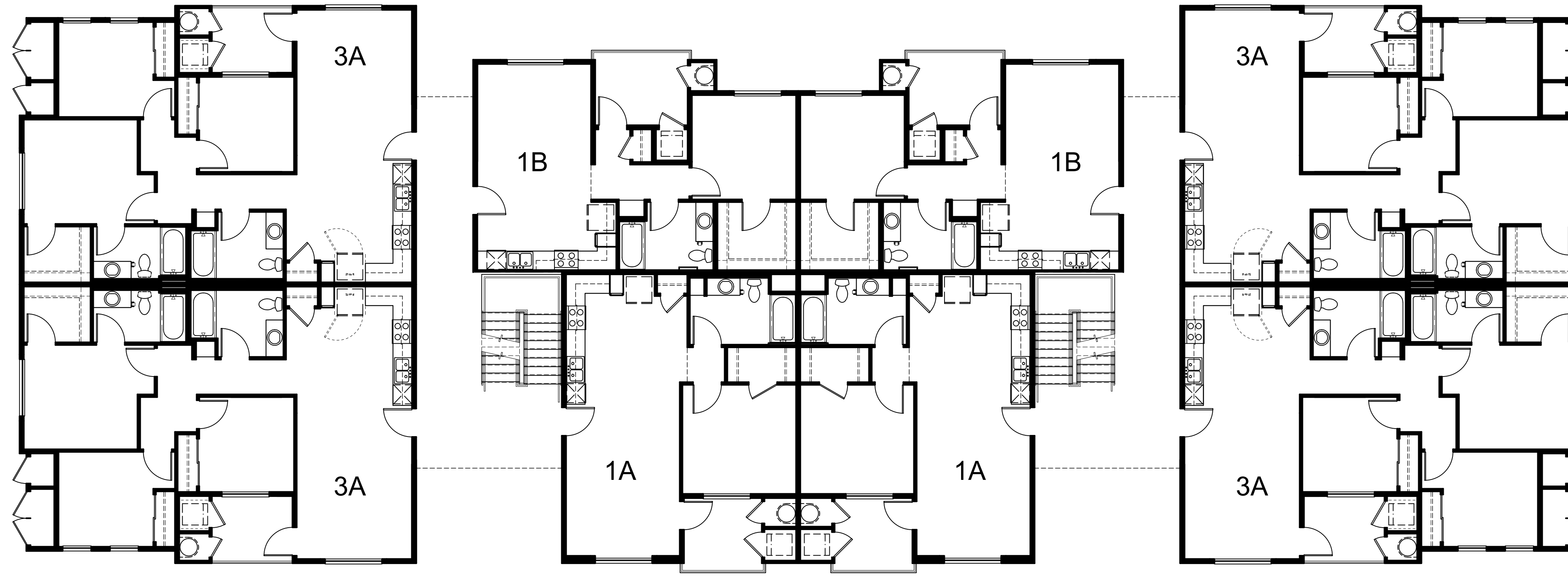
ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017

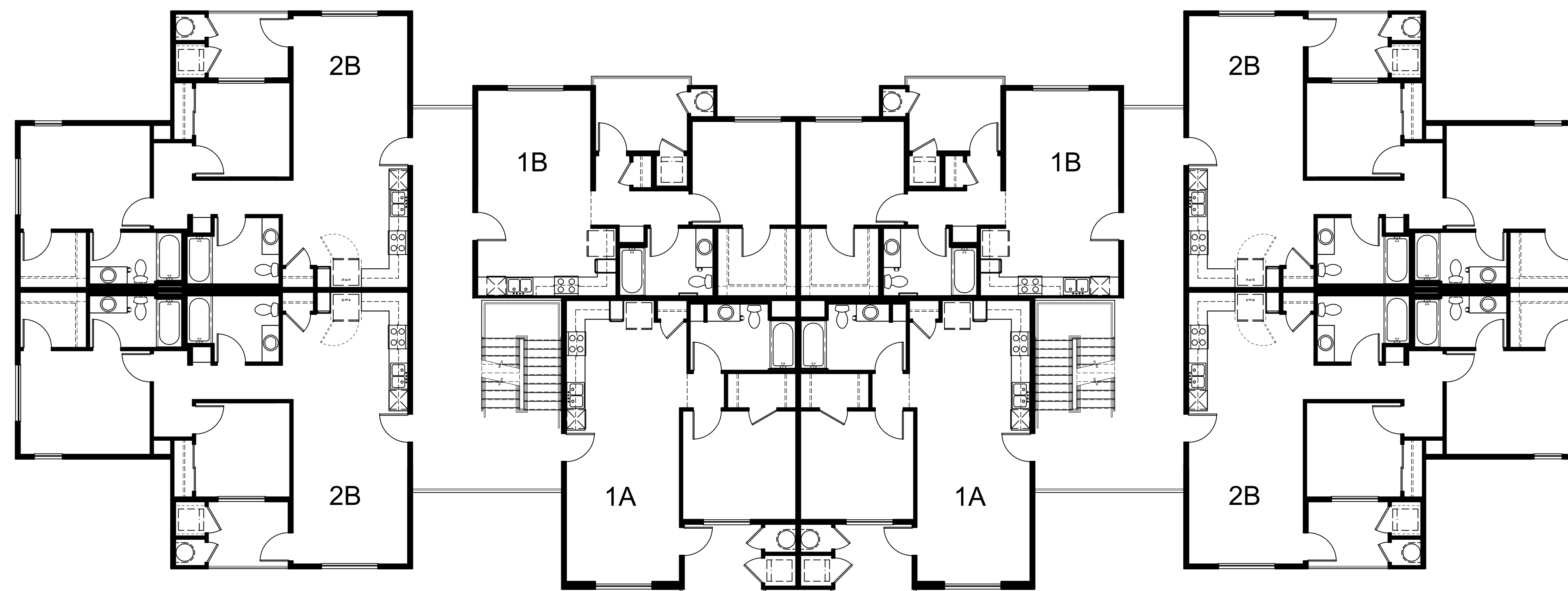
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**Architecture+Planning**  
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Irvine, CA 92614  
949.851.2133  
ktgy.com



**A2.7**



First Floor



Second - Third Floor

# QUARRY PLACE

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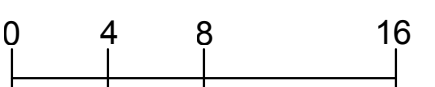
1801 I Street, Suite 200  
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916.471.3000

# FLOOR PLAN - 'BUILDING A'

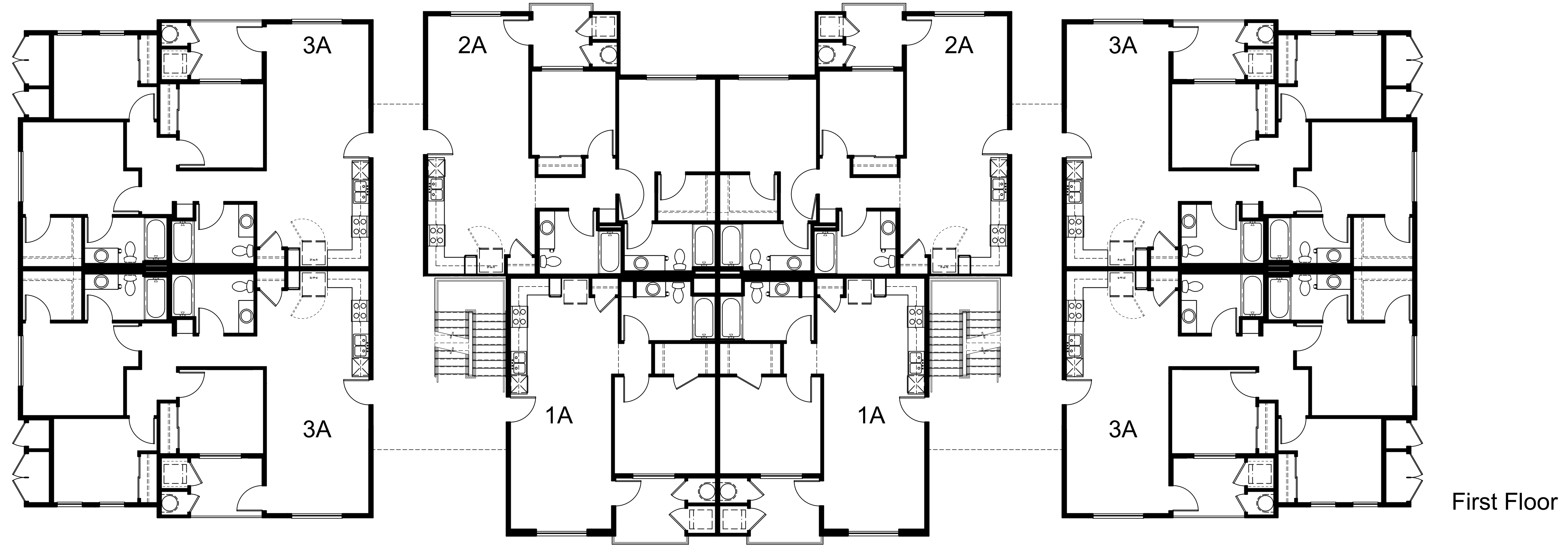
ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017

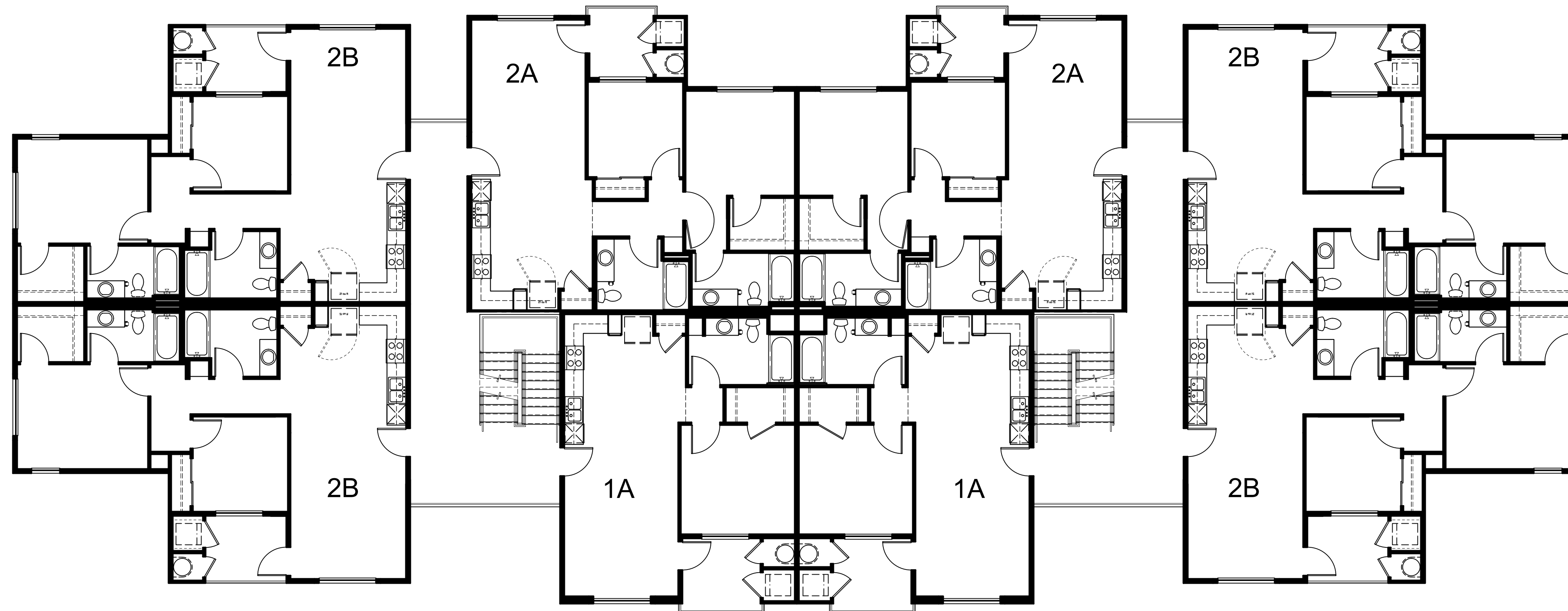
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A3.0



First Floor



Second - Third Floor

# QUARRY PLACE

**ST. ANTON**  
COMMUNITIES

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# FLOOR PLAN - 'BUILDING B'

ROCKLIN, CA  
KTGY # 2016-0189

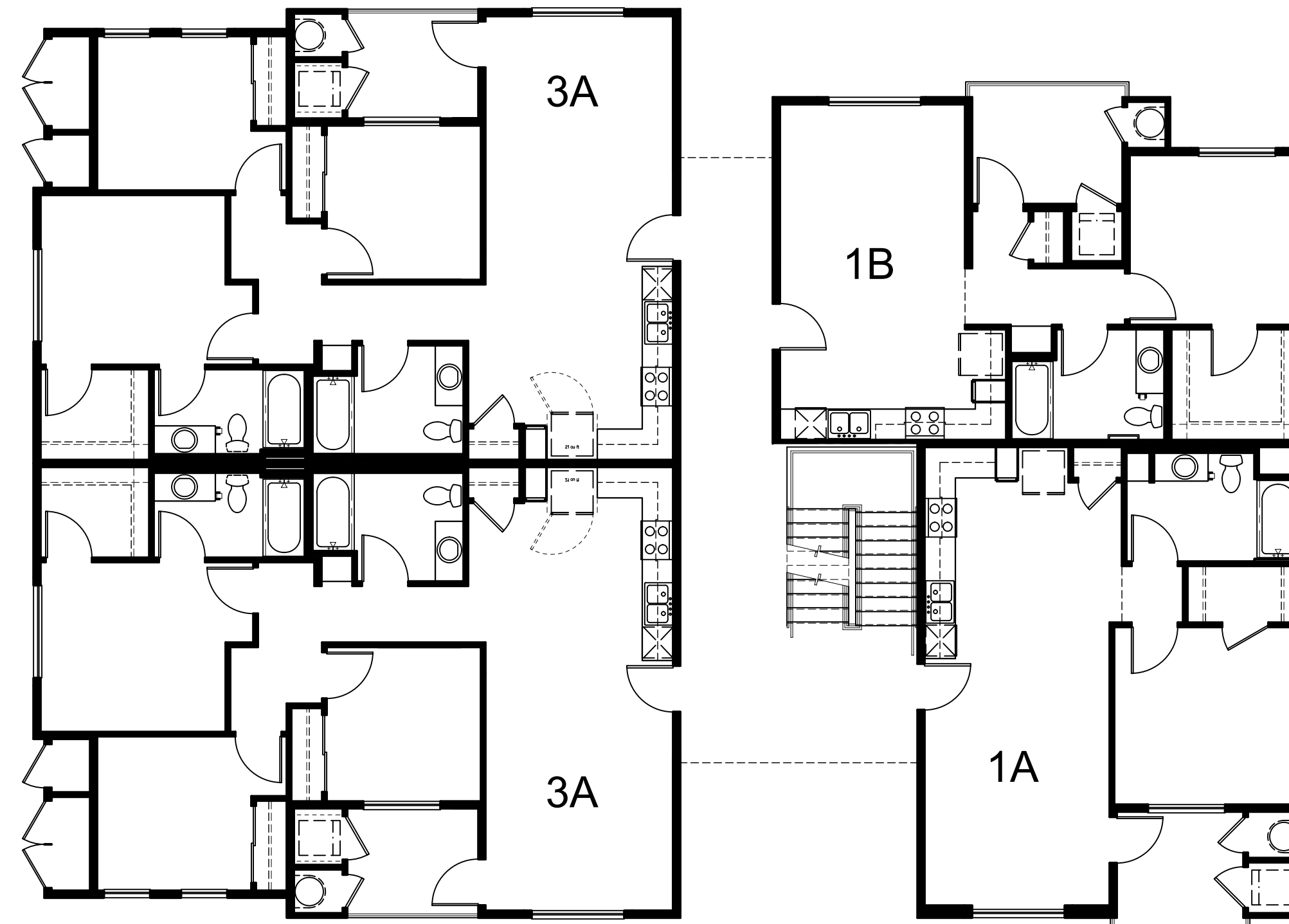
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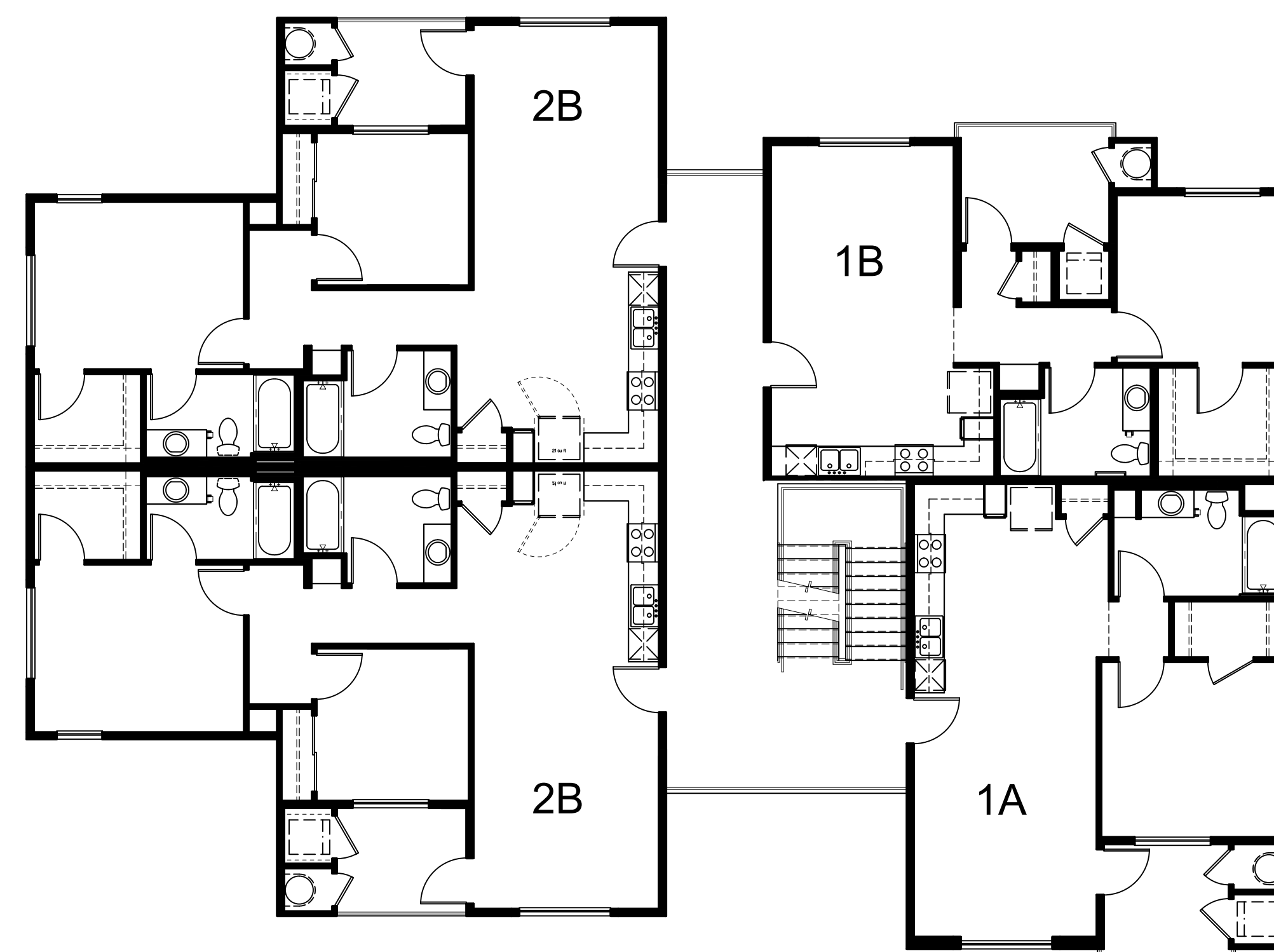
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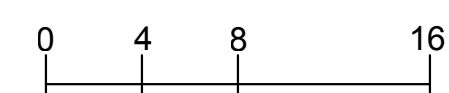




First Floor



Second - Third Floor



# QUARRY PLACE

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COMMUNITIES

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# FLOOR PLAN - 'BUILDING C'

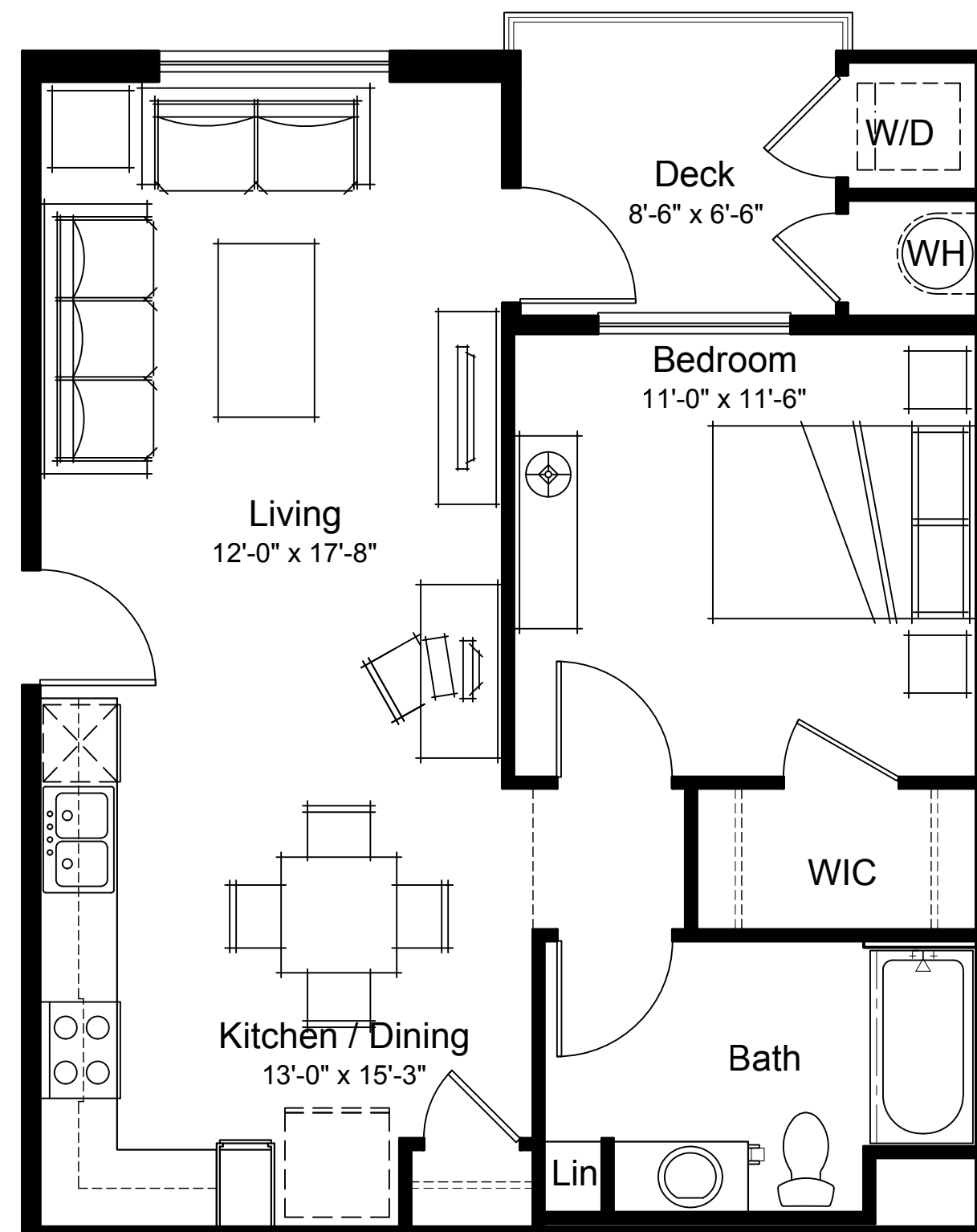
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KTGY # 2016-0189

02.15.2017

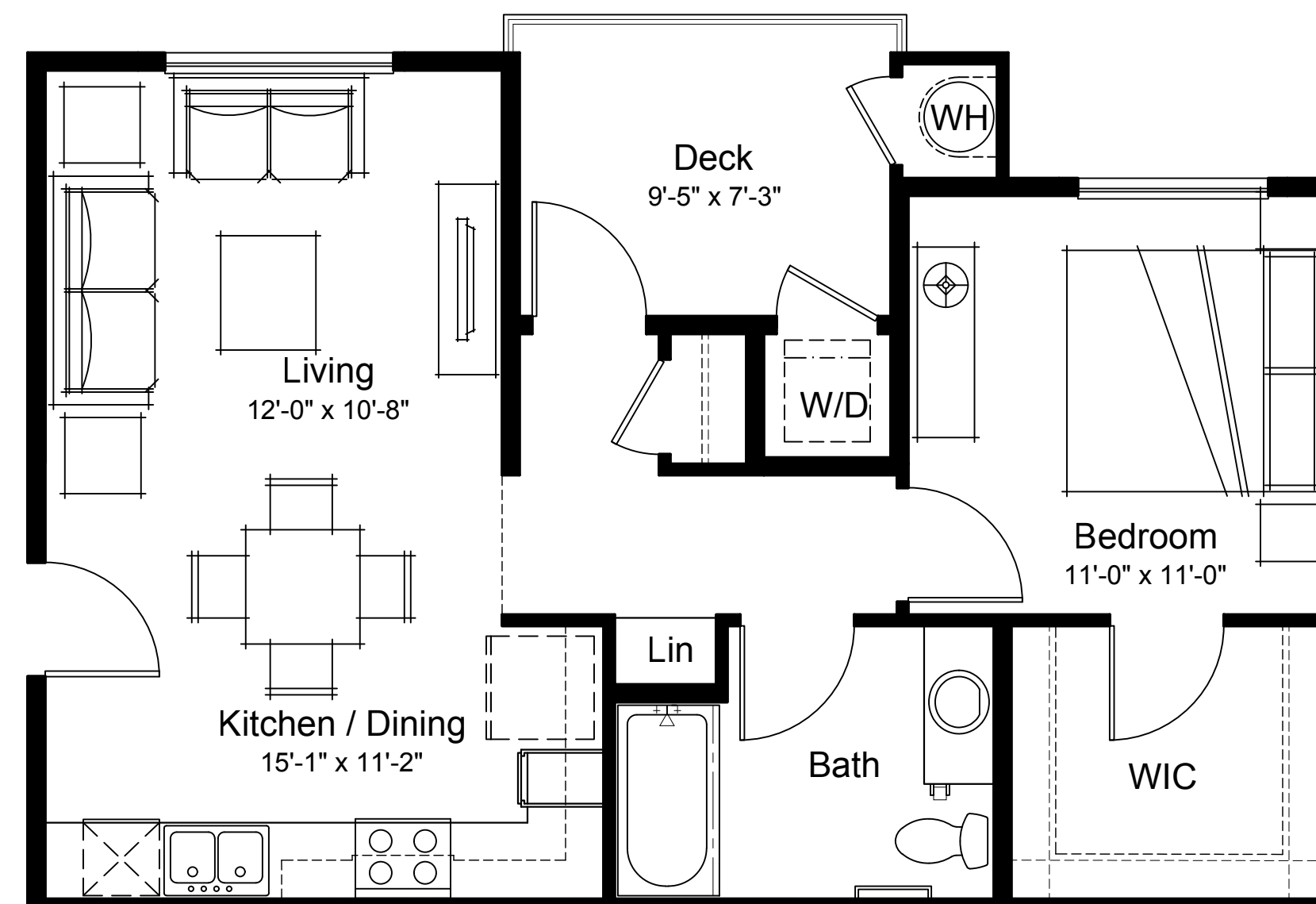
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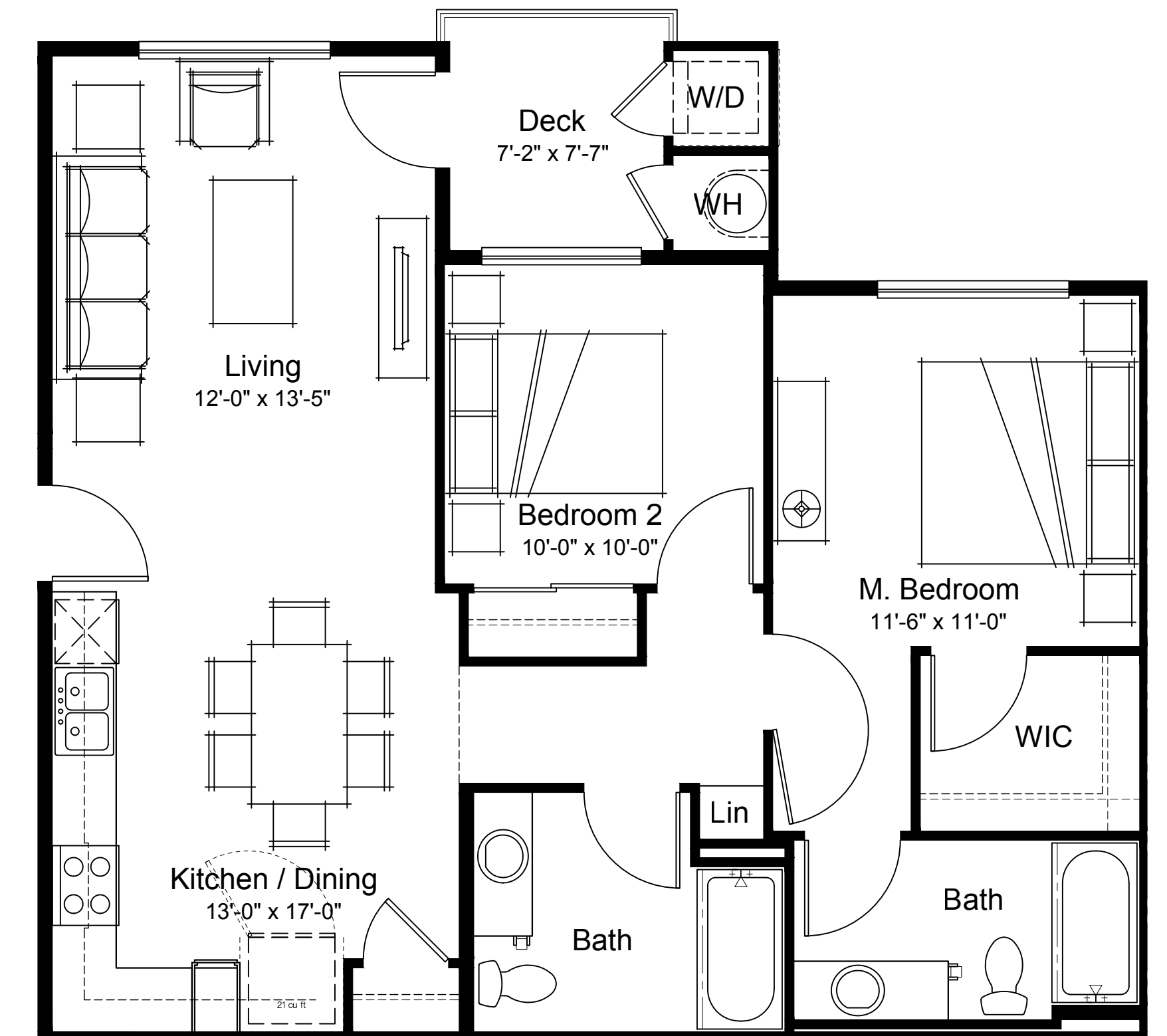
A3.2



Unit 1A  
1 Bd\_1 Ba  
632 NSF  
685 GSF



Unit 1B  
1 Bd\_1 Ba  
622 NSF  
674 GSF



Unit 2A  
2 Bd\_2 Ba  
881 NSF  
933 GSF

# QUARRY PLACE

**ST. ANTON**  
COMMUNITIES

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Sacramento, CA  
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# UNIT PLANS

ROCKLIN, CA  
KTGY # 2016-0189

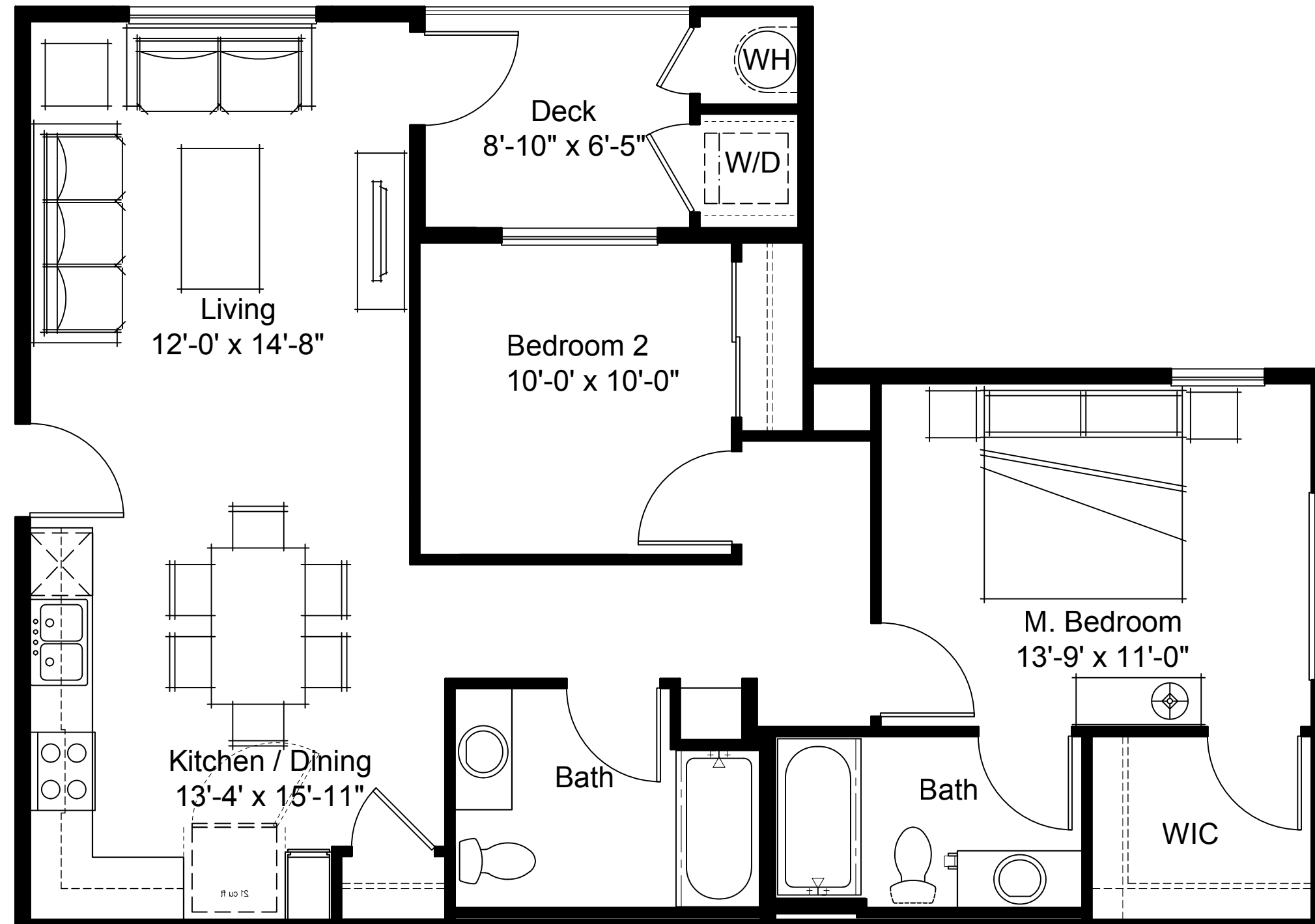
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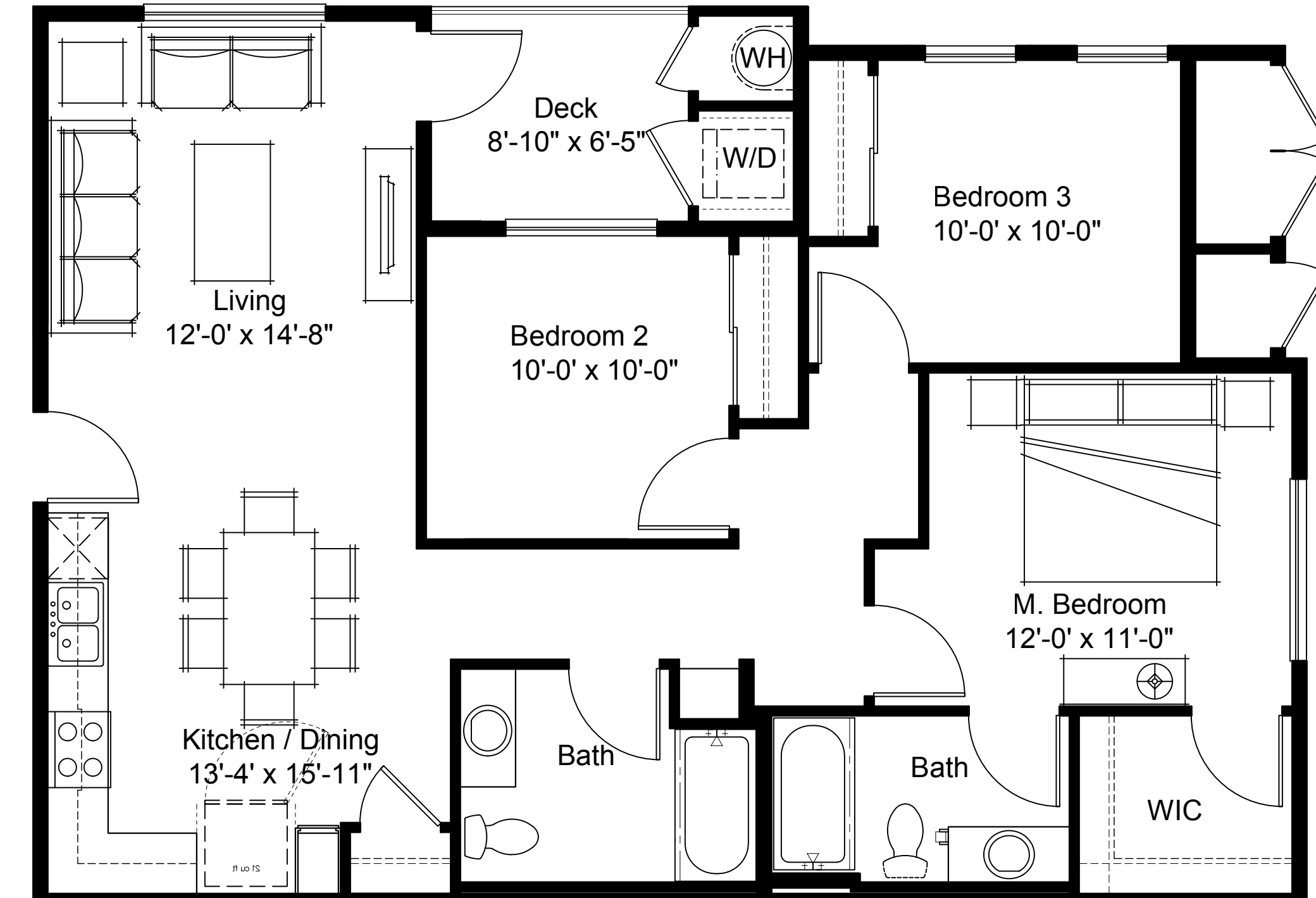
A5.0

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Unit 2B  
2 Bd\_2 Ba  
897 NSF  
954 GSF



Unit 3A  
3 Bd\_2 Ba  
1028 NSF  
1090 GSF

# QUARRY PLACE

**ST. ANTON**  
COMMUNITIES

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# UNIT PLANS

ROCKLIN, CA  
KTGY # 2016-0189

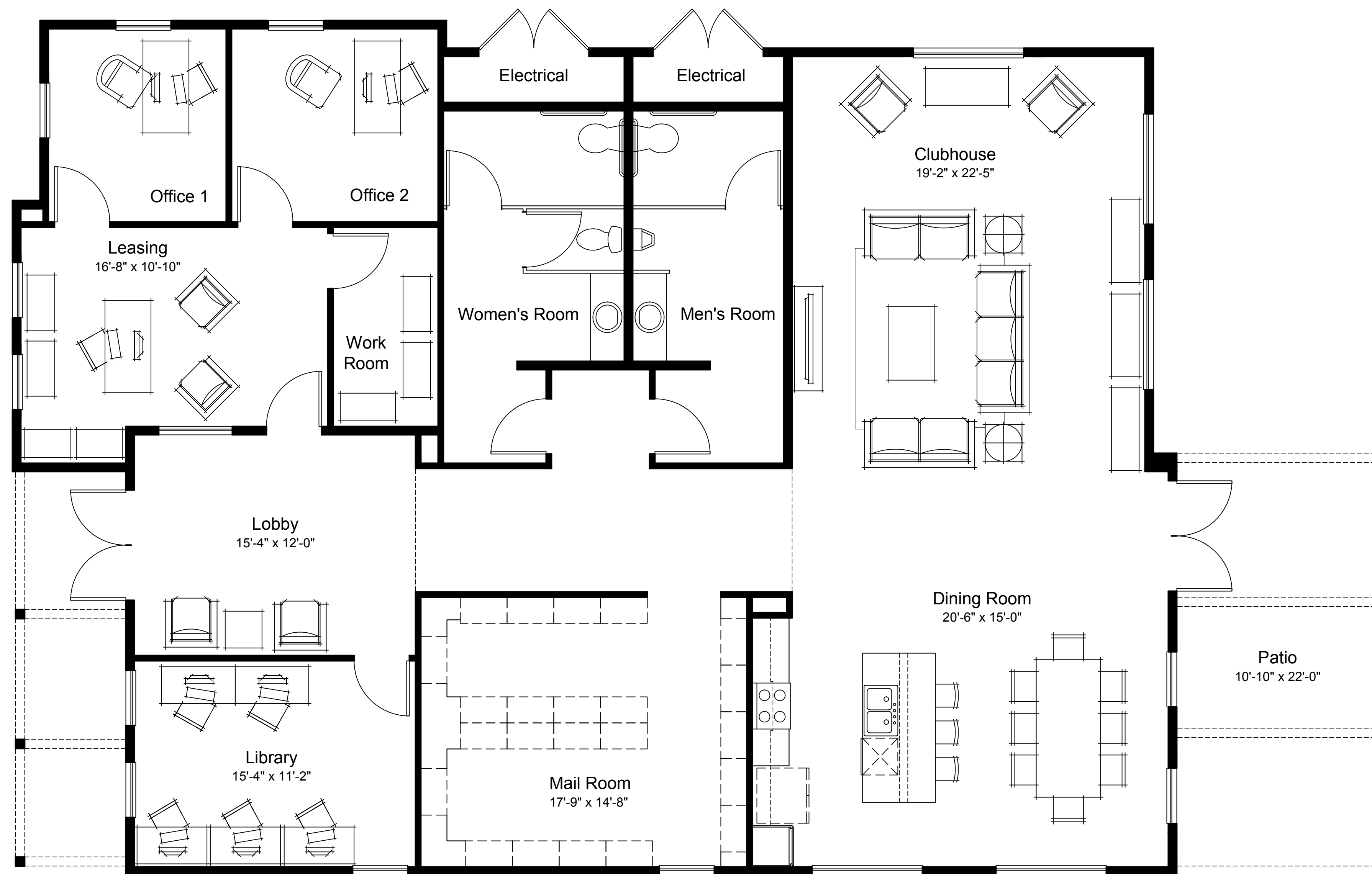
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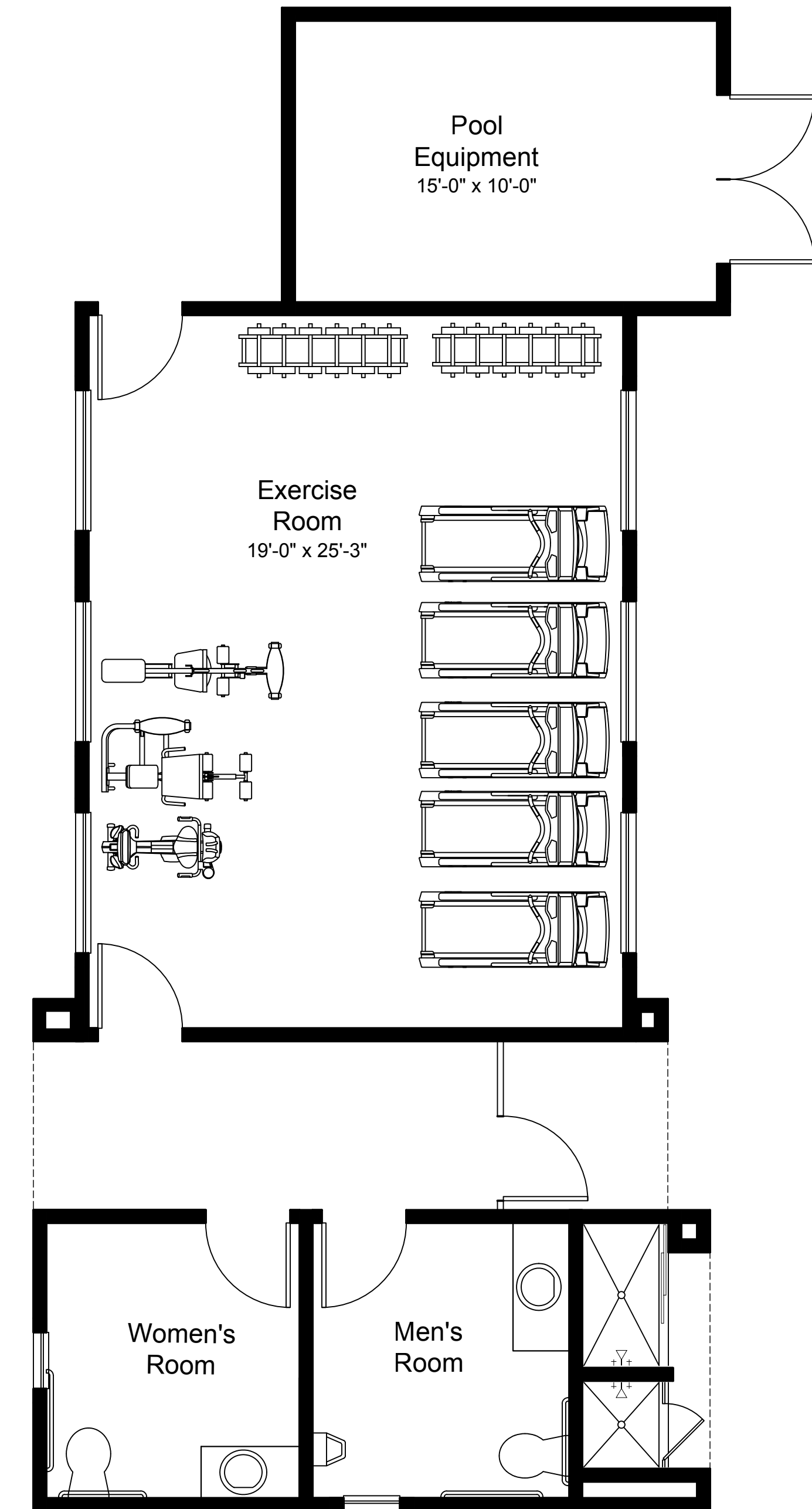
A5.1

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Leasing Offices  
and Clubhouse



Pool House

# QUARRY PLACE

**ST. ANTON**  
COMMUNITIES

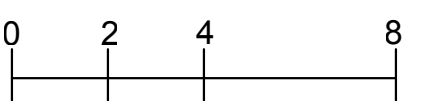
1801 I Street, Suite 200  
Sacramento, CA  
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# FLOOR PLANS - 'AMENITY BUILDINGS'

ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017

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A5.2



View of 'Building A'

# QUARRY PLACE

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# RENDERING

ROCKLIN, CA  
KTGY # 2016-0189

02.15.2017

# A6.0

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Aerial View of Project Site

# QUARRY PLACE

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# RENDERING

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# A6.1



View of Pool Deck

# QUARRY PLACE

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# A6.2



Perspective View of Clubhouse

## QUARRY PLACE

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## RENDERING

ROCKLIN, CA  
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Perspective View of Retail Shops

## QUARRY PLACE

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## RENDERING

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# A6.4



Perspective View of Drive Thru and Retail Shops

## QUARRY PLACE

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## RENDERING

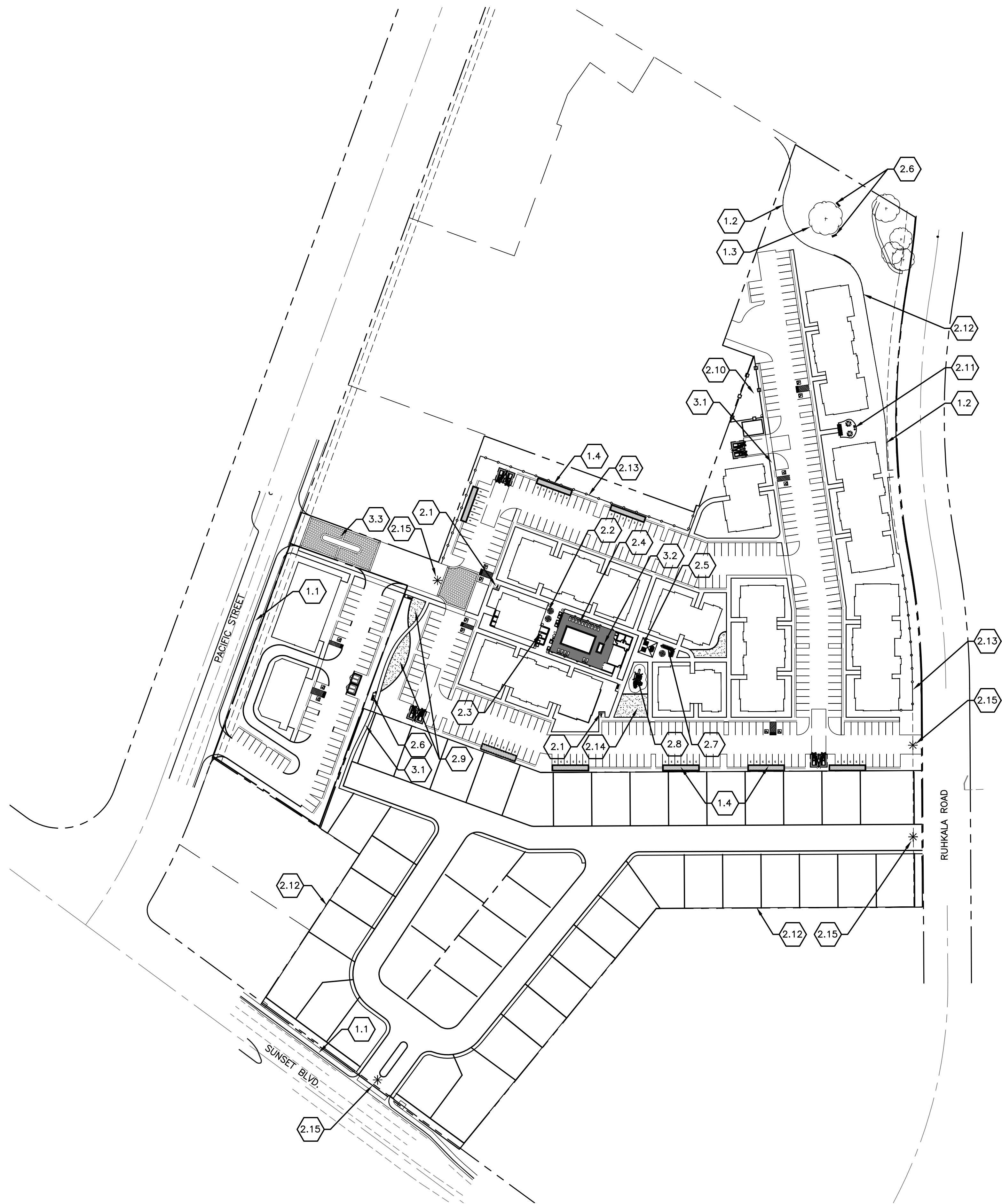
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# A6.5

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# CONSTRUCTION KEYNOTES

GENERAL NOTES

- 1.1. EXISTING SIDEWALK - SEE CIVIL PLANS.
- 1.2. EXISTING RETAINING WALL - SEE CIVIL PLANS.
- 1.3. EXISTING NATIVE OAK TREE OPEN SPACE.
- 1.4. STORMWATER APPURTENANCES - SEE CIVIL PLANS.

SITE NOTES

- 2.1. PROPOSED BIKE RACKS.
- 2.2. PROPOSED TABLE WITH UMBRELLA.
- 2.3. PROPOSED POTTERY.
- 2.4. PROPOSED OUTDOOR FURNITURE.
- 2.5. PROPOSED SHADE STRUCTURE WITH PICNIC TABLE.
- 2.6. PROPOSED BENCHES.
- 2.7. PROPOSED BBQ WITH TRELLIS.
- 2.8. PROPOSED PLAY STRUCTURE.
- 2.9. PROPOSED TURF AREA.
- 2.10. PROPOSED DOG PARK.
- 2.11. PROPOSED PATIO WITH GAME TABLES, TRELLIS AND BBQ.
- 2.12. PROPOSED 6' PROTO II WALL.
- 2.13. PROPOSED 6' OPEN METAL FENCE.
- 2.14. PROPOSED GAME LAWN.
- 2.15. PROPOSED POSSIBLE GATE LOCATIONS. GATE APPROVAL REQUESTED. IMPLEMENTATION TO BE DETERMINED BY APPLICANT.

CONCRETE NOTES

- 3.1. PROPOSED CONCRETE FLATWORK WITH MEDIUM BROOM FINISH.
- 3.2. PROPOSED COLORED, STAMPED AND SCORED PEDESTRIAN LOAD CONCRETE FLATWORK. COLOR HARDENER: ARIZONA TAN (A53). ANTIQUE RELEASE: STONE GRAY (5183). STAMP PATTERN: PENNSYLVANIA SLATE (811B). ALL CONCRETE COLOR AND STAMP BY LM. SCOFIELD.
- 3.3. PROPOSED COLORED AND STAMPED AND ASPHALT BY STREETPRINT. FIELD PATTERN: DIAGONAL HERRINGBONE. COLOR: KHAKI. BANDING PATTERN: NONE. COLOR: BEDROCK.

QUARRY PLACE

**ST. ANTON**  
COMMUNITIES

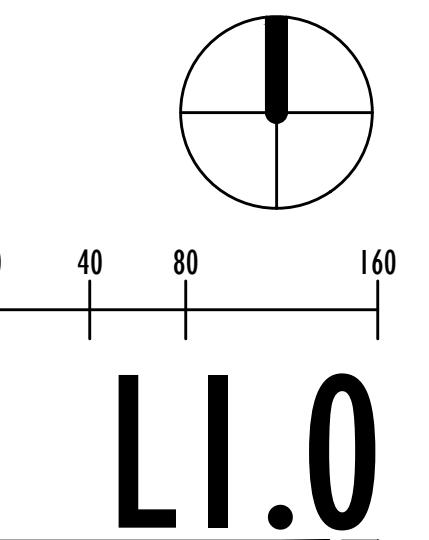
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PRELIMINARY CONSTRUCTION PLAN

ROCKLIN, CA  
KTGY # 2016-0189

02.10.2017

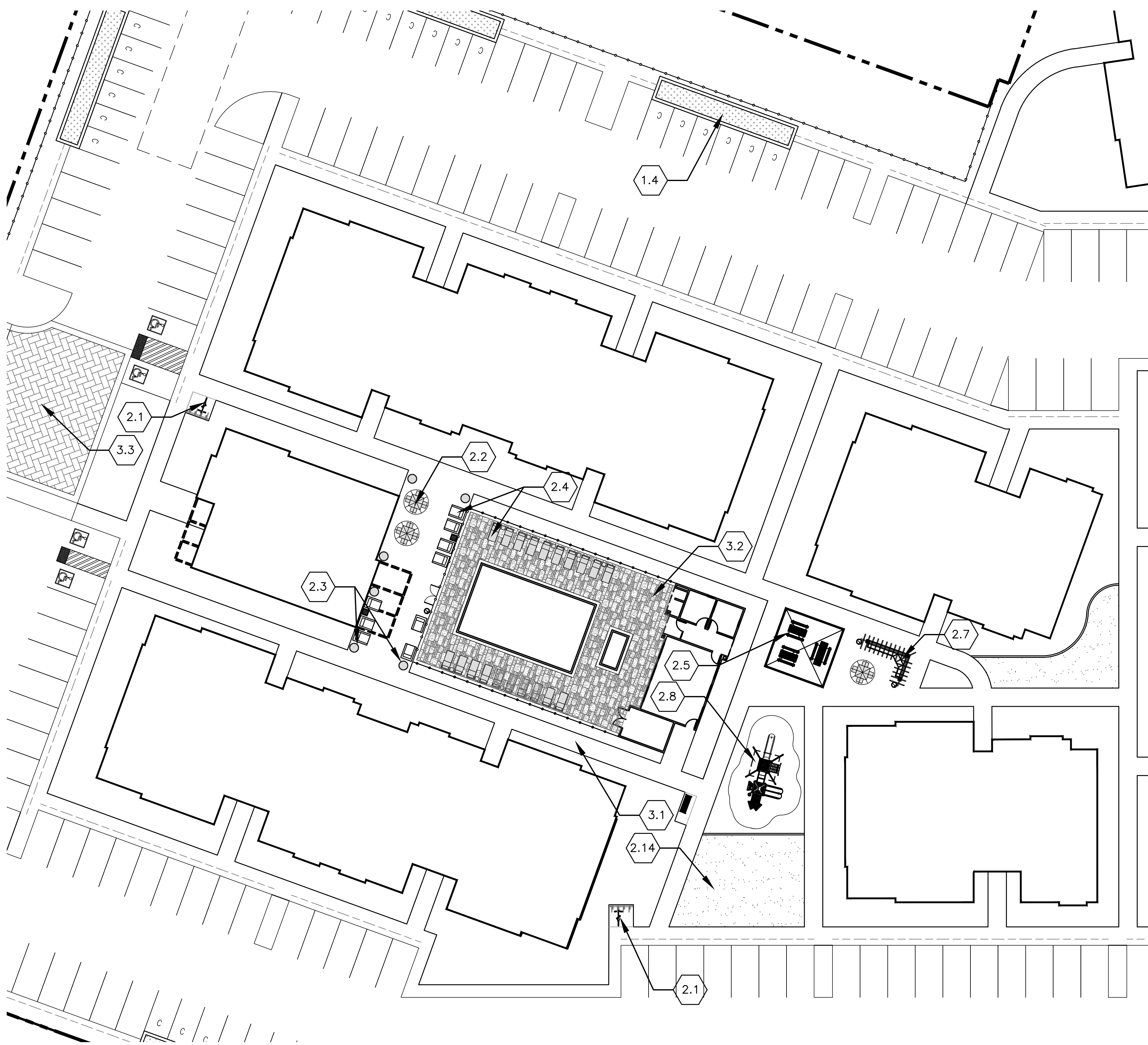
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SAC: 17009



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# CONSTRUCTION KEYNOTES

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A POOL AMENITY AREA  
1"=20'-0"

QUARRY PLACE

ST. ANTON  
COMMUNITIES

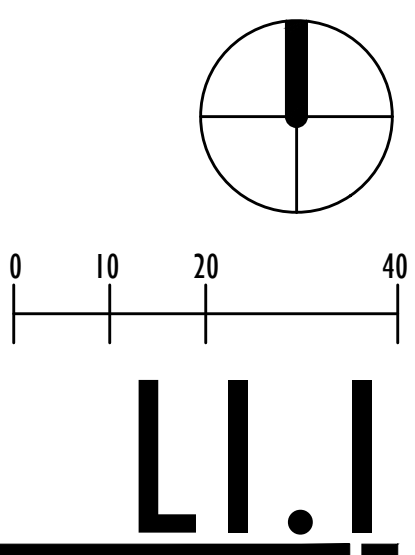
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PRELIMINARY CONSTRUCTION PLAN

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KTGY # 2016-0189

02.10.2017

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# QUARRY PLACE

**ST. ANTON**  
COMMUNITIES

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## PRELIMINARY PLANT LIST AND LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	DESIGN USE/QUANTITY	SIZE WxH
	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	15 G	MED	VERTICAL ACCENT	20'x40'
	PISTACIA CHINENSIS CHINESE PISTACH	15 G	LOW	STREET TREE	30'x40'
	AESCULUS X CARNEA RED HORSECHESTNUT	24" BOX	LOW	FLOWERING ACCENT	40'x40'
	ARBUTUS UNEDO 'MARINA' STRAWBERRY TREE LAURUS NOBILIS GRECIAN LAUREL	15 G	MED	EVERGREEN SCREEN	25'x30'
	GINKGO BILOBA FAIRMOUNT FAIRMOUNT MAIDENHAIR TREE	24 BOX	MED	VERTICAL ACCENT	15'x45'
	FRAXINUS PENNSYLVANICA 'PATMORE' GREEN ASH	15 G	MED	STREET TREE	30'x40'
	LAGERSTROEMIA INDICA 'ARAPAHO' ARAPAHO CRAPE MYRTLE CERCIS CANADENSIS MERLOT MERLOT REDBUD	15 G	LOW	FLOWERING ACCENT	15'x20'
	NYSSA SYLVATICA TUPELO	15 G	MED	ACCENT GROVE FALL COLOR	20'x40'
	PINUS HALEPENSIS ALEPPO PINE	24 BOX	LOW	EVERGREEN SCREEN	30'x40'
	ACER RUBRUM OCTOBER GLORY RED MAPLE	24" BOX	LOW	STREET TREE GRANITE DR	35' x 55'
	QUERCUS WISLIZENII INTERIOR LIVE OAK	15 G	LOW	NATURALIZED STREET TREE	50'x60'
	ULMUS X JAPONICA 'WILSONIANA' 'PROSPECTOR' ELM	15 G	MED	STREET / SHADE TREE	25'x45'

## BOULDERS AND ROCK

SYMBOL	TYPE	APPROXIMATE SIZE	QUANTITY	DEPTH
	FIELD STONE	30" DIAMETER	15	BURIED A MIN. OF 1/3 OF THE OVERALL BOULDER HEIGHT
	FIELD STONE	24" DIAMETER	10	
	FIELD STONE	18" DIAMETER	19	

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	REMARKS	SIZE WxH
	BACKGROUND / SCREEN SHRUBS - EVERGREEN, LARGE SHRUBS TO 6'-0" USED FOR REDUCING WALL MASS OR SCREENING UNDESIRABLE VIEWS.				
	ARBUTUS UNEDO COMPACTA COMPACT STRAWBERRY TREE	5 G	LOW	---	6'x6'
	ARCTOSTAPHYLOS HOWARD MCMINN HOWARD MCMINN MANZANITA	5 G	LOW	---	6'x7'
	BERBERIS T. ATROPURPUREA BARBERRY	5 G	LOW	---	4'x5'
	CISTUS PURPURIUS ORCHID SPOT ROCKROSE	5 G	LOW	---	5'x5'
	LORAPETALUM CHINENSIS 'RUBY' DWARF FRINGE FLOWER	5 G	MED	---	4'x5'
	PINUS MUGO MUGO MUGO PINE	5 G	LOW	---	5'x7'
	OLEA E. 'MONTRA' LITTLE OLLIE DWARF OLIVE	5 G	LOW	---	5'x6'
	SPECIMEN SHRUBS EVERGREEN OR DECIDUOUS SHRUBS TO 8'-0" USED AT ENTRY FOCAL POINTS, SEASONAL INTEREST, AND CONTRAST.				
	AGAVE WEBERI WEBERS AGAVE	15 G	LOW	---	4'x5'
	BAMBUSA MULTIFLEX ALPHONSE KARR ALPHONSE KARR BAMBOO	20 G	MED	CLUMPING	10'x30'
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' REED GRASS	5 G	LOW	---	3'x5'
	LAGERSTROEMIA X F. PECOS DWARF CRAPE MYRTLE	15 G	LOW	NATURAL	6'x8'
	LEPTOSPERMIUM SCOPARIUM 'RUBY GLOW' NEW ZEALAND TEA TREE	15 G	LOW	---	6'x7'
	PHORMIUM TENAX ATROPURPUREA NEW ZEALAND FLAX	5 G	LOW	---	4'x6'
	FACER/FILLER SHRUBS EVERGREEN OR DECIDUOUS SHRUBS TO 4'-0". USED FOR 'TERRACING' OF PLANT MATERIAL, SEASONAL COLOR AND CONTRAST WITH FOUNDATION SHRUBS.				
	ABELIA KALIDESCOPE KALIDESCOPE ABELIA	1 G	MED	---	24"x36"
	BERBERIS T. CRIMSON PYGMEA DWARF BARBERRY	5 G	LOW	---	18"x24"
	CISTUS SALVIFOLIUS SAGE LEAF ROCKROSE	1 G	LOW	---	24"x36"
	MAHONIA A. COMPACTA COMPACT OREGON GRAPE	1 G	LOW	---	36' x 60"
	NASELLA TENUISSIMA MEXICAN FEATHER GRASS	5 G	LOW	---	36"x36"
	HYSPERALOE PARVIFOLIA RED YUCCA	5 G	LOW	---	18"x24"
	RHAPIOLEPHIS INDICA BALLERINA INDIAN HAWTHORN	5 G	LOW	---	24"x36"
	ROSA X NOATRUM RED CARPET ROSE	5 G	LOW	---	30"x36"
	SALVIA MICROPHYLLA HOT LIPS SAGE	5 G	LOW	---	24"x24"

## GROUNDCOVER AND VINE PLANT LIST AND LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	REMARKS	SIZE WxH
	VINE MATERIAL - EVERGREEN VINE TO SOFTEN WALL MASS AND PROVIDE FOR ADDITIONAL 'GREENING' OF CORRIDORS.				
	FICUS PUMILA CREEPING FIG	1 G	LOW	NORTH AND EAST FACING	
	GROUND COVER MATERIAL - SMALL SCALE DUE TO PROJECT TYPE, EVERGREEN OR PERENNIAL SHRUBS TO 24" HIGH. USED AS A FILLER BETWEEN SITE WORK EDGES AND FACER SHRUBS.				
	ARCTOSTAPHYLOS UVI URSI MANZANITA	1 G	LOW	36" O.C.	18"x48"
	COPROSMA PUMILA VISTA VERDE COPROSMA	1 G	LOW	36" O.C.	24"x48"
	EUYNOMUS F. COLORATA PURPLE WINTER CREEPER	1 G	LOW	24" O.C.	24"x48"
	NANDIANA HARBOR DWARF HEAVENLY BAMBOO	1 G	LOW	24" O.C.	24"x48"
	HYPERICUM CALYCIUM AARONS BEARD	1 G	LOW	18" O.C.	30"x48"
	BIO-RETENTION PLANT MATERIAL	1 G	MED	---	---
	SODDED TURF - BOLERO TURF TYPE DWARF FESCUE	SOD	HIGH	---	---

**ST. ANTON**  
COMMUNITIES

1801 I Street, Suite 200  
Sacramento, CA  
916.471.3000

# PRELIMINARY PLANTING PLAN

ROCKLIN, CA  
KTGY # 2016-0189

02.10.2017

**FUHRMAN LEAMY**  
**LAND GROUP**  
DESIGN • SERVICE • SOLUTIONS  
2140 PROFESSIONAL DRIVE, SUITE 115 ROSEVILLE, CA 95661  
SAC17009

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**KTGY Group, Inc.**  
**Architecture+Planning**  
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Irvine, CA 92614  
949.851.2133  
ktgy.com





NOTES:

1. THIS LIST IS A GUIDE FOR PROJECT PLANT SELECTION. FINAL SELECTION TO BE MADE AT THE TIME OF REVIEW FOR BUILDING PERMIT. LANDSCAPE ARCHITECT RESERVES THE RIGHT, UPON CITY APPROVAL, TO SUBSTITUTE PLANT MATERIAL DUE TO INHERENT AVAILABILITY SHORTAGES OR ENVIRONMENTAL RESTRICTIONS.
2. ALL TREES SHALL BE PLANTED AS MINIMUM 15 GALLON, SHRUBS AS MINIMUM 5 GALLON, AND GROUNDCOVER AS 1 GALLON.
3. ALL GROUND MOUNTED UTILITY EQUIPMENT SHALL BE SCREENED USING PLANT MATERIAL.
4. ALL PLANTED AREAS SHALL BE IRRIGATED USING AN AUTOMATIC IRRIGATION SYSTEM PER CITY MWELQ REQUIREMENTS.



PRELIMINARY PLANT LIST AND LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	DESIGN USE/QUANTITY	SIZE WXH
(Symbol: Circle with dot)	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	15 G	MED	VERTICAL ACCENT	20'x40'
(Symbol: Circle with cross)	PISTACIA CHINENSIS CHINESE PISTACH	15 G	LOW	STREET TREE	30'x40'
(Symbol: Circle with triangle)	AESCULUS X CARNEA RED HORSECHESTNUT	24" BOX	LOW	FLOWERING ACCENT	40'x40'
(Symbol: Circle with star)	ARBUTUS UNEDO 'MARINA' STRAWBERRY TREE LAURUS NOBILIS GRECIAN LAUREL	15 G	MED	EVERGREEN SCREEN	25'x30'
(Symbol: Circle with vertical lines)	GINKGO BILOBA FAIRMOUNT FAIRMOUNT MAIDENHAIR TREE	24 BOX	MED	VERTICAL ACCENT	15'x45'
(Symbol: Circle with horizontal lines)	FRAXINUS PENNSYLVANICA 'PATMORE' GREEN ASH	15 G	MED	STREET TREE	30'x40'
(Symbol: Circle with diagonal lines)	LAGERSTROEMIA INDICA 'ARAPAHO' ARAPAHO CRAPE MYRTLE CERCIS CANADENSIS MERLOT MERLOT REDBUD	15 G	LOW	FLOWERING ACCENT	15'x20'
(Symbol: Circle with concentric circles)	NYSSA SYLVATICA TUPELO	15 G	MED	ACCENT GROVE FALL COLOR	20'x40'
(Symbol: Circle with radiating lines)	PINUS HALEPENSIS ALEPPO PINE	24 BOX	LOW	EVERGREEN SCREEN	30'x40'
(Symbol: Circle with plus sign)	ACER RUBRUM OCTOBER GLORY RED MAPLE	24" BOX	LOW	STREET TREE GRANITE DR	35' x 55'
(Symbol: Circle with asterisk)	QUERCUS WISLEZENII INTERIOR LIVE OAK	15 G	LOW	NATURALIZED STREET TREE	50'x60'
(Symbol: Circle with diagonal lines)	ULMUS X JAPONICA 'WILSONIANA' 'PROSPECTOR' ELM	15 G	MED	STREET / SHADE TREE	25'x45'

BOULDERS AND ROCK

SYMBOL	TYPE	APPROXIMATE SIZE	QUANTITY	DEPTH
(Symbol: Oval)	FIELD STONE	30" DIAMETER	15	BURIED A MIN. OF 1/3 OF THE OVERALL BOULDER HEIGHT
(Symbol: Oval)	FIELD STONE	24" DIAMETER	10	
(Symbol: Oval)	FIELD STONE	18" DIAMETER	19	

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	REMARKS	SIZE WXH
(Symbol: Triangle)	BACKGROUND / SCREEN SHRUBS - EVERGREEN, LARGE SHRUBS TO 6'-0" USED FOR REDUCING WALL MASS OR SCREENING UNDESIRABLE VIEWS.				
(Symbol: Circle with dot)	ARBUTUS UNEDO COMPACTA COMPACT STRAWBERRY TREE	5 G	LOW	---	6'x6'
(Symbol: Circle with cross)	ARCTOSTAPHYLOS HOWARD MCMINN HOWARD MCMINN MANZANITA	5 G	LOW	---	6'x7'
(Symbol: Circle with triangle)	BERBERIS T. ATROPURPUREA BARBERRY	5 G	LOW	---	4'x5'
(Symbol: Circle with star)	CISTUS PURPURUES ORCHID SPOT ROCKROSE	5 G	LOW	---	5'x5'
(Symbol: Circle with vertical lines)	LORAPETALUM CHINENSIS 'RUBY' DWARF FRINGE FLOWER	5 G	MED	---	4'x5'
(Symbol: Circle with horizontal lines)	PINUS MUGO MUGO MUGO PINE	5 G	LOW	---	5'x7'
(Symbol: Circle with concentric circles)	OLEA E. 'MONTRA' LITTLE OLLIE DWARF OLIVE	5 G	LOW	---	5'x6'
(Symbol: Circle with diagonal lines)	SPECIMEN SHRUBS EVERGREEN OR DECIDUOUS SHRUBS TO 8'-0" USED AT ENTRY FOCAL POINTS, SEASONAL INTEREST, AND CONTRAST.				
(Symbol: Circle with asterisk)	AGAVE WEBERI WEBERS AGAVE	15 G	LOW	---	4'x5'
(Symbol: Circle with plus sign)	BAMBUSA MULTIFLEX ALPHONSE KARR ALPHONSE KARR BAMBOO	20 G	MED	CLUMPING	10'x30'
(Symbol: Circle with radiating lines)	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' REED GRASS	5 G	LOW	---	3'x5'
(Symbol: Circle with concentric circles)	LAGERSTROEMIA X F. PECOS DWARF CRAPE MYRTLE	15 G	LOW	NATURAL	6'x8'
(Symbol: Circle with star)	LEPTOSPERMIUM SCOPARIUM 'RUBY GLOW' NEW ZEALAND TEA TREE	15 G	LOW	---	6'x7'
(Symbol: Circle with vertical lines)	PHORMIUM TENAX ATROPURPUREA NEW ZEALAND FLAX	5 G	LOW	---	4'x6'
(Symbol: Circle with horizontal lines)	FACER/FILLER SHRUBS EVERGREEN OR DECIDUOUS SHRUBS TO 4'-0". USED FOR "TERRACING" OF PLANT MATERIAL, SEASONAL COLOR AND CONTRAST WITH FOUNDATION SHRUBS.				
(Symbol: Circle with diagonal lines)	ABELIA KALIDESCOPE KALIDESCOPE ABELIA	1 G	MED	---	24"x36"
(Symbol: Circle with asterisk)	BERBERIS T. CRIMSON PYGMEA DWARF BARBERRY	5 G	LOW	---	18"x24"
(Symbol: Circle with plus sign)	CISTUS SALVIFOLIUS SAGE LEAF ROCKROSE	1 G	LOW	---	24"x36"
(Symbol: Circle with radiating lines)	MAHONIA A. COMPACTA COMPACT OREGON GRAPE	1 G	LOW	---	36' x 60"
(Symbol: Circle with concentric circles)	NASELLA TENUISSIMA MEXICAN FEATHER GRASS	5 G	LOW	---	36"x36"
(Symbol: Circle with star)	HYSPERALOE PARVIFOLIA RED YUCCA	5 G	LOW	---	18"x24"
(Symbol: Circle with vertical lines)	RHAPHIOLEPHIS INDICA BALLERINA INDIAN HAWTHORN	5 G	LOW	---	24"x36"
(Symbol: Circle with horizontal lines)	ROSA X NOATRUM RED CARPET ROSE	5 G	LOW	---	30"x36"
(Symbol: Circle with diagonal lines)	SALVIA MICROPHYLLA HOT LIPS SAGE	5 G	LOW	---	24"x24"

GROUNDCOVER AND VINE PLANT LIST AND LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	REMARKS	SIZE WXH
(Symbol: Circle with dot)	VINE MATERIAL - EVERGREEN VINE TO SOFTEN WALL MASS AND PROVIDE FOR ADDITIONAL "GREENING" OF CORRIDORS.				
(Symbol: Circle with cross)	FICUS PUMILA CREEPING FIG	1 G	LOW	NORTH AND EAST FACING	
(Symbol: Circle with triangle)	GROUND COVER MATERIAL - SMALL SCALE DUE TO PROJECT TYPE, EVERGREEN OR PERENNIAL SHRUBS TO 24" HIGH. USED AS A FILLER BETWEEN SITE WORK EDGES AND FACER SHRUBS.				
(Symbol: Circle with star)	ARCTOSTAPHYLOS UVI URSI MANZANITA	1 G	LOW	36" O.C.	18"x48"
(Symbol: Circle with vertical lines)	COPROSMA PUMILA VISTA VERDE COPROSMA	1 G	LOW	36" O.C.	24"x48"
(Symbol: Circle with horizontal lines)	EUYNOMUS F. COLORATA PURPLE WINTER CREEPER	1 G	LOW	24" O.C.	24"x48"
(Symbol: Circle with concentric circles)	NANDIANA HARBOR DWARF HEAVENLY BAMBOO	1 G	LOW	24" O.C.	24"x48"
(Symbol: Circle with diagonal lines)	HYPERICUM CALYCIUM AARONS BEARD	1 G	LOW	18" O.C.	30"x48"
(Symbol: Circle with asterisk)	BIO-RETENTION PLANT MATERIAL	1 G	MED	---	---
(Symbol: Circle with plus sign)	SODDED TURF - BOLERO TURF TYPE DWARF FESCUE	SOD	HIGH	---	---

QUARRY PLACE

ST. ANTON  
COMMUNITIES

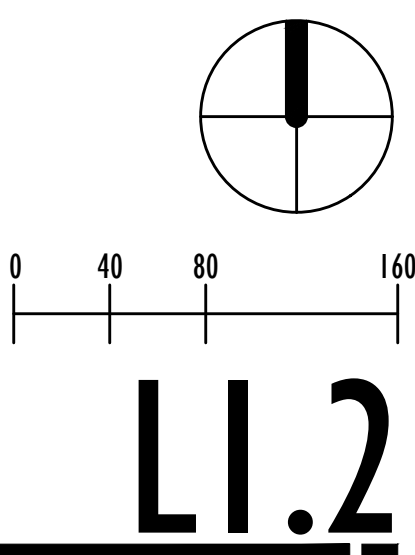
1801 I Street, Suite 200  
Sacramento, CA  
916.471.3000

PRELIMINARY PLANTING PLAN

ROCKLIN, CA  
KTGY # 2016-0189

02.10.2017

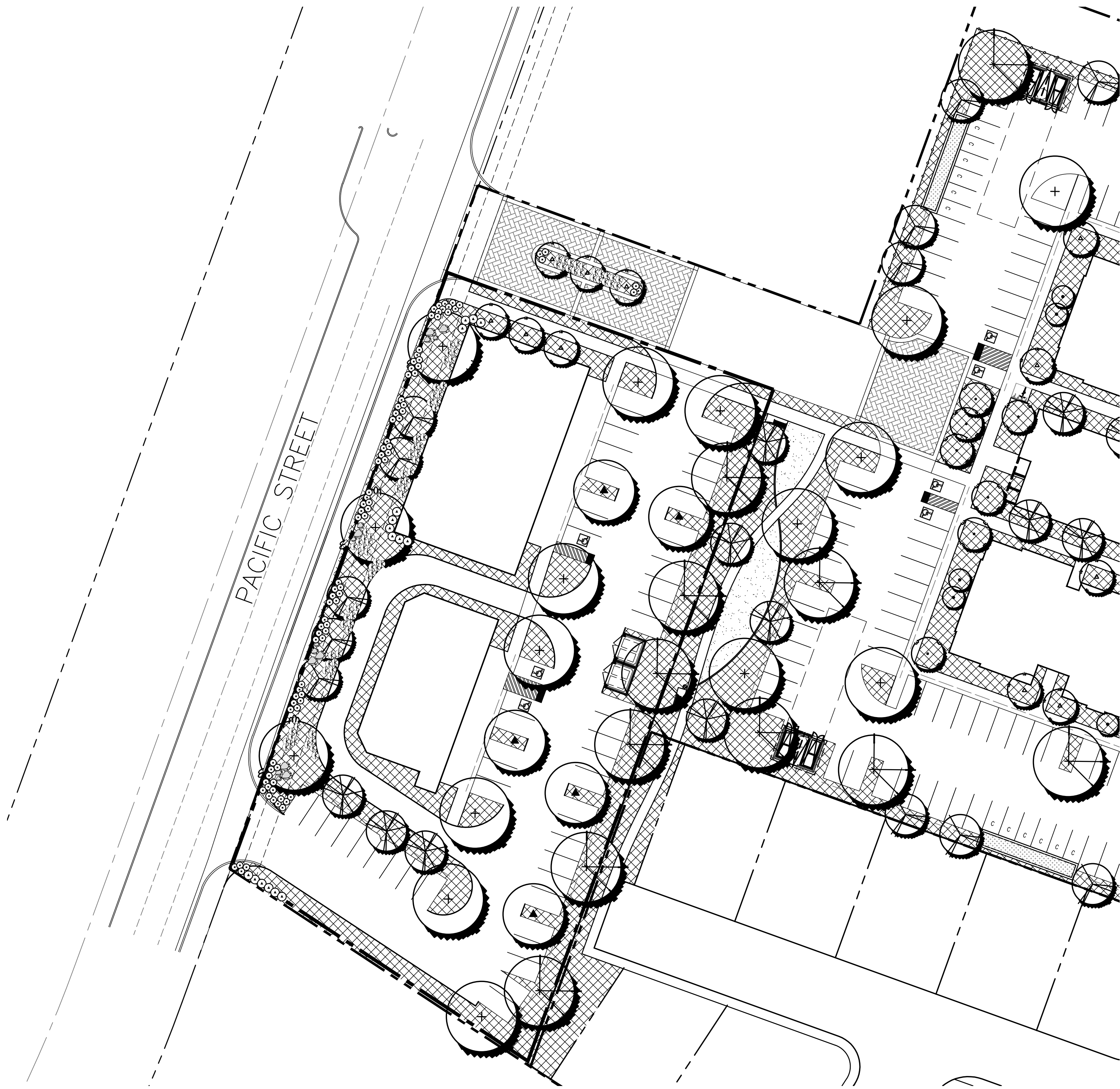
FUHRMAN LEAMY  
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2140 PROFESSIONAL DRIVE, SUITE 115 ROSEVILLE, CA 95661  
SAC:17009



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KTGY Group, Inc.  
Architecture+Planning  
17911 Von Karman #200  
Irvine, CA 92614  
949.851.2133  
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**PRELIMINARY PLANT LIST AND LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	DESIGN USE/QUANTITY	SIZE WXH
●	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	15 G	MED	VERTICAL ACCENT	20'x40'
⊕	PISTACIA CHINENSIS CHINESE PISTACH	15 G	LOW	STREET TREE	30'x40'
▲	AESCULUS X CARNEA RED HORSECHESTNUT	24" BOX	LOW	FLOWERING ACCENT	40'x40'
●	ARBUTUS UNEDO 'MARINA' STRAWBERRY TREE LAURUS NOBILIS GRECIAN LAUREL	15 G	MED	EVERGREEN SCREEN	25'x30'
⊗	GINKGO BILOBA FAIRMOUNT FAIRMOUNT MAIDENHAIR TREE	24 BOX	MED	VERTICAL ACCENT	15'x45'
●	FRAXINUS PENNSYLVANICA 'PATMORE' GREEN ASH	15 G	MED	STREET TREE	30'x40'
▲	LAGERSTROEMIA INDICA 'ARAPAHO' ARAPAHO CRAPE MYRTLE CERCIS CANADENSIS MERLOT MERLOT REDBUD	15 G	LOW	FLOWERING ACCENT	15'x20'
⊗	NYSSA SYLVATICA TUPELO	15 G	MED	ACCENT GROVE FALL COLOR	20'x40'
⊗	PINUS HALEPENSIS ALEPPO PINE	24 BOX	LOW	EVERGREEN SCREEN	30'x40'
⊕	ACER RUBRUM OCTOBER GLORY RED MAPLE	24" BOX	LOW	STREET TREE GRANITE DR	35' x 55'
⊗	QUERCUS WISLEZENII INTERIOR LIVE OAK	15 G	LOW	NATURALIZED STREET TREE	50'x60'
⊗	ULMUS X JAPONICA 'WILSONIANA' 'PROSPECTOR' ELM	15 G	MED	STREET / SHADE TREE	25'x45'

**BOULDERS AND ROCK**

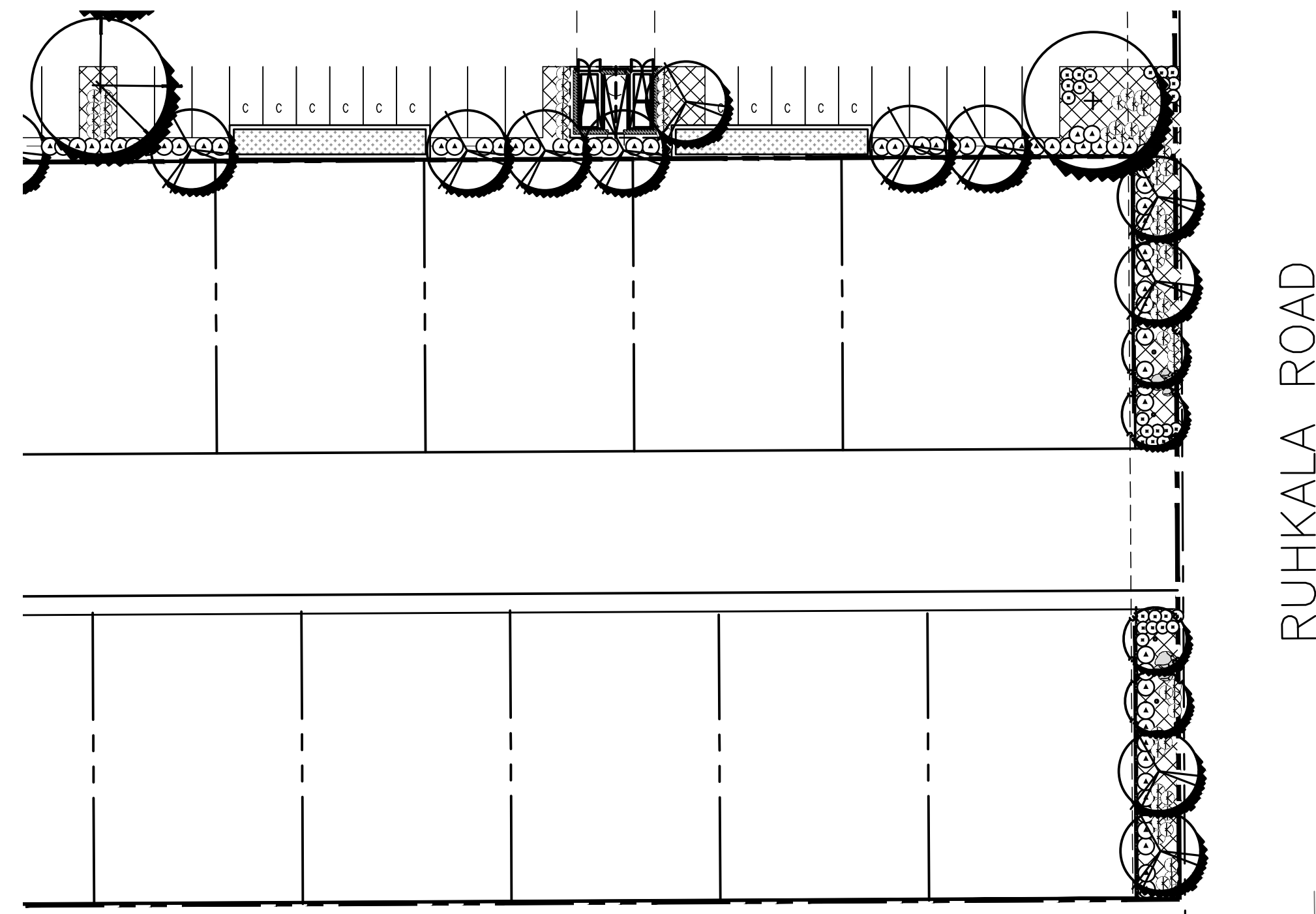
SYMBOL	TYPE	APPROXIMATE SIZE	QUANTITY	DEPTH
⬭	FIELD STONE	30" DIAMETER	15	BURIED A MIN. OF 1/3 OF THE OVERALL BOULDER HEIGHT
⬭	FIELD STONE	24" DIAMETER	10	
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SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	REMARKS	SIZE WXH
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●	ROSA X NOATRUM RED CARPET ROSE	5 G	LOW	--	30"x36"
●	SALVIA MICROPHYLLA HOT LIPS SAGE	5 G	LOW	--	24"x24"

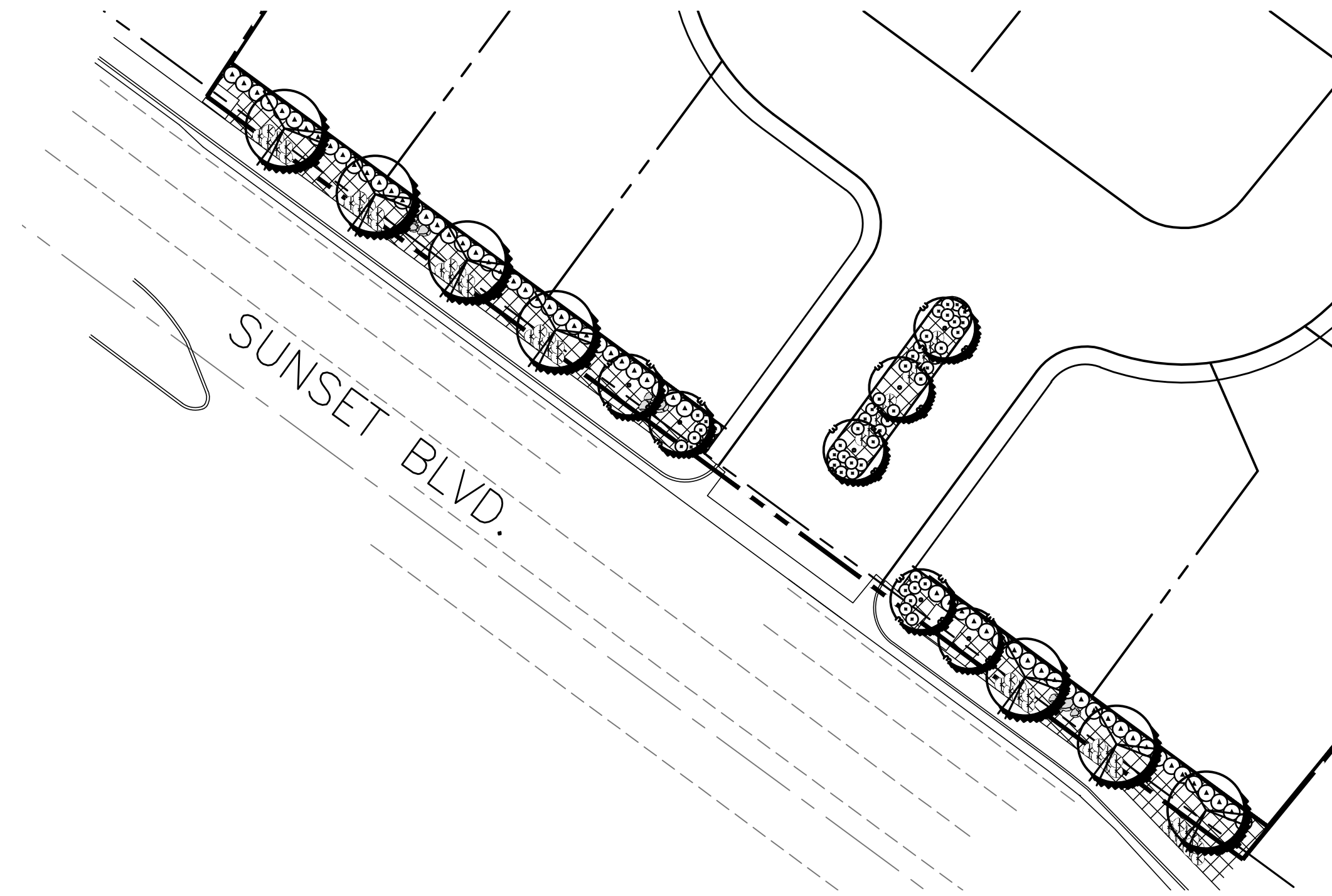
**GROUNDCOVER AND VINE PLANT LIST AND LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	REMARKS	SIZE WXH
●	VINE MATERIAL – EVERGREEN VINE TO SOFTEN WALL MASS AND PROVIDE FOR ADDITIONAL 'GREENING' OF CORRIDORS.				
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●	HYPERICUM CALYCIUM AARONS BEARD	1 G	LOW	18" O.C.	30"x48"
⊕	BIO-RETENTION PLANT MATERIAL	1 G	MED	--	--
⊕	SODDED TURF – BOLERO TURF TYPE DWARF FESCUE	SOD	HIGH	--	--

Ⓐ PACIFIC STREET ENTRANCE  
1"=30'-0"



**A** RUHKALA ROAD ENTRANCE  
1" = 30'-0"



**B** SUNSET BLVD. ENTRANCE  
1" = 30'-0"

**PRELIMINARY PLANT LIST AND LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	DESIGN USE/QUANTITY	SIZE WxH
●	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	15 G	MED	VERTICAL ACCENT	20'x40'
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**BOULDERS AND ROCK**

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●	LORAPETALUM CHINENSIS 'RUBY' DWARF FRINGE FLOWER	5 G	MED	--	4'x5'
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●	ROSA X NOATRUM RED CARPET ROSE	5 G	LOW	--	30"x36"
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**GROUNDCOVER AND VINE PLANT LIST AND LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	REMARKS	SIZE WxH
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●	EUYNOMUS F. COLORATA PURPLE WINTER CREEPER	1 G	LOW	24" O.C.	24"x48"
●	NANDIANA HARBOR DWARF HEAVENLY BAMBOO	1 G	LOW	24" O.C.	24"x48"
●	HYPERICUM CALYCIUM AARONS BEARD	1 G	LOW	18" O.C.	30"x48"
⊕	BIO-RETENTION PLANT MATERIAL	1 G	MED	--	--
⊕	SODDED TURF - BOLERO TURF TYPE DWARF FESCUE	SOD	HIGH	--	--

**QUARRY PLACE**

**ST. ANTON**  
COMMUNITIES

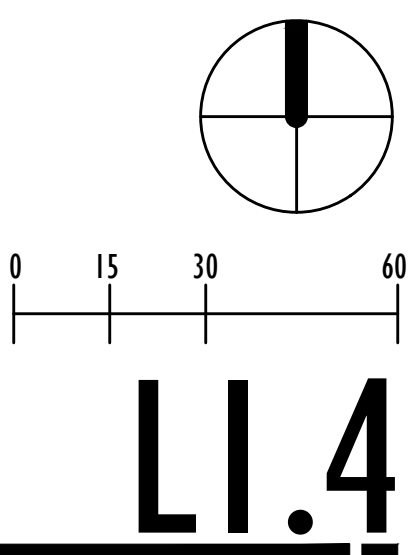
1801 I Street, Suite 200  
Sacramento, CA  
916.471.3000

**PRELIMINARY PLANTING PLAN**

ROCKLIN, CA  
KTGY # 2016-0189

02.10.2017

**FUHRMAN LEAMY**  
LAND GROUP  
DESIGN • SERVICE • SOLUTIONS  
2140 PROFESSIONAL DRIVE, SUITE 115 ROSEVILLE, CA 95661  
SAC:17009

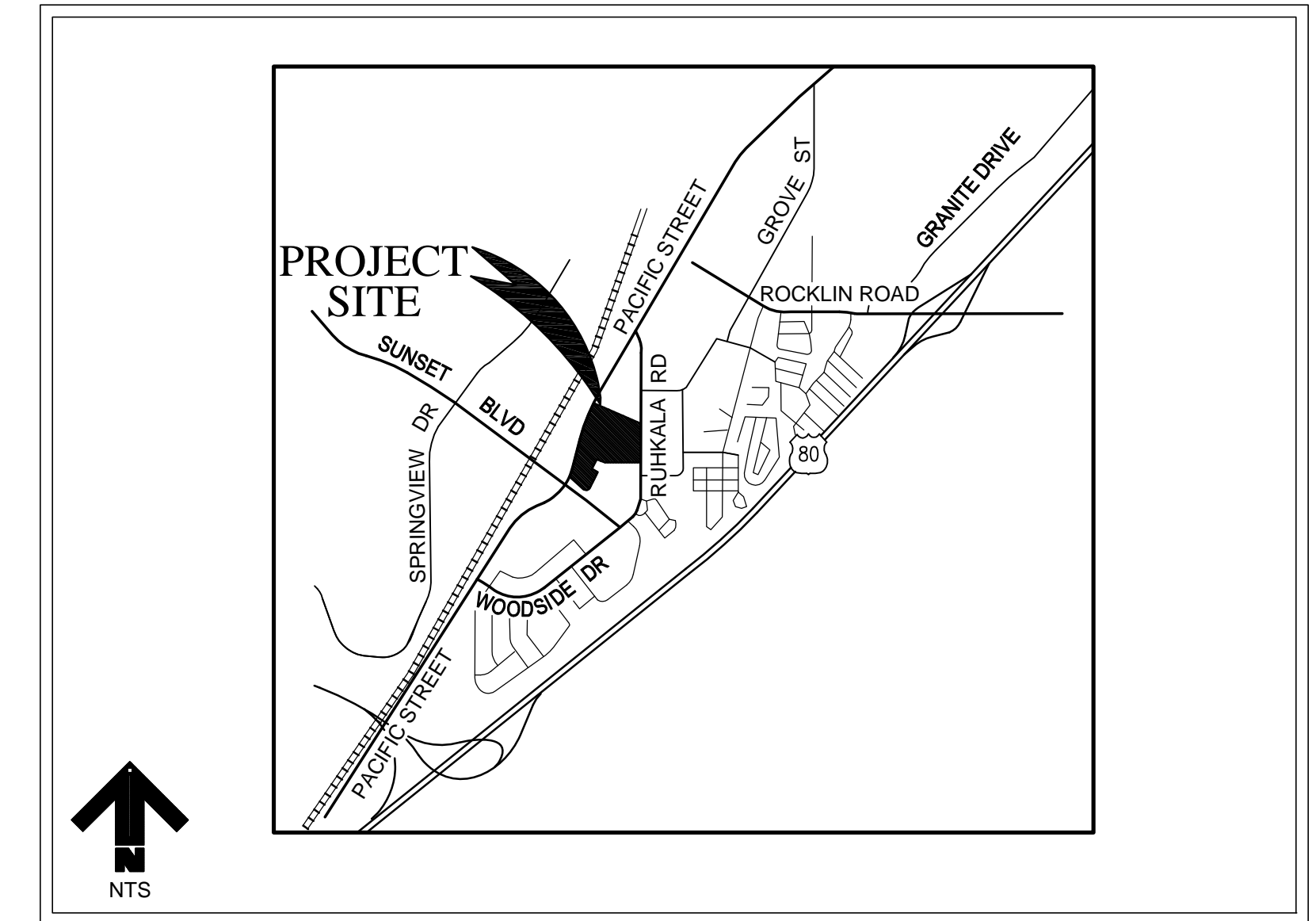


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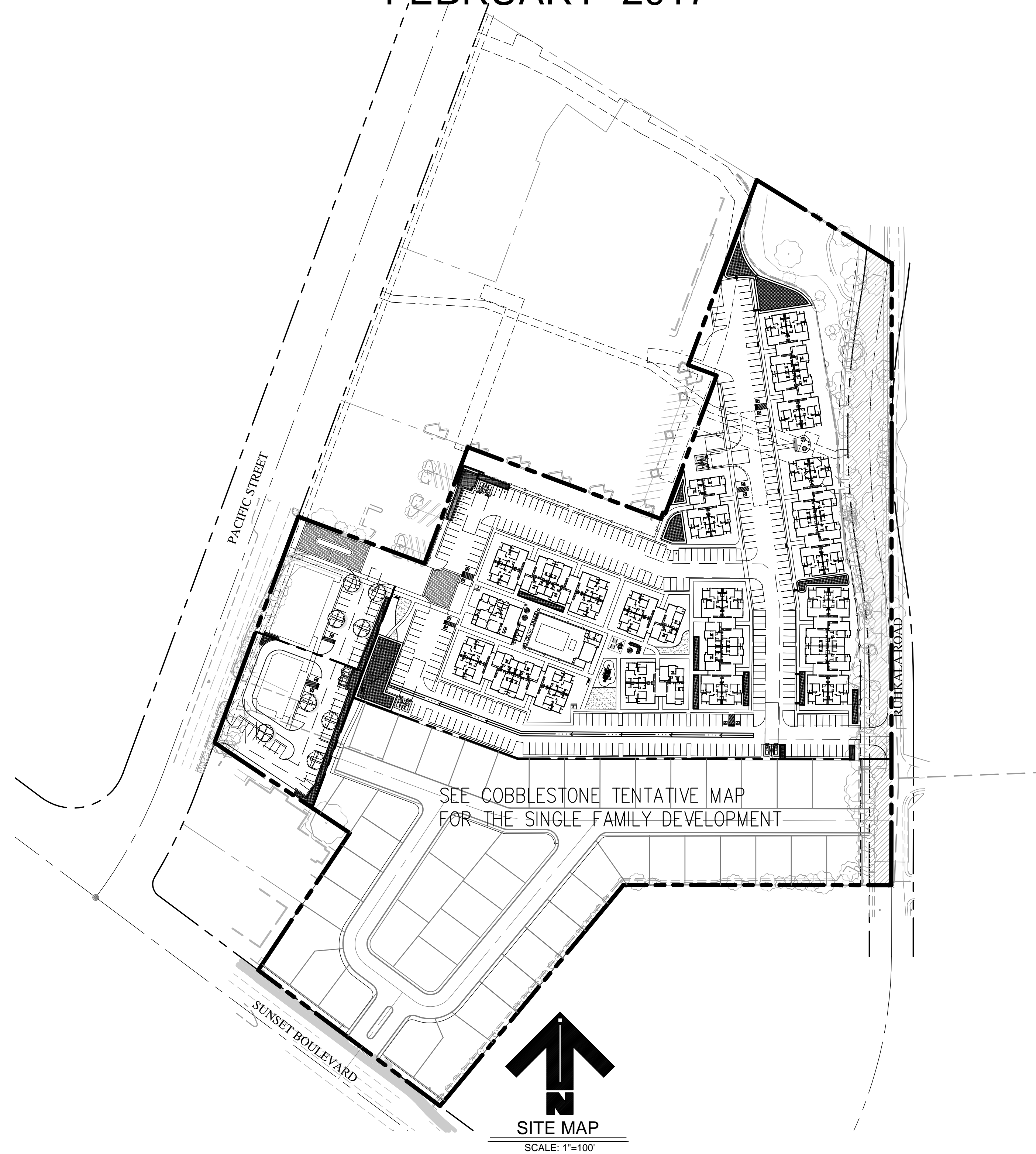
**KTGY Group, Inc.**  
**Architecture+Planning**  
17911 Von Karman #200  
Irvine, CA 92614  
949.851.2133  
ktgy.com



# QUARRY PLACE PRELIMINARY GRADING, DRAINAGE & UTILITY PLANS ROCKLIN, CA FEBRUARY 2017



LOCATION MAP



SITE MAP  
SCALE: 1"=100'

EXISTING	PROPOSED	DESCRIPTION
⊙	⊙	DRAIN MANHOLE
⊙	⊙	STORM WATER QUALITY TREATMENT MANHOLE
⊗	■	DRAIN INLET
⊙	⊙	SEWER MANHOLE
○	●	CLEAN OUT
— —	— —	SEWER SERVICE
— — 8"SS	— — 8"SS	SEWER LINE AND SIZE
— — 24"SD	— — SD	DRAIN LINE AND SIZE
— — 12"W	— — 6"F	WATER LINE AND SIZE
— —	— —	WATER SRV. w/METER BOX
— —	— —	GATE VALVE
— —	— —	BUTTERFLY VALVE
— —	— —	FIRE HYDRANT
— —	— —	DOUBLE CHECK DETECTOR VALVE OR AS NOTED
— —	— —	AIR VACUUM RELEASE VALVE
— —	— —	BLOW-OFF VALVE
— —	— —	STOP SIGN
— —	— —	STREET SIGN
— —	— —	STREET LIGHT
— —	— —	SLOPE BANK
⊙	⊗	EXISTING TREE/ TREE TO BE REMOVED
x 155.0	290.81 AC 291.31 TC	SPOT ELEVATION
— —	— — 0.5%	SLOPE DIRECTION
— — 160	— — 150	CONTOUR LINE
— —	— —	FENCE
— —	— —	GAS, ELEC., TELE. OR JOINT TRENCH
— —	— —	PROPERTY LINE
⊙	⊙	MONUMENT WELL
⊙	⊙	DETAIL DESIGNATION/ SHEET REFERENCE
⊙	⊙	STATE STANDARD PLAN REFERENCE

ABBREVIATIONS

AB	aggregate base	MAX	maximum
AC	asphalt concrete	MED	median
AD	algebraic difference	MH	manhole
ARV	air release valve	MIN	minimum
AVRV	air vacuum release valve	MOD	modified
BC	begin horizontal curve	MON	monument
BKF	backfill	MPE	multipurpose easement
BM	bench mark	MTL	material
BOV	blow off valve	NTS	not to scale
BVC	begin vertical curve	OC	on center
BW	back of walk	OG	original ground
C,G	curb, gutter	OH	overhead utility line
CL	centerline; chain link; class	PI	point of intx, angle point
CONC	concrete	PL	property line
CSP	corrugated steel pipe	PUE	public utilities easement
CTS	corrosion test station	PVI	point of vertical tangent intx
DBL	double	PVC	poly vinyl chloride
DI	drainage inlet	PWMT	pavement
DIP	ductile iron pipe	R	radius
DIA	diameter	RAC	rubberized asphalt concrete
DWY	driveway	RCP	reinforced concrete pipe
EA	each	RL	restrained length
EC	end horizontal curve	RSP	rock slope protection
EL or ELEV	elevation	RT	right
EG	existing ground	R/W	right of way
EP	edge of pavement	S	slope
EQ	equation	SD	storm drain
EVC	end vertical curve	SHT	sheet
EX or EXIST	existing	SS	sanitary sewer
FES	flared end section	STA	station
FF	filter fabric; finished floor	STD	standard
FG	finished grade	STR	structure
FH	fire hydrant installation	S/W	sidewalk
FL	flow line; full length	TBC or TC	top back of curb
FT	foot; feet	TBW or BW	top back of walk
GB	grade break	TBM	temporary bench mark
HP	hinge point; high point	TEMP	temporary
HWY	highway	TFC	top face of curb
INTX	intersection	TG	top of grate
K	vertical curve coefficient	TI	traffic index
LE	landscape easement	TRANS	transition
LP	low point	TYP	typical
LT	left	W	water main
MAX	maximum	WWM	welded wire mesh
MBGR	metal beam guard railing	VCP	vitriified clay pipe

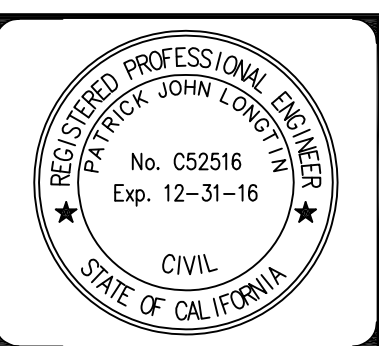
SHEET INDEX

1. COVER SHEET
2. PRELIMINARY GRADING & DRAINAGE PLAN
3. PRELIMINARY GRADING & DRAINAGE PLAN
4. PRELIMINARY GRADING & DRAINAGE PLAN
5. PRELIMINARY GRADING & DRAINAGE PLAN
6. PRELIMINARY UTILITY PLAN
7. PRELIMINARY UTILITY PLAN
8. STORM WATER MANAGEMENT PLAN

PL	DESIGNED BY	EQW	DRAFTED BY	PL	CHECKED BY	1581	PROJECT NO.	FEB 2017	DATE	NO.	BY	DATE	APP'D	DATE	REVISIONS

BENCHMARK: CITY OF ROCKLIN ELEV. 249.40'  
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**TLA**  
**ENGINEERING & PLANNING**  
 1528 EUREKA ROAD, SUITE 100  
 ROSEVILLE, CA 95661 916.786.0685



DESIGNED UNDER THE SUPERVISION OF:  
 PATRICK J. LONGTIN  
 RCE C52516  
 DATE

FOR REDUCED PLANS ORIGINAL SCALE IS IN INCHES  
 0 1 2"  
 HORIZ. SCALE: AS SHOWN  
 VERT. SCALE: NA  
 (E) CONTOUR INTERVAL 5' MAJOR 1' MINOR

**QUARRY PLACE APARTMENTS**  
 ROCKLIN CALIFORNIA

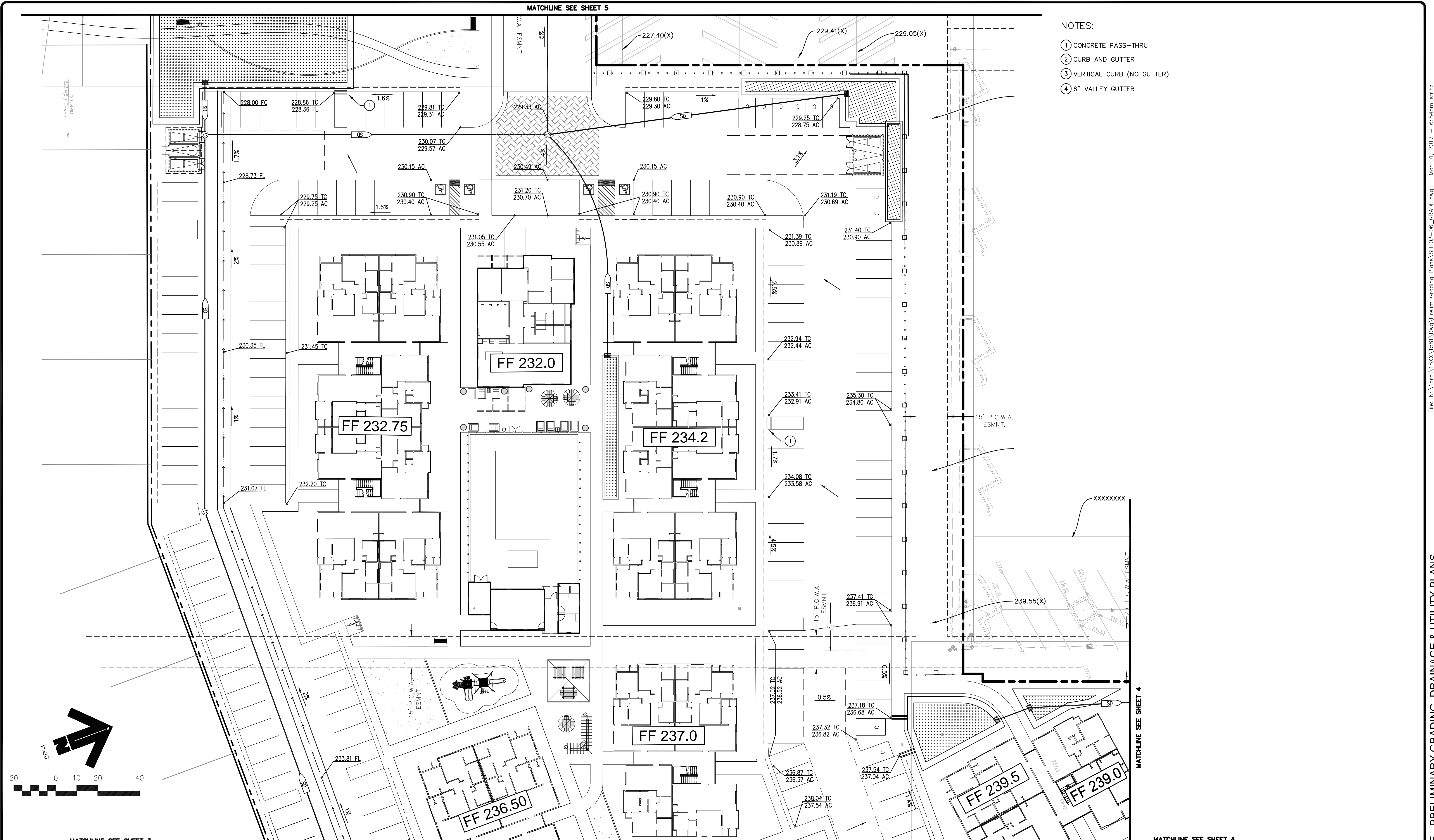
PRELIMINARY  
**COVER SHEET**

SHEET  
 1  
 OF  
 8

MATCHLINE SEE SHEET 5

NOTES:

- ① CONCRETE PASS-THRU
- ② CURB AND GUTTER
- ③ VERTICAL CURB (NO GUTTER)
- ④ 6" VALLEY GUTTER

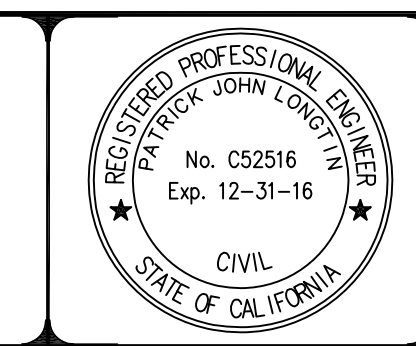


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**TIA**  
**ENGINEERING & PLANNING**  
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 ROSEVILLE, CA 95661 916.786.0685



DESIGNED UNDER THE SUPERVISION OF:  
 PATRICK J. LONGTIN  
 RCE C52516  
 DATE

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 HORIZ. SCALE: AS SHOWN NA  
 VERT. SCALE:  
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**QUARRY PLACE APARTMENTS**  
 ROCKLIN CALIFORNIA

PRELIMINARY  
**GRADING & DRAINAGE PLAN**

SHEET  
**2**  
 OF  
**8**

QUARRY PLACE - PRELIMINARY GRADING, DRAINAGE & UTILITY PLANS

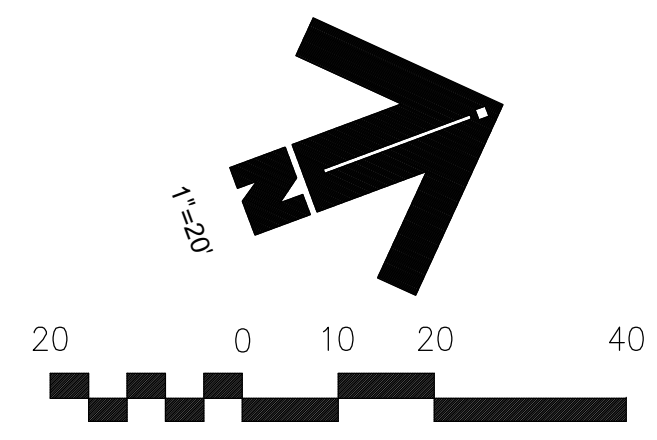
MATCHLINE SEE SHEET 2



MATCHLINE SEE SHEET 4

20' PERMANENT SERVICE DRIVE ESMNT

RUHKALA ROAD



MATCHLINE SEE SHEET 5

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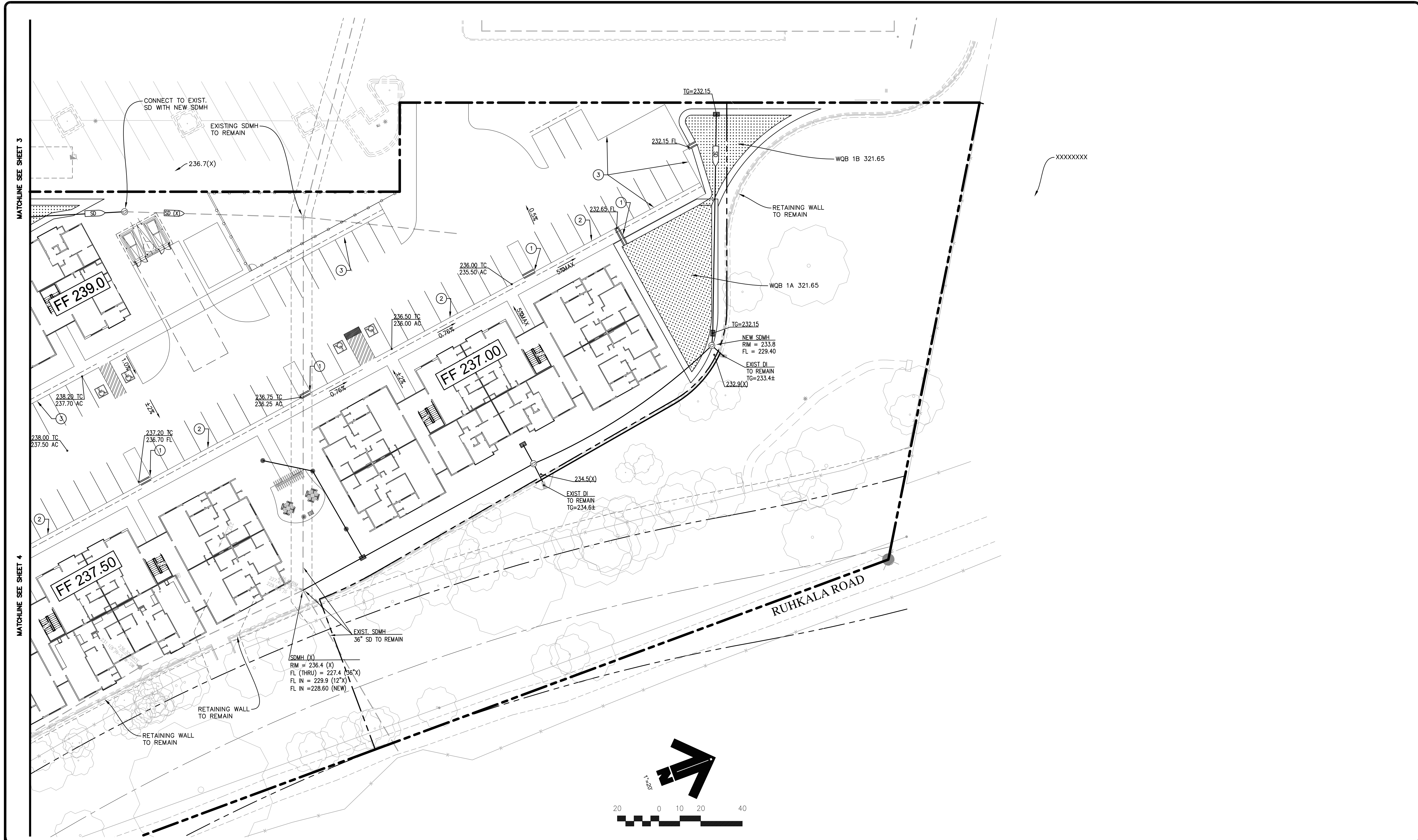
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**QUARRY PLACE APARTMENTS**  
 ROCKLIN CALIFORNIA

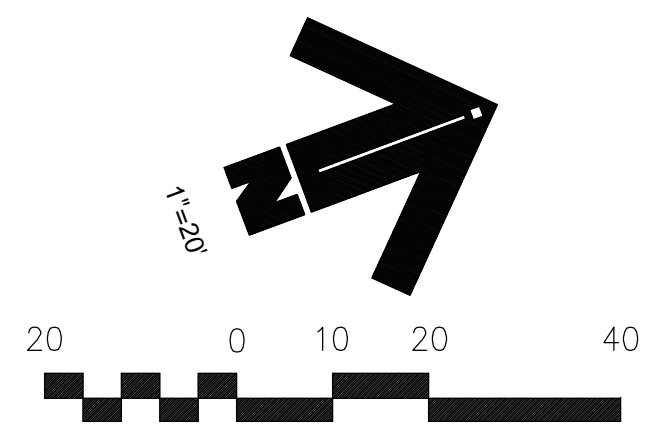
PRELIMINARY  
**GRADING & DRAINAGE PLAN**

SHEET  
**3**  
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**8**



MATCHLINE SEE SHEET 3

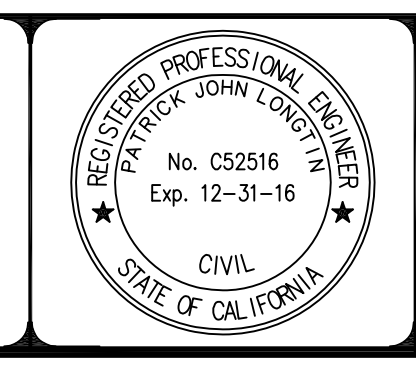
MATCHLINE SEE SHEET 4



PL DESIGNED BY EQW									
DRAFTED BY PL									
CHECKED BY 1581									
PROJECT NO. FEB 2017									
DATE	NO.	BY	DATE	APP'D	DATE	REVISIONS			

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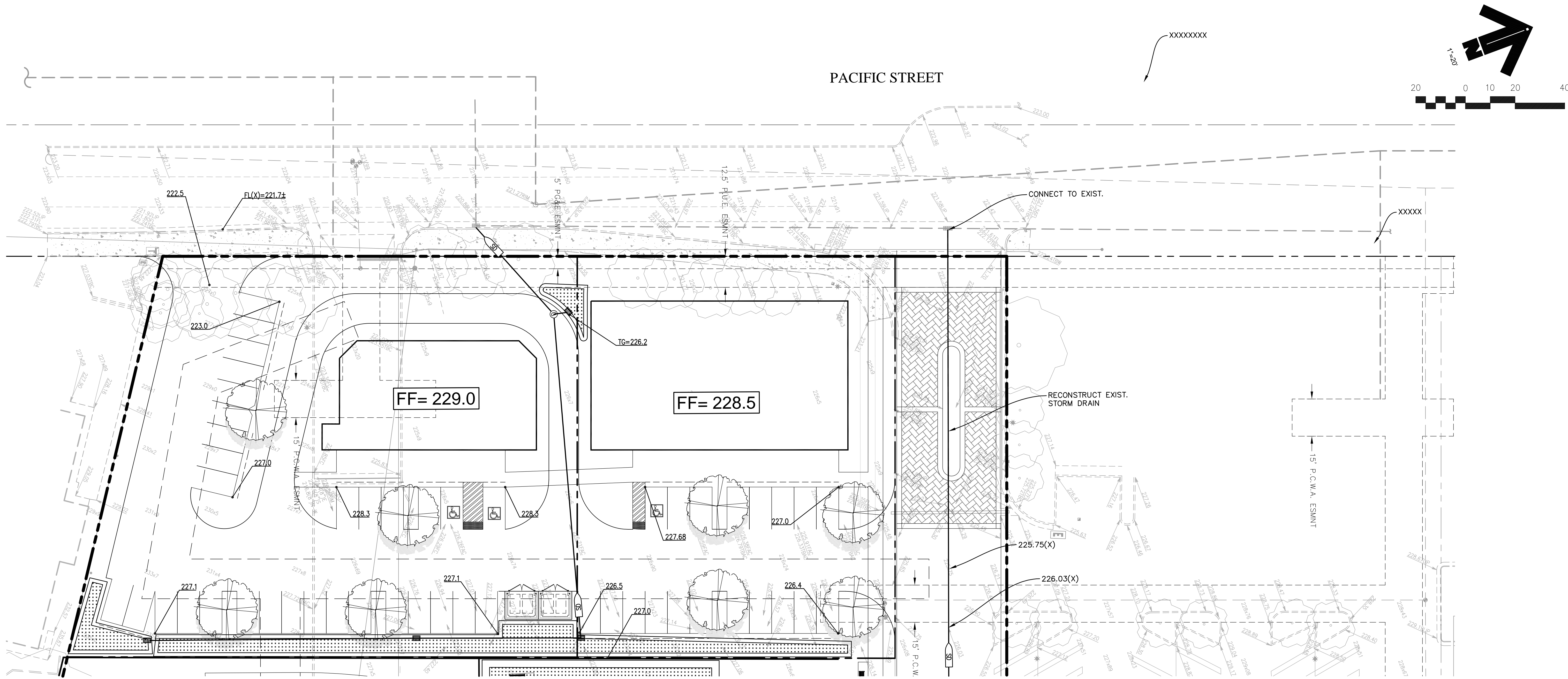
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 RCE C52516  
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FOR REDUCED PLANS ORIGINAL SCALE IS IN INCHES  
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 HORIZ. SCALE: AS SHOWN  
 VERT. SCALE: NA  
 (E) CONTOUR INTERVAL 5' MAJOR 1' MINOR

**QUARRY PLACE APARTMENTS**  
 ROCKLIN CALIFORNIA

PRELIMINARY  
**GRADING & DRAINAGE PLAN**

SHEET  
 4 OF  
 8



NO.	BY	DATE	APP'D	DATE	REVISIONS

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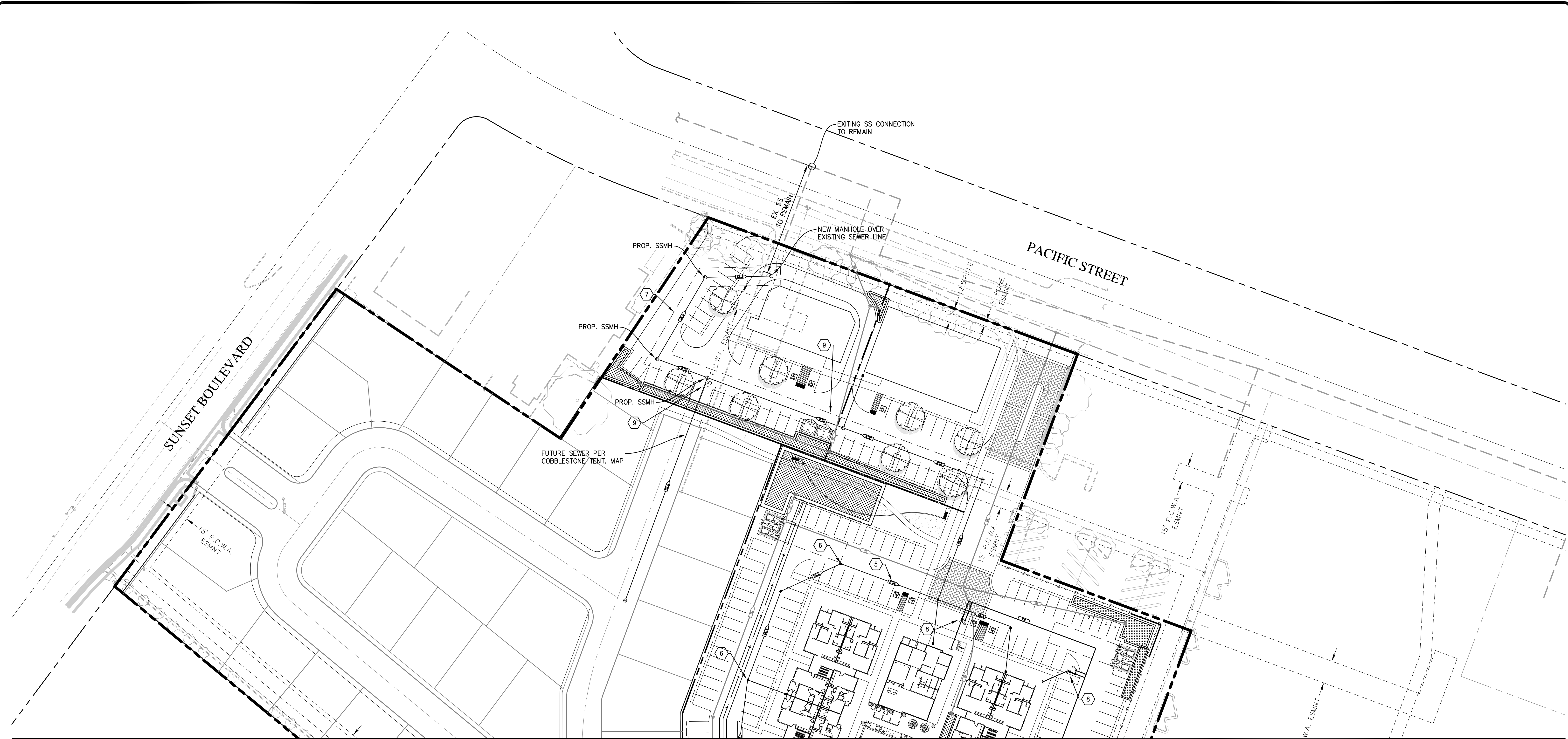
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 VERT. SCALE:            NA  
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 1' MINOR

**QUARRY PLACE APARTMENTS**  
 ROCKLIN      CALIFORNIA

**COMMERCIAL & DRIVEWAY GRADING & DRAINAGE PLAN**  
 PRELIMINARY

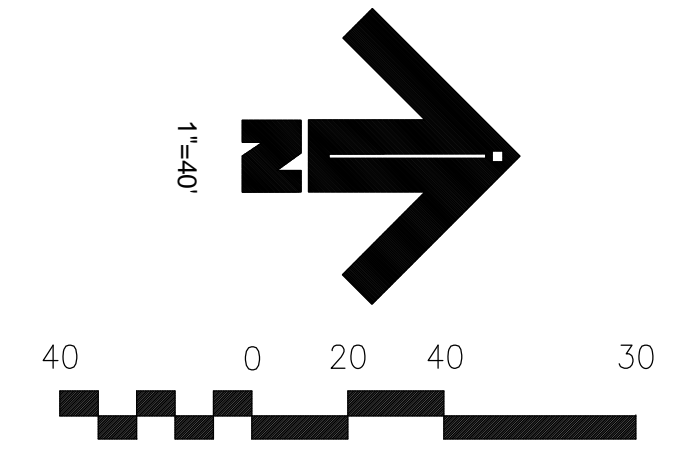
SHEET  
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MATCHLINE SEE SHEET 7

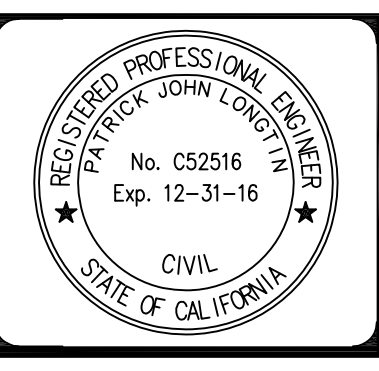
- NOTES:**
- ① EASEMENT TO BE ABANDONED
  - ② PROPOSED 20' P.C.W.A. EASEMENT AND PUBLIC WATERLINE
  - ③ CONNECT TO EXISTING PUBLIC WATERLINE
  - ④ DOMESTIC WATER & IRRIGATION POINT OF CONNECTION
  - ⑤ PRIVATE SEWER @ MINIMUM SLOPE = 1.0% OR STEEPER
  - ⑥ CLEANOUTS (CO) @ 100' MAX (TYP.)
  - ⑦ 16' WIDE S.P.M.U.D. SEWER EASEMENT
  - ⑧ FIRE DEPARTMENT CONNECTION ASSEMBLY (BACKFLOW, PIV & FDC)
  - ⑨ 16' SPMUD EASEMENT
  - \* ELEVATION FROM RECORD DRAWING - NOT VERIFIED



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**QUARRY PLACE APARTMENTS**  
 ROCKLIN CALIFORNIA

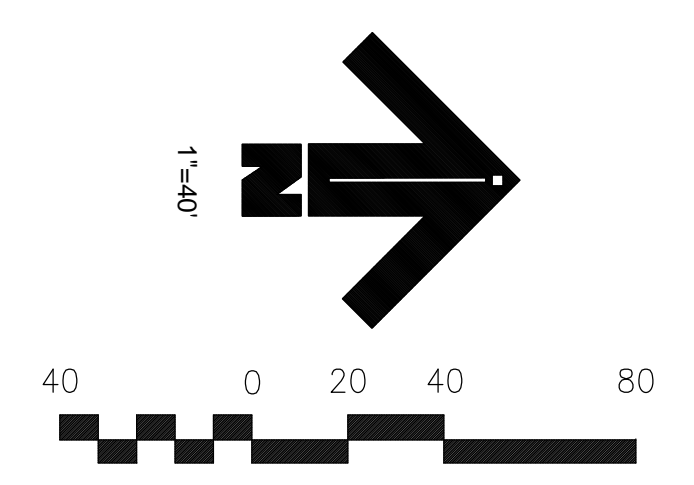
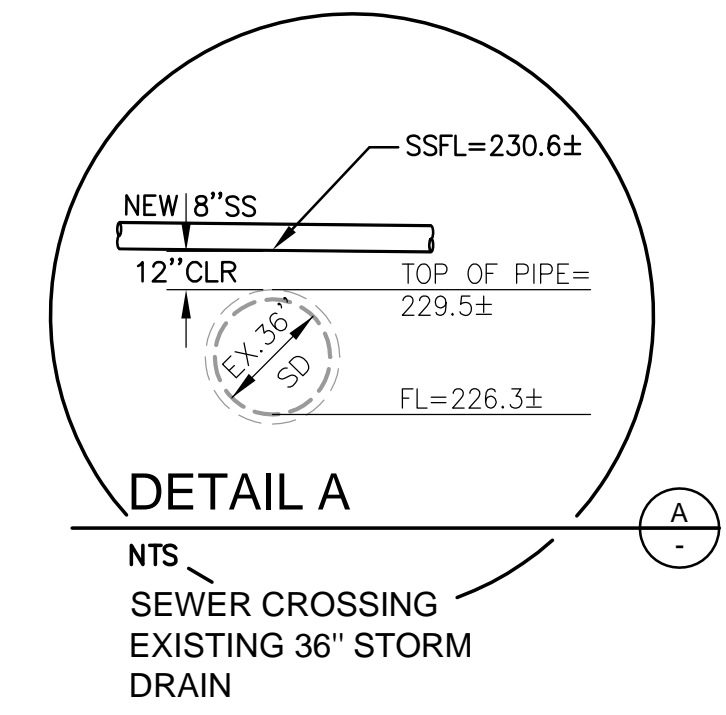
PRELIMINARY  
**UTILITY PLAN**

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**6**  
 OF  
**8**

MATCHLINE SEE SHEET 6



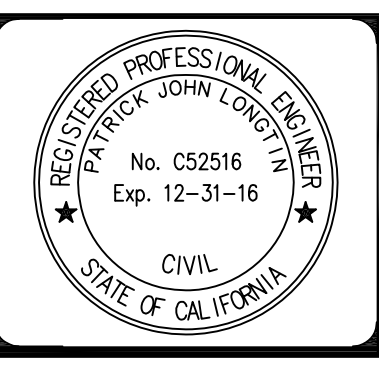
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**QUARRY PLACE APARTMENTS**  
 ROCKLIN CALIFORNIA

PRELIMINARY  
**UTILITY PLAN**

SHEET  
**7**  
 OF  
**8**

Surface	Area S.F.
Roof	23,690
Road Paving	29,662
Conc/walks	1,394
Landscape	17,306
Basins	3,763
Totals	75,815

Surface	Area S.F.
Roof	10,693
Road Paving	31,522
Conc/walks	5,000
Landscape	1,765
Basins	2,000
Totals	50,980

Surface	Area S.F.
Roof	7,111
Road Paving	5,938
Conc/walks	180
Landscape	2,491
Basins	707
Totals	16,427

Surface	Area S.F.
Roof	4,832
Road Paving	6,648
Conc/walks	180
Landscape	1,570
Basins	522
Totals	13,752

Surface	Area S.F.
Roof	-
Road Paving	7,577
Conc/walks	-
Landscape	1,308
Basins	492
Totals	9,377

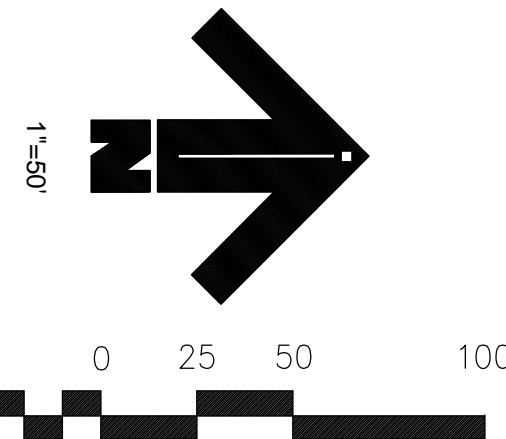
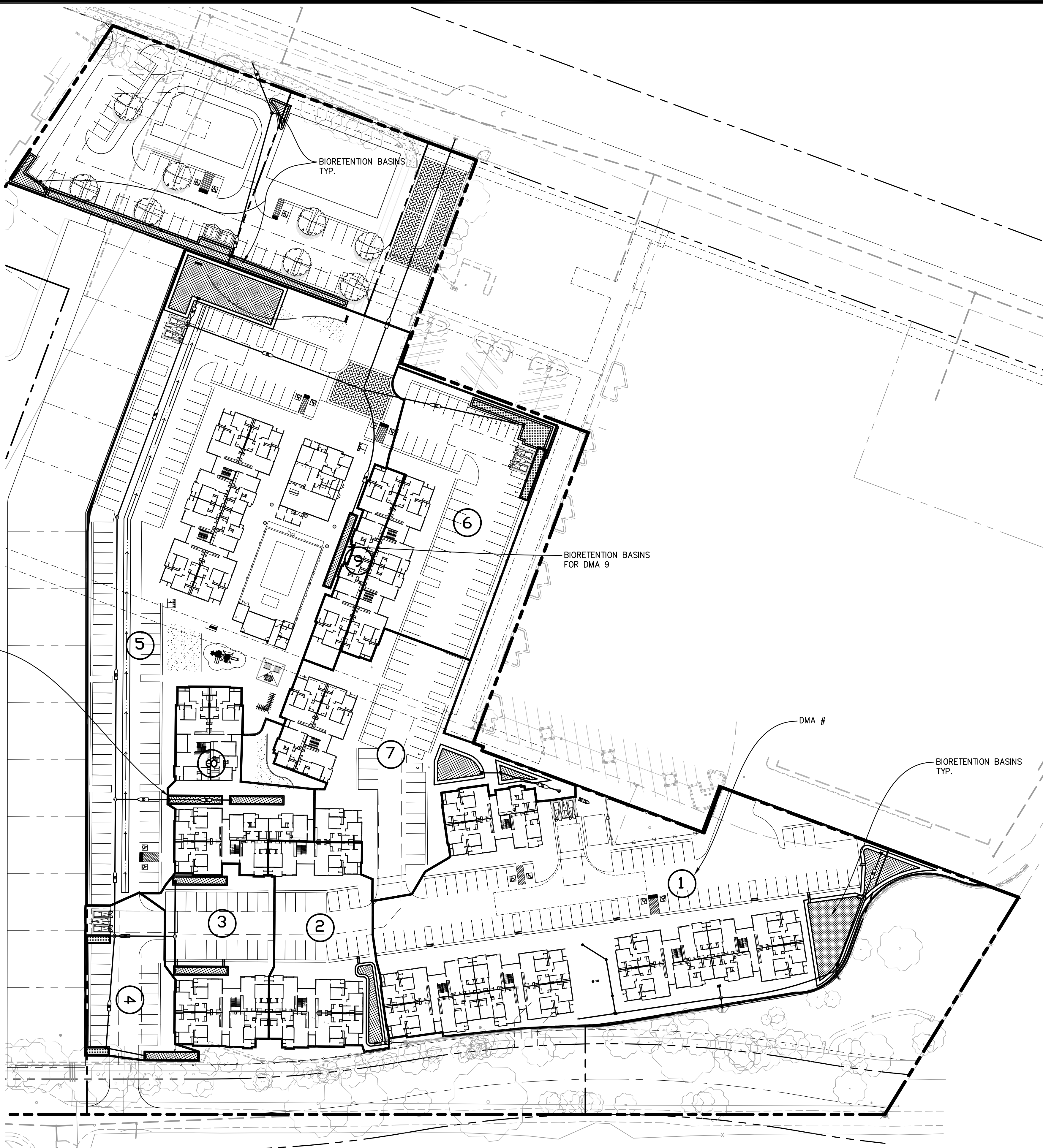
Surface	Area S.F.
Roof	11,579
Road Paving	44,405
Conc/walks	11,513
Perv. Pavers	1,041
Landscape	20,886
Basins	3,550
Totals	92,974

Surface	Area S.F.
Roof	4,602
Road Paving	16,963
Conc/walks	229
Landscape	4,524
Basins	1,007
Totals	27,325

Surface	Area S.F.
Roof	5,594
Road Paving	13,686
Conc/walks	1,000
Landscape	7,466
Basins	902
Totals	28,618

Surface	Area S.F.
Roof	9,863
Conc/walks	971
Landscape	1,979
Basins	552
Totals	13,365

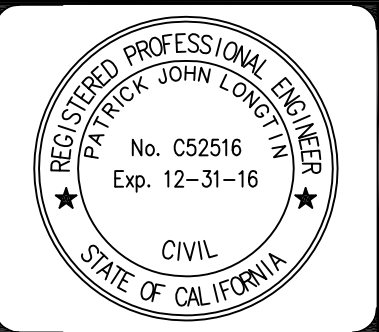
Surface	Area S.F.
Roof	4,182
Conc/walks	69
Landscape	84
Basins	373
Totals	4,708



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**QUARRY PLACE APARTMENTS**  
 ROCKLIN CALIFORNIA

PRELIMINARY  
**STORM WATER MANAGEMENT PLAN**

SHEET  
**8**  
 OF  
**8**

# COBBLESTONE TENTATIVE MAP LOTTING PLAN ROCKLIN, CALIFORNIA

MARCH 2017  
SHEET 1 OF 6

### SHEET INDEX

SHEET 1 TENTATIVE MAP—LOTTING PLAN  
SHEET 2 PRELIMINARY GRADING AND DRAINAGE PLAN  
SHEET 3 PRELIMINARY STORMWATER RUNOFF MANAGEMENT PLAN  
SHEET 4 PRELIMINARY UTILITY PLAN  
SHEET 5 TYPICAL STREET AND GRADING SECTIONS AND DETAILS  
SHEET 6 LOT LINE ADJUSTMENT EXHIBIT & TRUCK TURNING

### BENCHMARK

CITY OF ROCKLIN STATION NAME D-13-HV-11 R 8-2  
ELEV. 249.40' (NGVD 29)  
COPPERWELD IN WELL IN SUNSET BOULEVARD OVER UPRR.

BASIS OF BEARING: WESTERLY LINE OF PACIFIC STREET PER BOOK 28 OF MAPS, PAGE 12, TAKEN AS N20°21'39"E, AND WAS ESTABLISHED FROM FOUND MONUMENTS AS SHOWN HEREON.

### OWNERS / DEVELOPER

OWNER:  
ST. ANTON ROCKLIN, LLC  
1801 I STREET, SUITE 200  
SACRAMENTO, CA 95811

DEVELOPER:  
ST. ANTON COMMUNITIES  
1801 I STREET, SUITE 200  
SACRAMENTO, CA 95811

### ENGINEER

TLA ENGINEERING AND PLANNING  
1504 EUREKA ROAD, SUITE 110  
ROSEVILLE, CA 95661  
PHONE: (916) 786-0685  
FAX: (916) 786-0529

### LOT SIZE (SQUARE FEET)

MIN: 3,500 MAX: 4,468 AVG: 3,712  
MIN WIDTH: 54'  
MIN DEPTH: 63' (LOT 34)

### ACREAGE\* TOTAL LOTS

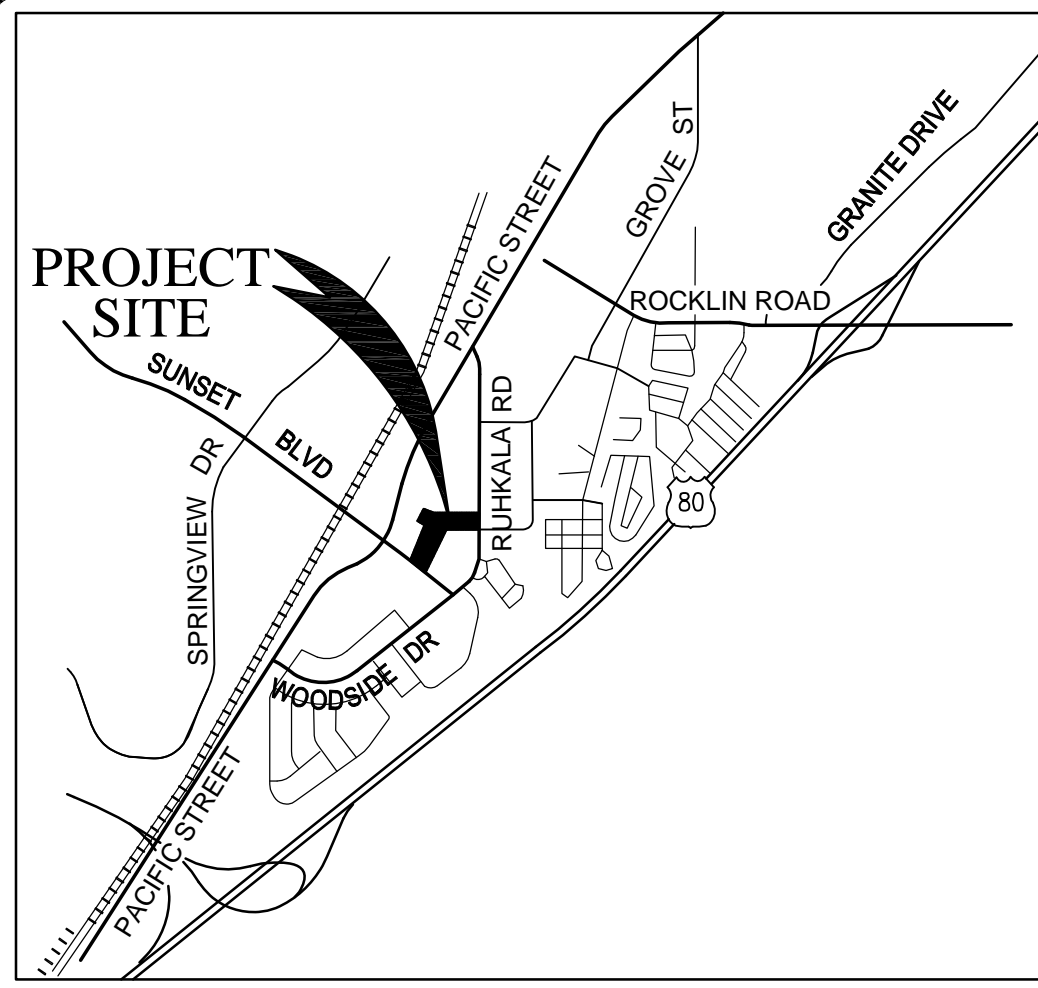
3.75± 44  
\*DOES NOT INCLUDE R/W OR LETTERED PARCELS

### UTILITY AND SERVICE PROVIDERS:

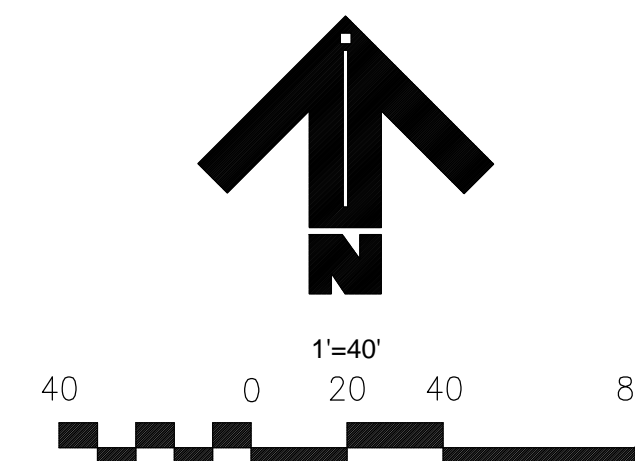
WATER:	PLACER COUNTY WATER AGENCY
SEWER:	SOUTH PLACER MUNICIPAL UTILITY DISTRICT
GAS & ELECTRIC:	PACIFIC GAS & ELECTRIC
TELEPHONE:	AT&T
CABLE TV:	WAVE BROADBAND
SCHOOL DISTRICT:	ROCKLIN UNIFIED SCHOOL DISTRICT
STREET MAINTENANCE:	CITY OF ROCKLIN
FIRE PROTECTION:	CITY OF ROCKLIN FIRE DEPARTMENT
POLICE PROTECTION:	CITY OF ROCKLIN POLICE DEPARTMENT
STORM DRAINAGE:	CITY OF ROCKLIN
SOLID WASTE:	AUBURN PLACER DISPOSAL SERVICE

### LEGEND

- PROJECT BOUNDARY LINE
- - - ADJACENT EXISTING LOT LINES
- PROPOSED LOT LINES
- - - R/W - EXISTING
- - - R/W - PROPOSED
- - - EASEMENT



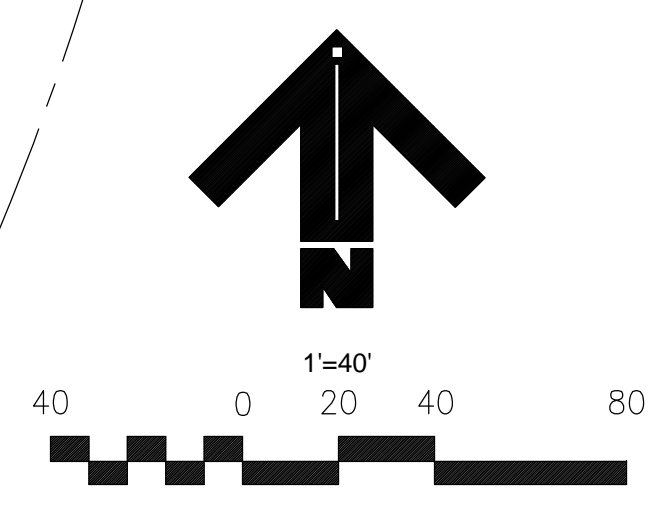
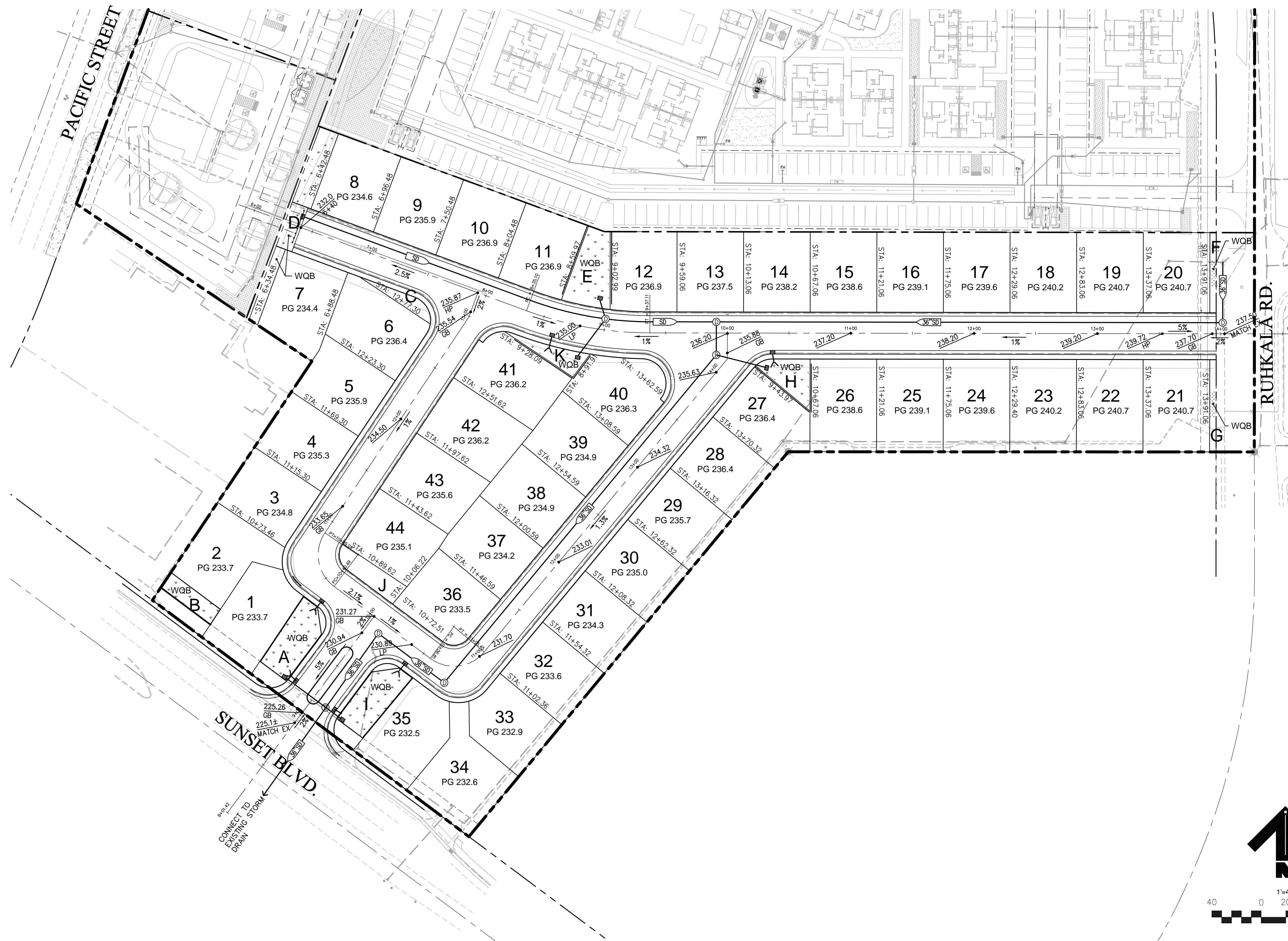
VICINITY MAP  
NTS



**TLA**  
ENGINEERING & PLANNING  
1504 EUREKA ROAD, SUITE 110  
ROSEVILLE, CA 95661 916.786.0685

# COBBLESTONE PRELIMINARY GRADING AND DRAINAGE PLAN ROCKLIN, CALIFORNIA

MARCH 2017  
SHEET 2 OF 6



**TLA**  
ENGINEERING & PLANNING  
1504 EUREKA ROAD, SUITE 110  
ROSEVILLE, CA 95661 916.786.0685

# COBBLESTONE

## PRELIMINARY STORMWATER RUNOFF MANAGEMENT PLAN

### ROCKLIN, CALIFORNIA

MARCH 2017  
SHEET 3 OF 6

DMA 1	33,603	Surface	Area	Runoff Factor	Adjusted Area	Sizing Factor	BRB Size S.F.
#of Units	6	Roof	14,400	1.0	14,400.0	4%	576
		Road Paving	6,610	1.0	6,610.0	4%	264
		Pavers	-	1.0	-	4%	-
		Alley	-	1.0	-	4%	-
		Conc./walks	1,416	1.0	1,416.0	4%	57
		Perv. Pavers	-	0.5	-	4%	-
		Turf/grave	-	0.1	-	4%	-
		Landscape	10,209	0.1	1,020.9	4%	41
		Basins	968	0.1	96.8	4%	4
		Totals	33,603		23,447		938

DMA 2	45,500	Surface	Area	Runoff Factor	Adjusted Area	Sizing Factor	BRB Size S.F.
#of units	9.5	Roof	22,800	1.0	22,800.0	4%	912
		Road Paving	9,500	1.0	9,500.0	4%	380
		Pavers	-	1.0	-	4%	-
		Alley	-	1.0	-	4%	-
		Conc./walks	-	1.0	-	4%	-
		Perv. Pavers	-	0.5	-	4%	-
		Turf/grave	-	0.1	-	4%	-
		Landscape	11,630	0.1	1,163.0	4%	47
		Basins	1,570	0.1	157.0	4%	6
		Totals	45,500		33,463		1,339

DMA 3	26,278	Surface	Area S.F.	Runoff Factor	Adjusted Area	Sizing Factor	BRB Size S.F.
# of units	5	Roof	12,000	1.0	12,000	4%	480
		Road Paving	5,288	1.0	5,288	4%	212
		Pavers	-	1.0	-	4%	-
		Alley	-	1.0	-	4%	-
		Conc./walks	500	1.0	500.0	4%	20
		Perv. Pavers	-	0.5	-	4%	-
		Turf/grave	-	0.1	-	4%	-
		Landscape	7,440	0.1	744.0	4%	30
		Basins	1,050	0.1	105.0	4%	4
		Totals	26,278		18,532		741

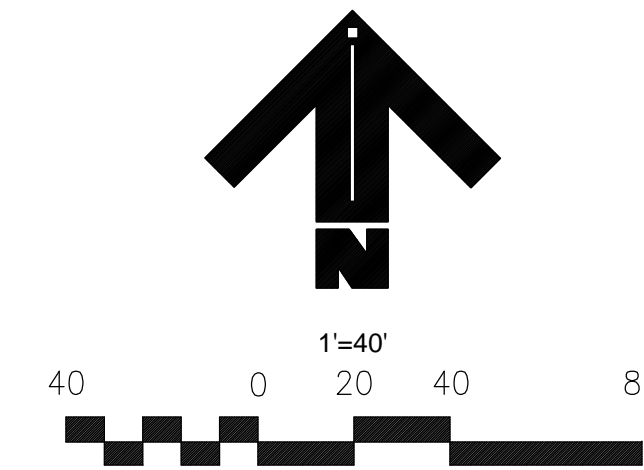
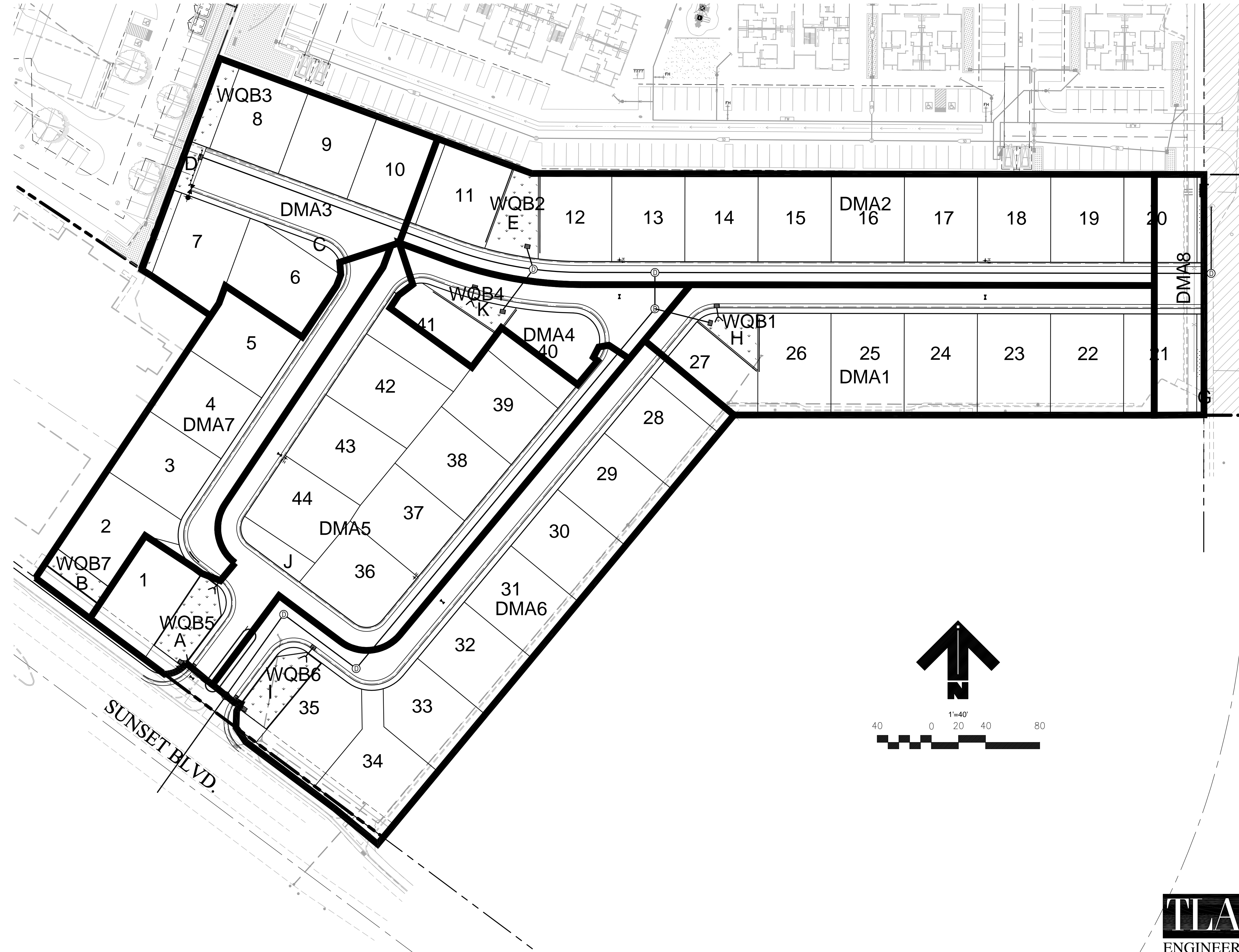
DMA 4	10,830	Surface	Area S.F.	Runoff Factor	Adjusted Area	Sizing Factor	BRB Size S.F.
#of units	1	Roof	2,400	1.0	2,400.0	4%	96
		Road Paving	4,974	1.0	4,974.0	4%	199
		Pavers	-	1.0	-	4%	-
		Alley	-	1.0	-	4%	-
		Conc./walks	640	1.0	640.0	4%	26
		Perv. Pavers	-	0.5	-	4%	-
		Turf/grave	-	0.1	-	4%	-
		Landscape	2,378	0.1	237.8	4%	10
		Basins	438	0.1	43.8	4%	2
		Totals	10,830		8,252		330

DMA 5	50,115	Surface	Area S.F.	Runoff Factor	Adjusted Area	Sizing Factor	BRB Size S.F.
#of units	9	Roof	21,600	1.0	21,600.0	4%	864
		Road Paving	13,136	1.0	13,136.0	4%	525
		Pavers	-	1.0	-	4%	-
		Alley	-	1.0	-	4%	-
		Conc./walks	320	1.0	320	4%	13
		Perv. Pavers	-	0.5	-	4%	-
		Turf/grave	-	0.1	-	4%	-
		Landscape	13,502	0.1	1,350.2	4%	54
		Basins	1,557	0.1	155.7	4%	6
		Totals	50,115		36,406		1,456

DMA 6	42,152	Surface	Area S.F.	Runoff Factor	Adjusted Area	Sizing Factor	BRB Size S.F.
#of units	8.5	Roof	20,400	1.0	20,400	4%	816
		Road Paving	8,323	1.0	8,323	4%	333
		Pavers	-	1.0	-	4%	-
		Alley	-	1.0	-	4%	-
		Conc./walks	1,760	1.0	1,760	4%	70
		Perv. Pavers	-	0.5	-	4%	-
		Turf/grave	-	0.1	-	4%	-
		Landscape	10,369	0.1	1,036.9	4%	41
		Basins	1,300	0.1	130	4%	5
		Totals	42,152		31,520		1,261

DMA 7	22,214	Surface	Area S.F.	Runoff Factor	Adjusted Area	Sizing Factor	BRB Size S.F.
#of units	4	Roof	9,600	1.0	9,600	4%	384
		Road Paving	5,187	1.0	5,187	4%	207
		Pavers	-	1.0	-	4%	-
		Alley	-	1.0	-	4%	-
		Conc./walks	1,108	1.0	1,108	4%	44
		Perv. Pavers	-	0.5	-	4%	-
		Turf/grave	-	0.1	-	4%	-
		Landscape	5,639	0.1	563.9	4%	23
		Basins	680	0.1	68.0	4%	3
		Totals	22,214		16,459		658

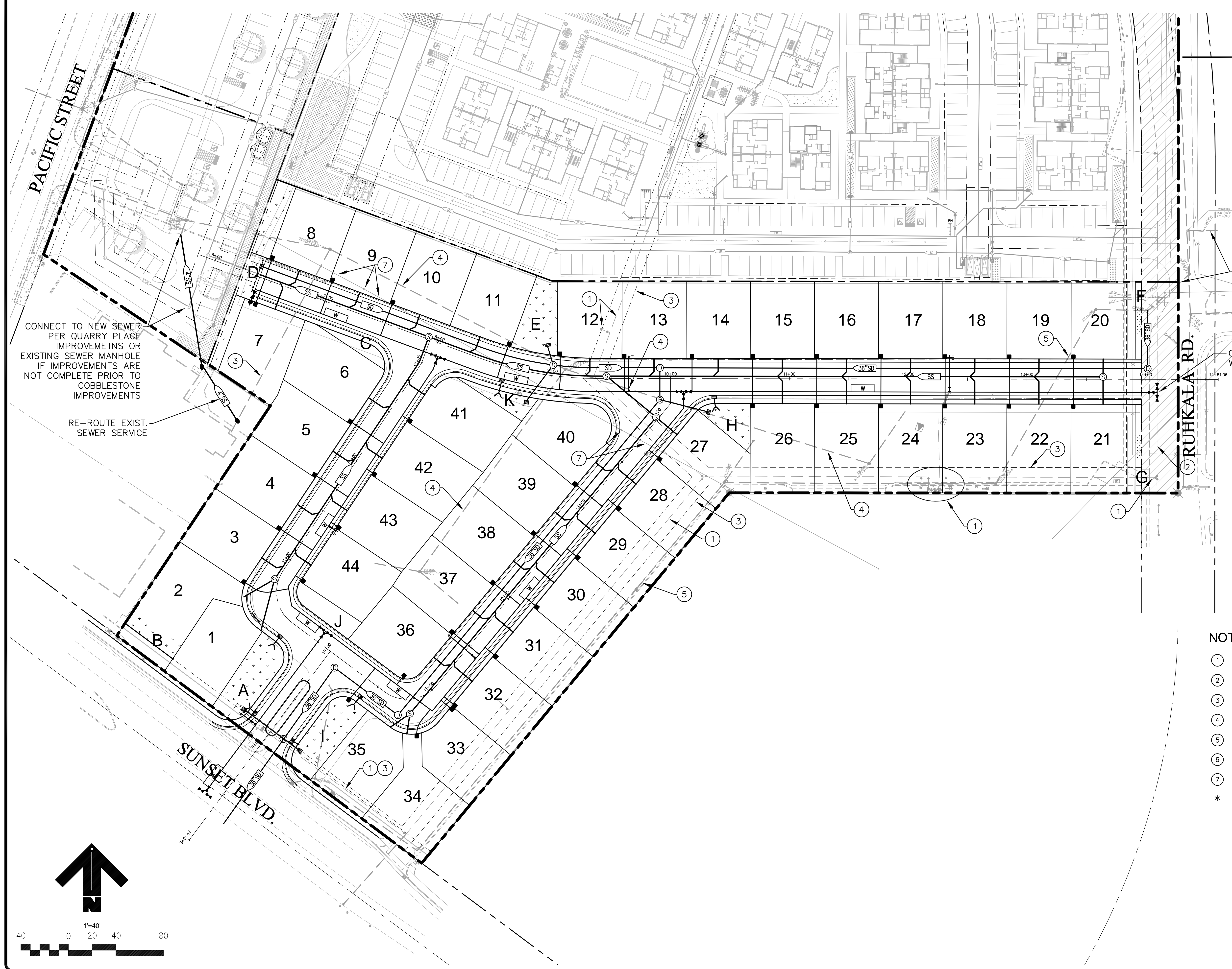
DMA 8	6,494	Surface	Area S.F.	Runoff Factor	Adjusted Area	Sizing Factor	BRB Size S.F.
#of units	1	Roof	2,400	1.0	2,400	4%	96
		Road Paving	1,394	1.0	1,394	4%	56
		Pavers	-	1.0	-	4%	-
		Alley	-	1.0	-	4%	-
		Conc./walks	-	1.0	-	4%	-
		Perv. Pavers	-	0.5	-	4%	-
		Turf/grave	-	0.1	-	4%	-
		Landscape	2,531	0.1	253.1	4%	10
		Basins	169	0.1	16.9	4%	1
		Totals	6,494		4,047		162



# COBBLESTONE PRELIMINARY UTILITY PLAN

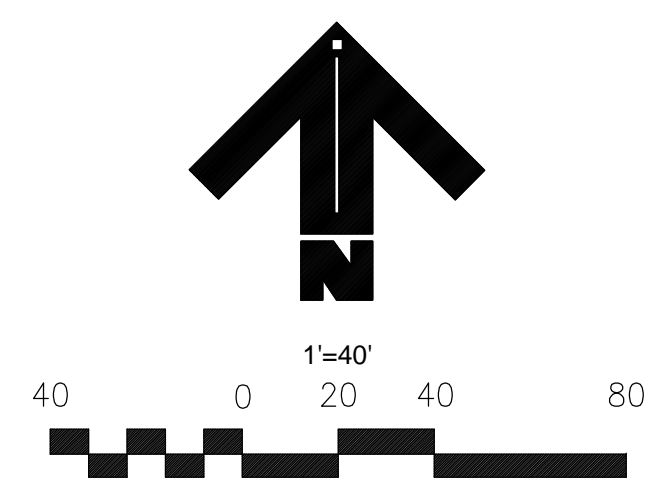
ROCKLIN, CALIFORNIA

MARCH 2017  
SHEET 4 OF 6



**NOTES:**

- ① EXISTING WATER FACILITIES TO BE ABANDONED.
- ② EXISTING WATER FACILITIES TO REMAIN.
- ③ WATER EASEMENT TO BE ABANDONED.
- ④ EXISTING SEWER FACILITIES TO BE ABANDONED.
- ⑤ EXISTING DRAINAGE FACILITIES TO BE ABANDONED.
- ⑥ EXISTING DRAINAGE FACILITIES TO REMAIN.
- ⑦ EXISTING UTILITY POLE AND AERIAL LINE TO BE RELOCATED.
- \* ELEVATION FROM RECORD DRAWING - NOT VERIFIED

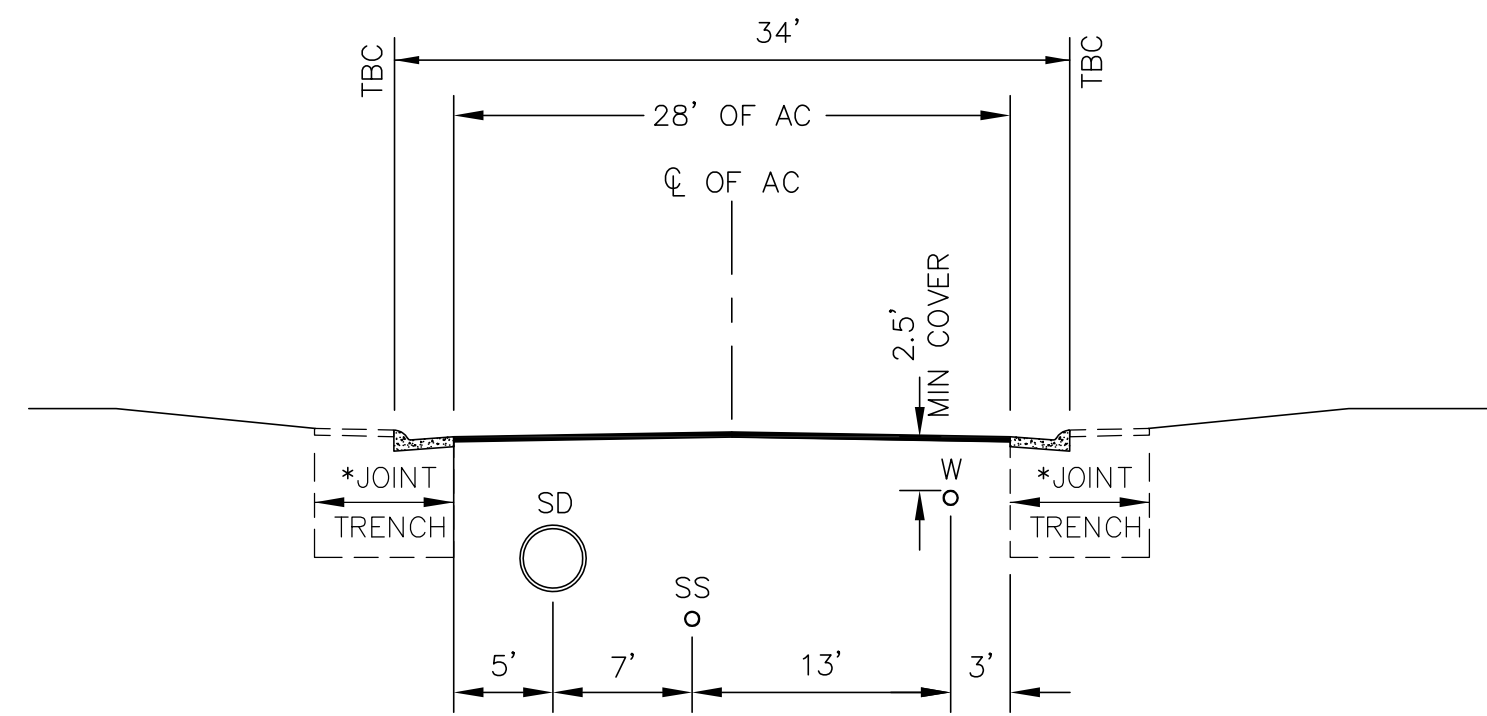


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ROSEVILLE, CA 95661 916.786.0685

# COBBLESTONE TYPICAL STREET AND GRADING SECTIONS AND DETAILS

## ROCKLIN, CALIFORNIA

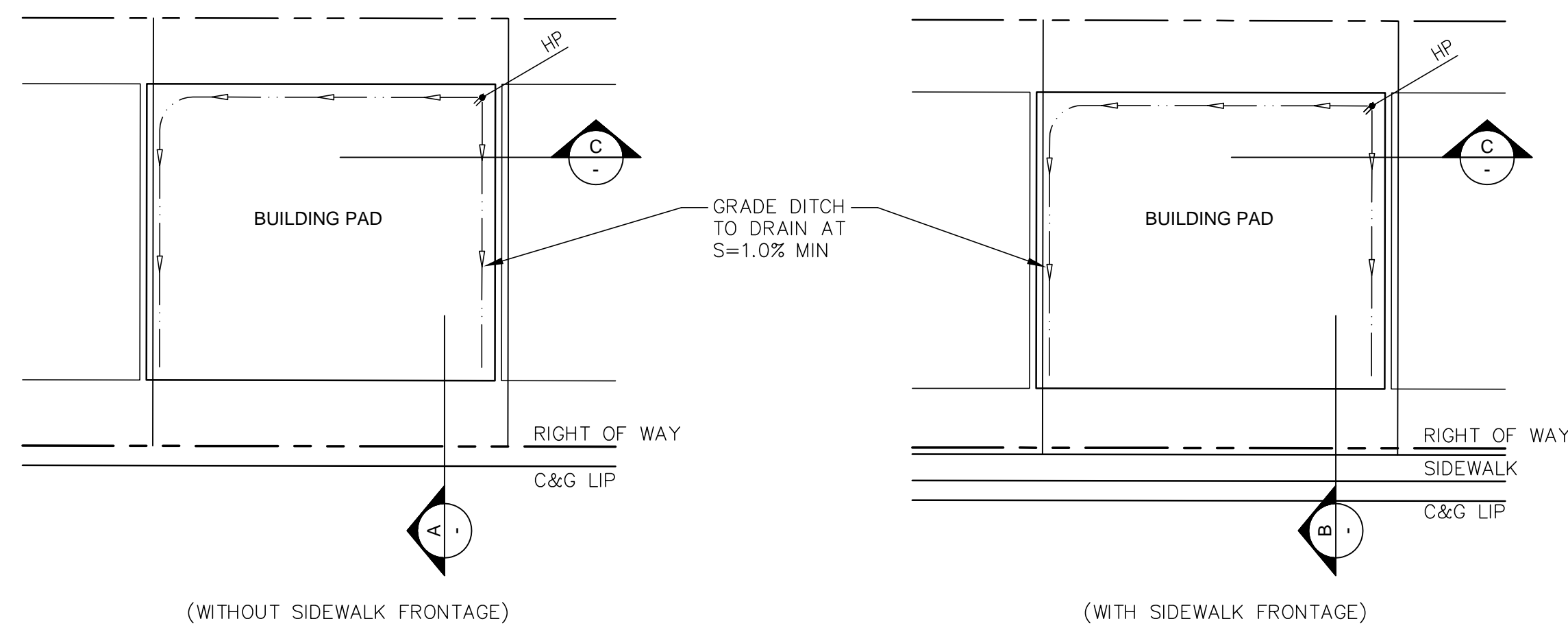
MARCH 2017  
SHEET 5 OF 6



\* JOINT TRENCH ON SIDEWALK SIDE OF STREET  
UNDER SIDEWALK, CURB & GUTTER

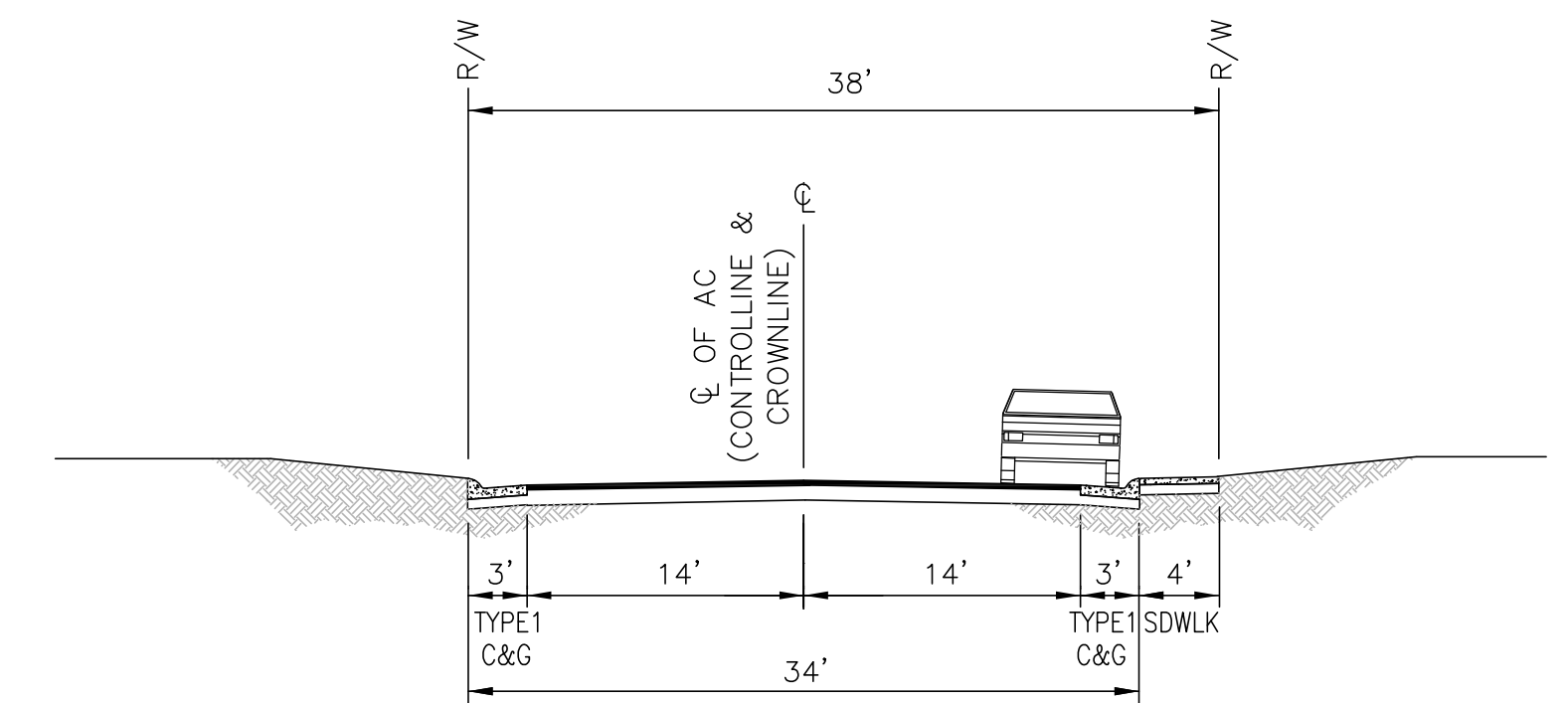
**TYPICAL WET AND DRY UTILITY ALIGNMENT**

N.T.S.



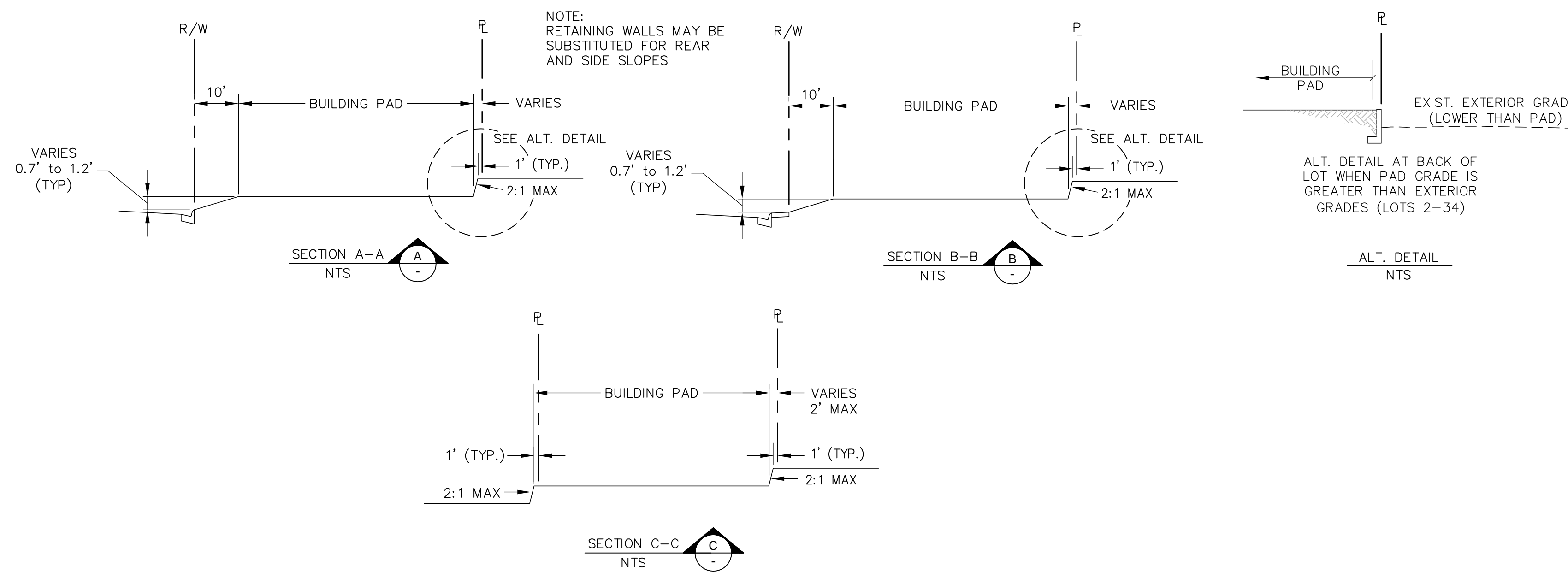
(WITHOUT SIDEWALK FRONTAGE)

(WITH SIDEWALK FRONTAGE)



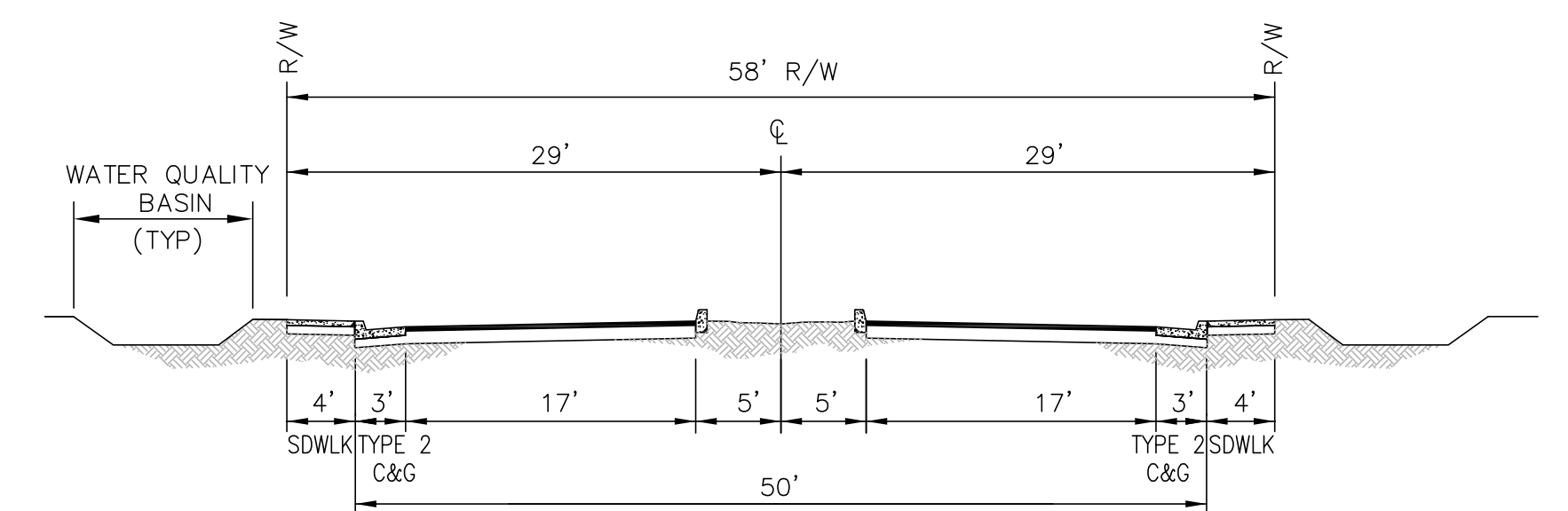
**TYPICAL ONSITE STREET SECTION  
MODIFIED 3-1 42' RIGHT OF WAY**

N.T.S.



**TYPICAL LOT GRADING DETAILS**

N.T.S.



**PROJECT ENTRANCE STREET SECTION**

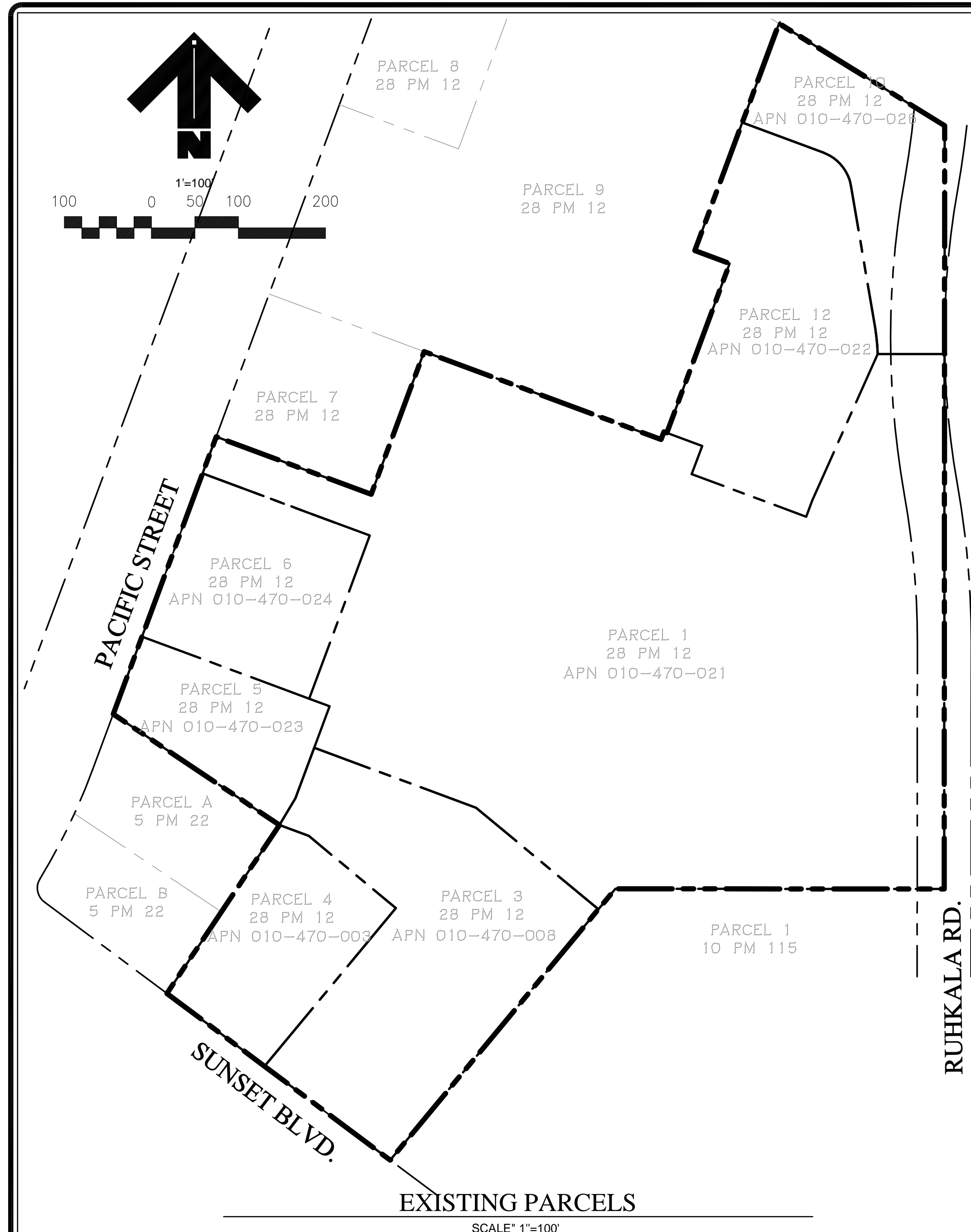
N.T.S.

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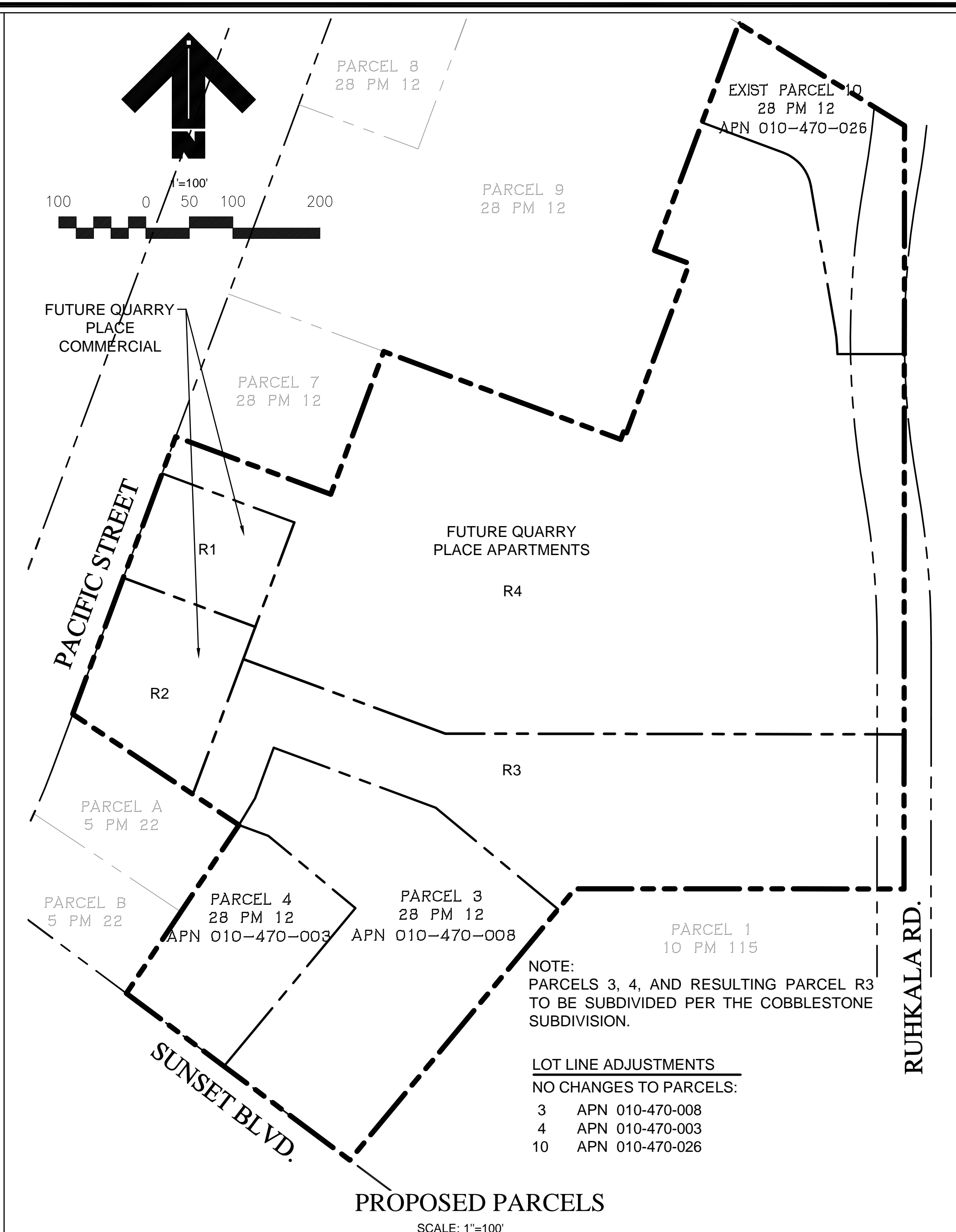


# COBBLESTONE LOT LINE ADJUSTMENT EXHIBIT ROCKLIN, CALIFORNIA

MARCH 2017  
SHEET 6 OF 6



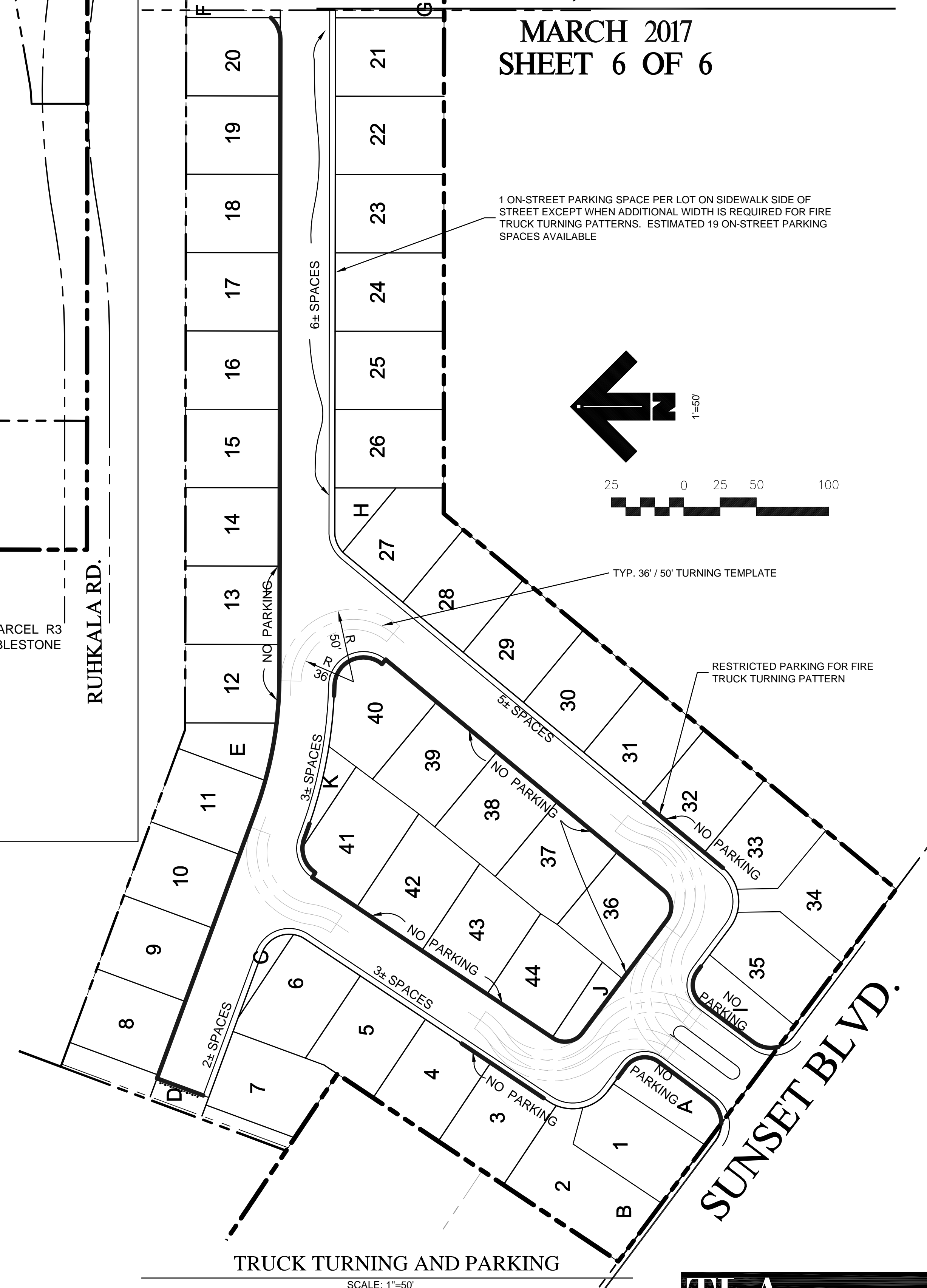
EXISTING PARCELS  
SCALE: 1"=100'



PROPOSED PARCELS  
SCALE: 1"=100'

NOTE:  
PARCELS 3, 4, AND RESULTING PARCEL R3  
TO BE SUBDIVIDED PER THE COBBLESTONE  
SUBDIVISION.

LOT LINE ADJUSTMENTS  
NO CHANGES TO PARCELS:  
3 APN 010-470-008  
4 APN 010-470-003  
10 APN 010-470-026



TRUCK TURNING AND PARKING  
SCALE: 1"=50'

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