



AGENDA
CITY OF ROCKLIN PLANNING COMMISSION
DATE: November 15, 2016
TIME: 6:30 PM
PLACE: Council Chambers, 3970 Rocklin Road
www.rocklin.ca.us

CITIZENS ADDRESSING THE COMMISSION

Citizens may address the Planning Commission on any items on the agenda, when the item is considered. Citizens wishing to speak may request recognition from the presiding officer by raising his or her hand and stepping to the podium when requested to do so. An opportunity will be provided for citizens wishing to speak on non-agenda items to similarly request recognition and address the Planning Commission. Three to five-minute time limits may be placed on citizen comments.

All persons with electronic presentations for public meetings will be required to bring their own laptop or other form of standalone device that is HDMI or VGA compatible. It is further recommended that presenters arrive early to test their presentations. The City is not responsible for the compatibility or operation of non-city devices or the functionality of non-city presentations.

ACCOMMODATING THOSE INDIVIDUALS WITH SPECIAL NEEDS

In compliance with the Americans with Disabilities Act, the City of Rocklin encourages those with disabilities to participate fully in the public hearing process. If you have a special need in order to allow you to attend or participate in our public hearing process or programs, please contact our office at (916) 625-5160 well in advance of the public hearing or program you wish to attend so that we may make every reasonable effort to accommodate you.

WRITTEN MATERIAL INTRODUCED INTO THE RECORD

Any citizen wishing to introduce written material into the record at the hearing on any item is requested to provide a copy of the written material to the Planning Department prior to the hearing date so that the material may be distributed to the Planning Commission prior to the hearing.

COURT CHALLENGES AND APPEAL PERIOD

Court challenges to any public hearing items may be limited to only those issues which are raised at the public hearing described in the notice or in written correspondence delivered to the City at or prior to the public hearing. (Government Code Section 65009)

There is a 10-day appeal period for most Planning Commission decisions. However, a Planning Commission approval of a tentative parcel map has a 15-day appeal period. Appeals can be made by any interested party upon payment of the appropriate fee and submittal of the appeal request to the Rocklin City Clerk or the Planning Department, 3970 Rocklin Road, Rocklin.

FURTHER INFORMATION

Any person interested in an agenda item may contact the Planning Staff prior to the meeting date, at 3970 Rocklin Road, Rocklin, CA 95677 or by phoning (916) 625-5160 for further information.

Any writing related to an agenda item for the open session of this meeting distributed to the Planning Commission less than 72 hours before this meeting is available for inspection at the Community Development Department, 3970 Rocklin Road, First Floor, Rocklin, during normal business hours. These writings will also be available for review at the Planning Commission meeting in the public access binder located at the back table in the Council Chambers.

INTRODUCTION

1. **Meeting called to Order**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Minutes**
 - a. Minutes of October 18, 2016
 - b. Minutes of November 1, 2016
5. **Correspondence**
6. **Citizens Addressing the Commission on Non Agenda Items**

CONSENT ITEMS

None

PUBLIC HEARINGS

7. **FIVE STAR GENERAL DEVELOPMENT PLAN AMENDMENT (Area 3) CONTINUED FROM OCTOBER 4, 2016
GENERAL DEVELOPMENT PLAN AMENDMENT, PDG2016-0003**

This application is a request for approval of a General Development Plan Amendment (zoning text amendment) to change liquor stores from a prohibited to a permitted land use. (Five Star General Development Plan Ordinance 704) The subject site is located on the southwest corner of Fairway Drive and Sunset Boulevard. APN 371-120-001. The property is zoned Planned Development Commercial (PD-C). The General Plan designation is Retail Commercial (R-C).

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15061 (b) (3) – general rule of no potential for causing significant effect – has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

The applicant is Akmal Zadran and the property owners are Tim and Cyndi Peach.

- a. Resolution of the Planning Commission of the City of Rocklin Recommending Approval of a Notice of Exemption (Five Star General Development Plan Amendment (Area 3) / PDG2016-0003)
- b. Resolution of the Planning Commission of the City of Rocklin Recommending Approval of an Ordinance Amending the Five Star General Development Plan For “Area 3” (Five Star General Development Plan Amendment (Area 3) / PDG2016-0003)

**8. PACIFIC POINTE (FORMER K-MART LAND USE CHANGES)
GENERAL PLAN AMENDMENT, GPA2016-0004
REZONE, Z2016-0003
ZONING ORDINANCE AMENDMENT, ZOA2016-0003**

This application is a request for approval of a General Plan Amendment, Rezone, and Zoning Ordinance Amendment to convert the General Plan and Zoning land use designations for portions of the existing Kmart shopping center's commercial land use from Retail Commercial (RC) and Retail Business (C-2) to High Density Residential (HDR) (25 to 30 dwelling units per acre) and Medium Density Residential (3.5 to 8.4 dwelling units per acre) with R-3 and R1-3.5 zoning as amended and/or established in the Rocklin Municipal Code by the Zoning Ordinance Amendment.

The subject site is located generally on the northeast corner of Pacific Street and Sunset Boulevard. APNs 010-470-003, 008, 021, 022, 023 (portion), 024 (portion), and 026.

A preliminary review of this project has tentatively identified that the project is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15060 (c)(2) – Activity is not subject to CEQA if it will not result in a direct or reasonably foreseeable indirect physical change in the environment.

The applicant is Ardie Zahedani with St. Anton Communities. The property owners are St. Anton Rocklin, LLC and Kmart Corporation.

- a. Resolution of the Planning Commission of the City of Rocklin Recommending Approval of an Ordinance Modifying Sections of Title 17 of the Rocklin Municipal Code Relating to Multi-Family and Small Lot Single-Family Zoning (Multi-Family and Small Lot Single-Family Zoning / ZOA2016-0003)
- b. Resolution of the Planning Commission of the City of Rocklin Recommending Approval of a General Plan Amendment to Change the Land Use Designation of an Approximately 15.7 Acre Site From Retail Commercial (RC) to Medium Density Residential (MDR) and High Density Residential (HDR) (Pacific Pointe / GPA2016-0004)
- c. Resolution of the Planning Commission of the City of Rocklin Recommending Approval of a Rezone of Portions of an Approximately 15.7 Acre Site From Retail Commercial (C-2) to Multi-Family Residential (R-3) and Single-Family Residential 3,500 Square Feet Minimum Lot Size (R1-3.5) (Pacific Pointe / Z2016-0003)

**9. DESIGN REVIEW CRITERIA AMENDMENT (ZOA2016-0002)
CITY OF ROCKLIN**

This is an amendment to the Citywide Design Review Criteria including the creation of Architectural Guidelines for four specific Districts within the City (i.e., Granite, Quarry, University and College).

The Design Review Criteria Amendment is initiated by the City of Rocklin and would be effective City-wide.

This activity is not subject to CEQA because pursuant to CEQA Guidelines Section 15060 (c) (3), the activity is not a project as defined in CEQA Guidelines Section 15378. While the proposed amendments to the Design Review Criteria will affect the look and characteristics of future development activities within the proposed Districts and other locations throughout the City as applicable, the adoption of the amended criteria is considered to be general policy and procedure making and does not propose any specific development plan or activity; therefore

the project will not result in a direct physical change or reasonably foreseeable indirect physical change in the environment.

- a. Resolution of the Planning Commission of the City of Rocklin Recommending Approval of a Resolution Amending Design Review Objectives and Criteria Under Rocklin Municipal Code Chapter 17.72 and Repealing Resolution Nos. 2008-37 and 2011-22 (Design Review Criteria Update/ZOA2016-0002)

NON PUBLIC HEARINGS

10. **Informational Items and Presentations - None**
11. **Reports and Discussion Items from Planning Commissioners**
12. **Reports from City Staff**
13. **Adjournment**

CITY OF ROCKLIN
 MINUTES OF THE PLANNING COMMISSION MEETING

October 18, 2016
 Rocklin Council Chambers
 Rocklin Administration Building
 3970 Rocklin Road
 (www.rocklin.ca.us)

1. Meeting Called to Order at 6:30 p.m.
2. Pledge of Allegiance was led by Commissioner McKenzie.
3. Roll Call

Commissioner Martinez
 Commissioner Sloan - *excused*
 Commissioner McKenzie
 Commissioner Whitmore

Others Present:

DeeAnne Gillick, Deputy City Attorney
 Laura Webster, Director of Long Range Planning
 Bret Finning, Planning Services Manager
 Nathan Anderson, Associate Planner
 Marc Mondell, Director of Economic & Community Development
 Dave Palmer, City Engineer
 David Mohlenbrok, Environmental Services Ops Manager
 Shauna Nauman, Assistant Planner
 Terry Stemple, Planning Commission Secretary

About 4 others

4. **Minutes** – Minutes of September 6, 2016 were approved as submitted
 Minutes of October 4, 2016 were approved as submitted
5. **Correspondence** - None
6. **Citizens Addressing the Commission on Non Agenda Items** – None

CONSENT ITEMS – None

PUBLIC HEARINGS

**7. PINE STREET TENTATIVE PARCEL MAP
 DIVISION OF LAND, DL2016-0004**

This application is a request for approval of a Tentative Parcel Map to allow the division of a 13,607 square foot parcel into two parcels. Parcel 1 is proposed at 8,807 square feet, and Parcel 2 at 5,520 square feet. A new 2,294 sq.ft. residence with 443 sq. ft. attached garage is currently under construction on proposed Parcel 1. The subject site is located on the northeast corner of Pine Street and Grove Street. APN 010-098-

005. The property is zoned Residential Single Family 5,000 Square Foot Minimum Lots (R1-5). The General Plan designation is Medium Density Residential (MDR).

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) Section 15315, Minor Land Divisions, has tentatively identified a Categorical Exemption as the appropriate level of environmental review for this project.

The applicant is Carlos Colon. The property owner is Alma Colon.

Nathan Anderson, Associate Planner, presented the staff report.

The Commission had questions for staff regarding:

- Purpose of jog in sidewalk
- Location of driveway

The Commission had no questions for the applicant.

The hearing was opened to the public for comment. There being none, the hearing was closed.

Commission Deliberation/Discussion:

Commissioner McKenzie stated he finds the project consistent with the general plan and zoning and supports the project.

Commissioner Whitmore stated he generally had no concerns and supports the project.

On a motion by Commissioner McKenzie and seconded by Commissioner Whitmore, Resolution of the Planning Commission of the City Of Rocklin Approving a Notice of Exemption (Pine Street Tentative Parcel Map / DL2016-0004) was approved by the following vote:

AYES: McKenzie, Whitmore, Martinez
 NOES: None
 ABSENT: Sloan
 ABSTAIN: None

On a motion by Commissioner McKenzie and seconded by Commissioner Whitmore, Resolution of the Planning Commission of the City of Rocklin Approving a Tentative Parcel Map (Pine Street Tentative Parcel Map / DL2016-0004) was approved by the following vote:

AYES: McKenzie, Whitmore, Martinez
 NOES: None
 ABSENT: Sloan
 ABSTAIN: None

**8. GENERAL PLAN AMENDMENT, PLACER COUNTY 2016 LOCAL MULTI-HAZARD MITIGATION PLAN (LHMP) UPDATE (GPA2016-0005)
CITY OF ROCKLIN**

The project is a General Plan Amendment to update the Community Safety Element of the General Plan to incorporate by reference the Placer County 2016 Local Multi-Hazard Mitigation Plan (LHMP) update consistent with the requirements of Disaster Mitigation Act of 2000 (DMA-2000), which requires local governments to update their LHMP every five years in order to be eligible for future federal disaster mitigation funding.

The General Plan Amendment is initiated by the City of Rocklin and would be effective City-wide.

The City of Rocklin’s Environmental Coordinator has reviewed the General Plan Amendment: Placer County 2016 Local Multi-Hazard Mitigation Plan (LHMP) Update project and has determined that the project as proposed will not cause a direct physical change in the environment, nor a reasonably foreseeable indirect physical change to the environment. The adoption of the LHMP therefore does not constitute the approval of a project under the California Environmental Quality Act (CEQA) and it is considered exempt from CEQA (Public Resources Code sections 15060 (c)(2)(3); 15061 (b)(3) and 15378 (a).).

David Mohlenbrok, Environmental Services Operations Manager, presented the staff report.

The Commission had questions for staff regarding:

- 1. Is jet fuel captured anywhere in the Transportation and Rail section

The hearing was opened to the public for comment. There being no comments, the hearing was closed.

Commission Deliberation/Discussion:

Commissioner Whitmore supports the adoption.

Commissioner McKenzie supports the adoption.

On a motion by Commissioner Whitmore and seconded by Commissioner McKenzie, Resolution of the Planning Commission of the City of Rocklin Recommending City Council Approval To Amend the City of Rocklin General Plan Community Safety Element to Incorporate by Reference The Placer County 2016 Local Multi-Hazard Mitigation Plan (LHMP) Update (General Plan Update: Placer County 2016 Local Multi-Hazard Mitigation Plan (LHMP) Update/GPA2016-0005) was approved by the following vote:

AYES: Whitmore, McKenzie, Martinez
NOES: None
ABSENT: Sloan
ABSTAIN: None

NON PUBLIC HEARINGS

9. SEE'S CANDIES AWNING SUBSTANTIAL COMPLIANCE - APPEAL OF STAFF DETERMINATION

Nathan Anderson, Associate Planner presented the staff report.

The Commission had questions for staff regarding:

1. Any deviations from other corporate entities within the center
2. Do existing awnings in center follow the prescribed color pallet

The applicant, Richard Escalante, Project Manager for See’s Candies addressed the Commission.

The Commission had questions for the applicant regarding:

1. Shopping Center internal review of awning.

The hearing was opened to the public for comment. There being no comments, the hearing was closed.

Commission Deliberation/Discussion:

Commissioner Whitmore stated he is concerned about setting precedents, however, he doesn’t find the proposed striped awning offensive and would support the proposed awning.

Commissioner McKenzie thanked See’s Candies for coming to Rocklin. He suggested possibly amending the general development plan for the color pallet in the shopping center to accommodate the awning. He understands staff’s compromise with solid black but beyond that, allowing stripes opens the door for polka dots, etc.

Commissioner Martinez concurred with Commissioner McKenzie’s comments. He does agree with staff’s compromise of the all black awning.

Commissioner Whitmore stated he disagrees with the other commissioner’s comments. He doesn’t believe amending the general development plan to allow deviations from the approved color palette would be supported by the Commission.

On a motion by Commissioner McKenzie and seconded by Commissioner Martinez, to uphold staff’s determination that the request is not substantially compliant with the General Development Plan.

AYES: McKenzie, Martinez
 NOES: Whitmore
 ABSENT: Sloan
 ABSTAIN: None

10. Informational Items and Presentations – None

11. Reports and Discussion Items from Planning Commissioners

Commissioner McKenzie mentioned that the Design Review Committee met last week.

Commissioner Martinez asked why the environmental approvals are now separate from the other actions. City Attorney DeeAnne Gillick explained that the environmental approvals have to be made prior to the substantive items.

12. Reports from City Staff

Marc Mondell mentioned the following:

- City Council will be meeting later in the week to select a new Planning Commissioner.
- Substantial compliance issues are dealt with frequently
- Architectural Committee will be appointed to meet twice a month. The committee will consist of 2 council members, 2 Planning Commissioners – appointed by the City Council and one staff member.

Commissioner Martinez asked staff if the KLOVE buildings had been painted recently. Staff reminded the Commission that painting does not require any kind of permit from the City, but stated they will look into it.

13. Adjournment

There being no further business brought before the Commission, the meeting was adjourned at 7:11 p.m.

Respectfully submitted,

Terry Stemple
Assistant City Clerk

*Approved at the regularly scheduled
Meeting of _____, 2016*

CITY OF ROCKLIN
 MINUTES OF THE PLANNING COMMISSION MEETING

November 1, 2016
 Rocklin Council Chambers
 Rocklin Administration Building
 3970 Rocklin Road
 (www.rocklin.ca.us)

1. Meeting Called to Order at 6:31 p.m.
2. Pledge of Allegiance was led by Commissioner McKenzie.
3. Roll Call

Chairman Sloan
 Vice Chairman Martinez - *excused*
 Commissioner McKenzie
 Commissioner Whitmore – *excused*
 Commissioner Gayaldo

Others Present:

DeeAnne Gillick, Deputy City Attorney
 Laura Webster, Director of Long Range Planning
 Bret Finning, Planning Services Manager
 Nathan Anderson, Associate Planner
 Marc Mondell, Director of Economic & Community Development
 Dave Palmer, City Engineer
 Terry Stemple, Planning Commission Secretary

About 4 others

4. Minutes – None
5. Correspondence - None
6. Citizens Addressing the Commission on Non Agenda Items – None

CONSENT ITEMS – None

PUBLIC HEARINGS

**7. NORTH WEST ROCKLIN GENERAL DEVELOPMENT PLAN TRIP CAPS TEXT AMENDMENT
 PDG-99-02 ET AL / PDG2016-0007**

The Northwest Rocklin General Development Plan Amendment (Trip Caps) project proposes an amendment to the North West Rocklin General Development Plan to modify traffic caps applied to land within the Highway 65 Corridor portion (approximately 528 acres) of the Northwest Rocklin General Development Plan area while still maintaining City of Rocklin traffic Level of Service standards. The proposed project does not include any specific development proposal or development activity.

The project site is generally located in the northwest portion of the City of Rocklin, specifically within the



Highway 65 Corridor (Development Areas 104-116) of the Northwest Rocklin General Development Plan. The area is generally bounded by State Route 65 (SR65) on the west, areas west of Wildcat Boulevard on the east, the Rocklin/Lincoln City Limits on the north, and Sunset Boulevard on the south. APN's of those sites involved in the modification include: 491-010-001 through 010; 491-010-012; 017-081-079, 085, and 088 through 089; 017-270-002 and 084 through 090; 017-081-091 and 092; 378-110-001 through 065; and 378-120-001 through 070. Current General Plan Land Use Designations include: Business Professional (BP), Recreation-Conservation, Retail Commercial (RC), Mixed Use (MU), Medium High Density Residential (MHDR) and Light Industrial (LI). Current Zoning includes: Planned Development-Business Professional/Commercial (PD-BP/C), Planned Development Commercial (PD-C), Planned Development-Business Professional (PD-BP), Open Space (OS), and Planned Development-Light Industrial (PD-LI).

Notice is hereby given that the City of Rocklin will consider adoption of a Mitigated Negative Declaration for the development project described above.

The applicants and property owners are Orchard Creek Investors LLC/Fulcrum, Evergreen Management Company and William Jessup University.

Laura Webster, Director of Long Range Planning, presented the staff report.

The Commission had questions for staff regarding:

- 1. Future reassessment possibility

Applicant, Nick Carter, Fulcrum Properties, addressed the Commission stating they support the amendment.

The Commission had no questions for the applicant.

The hearing was opened to the public for comment. There being none, the hearing was closed.

Commission Deliberation/Discussion:

Commissioner McKenzie supports the project.

Commissioner Gayaldo also supports the project.

Chairman Sloan concurred and supports the project.

On a motion by Commissioner McKenzie and seconded by Commissioner Sloan, Resolution of the Planning Commission of the City of Rocklin Recommending Approval of a Mitigated Negative Declaration of Environmental Impacts Northwest Rocklin General Development Plan Amendment (Trip Caps) (PDG2016-0007) was approved by the following vote:

AYES: McKenzie, Sloan, Gayaldo
NOES: None
ABSENT: Whitmore, Martinez
ABSTAIN: None



On a motion by Commissioner McKenzie and seconded by Commissioner Sloan, Resolution of the Planning Commission of the City of Rocklin Recommending Approval of the Eleventh Amendment to the General Development Plan For the North West Rocklin Area Replacing and Superseding Ordinances 941 And 1055 and Retaining Ordinance 932 (North West Rocklin General Development Plan Trip Caps Amendment / PDG-99-02 ET AL / PDG2016-0007)was approved by the following vote:

AYES: McKenzie, Sloan, Gayaldo
 NOES: None
 ABSENT: Whitmore, Martinez
 ABSTAIN: None

8. NON-CONFORMING PARCELS AND NOTICING ZONING ORDINANCE AMENDMENT, ZOA2016-0001

The proposed project would amend certain sections of Titles 16 and 17 of the Rocklin Municipal Code pertaining to development of nonconforming lots, as well as modify regulations pertaining to public hearing noticing requirements in order to increase consistency with the current California Government Code and for internal consistency throughout the Municipal Code.

The proposed revisions to the Rocklin Municipal Code are not “projects” under CEQA because they do not result in a direct or reasonably foreseeable indirect physical change in the environment, nor do they authorize the construction of any new structures or other physical changes to the environment. Therefore, this action is exempt under sections 15060(c)(2) and (3), 15061(b)(3), 15262, and 15378 of the State CEQA Guidelines.

The proposed Zoning Ordinance Amendment was initiated by the City of Rocklin and would be effective City-wide.

Nathan Anderson, Associate Planner, presented the staff report.

The Commission had questions for staff regarding:

1. Legally created parcels
2. Does anything preclude the city from a greater noticing area
3. Mainly older part of city

The hearing was opened to the public for comment. There being none, the hearing was closed.

Commission Deliberation/Discussion:

Commissioner McKenzie supports the changes as presented.

Commissioner Gayaldo also supports the changes as presented.

Chairman Sloan concurred and supports the changes.

On a motion by Commissioner McKenzie and seconded by Commissioner Sloan, Resolution of the Planning Commission of the City of Rocklin Recommending City Council Approval To Amend the City of Rocklin General Plan Community Safety Element to Incorporate by Reference The Placer County 2016 Local Multi-Hazard Mitigation Plan (LHMP) Update (General Plan Update: Placer County 2016 Local Multi-Hazard Mitigation Plan (LHMP) Update/GPA2016-0005) was approved by the following vote:

AYES: McKenzie, Sloan, Gayaldo
NOES: None
ABSENT: Sloan
ABSTAIN: None

NON PUBLIC HEARINGS

9. Reports and Discussion Items from Planning Commissioners - None

10. Reports from City Staff

- Bret Finning, Planning Services Manager welcomed Commissioner Gayaldo to the Planning Commission.
- The Commission inquired about the upcoming holiday time and Planning Commission meetings.
 - Bret replied that there will be a meeting on November 15th for sure. The two meetings in December will probably be cancelled, however at this point there could be a possibility of something ready to be put on an agenda.

11. Adjournment

There being no further business brought before the Commission, the meeting was adjourned at 7:02 p.m.

Respectfully submitted,

Terry Stemple
Assistant City Clerk

*Approved at the regularly scheduled
Meeting of _____, 2016*

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CITY OF ROCKLIN

MEMORANDUM

DATE: November 15, 2016

TO: Planning Commission

FROM: Marc Mondell, Economic and Community Development Director
Bret Finning, Planning Services Manager
Nathan Anderson, Associate Planner

RE: Five Star General Development Plan Amendment (PDG2016-0003)
Modified Amendment

At the hearing on October 4, 2016, the Planning Commission considered a General Development Plan Amendment to modify the allowed uses within “Area 3” of the Five Star General Development Plan to change “liquor stores” from a prohibited to a permitted land use. The staff report and exhibits from this meeting are included as Attachment 1.

The applicant for the project is the owner of Sunset Mart, which is a retail food market currently operating within “Area 3”. This store currently holds a Type 20 license with ABC, which allows sale of beer and wine for off-site consumption. According to the applicant, his intent is to acquire a Type 21 license, which would allow for sale of beer, wine, and liquor for off-site consumption, with the intent of using a small portion of his store for these products. The applicant has stated that his objective is not to make the sale of liquors the primary use of the store, but that he wants to dedicate a small portion of the shelving space for the convenience of his customers located in nearby residential neighborhoods.

During the hearing, staff stated that it was unclear why this use had been determined to be prohibited within the PDG. It was explained that ABC is the regulating authority for issuing licenses for the sale of alcoholic beverages. Because there were no objections from the Rocklin Police Department, and because the majority of commercially-zoned properties within the City allow “liquor stores” by right, staff recommended approval of the project to allow for consistent regulations within “Area 3” of the Five Star PDG.

During the public comment period, two members of the public spoke in opposition to the amendment. Both stated that they attended the 1994 public hearings when “Area 3” was established, and explained that the prohibition of “liquor stores” was community driven. Both stated that they did not support the proposed amendment because they felt it could negatively impact the surrounding neighborhoods.

During deliberation, the Planning Commission expressed concerns that modifying the PDG to allow a “liquor store” use could have undesirable consequences. Due to the fact that only three Planning Commissioners were present, the applicant agreed to the Planning Commission’s suggested option that the item be continued to November 15, 2016 and the applicant use the

opportunity to work with staff to address some of these potential concerns noted by the Planning Commission.

Modified Amendment

After working with staff, the applicant has requested to modify the amendment from what was previously proposed and presented to the Planning Commission on October 4. Rather than modify the allowance of “liquor stores” from a prohibited to a permitted use, the alternative proposal would instead modify the definition of “retail food market” under which the applicant’s store currently operates. Currently the PDG definition reads as follows:

“Retail food market” or “delicatessen” is a small retail food or specialty food store having no more than three thousand square feet of floor area. This store may not include gasoline sale pumps, the sale of hard liquors, or arcade or pinball type games.

The applicant is proposing to modify the definition to read:

“Retail food store (market or delicatessen)” is a small retail food or specialty store having no more than three thousand square feet in floor area. The sale of hard alcohol, for off-site consumption only, is permitted, but the display of hard alcoholic spirits may not exceed 15% of the floor area or shelving space available within the public areas of the store. The use shall not include gasoline sales pumps or arcade/pinball type games.

This modified use would allow for the applicant and any new businesses the opened consistent with the definition of retail food store to sell a limited amount of alcoholic spirits, but would require that the majority of the store area to continue to be utilized primarily for the sale of other items allowing the business to operate as more of a “one stop shop” for residents within the area.

Recommendation

As stated previously, “liquor store” is currently an allowed use by right in all C-2 and C-3 districts, as well as PD-C districts within the Sunset West, Northwest Rocklin, and Stanford Ranch General Development Plans. Although the Commission had trepidations regarding the modification of the Five Star PDG to allow undefined liquor stores, staff believes that a modification to the existing definition of “retail food market” would provide greater consistency with other commercial areas while minimizing many of the potential concerns expressed by the Commission. By limiting the floor area/shelving space to a maximum of 15%, coupled with the existing standard which does not allow operation of any use within the center between the hours of 10 pm and 7 am without approval of a Conditional Use Permit, staff does not believe there would be any negative impacts to the center or the surrounding neighborhood as a result of this amendment.

Further, modification of the PDG to allow the sale of liquor in a “retail food store” would not automatically result in the sale of hard liquors. It would only allow the owner of a retail food store the opportunity to apply for the review and potential approval of the appropriate liquor license, pending analysis by the State Department of Alcoholic Beverage Control (ABC), in association with the Rocklin Police Department.

Planning Commission Staff Report

Re: Five Star General Development Plan Amendment - Modified

November 15, 2016

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If the Planning Commission is supportive of the revised proposal staff has provided the following draft resolutions, incorporating the revisions described above, for recommendation to the City Council.

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF A NOTICE OF EXEMPTION (Five Star General Development Plan Amendment (Area 3)/PDG2016-0003)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF AN ORDINANCE AMENDING THE FIVE STAR GENERAL DEVELOPMENT PLAN FOR "AREA 3" (Five Star General Development Plan Amendment (Area 3)/PDG2016-0003)

Attachment

1. Planning Commission SR with original Exhibits (10/04/16)



City of Rocklin Economic and Community Development Department

**Planning Commission
STAFF REPORT**

**Five Star General Development Plan Amendment
General Development Plan, PDG2016-0003**

October 4, 2016

Recommendation

Staff recommends the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF A NOTICE OF EXEMPTION (Five Star General Development Plan Amendment/PDG2016-0003)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF AN ORDINANCE AMENDING THE FIVE STAR GENERAL DEVELOPMENT PLAN FOR "AREA 3" (Five Star General Development Plan Amendment/PDG2016-0003)

Proposal/Application Request

This application is a request for approval of an amendment to the Five Star General Development Plan to modify the allowed uses within "Area 3", also known as the Fairway Downs Shopping Center. The proposed modification would change "liquor stores" from a prohibited to a permitted land use.

Location

The subject property, known as "Area 3" of the Five Star General Development Plan, consists of six (6) parcels totaling approximately 5.13 acres (see Figure 1). The site is generally located at the southern intersection of Sunset Boulevard and Fairway Drive. APNs# 371-120-001 through 371-120-006.

Figure 1. Location Map



Surrounding uses outside of the shopping center are included as **Table 2**.

Table 2. Surrounding Uses

| | General Plan | Zoning | Existing Land Use |
|--------|---------------------------------------------------------------|----------------|-----------------------------------------|
| Site: | Retail Commercial (RC) | PD-C | Commercial shopping center |
| North: | Medium Density Residential (MDR) | PD-6 & PD-8 | Single-family residences |
| South: | Medium High Density Residential (MHDR) & MDR | PD-15 and R1-6 | Townhouses and single-family residences |
| East: | MDHR | PD-6 | Single-family residences |
| West: | Business Professional (BP) and High Density Residential (HDR) | PD-BP & PD-20 | Offices and condominiums |

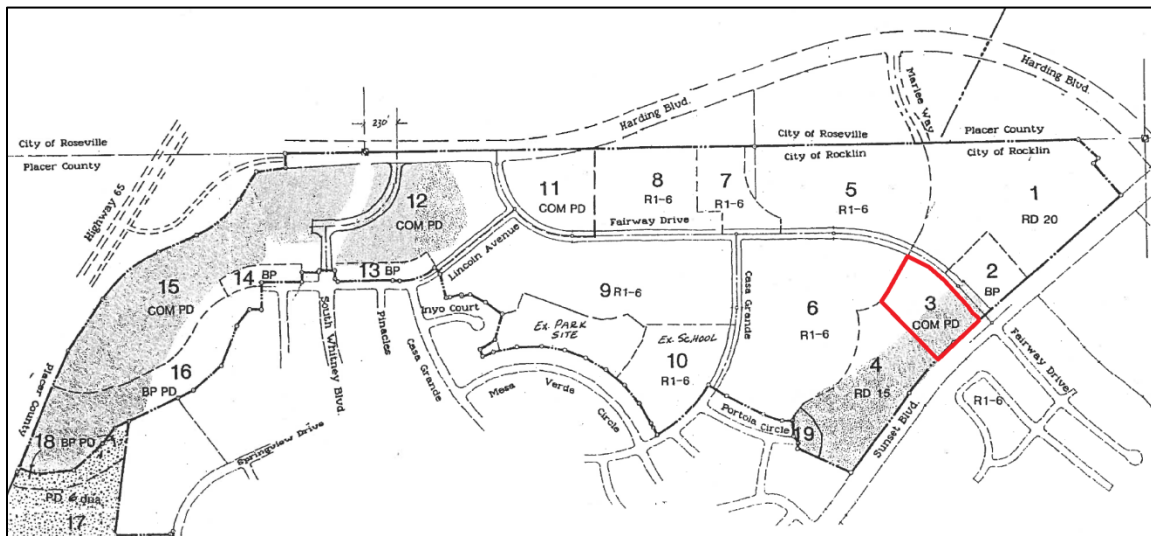
Applicant

The applicant is Akmal Zadrán.

Background and Site Characteristics

In 1987, the City Council approved a General Development Plan (PDG) for the Five Star Development (Ordinance No. 579). The full PDG contained approximately 60 acres designated for residential and commercial development (see Figure 2). The majority of the commercial areas within the PDG are located near Highway 65 along Five Star Boulevard, with the exception of “Area 3”. Area 3, which is located at the southeastern corner of Sunset Boulevard and Fairway drive, encompasses the entirety of the proposed amendment area for this project. This section of the PDG is shown in red on Figure 2.

Figure 2. Five Star Development PDG (1987)



In 1993, a tentative parcel map application was submitted to divide the five-acre “Area 3” into four parcels and a specific plan use permit (SPU) to develop one of the parcels with a mini storage facility. Although the application was consistent with the previously-approved PDG, the Planning Commission and the City Council found that the use was neither compatible nor appropriate with the surrounding residential neighborhood. Staff was directed by the Council to present a proposal for an amendment to the PDG for “Area 3”, which would provide for retail and personal service uses to serve the surrounding neighborhood.

In establishing a list of permitted land uses for “Area 3”, staff at the time analyzed uses that were allowed in all three commercial zones (C-1, C-2, and C-3) as well as the Business Professional (BP) zone, and considered how each related to noise, traffic, public safety, and other potential nuisance factors which could negatively affect nearby properties. As part of the analysis, several uses were listed as prohibited within “Area

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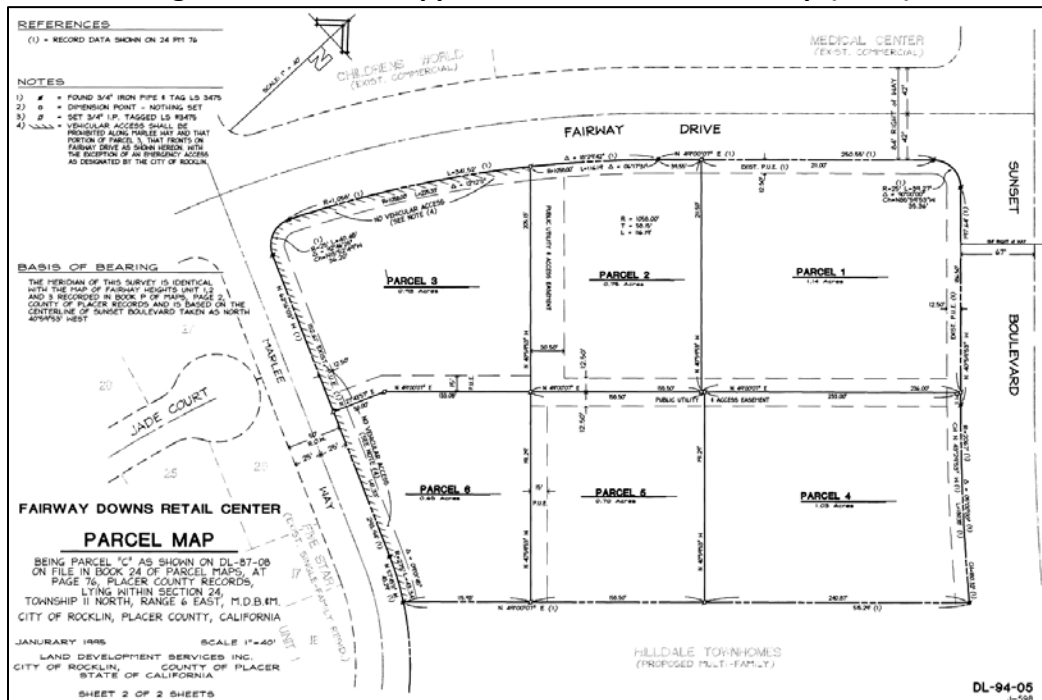
3”, including convenience stores and liquor stores. However, a “retail food store” was listed as a permit use, defined as follows:

“Retail food market” or “delicatessen” is a small retail food or specialty food store having no more than three thousand square feet of floor area. This store may not include gasoline sale pumps, the sale of hard liquors, or arcade or pinball type games.

The amendment to the PDG, which includes all permitted, conditionally permitted, and prohibited uses for “Area 3”, was approved via Ordinance No. 704 by City Council in 1994 (PDG-94-02) and has been included as **Attachment 1**.

In 1995, the Planning Commission approved a specific plan use permit (SPU-94-14) to construct a retail building with associated landscaping, parking, signage, etc. and a tentative parcel map to divide the 5-acre lot into six parcels (see **Figure 3**). This represents the current configuration of the site.

Figure 3. “Area 3” Approved Tentative Parcel Map (1995)



“Area 3” was subsequently developed with six commercial buildings, which make up the Fairway Downs Shopping Center. The center currently includes several commercial tenants consistent with the allowed uses as determined by the PDG, including Sunset Mart, which has been owned and operated by the project applicant since 2014. Sunset Mart, which is defined as a “retail food market” per the approved PDG, currently holds a

valid Type 20 license with ABC, which allows sale of beer and wine for off-site consumption.

In 2001, a similar amendment was proposed to remove the prohibition on hard liquor sales from the definition of a “retail food market” (PDG-2001-02). Staff recommended disapproval of the amendment at that time, stating that the request had the potential to create an incompatible use within the area, which was considered contrary to staff’s interpretation of Council direction from the original 1994 approval. Council disapproved the proposed amendment on July 10, 2001.

Discussion

The proposed General Development Plan Amendment would change “liquor stores” from a prohibited to a permitted use within “Area 3”. As amended, the sale of hard liquors for off-site consumption would no longer be prohibited by the PDG, but instead would be regulated by the Department of Alcoholic Beverage Control (ABC) and would be required to comply with all applicable protocols and procedures as part of the liquor license application process.

As part of this amendment, staff has proposed a consolidation of the four tables which previously comprised Section 2, Subsection 7, A through C (allowed use tables) to make them simpler and clearer. Rather than providing separate tables for permitted, conditionally permitted, and prohibited uses, they have been reorganized into one comprehensive table. The revised table is included as Table 3 and designates the allowance for each separate land use as either “P” – Permitted; “CUP” – Conditional Use Permit required; or “N” – Not Permitted.

As part of these revisions, staff also combined several different retail uses which were individually listed in the previous tables (bookstores, flower shops, gift shops, record stores, etc.) into a single “general retail” category. Some terminology was also updated to reflect current nomenclature (i.e. “church” has been replaced by “place of assembly”).

With the exception of “liquor stores” no land uses have been changed from a “Prohibited” to a “Permitted” use, or visa-versa, as part of these proposed revisions.

Table 3. Modified Use Table

| Land Use | Allowance |
|-----------------------------------------------|----------------|
| Any business operating between 10 pm and 7 am | CUP |
| Arcade | N |
| Auto body/paint shop | N |
| Auto sales/service | N |
| Automobile repair shop, light or heavy | N |
| Automobile service station | N |
| Bakery, donut shop | P |
| Bank | P |
| Barber/beauty shop | P |
| Billiard room | N |
| Bowling alley | N |
| Business-professional office | P |
| Church/Place of Assembly | P |
| Coin operated laundry, dry cleaner | P |
| Commercial parking lot | N |
| Convenience store | N |
| Creamery | N |
| Day care center preschool | P |
| Drive-thru restaurants | N |
| Drug store | P |
| Dry cleaner/laundry plan (onsite) | N |
| Exercise or athletic club/figure salon | P |
| Funeral home, mortuary | CUP |
| Gasoline station/fuel sales | N |
| General retail | P |
| Heavy equipment sales & service | N |
| Indoor skating rink | N |
| Liquor store | N P |
| Locker plant | N |
| Lodges & club houses | P |
| Mini-storage | N |
| Mobile push cart vending facility | CUP |
| Nursing homes, convalescent hospital | CUP |
| Outdoor dining (1+ table or 4+ chairs) | CUP |
| Outdoor display, such as a plant nursery | CUP |
| Outdoor storage & sales | N |

| | |
|----------------------------------------------------------|---|
| Photographer studio | P |
| Pick up station for laundry, dry cleaner | P |
| Plumbing shop | N |
| Pub. Utility buildings: storage yards, warehouses, shops | N |
| Small Electronics Repair | P |
| Restaurant, coffee shop | P |
| Retail food store (market/delicatessen) | P |
| Schools | P |
| Second hand goods store | P |
| Sex oriented entertainment businesses | N |
| Sheet metal shop | N |
| Shoe repair | P |
| Temporary businesses for recycling | N |
| Theaters (movie) | N |
| Tree surgeon establishments | N |
| Veterinary clinic | P |
| Wholesaling appurtenant to a permitted use | P |

Justification to Allow Liquor Stores

ABC is charged with the responsibility of issuing licenses for the sale of alcoholic beverages. The department can deny an application for a license if issuance of that license would create a law enforcement problem, based on the interpretation of the subject jurisdiction, or if issuance would result in or add an undue concentration of licenses to a specific area.

According to a letter received from the Chief of Police on July 18 (included as Attachment 2), the Police Department has no specific concerns regarding the proposed amendment’s potential to create a law enforcement problem. The modification of the PDG would not permit the sale of hard alcohol on the site, but would provide the mechanism to allow the appropriate review to take place. Because the potential sale of alcoholic beverages requires approval of the appropriate license from ABC (typically a Type 21 – Off-Sale General for sale of beer, wine, and liquor for off-site consumption), any future alcohol sales within “Area 3” would be analyzed through the licensing process on a case-by-case basis. In addition, the new license would require a Public Convenience and Necessity (PCN) study by the Rocklin Police Department and approval by ABC before any hard alcohol sales could commence. Therefore, there would still be several regulatory steps which would be required prior allowing operation of a liquor store, in accordance with State and local regulations.

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Applicant-Collected Signatures

As part of the application package, the project applicant submitted a neighborhood petition with the following statement:

Hello neighbors:

*For your convenience and in order to serve you better we decided to bring **hard liquor** into our store, we would like to get your opinion about the idea. Please show your support by entering your name and address here.*

The petition, which includes 72 signatures, has been included as Attachment 3.

Environmental Determination

Staff recommends approval of a Notice of Exemption for this project pursuant to California Code of Regulations Section 15061(b)(3) – General rule of no potential for causing significant effect.

General Plan Compliance

The project site is designated Retail Commercial (RC) within the Rocklin General Plan. The purpose of the RC land use designation is to provide areas for the location of retail and service establishments intended to meet the daily convenience needs of residents and visitors. The proposed General Development Plan amendment would modify the allowed land uses within the project area to provide for a broader range of uses and to reduce restrictions on the type of businesses that can be located within the shopping center. The new proposed use (liquor store) is typically allowed by right in retail commercial developments and is therefore compatible with the RC land use designation. Thus, the proposed amendment would be consistent with the Rocklin General Plan.

Zoning / General Development Plan Amendment

The project site is zoned Planned Development Commercial (PD-C). It is designated as "Area 3" within the Five Star General Development Plan area. When originally established in 1994, the operation of liquor stores within this area was expressly prohibited within the PDG.

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The proposed General Development Plan Amendment would modify Section 2, Subsection 7 of the Five Star General Development Plan to modify the list of land uses, thereby making liquor stores a permitted use.

As stated previously, this use is currently allowed by right in all C-2 and C-3 districts, as well as PD-C districts within the Sunset West, Northwest Rocklin, and Stanford Ranch General Development Plans without negative consequences. Further, modification of the PDG to remove the prohibition of liquor stores would not actually approve operation of any use. Instead, it would provide the mechanism for the review and potential approval of the use, pending further analysis and applicable licensing by the Department of Alcoholic Beverage Control, in association with the Rocklin Police Department.

Given the above, staff does not believe that there would be any significant impact to the shopping center or surrounding neighborhoods resulting from the approval of the proposed amendment. Staff therefore recommends that the Planning Commission recommend approval of the amendment.

Attachments

- 1) Ordinance No. 704: Five Star General Development Plan Area 3 (8/23/94)
- 2) Memorandum from Police Chief Lawrence (7/18/16)
- 3) Applicant-Submitted Neighborhood Petition

Prepared by Nathan Anderson, Associate Planner

ORDINANCE NO. 704

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKLIN
AMENDING SECTION 2(4) AND ADDING SECTION 2(7)
AND SECTION 2(8) TO ORDINANCE NO. 579
ADOPTING THE GENERAL DEVELOPMENT PLAN FOR
FIVE STAR DEVELOPMENT: PDG-87-03
(FIVE STAR AREA 3: PDG-94-02)

The City Council of the City of Rocklin does ordain as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. A negative declaration of environmental impacts for this project has been certified.

B. The proposed general development plan amendment is consistent with the City of Rocklin's General Plan land use element which designates the site as Retail Commercial.

C. The proposed general development plan amendment is consistent with and implements the policies of the City of Rocklin's General Plan, including the Housing Element.

D. The proposed area is physically suited to the uses authorized by the general development plan amendment.

E. The general development plan amendment is compatible with the land use/uses existing and permitted on the properties in the vicinity.

F. The land use/uses, and their density and intensity, allowed by the proposed general development plan amendment are not likely to create serious health problems or create nuisances on properties in the vicinity.

G. City has considered the effect of the proposed general development plan amendment on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

Section 2. The City Council of the City of Rocklin hereby approves the amendment to the General Development

Plan for Five Star Development, as shown on Exhibit A, attached hereto and incorporated by reference herein.

Section 3. Within 15 days of the passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Council members voting for and against the ordinance, to be published in the Placer Herald. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within 15 days, shall cause a summary of the ordinance, prepared by the City Attorney and with the names of the City Council members voting for and against the ordinance, to be published in the Placer Herald, and shall post in the office of the City Clerk a certified copy of the full text of the ordinance, along with the names of those City Council members voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code section 36993(c)(1) are met.

PASSED AND ADOPTED this 23rd day of August, 1994, by the following roll call vote:

| | | |
|----------|-----------------|--------------------|
| AYES: | Councilmembers: | Lund, Huson, Yorde |
| NOES: | Councilmembers: | Dominguez |
| ABSENT: | Councilmembers: | None |
| ABSTAIN: | Councilmembers: | Magnuson |

Vice Mayor

ATTEST:

City Clerk GDEVPAMT5394

First Reading : 7-12-94
 Second Reading: 8-23-94
 Effective Date: 9-23-94

EXHIBIT A

AMENDMENT TO ORDINANCE NO. 579
ADOPTING THE GENERAL DEVELOPMENT PLAN

Five Star Development Commercial Area 3
(PD(G) 94-02)

Section 1. Section 2(4) of City Council Ordinance No. 579 is amended to read as follows:

Uses allowed in commercial areas 11, 12, and 15 shall be the same as those allowed in the BP, C-1, C-2, and C-3 zones of the Rocklin Municipal Code.

Section 2. Section 2(7) is added to City Council Ordinance No. 579 to read as follows:

7. Uses within Area 3 of the Five Star Planned Development:

A. The following uses shall be permitted:

1) Retail business establishments; uses to be conducted within an enclosed building with no outside storage or display except that eating establishments shall be allowed one outside table and/or four (4) seats.

| | | |
|------------------------------------|---------------------------|---------------------------------------------|
| Antique store | Drug store | Restaurant, coffee shop |
| Arts & crafts, hobby shop | Flower shop | Retail food store* |
| Bakery, donut shop | Furniture store | Retail plant nursery |
| Bank | Gift shop | Second hand goods store |
| Book and periodical store | Hardware store | Soda fountain / ice cream shop |
| Business-professional office | Household appliance store | Toy store |
| Church | Jewelry store | Video store |
| Coin operated laundry, dry cleaner | Record, CD store | Wholesaling appurtenant to a permitted use. |
| Confectionery store | | |

*A retail food store located in the Five Star General Development Plan, Area 3, shall be defined as:

- "Retail food market" or "delicatessen" is a small retail food or specialty food store having no more than three thousand square feet of floor area. This store shall not include gasoline sales pumps, the sale of hard liquors, or arcade or pinball type games.

2) Personal service establishments; all uses to be conducted entirely within an enclosed building with no outside storage or display permitted.

| | | |
|------------------------------------------|------------------------------------------|-----------------------|
| Barber shop | Lodges & club houses | Radio, VCR, TV repair |
| Beauty shop | Photo shop | Schools |
| Day care center preschool | Photographer studio | Shoe repair |
| Exercise or athletic club / figure salon | Pick up station for laundry, dry cleaner | Veterinary clinic |

B. The following uses shall require a use permit:

| | | |
|-----------------------------------------------|---------------------------------------------------------------|-------------------------------------------|
| Any business operating between 10 pm and 7 am | Mobile push cart vending facility | Outdoor display, such as a plant nursery. |
| Funeral Home, Mortuary | Outdoor dining with more than one table or more than 4 chairs | Nursing Homes, Convalescent Hospital |

C. The following uses shall be prohibited:

| | | |
|----------------------------------------|--------------------------------------------|-----------------------------------------------------------|
| Arcade | Creamery | Mini-storage |
| Auto body / paint shop | Drive-thru restaurants | Outdoor storage & sales |
| Automobile repair shop, light or heavy | Dry cleaner / laundry plant (done on site) | Plumbing shop |
| Auto sales/service | Gasoline Station | Pub. utility buildings: storage yards, warehouses, shops) |
| Automobile service station | Heavy equipment sales & service | Sex oriented entertainment businesses |
| Billiard room | Indoor skating rink | Sheet metal shop |
| Bowling alley | Liquor store | Temp. businesses for recycling |
| Commercial parking lot | Locker plant | Theaters (movie) |
| Convenience store | Massage parlor | Tree surgeon establishments |

Per 58731

D. Uses which are not listed in any of the above categories shall be subject to review by the Community Development Director, who shall assign the use to the appropriate category, based on the following findings:

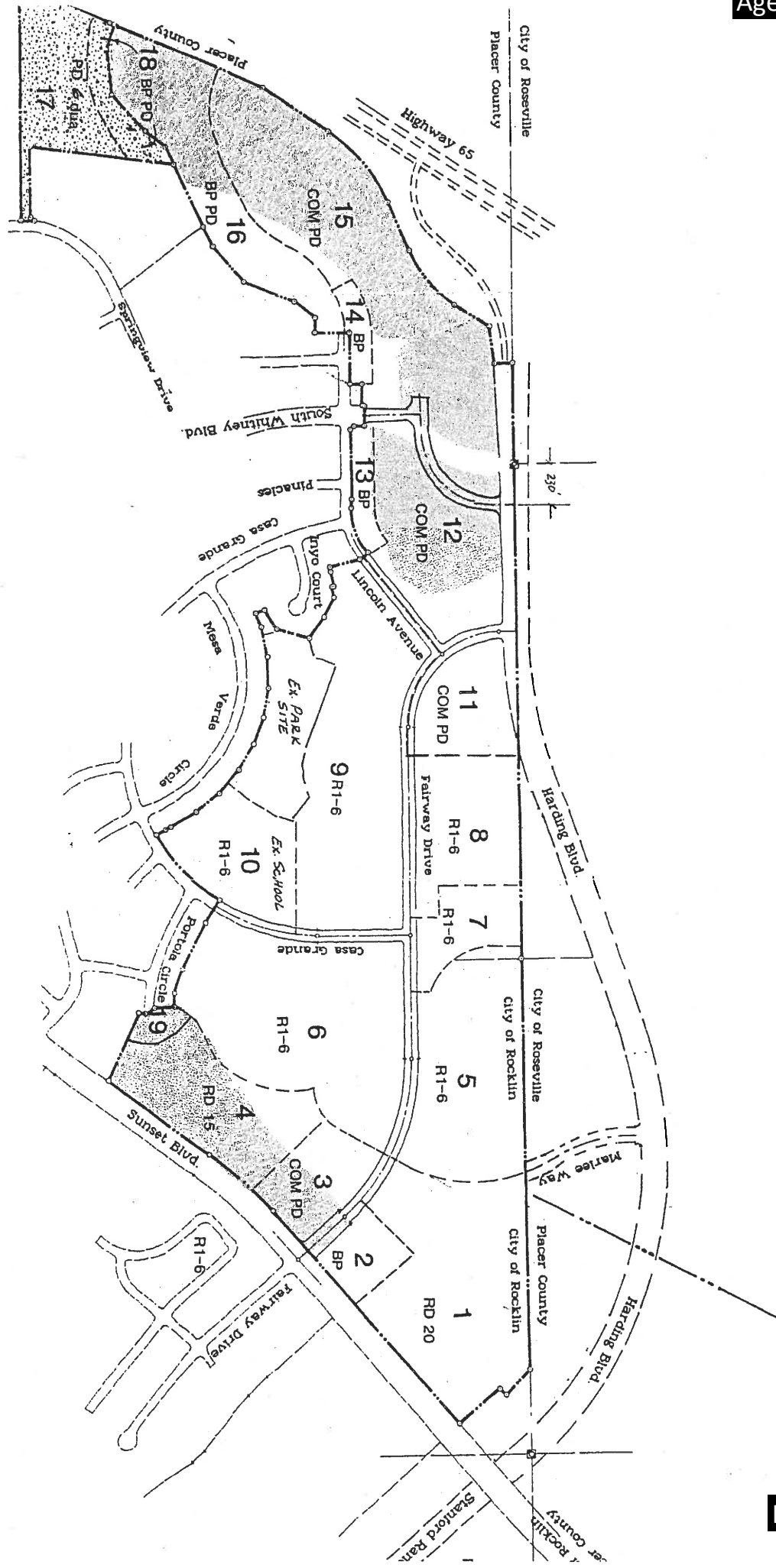
- 1) That the use is substantially similar in character to a use or uses within the appropriate category of the General Development Plan and zoning applicable to the property;

Section 3. Section 2(8) is added to City Council Ordinance No. 579 to read as follows:

8. Marlee Way Driveways:

Use of the Marlee Way frontage for driveway access to the site is strongly discouraged, but may be approved upon a showing that it is necessary to provide proper and adequate access to the site; it can be designed to operate safely; and it is necessary to avoid traffic safety problems on Fairway Drive. If access is approved on this frontage, it shall be located on the western end of Marlee Way across from the residential lots that do not front on Marlee Way, provided that an emergency access to the site may be located anywhere on Marlee Way.

KHB/gbl
e:\clerk\ord\pdg9402a
Revised 7/14/94





MEMORANDUM

To: Marc Mondell, Director of Economic and Community Development

From: Ron Lawrence, Chief of Police
By Chad Butler, Police Captain *CB*

Date: July 18th, 2016

Subject: FIVE STAR GENERAL DEVELOPMENT PLAN AMENDMENT (Area 3) GENERAL DEVELOPMENT PLAN AMENDMENT, PDG2016-0003
Request for Comments by Police Dept.

BACKGROUND:

This memorandum is in reference to the request for comments from the Police Department on the FIVE STAR GENERAL DEVELOPMENT PLAN AMENDMENT (Area 3) GENERAL DEVELOPMENT PLAN AMENDMENT, PDG2016-0003 proposal.

The comments contained in this public safety analysis are exclusive to matters of public protection, potential traffic safety hazards, and possible impacts to Police Department operations. The recommendations may include mitigating suggestions that could alleviate public safety concerns.

FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

Alcohol, Tobacco, Gaming, Massage, Firearms, Explosives & other Local/State/Federal Regulations

- This proposal does not include whole-sales or retail-sales of alcohol as regulated by California Business and Professions Code (B&P) §25658, 23300, & 23025, and therefore a more detailed *Public Convenience or Necessity* (PCN) analysis for State ABC licensing was not conducted.
- X This proposal does not include any retail license sales of tobacco, regulated by the California State Board of Equalization (BOE), and does not present concerns related to B&P Section §22952, or California Penal Code (PC) section §308.
- X This proposal does not include any legalized gaming as described in California Constitution Article IV, Legislative, Sec. 19, or California B&P §19800 et seq, Gambling Control Act.
- X This proposal does not include any form of therapeutic massage as described in the California Massage Therapy Act, regulated by B&P §4600, Calif. Government Code (GCG) §51030-51034, and the Rocklin Municipal Code (RMC) Chapter §5.20.
- X This proposal does not include firearms sales requiring licensing pursuant to PC §26700 & 26715.
- X This proposal does not include any element of explosives regulated by Title 18, U.S. Code, Sec. 1102, Chapter 40 - Importation, Manufacture, Distribution & Storage of Explosive Materials, or regulated by Calif Code of Regulations (COR), Title 19, Division 1, Chapter 10 (explosives), or COR, Title 19, Division 1, Chapter 6 (fireworks).

- X This proposal does not require additional traffic impact analysis by the Traffic Committee chaired by the Office of the Chief of Police pursuant to RMC §10.08.020 & 10.08.030.
- X This proposal does appear to be consistent with current local, state and federal laws/statutes regulating criminal law, including the Rocklin Municipal Code (RMC).

Conclusions:

This proposal to amend the Five Star General Development Plan to allow for the sale of spirits (hard liquor) at an establishment that currently only sells beer and wine would be a change in license type per the California Alcohol Beverage Control (ABC). Because of the change in license type, this new license request would require a public convenience and necessity (PCN) study by the police department and approval by the California Alcohol Beverage Control (ABC) before selling spirits could commence, even if the amendment to the general development plan is approved by Council.

Recommendations:

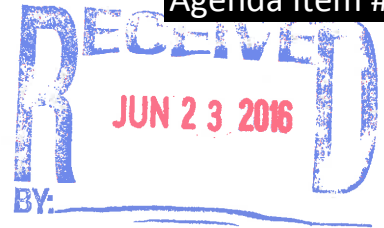
The Police Department has no specific input regarding the general plan amendment as requested. If the amendment is approved by Council, the applicant is then required to go through a new liquor license approval process through their local Alcohol Beverage Control (ABC) office. Part of the application process would then include a public convenience and necessity (PCN) study by our department.



Ronald A. Lawrence
Chief of Police

Attachments: None

Sunset Mart



Hello neighbors:

For your convenience and in order to serve you better we decided to bring **Hard Liquor** into our store, we would like to get your opinion about the idea. Please show your support by entering your name and address here.

| Name | Address |
|---------------------|-----------------------------------------|
| M.A. Zadvan | 3305 Marlee way unit 8 Rocklin CA 95677 |
| D. Edwards | 3540 Willard Way Rocklin, CA 95677 |
| Eddy Cervantes | 7141 Sceptre Dr Rocklin |
| Paul VanHieu | Putter CT |
| Justin Diller | 3323 Marlee Way, Rocklin CA 95677 |
| Sean Byman | 5229 Fairway Ct Rocklin CA 95677 |
| Liam Agnew | 5835 INYO Ct Rocklin CA 95677 |
| Tara Bartwell | 5302 Par Pl. Rocklin, CA 95677 |
| GARY DISPERSE | 3351 MARLEE WAY, ROCKLIN CA 95677 |
| Kev Ambrose | 6311 EMBERD DR. ROCKLIN CA 95677 |
| Tiffany Hager | 2651 Sunset Blvd #301 Rocklin CA 95677 |
| Lawrence Garcia | 3609 Amethyst Dr. Rocklin CA 95677 |
| William Mitchell II | 2651 Sunset Blvd #107 Rocklin CA 95677 |

Sunset Mart

Hello neighbors:

For your convenience and in order to serve you better we decided to bring **Hard Liquor** into our store, we would like to get your opinion about the idea. Please show your support by entering your name and address here.

| Name | Address |
|------------------|--------------------------------------------|
| James Murphy | 5303 Fairway Dr Rocklin Ca 95677 |
| Jenn Auld | 5301 Topaz Ave 95677 |
| Charles Hooker | 3500 Amethyst Ct Rocklin Ca 95677 |
| John Gross | 205 Beachcomber Dr Rocklin CA 95677 |
| KARAMISH DIACANE | 608 HORIZON COVE, ROCKLIN, CA, 95677 |
| Mike Sayers | 2302 Putter Ct. Rocklin - 95677 |
| Cody Batstone | 316 Beachcomber Dr Rocklin 95677 |
| Megan Hamblin | 2302 Putter Ct Rocklin 95677 |
| DANNY TRAUGHBER | 6434 EMERALD DR. ROCKLIN, CA |
| Jordan Cano | 3632 Amethyst Dr. 95677 |
| Bryan Wenzel | 3353 Marlee Way Unit 120 Rocklin, CA 95677 |
| Sean Silva | 3303 Marlee Way Unit 4 Rocklin CA 95677 |
| Jordan Davis | 3618 Amethyst Dr Rocklin 95677 |

Sunset Mart

Hello neighbors:

For your convenience and in order to serve you better we decided to bring **Hard Liquor** into our store, we would like to get your opinion about the idea. Please show your support by entering your name and address here.

| Name | Address |
|--------------------|------------------------------------|
| BRYAN DESOTO | 6201 CAMEO DR. ROCKLIN 95677 |
| Jeremy Buri | 4822 El Cortez Dr. Rocklin 95677 |
| CHRISTOPHER GEORGE | 2530 CASA GRANDE CT. 95677 |
| Arwedo, Ryan | 6019 Marlee Court 95677 |
| MICHAEL SULT | 5308 FAIRWAY DR. ROCKLIN 95677 |
| Kim M Eatmon | 5134 Par Place Rocklin 95677 |
| Lewis Morse | 5537 Portola cir. Rocklin, 95677 |
| JOHN TINKER | 5327 Par Place Rocklin 95677 |
| Mark Walsh | 6110 Marlee Circle Rocklin 95677 |
| Dylan Villalobos | 107. King Rd. Roseville CA, 95678. |
| Rehee Morse | 5537 Portola Cir Rocklin 95677 |
| NICK SCHWACKER | 5233 FAIRWAY CT. ROCKLIN 95677 |
| | |

Sunset Mart

Hello neighbors:

For your convenience and in order to serve you better we decided to bring **Hard Liquor** into our store, we would like to get your opinion about the idea. Please show your support by entering your name and address here.

| Name | Address |
|---------------|-------------------------------------|
| BRAD FATMAN | 5136 PAR PLACE, ROCKLIN, CA. 95677 |
| Pencee Morse | 5537 Portola cir. Rocklin CA 95677 |
| Nicholas Eli | 5578 Coronado way Rocklin 95677 |
| Dana Reed | 5556 Portola Cir Rocklin 95677 |
| Aaron Reed | 302 ridge view circle 95677 Rocklin |
| Tim Reed | 5556 Portola circle Rocklin 95677 |
| Arthur Wilson | 3694 Emerald P. Rocklin 95677 |
| | |
| | |
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| | |

Sunset Mart

Hello neighbors:

For your convenience and in order to serve you better we decided to bring **Hard Liquor** into our store, we would like to get your opinion about the idea. Please show your support by entering your name and address here.

| Name | Address |
|-------------------|--------------------------------|
| Denise Marengo | 6006 Turquoise Dr. Rocklin |
| Jim Braden | 2308 Potter Ct. Rocklin Ca. |
| Cody Merrill | 5576 Butano way Rocklin |
| Linda Vicente | 3501 Amethyst St. Rocklin Ca |
| Alex Ingram | 3633 Amethyst Dr. |
| Josh Meyers | 5733 River Run Cir |
| TERRY MURPHY | 3009 Beachcomber DR. E. |
| Sylvia Singh | 608 Horizon Cove Rocklin CA |
| * DAVE CARPENTER | 2333 Eagle Ct Rocklin Ca 95677 |
| Godmud | 512 Butano way |
| Shawnta Carpenter | 2333 Eagle Ct. 95677 |
| Chris Tacka | 5315 Fairway Drive 95677 |
| Justin Farquary | 5725 Fairway Ct. 95677 |

Sunset Mart

Hello neighbors:

For your convenience and in order to serve you better we decided to bring **Hard Liquor** into our store, we would like to get your opinion about the idea. Please show your support by entering your name and address here.

| Name | Address |
|------------------|--------------------------------------------------|
| BRAD FATMON | 5136 PAR PLACE, ROCKLIN, CA. 95677 |
| Pence Morse | 5537 Portola cir. Rocklin CA 95677 |
| Nicholas Eli | 5578 Coronado way Rocklin 95677 |
| Dana Reed | 5556 Portola Cir Rocklin 95677 |
| Aaron Reed | 302 ridge view circle 95677 Rocklin |
| Tim Reed | 5556 Portola circle Rocklin 95677 |
| Andrew Wilson | 3694 Emerald Cr. Rocklin 95677 |
| Carm Johnson | 3499 Leland St Rocklin 95760 |
| Cristian Schopen | 2651 Sunset Blvd. Rocklin 95677 |
| Juan Dwyer | 2651 Sunset Blvd Rocklin 95677 |
| Elsie Johnson | 6417 Emerald Dr. Rocklin 95677 |
| Rozzie Knaut | She 2340 Swetzer Rd. Pennryn CA 95268 |
| Sally Dwyer | 608 Horizon Court, Rocklin, CA 95677 |

Sunset Mart

Hello neighbors:

For your convenience and in order to serve you better we decided to bring **Hard Liquor** into our store, we would like to get your opinion about the idea. Please show your support by entering your name and address here.

| Name | Address |
|-------------|--------------------------|
| Dan Gayaldo | 3810 Diamond Ct. Rocklin |
| | |
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RESOLUTION NO. 2016-

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN
RECOMMENDING APPROVAL OF A NOTICE OF EXEMPTION
(Five Star General Development Plan Amendment (Area 3)/PDG2016-0003)

WHEREAS, the City of Rocklin’s Environmental Coordinator has reviewed the Five Star General Development Plan Amendment project (“Project”) and determined that it is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15061 (b) (3) – General rule of no potential for causing significant effect; and

WHEREAS, a Notice of Exemption has been prepared for the Project.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Rocklin as follows:

Section 1. Based on the review and determination of the Environmental Coordinator, the Planning Commission of the City of Rocklin finds that the Project is exempt from review under the California Environmental Quality Act.

Section 2. A Notice of Exemption is recommended for approval for the Project.

Section 3. Upon approval of the Project by the City Council, the Environmental Coordinator may file the Notice of Exemption with the County Clerk of Placer County and, if the Project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to the provisions of Section 21152(b) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.

PASSED AND ADOPTED this ___ day of _____, 2016, by the following vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
ABSTAIN: Commissioners:

Chairman

ATTEST:

Secretary

NOTICE OF EXEMPTION

TO: County Clerk, County of Placer
 2954 Richardson Blvd.
 Auburn, CA 95604-5228

FROM: City of Rocklin
 ECD Department
 3970 Rocklin Road
 Rocklin, CA 95677

Project Title: Five Star General Development Plan Amendment (Area 3)/PDG2016-0003

Project Location - Specific: The southerly corner of the intersection of Sunset Boulevard and Fairway Drive, APNs 371-120-001 through 371-120-006.

Project Location - City: Rocklin, CA; **County:** Placer

Description of Nature, Purpose and Beneficiaries of Project: This application is a request for approval of a General Development Plan Amendment (zoning text amendment) to modify the definition of the “retail food market” use to allow the sale of hard alcohol within limited portions of the existing tentant spaces. (Five Star General Development Plan Ordinance 704, APNs 371-120-001 through 371-120-006)

Name of Public Agency Approving Project:

City of Rocklin City Council

Name of Person or Agency Carrying Out Project

The applicant is Akmal Zadrán, 2600 Sunset Boulevard, Suite 101, Rocklin, CA 95677, (916) 415-1533.

Exempt Status (Check one)

General rule of no potential for causing significant impact (California Code of Regulations Sec. 15061 (b) (3)).

Reasons why the project is exempt. The project is exempt as indicated above because pursuant to CEQA Guidelines Section 15061 (b) (3), the activity (project) is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. The project as proposed is consistent with the exemption description noted above and is exempt pursuant to Section 15061 (b) (3) of the CEQA Guidelines.

Contact Person: Marc Mondell, Economic and Community Development Department Director

Date received for Filing: _____

Signature: Marc Mondell, Economic and Community Development Department Director

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RESOLUTION NO. PC-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN
RECOMMENDING APPROVAL OF AN ORDINANCE AMENDING THE FIVE STAR GENERAL
DEVELOPMENT PLAN FOR AREA 3

(Five Star General Development Plan Amendment (Area 3)/PDG2016-0003)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. A Notice of Exemption of Environmental Impacts has been recommended for approval for this project via Planning Commission Resolution No. PC- [REDACTED].

B. The General Development Plan Amendment, PDG2016-0003, amends in its entirety Section 2, Subsection 7 of the Five Star General Development Plan, originally adopted by Ordinance 579 and amended by Ordinance 704, to modify the list of prohibited land uses applicable only to Area 3 of the Five Star General Development Plan (the Fairway Downs Shopping Center); Assessor's Parcel Numbers 371-120-001 through -006.

C. The area is physically suited to the uses authorized in the proposed general development plan amendment.

D. The proposed general development plan amendment is compatible with the land uses existing and permitted on the properties in the vicinity.

E. The land uses, and their density and intensity, allowed in the proposed general development plan amendment are not likely to create serious health problems or create nuisances on properties in the vicinity.

F. The Planning Commission has considered the effect of the proposed general development plan amendment on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

Section 2. The Planning Commission of the City of Rocklin hereby recommends City Council approval of the general development plan amendment in the form as shown on Attachment 1, attached hereto and incorporated by reference herein.

PASSED AND ADOPTED this th day of , , by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

Chairman

ATTEST:

Secretary

ATTACHMENT 1

ORDINANCE NO.

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKLIN
AMENDING THE FIVE STAR GENERAL DEVELOPMENT PLAN FOR AREA 3

(Five Star General Development Plan Amendment [Area 3]/PDG-2016-0003)

The City Council of the City of Rocklin does ordain as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. The General Development Plan Amendment, PDG2016-0003, amends in its entirety Section 2, Subsection 7 of the Five Star General Development Plan, originally adopted by Ordinance 579 and amended by Ordinance 704, to modify the list of permitted, conditionally permitted, and prohibited land uses applicable only to Area 3 of the Five Star General Development Plan (the Fairway Downs Shopping Center); Assessor's Parcel Numbers 371-120-001 through -006.

B. A Notice of Exemption has been approved for this project via City Council Resolution No. [REDACTED].

C. The proposed general development plan amendment is consistent with the City of Rocklin's General Plan land use element which designates the site as Retail Commercial.

D. The proposed general development plan amendment is consistent with and implements the policies of the City of Rocklin's General Plan, including the Housing Element.

E. The proposed area is physically suited to the uses authorized by the general development plan amendment.

F. The general development plan amendment is compatible with the land use/uses existing and permitted on the properties in the vicinity.

G. The land use/uses, and their density and intensity, allowed by the proposed general development plan amendment are not likely to create serious health problems or create nuisances on properties in the vicinity.

H. The City has considered the effect of the proposed general development plan amendment on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

Section 2. The City Council of the City of Rocklin hereby approves a General Development Plan Amendment (Five Star General Development Plan Amendment/PDG2016-0003) to amend Section 2, Subsection 7 of the Five Star General Development Plan, as shown on Exhibit 1, attached hereto and incorporated by reference herein.

Section 3. Within 15 days of the passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Council members voting for and against the ordinance, to be published in the Placer Herald. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within 15 days, shall cause a summary of the ordinance, prepared by the City Attorney and with the names of the City Council members voting for and against the ordinance, to be published in the Placer Herald, and shall post in the office of the City Clerk a certified copy of the full text of the ordinance, along with the names of those City Council members voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code section 36933(c)(1) are met.

PASSED AND ADOPTED this day of , , by the following roll call
vote:

AYES: Councilmembers:

NOES: Councilmembers:

ABSENT: Councilmembers:

ABSTAIN: Councilmembers:

Greg Janda, Mayor

ATTEST:

City Clerk

First Reading:
Second Reading:
Effective Date:

EXHIBIT 1

**THE FIVE STAR GENERAL DEVELOPMENT PLAN
IS HEREBY AMENDED AS FOLLOWS:**

Section 1. Section 2, Subsection 7 of the Five Star General Development Plan (originally approved via Ordinance 579 and amended by Ordinance 704) is amended to modify the prohibited land uses applicable in the Fairway Downs Shopping Center; Assessor’s Parcel Numbers 371-120-001 through -006. The provisions of this amendment shall not be applicable outside of Area 3.

Section 2. The Five Star General Development Plan Section 2, Subsection 7 shall be amended to read as follows:

7. Uses within Area 3 of the Five Star Planned Development:

A. The following uses shall be considered to be Permitted (P), permitted with a Conditional Use Permit (CUP), or Not Permitted (N); all uses to be conducted within an enclosed building with no outdoor storage or display except as specifically listed:

| Land Use | Allowance |
|-----------------------------------------------|------------------|
| Any business operating between 10 pm and 7 am | CUP |
| Arcade | N |
| Auto body/paint shop | N |
| Auto sales/service | N |
| Automobile repair shop, light or heavy | N |
| Automobile service station | N |
| Bakery, donut shop | P |
| Bank | P |
| Barber/beauty shop | P |
| Billiard room | N |
| Bowling alley | N |
| Business-professional office | P |
| Church/Place of Assembly | P |
| Coin operated laundry, dry cleaner | P |
| Commercial parking lot | N |
| Convenience store | N |

| | |
|----------------------------------------------------------|-----|
| Creamery | N |
| Day care center preschool | P |
| Drive-thru restaurants | N |
| Drug store | P |
| Dry cleaner/laundry plan (onsite) | N |
| Exercise or athletic club/figure salon | P |
| Funeral home, mortuary | CUP |
| Gasoline station/fuel sales | N |
| General retail | P |
| Heavy equipment sales & service | N |
| Indoor skating rink | N |
| Liquor store | N |
| Locker plant | N |
| Lodges & club houses | P |
| Mini-storage | N |
| Mobile push cart vending facility | CUP |
| Nursing homes, convalescent hospital | CUP |
| Outdoor dining (more than 1 table/more than 4 chairs) | CUP |
| Outdoor display, such as a plant nursery | CUP |
| Outdoor storage & sales | N |
| Photographer studio | P |
| Pick up station for laundry, dry cleaner | P |
| Plumbing shop | N |
| Pub. Utility buildings: storage yards, warehouses, shops | N |
| Small Electronics Repair | P |
| Restaurant, coffee shop | P |
| Retail food store (market/delicatessen/specialty foods)* | P |
| Schools | P |
| Second hand goods store | P |
| Sex oriented entertainment businesses | N |
| Sheet metal shop | N |
| Shoe repair | P |
| Temporary businesses for recycling | N |
| Theaters (movie) | N |
| Tree surgeon establishments | N |
| Veterinary clinic | P |
| Wholesaling appurtenant to a permitted use | P |

**“Retail food store (market or delicatessen)” is a small retail food or specialty store having no more than three thousand square feet in floor area. The sale of hard alcohol, for off-site consumption only, is permitted, but the display of hard alcoholic spirits may not exceed 15% of the floor area or shelving space available within the public areas of the store. The use shall not include gasoline sales pumps or arcade/pinball type games.*

- B. Uses which are not listed in any of the above categories shall be subject to review by the Director of Economic & Community Development Department, who shall assign the use to the appropriate category, based on the following findings:
- 1) That the use is substantially similar in character to a use or uses within the appropriate category of the General Development Plan and zoning applicable to the property.



City of Rocklin Economic and Community Development Department

**Planning Commission
Staff Report**

PACIFIC POINTE (KMART REDEVELOPMENT SITE)

**ZONING ORDINANCE TEXT AMENDMENT, ZOA2016-0003 and
GENERAL PLAN AMENDMENT, GPA2016-0004
RE-ZONE, Z2016-0003**

November 15, 2016

Recommendation

Staff recommends the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF AN ORDINANCE MODIFYING SECTIONS OF TITLE 17 OF THE ROCKLIN MUNICIPAL CODE RELATING TO MULTI-FAMILY AND SMALL LOT SINGLE-FAMILY ZONING (Multi-Family and Small Lot Single-Family Zoning / ZOA2016-0003)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF A GENERAL PLAN AMENDMENT TO CHANGE THE LAND USE DESIGNATION OF PORTIONS OF AN APPROXIMATELY 15.7 ACRE SITE FROM RETAIL COMMERCIAL (RC) TO MEDIUM DENSITY RESIDENTIAL (MDR) AND HIGH DENSITY RESIDENTIAL (HDR) (Pacific Pointe / GPA2016-0004)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF A REZONE OF PORTIONS OF AN APPROXIMATELY 15.7 ACRE SITE FROM RETAIL COMMERCIAL (C-2) TO MULTI-FAMILY RESIDENTIAL (R-3) AND SINGLE-FAMILY RESIDENTIAL 3,500 SQUARE FEET MINIMUM LOT SIZE (R1-3.5) (Pacific Pointe / Z2016-0003)

Proposal

This application is a request for approval of a General Plan Amendment, Rezone, and Zoning Ordinance Amendment to convert the General Plan and Zoning land use designations for portions of the existing Kmart shopping center from Retail Commercial (RC) and Retail Business (C-2) respectively, to High Density Residential (HDR) and

Planning Commission Staff Report

Re: Pacific Pointe

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Medium Density Residential (MDR) with Multi-family (R-3) and Small Lot Single Family (R1-3.5) zoning as amended and / or established in the Rocklin Municipal Code as a part of this project.

Location

The subject property is generally located on the northeasterly corner of Pacific Street and Sunset Boulevard, in the former Kmart shopping center. APNs 010-470-003, 008, 021, 022, (portion) 023, (portion) 024, and 026.



Vicinity Map

Owner/ Applicant

The applicant is Ardie Zahedani of St. Anton Communities. The property owners are St. Anton of Rocklin, LLC and Kmart Corporation.

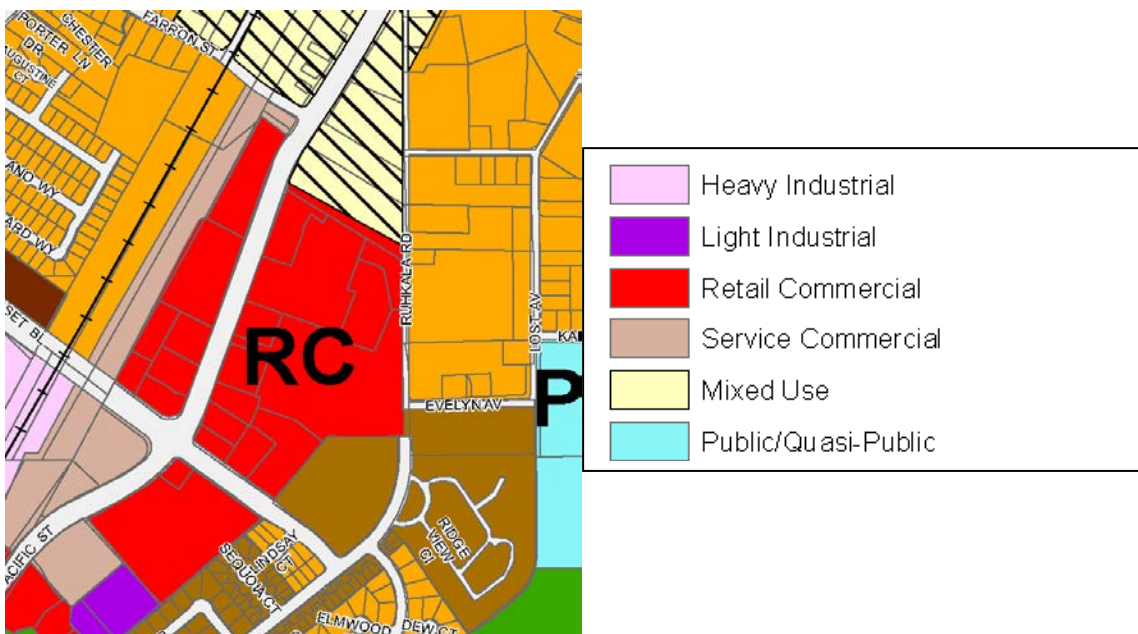
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Site Characteristics

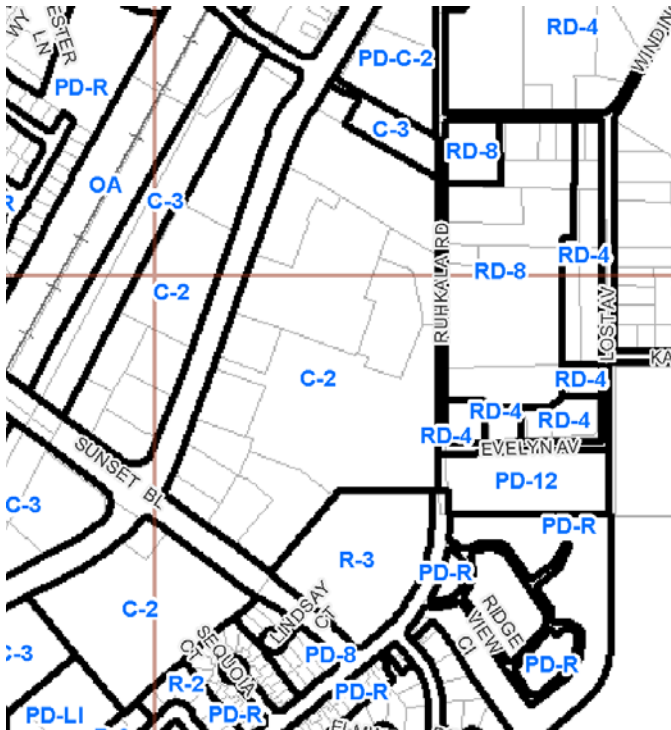
The approximately 15.7 gross acre site is comprised of the former Kmart building and related parking areas as well as several rough graded but undeveloped adjacent parcels. The parcels on which the existing O'Reilly Auto Parts, Walmart Neighborhood Market, and Sherwin Williams Paint store are located are not a part of the project site. The site is relatively flat with a gentle south to north slope. The bulk of the site is comprised of an asphalt parking lot with typical tree well landscape plantings. The undeveloped parcels are covered with native and naturalized grasses. Typical retail frontage landscaping exists along Pacific Street and a mix of native and planted trees and landscaping line the site's southerly boundary along Ruhkala Road.

Land Uses:

| | General Plan | Zoning | Existing Land Use |
|--------|-----------------------------------------------|----------------------------------------|-----------------------------------------------------------------------------|
| Site: | Retail Commercial (RC) | Retail Commercial (C-2) | Kmart Shopping Center |
| North: | Mixed Use (MU) | C-2 | US Post Office |
| South: | Medium High Density Residential (MHDR) and RC | Multi-Family Residential (R-3) and C-2 | Existing multi-family and retail commercial development |
| East: | MHDR and Medium Density Residential (MDR) | RD-4, RD-8 and PD-12 | Existing multi-family and undeveloped medium density residential properties |
| West: | Retail Commercial (RC) | C-2 | Existing Retail Commercial (across Pacific Street) |



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Residential

RD-4: Civic Center 4 units/acre
 RD-8: Civic Center 8 units/acre
 PD-12: Quarry Oaks PDG 12 units/acre
 PD-R: Various planned development residential

Commercial/Industrial

C-2: Retail Commercial
 C-3: Service Commercial
 PD-C-2: Civic Center Commercial
 PD-LI: Pacific Tech Park Light Industrial

Railroad Right of Way

OA: Open Area

Background

R-3 and Small Lot Single Family Residential Zoning Ordinance Amendment

The housing market has become increasingly more competitive and developers are responding with denser and more creative housing products. In addition, the City must continue to make progress in the implementation of the City’s Housing Element and compliance with Rocklin’s Regional Housing Needs Allocation (RHNA) from the State. In response to these issues, staff is working to simplify and streamline entitlement processing; one method of streamlining is to avoid the need to create a General Development Plan for each new project by creating standard zoning that provides the needed flexibility.

To that end, in November 2014, Staff requested City Council approval of a Resolution of Intent to modify certain sections of Title 17, Zoning to update regulations related to Multiple-Family Residential development and to add a new Small Lot Single Family Residential zone. See attached Resolution of Intent staff report and resolution at Attachment 1. The Council approved the Resolution of Intent, and in February 2015 Staff brought forward to Planning Commission a Zoning Ordinance Amendment to modify sections of the R-3 zone. Work on the zoning to address small lot single family residential development was deferred to a later date. At the hearing, the Planning Commission expressed concerns about proposed reduced setback standards and asked

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for more information about the types of housing products that could be developed if the revisions were approved and the item was continued off calendar. See Attachment 2 for examples of existing high density residential projects in Rocklin.

As a part of the Pacific Pointe proposal, staff has brought forward a revised draft for amendments to the existing multi-family R-3 zone, cleanup of some obsolete language regarding multi-family development from elsewhere in the Zoning Code, and a proposal for a small lot single-family zone district.

Environmental Determination

The project is not subject to CEQA because pursuant to CEQA Guidelines Section 15060 (c)(2), the activity (project) is not subject to CEQA if the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment, and pursuant to CEQA Guidelines Section 15061 (b)(3), the activity (project) is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. While the requested General Plan Amendment and Rezone will affect the property's land use and zoning designations, the project does not propose any specific development plan or activity; therefore the project does not have the potential for causing a significant effect on the environment nor will it result in a direct or reasonably foreseeable indirect physical change in the environment. Development of the project site under the new land use and zoning designations cannot occur until such time that additional land use entitlements (i.e., tentative subdivision map and design review) are approved and project-specific CEQA analysis occurs.

General Plan and Zoning Compliance

General Plan

The Kmart Shopping Center, which includes the Pacific Pointe site, is located in Rocklin's downtown core and in the proposed Quarry Architectural District. The site is currently designated in the City's General Plan as Retail Commercial (RC). This designation is intended to create employment centers and make land available for a variety of business/professional office, retail commercial and restricted non-intensive manufacturing and storage facilities. The shopping center on the site was approved in 1987 and was to include an 86,000 square foot Kmart, a grocery store, a drug store, and several in-line and pad buildings. The Kmart store and the majority of parking for the center were constructed shortly thereafter. It wasn't until 1994 that an Albertson's grocery store and an immediately adjacent retail space were built, and in 2002 one pad building was constructed to house a Sherwin Williams paint store. The Albertson's closed in 2006 and sat empty until 2013 when a Walmart Neighborhood Market opened in the building. The Kmart store closed in 2014 and has been vacant since.

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The Pacific Pointe applicant is requesting that portions of the shopping center be changed to High Density Residential (HDR) and Medium Density Residential (MDR) General Plan designations. If the land use changes are approved the applicant would then proceed to develop project designs to bring before the City for approval. The HDR designation is intended to provide areas for multi-family homes, conveniently near commercial uses, employment centers, arterial and collector streets, and other intensive uses. The MDR designation is intended to provide areas for single-family homes on urban lots, to allow for accessory and non-residential uses that are compatible with single-family neighborhoods, and to discourage non-residential uses that are not compatible with single-family neighborhoods.

Staff supports the land use designation change because the site is adjacent to existing multi- and single-family residential development across Ruhkala Road, at the corner of Sunset Boulevard and Woodside Drive, and several parcels that are zoned for residential development. Therefore, this project can be seen as an extension of existing multi- and single-family residentially designated land. The Kmart shopping center has never performed as hoped and allowing a portion of the site to be redeveloped with residential uses will provide additional customers for business in the remaining portion of the shopping center and other nearby commercial developments. The site is near the intersection of two arterial roadways and there are a variety of existing commercial centers within walking distance or just a few miles on Pacific Street and Sunset Boulevard (Sunset Plaza and others). Also, major commercial centers are within a few miles on Sunset Boulevard at Stanford Ranch Road and at Sierra College Boulevard (Rocklin Crossings and Rocklin Commons). The proposed land use designations would increase the number of available sites for residential infill development in central Rocklin and allow for a more creative and diverse mix of housing choices in the Rocklin core.

If the Planning Commission recommends approval, this proposal will be considered at the last of the four possible City Council meetings at which general plan amendments could be brought to a hearing before the end of 2016.

Zoning

Zoning Ordinance Amendment

Multiple-Family (R-3) Zone Modifications

The City has applied various land use changes since 2014 to implement the Housing Element available sites inventory, including the removal of the density cap from the HDR land use designation. The proposed R-3 amendment would bring that zoning into alignment with the City's density goals and provides greater flexibility with regard to development standards. Specifically, Staff recommends the following three

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modifications: 1) update the list of permitted and conditionally permitted uses as shown in Table 1 below; 2) remove the requirement for the minimum lot area of 3,000 square feet per family unit that effectively caps the density of the zone at 14.5 units per acre; and 3) change the height limits of the zone to allow building heights of up to fifty (50) feet. If a structure were proposed to exceed fifty feet in height in order to achieve a certain density or with other justification, the increase could be approved as a part of the Design Review process; this is identical to the standard approved as a part of the PD-22+ zoning recently added to the Northwest Rocklin General Development Plan (NWRGDP). The City’s movement toward increasingly comprehensive design guidelines and the Design Review process in general provide the Planning Commission and the City Council with a great deal of flexibility to address development concerns specific to a given site.

Table 1 – R-3 Permitted and Conditionally Permitted Use Modifications

| Section | Text – Permitted Uses | Proposed Modification |
|-------------|------------------------------------------------------------------|-----------------------|
| 17.40.005.A | Schools, public elementary and secondary | See conditional uses |
| | Text – Conditionally Permitted Uses | |
| 17.40.010.B | Rest homes | deleted |
| 17.40.010.C | Places of Assembly for community services | deleted |
| 17.40.010.D | Community care facility, day care center or residential facility | deleted |
| 17.40.010.E | Mobile home parks | deleted |
| 17.40.010.F | Schools, private <u>or public</u> elementary and secondary | revised |

Staff anticipates that the proposed amendment to the R-3 zoning would encourage development or redevelopment of existing sites zoned R-3 (see Attachment 3 for a map of these sites), and simplify the rezoning of other sites proposed for High Density Residential (HDR) thereby facilitating their development.

Deletion of Multiple-Family Structure Setback Section

Multiple-family structure setbacks are also proscribed in Section 17.08.040 of the RMC. This section requires minimum distances between multi-family buildings and between buildings and lot lines which further constrain creativity and flexibility and the ability to meet density requirements. Staff therefore recommends the deletion of this section entirely. See Attachment 4 for the proposed text deletions and additions in both sections of the Code relative to R-3 zoning.

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The proposed changes would provide the necessary flexibility to encourage more creative designs and allow higher density residential development in the straight zone district. Multi-family projects would still be subject to Design Review approval which will ensure that the projects meet the City’s aesthetic requirements for site design and architecture including elements such as building height and setback.

Addition of New Small Lot Single Family R1-3.5 Zone District

The proposed new small lot single family zone district would provide greater creativity and flexibility in developing small lot residential subdivisions without the need to also adopt a General Development Plan to establish development standards. The proposed creation of this zone has evolved from the city’s experience with development of several small lot single family projects in recent years including as a few examples, Avalon, Brighton, Garnet Creek, and Spring Valley. Small lot single family projects would still be subject to Design Review approval which will ensure that the projects meet the City’s aesthetic requirements for site design and architecture including elements such as building height and setback.

The proposed development standards are shown in Table 2 below.

Table 2 – Proposed R1-3.5 Development Standards

| | |
|---------------------------------------|---------------------------------------------------------------------------------|
| Minimum Lot Area | 3,500 square feet |
| Minimum Lot Dimensions | 50 feet by 70 feet |
| Building Setbacks | |
| Front Living/Porch | 10 feet |
| Side Interior | 4 feet |
| Side Street | 10 feet |
| Rear | 10 feet |
| Rear-Structure Open on Three Sides | 4 feet to structure/1 foot to eaves |
| Garage | 18 feet |
| Rear Yard/Patio Area | 10 foot by 20 foot (200 square feet) clear area within the required setbacks |
| Maximum Lot Coverage | 70 % |
| Maximum Building Height | |
| Principal | 35 feet |
| Accessory | 14 feet |

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Re: Pacific Pointe

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Pacific Pointe Rezone

The property is located in the downtown Rocklin core area and the Quarry District and is currently zoned Retail Business (C-2). As was noted in the discussion of the concurrent General Plan Amendments the site is located in an underperforming shopping center and is adjacent to existing residential development. Consistent with the proposed General Plan Amendments, the applicant is requesting to rezone portions of the existing site to Multiple-Family (R-3) and Small Lot Single-Family (R1-3.5) creating consistency with the requested HDR and MDR general plan designations and to allow for residential uses on those portions of the site. The primary uses allowed by right in the amended R-3 zoning, as proposed, are apartments, townhouses, and residential condominiums. The R1-3.5 small lot single family zone proposes for single-family homes and accessory uses to be allowed by right.

The proposed zoning for the site, as amended and established by the concurrent Zoning Ordinance Amendment, has been found to be consistent with and would implement the land uses proposed by the General Plan Amendment being processed concurrently with this entitlement.

Strategic Plan

Zoning Ordinance Amendment

The City's Strategic Plan (2015-2020) directs staff to implement regulatory and process changes that support Rocklin's Guiding Principles through the pursuit of Strategic Areas of Interest and Vision Principles. The proposed zoning ordinance amendments align with several Strategic Plan initiatives:

- Establishing consistent, appropriate development standards helps achieve the Area of Emphasis of promoting "Effective Government"
- Reducing the number of entitlements to process contributes toward the Area of Emphasis of promoting "Effective Government" and supports Chapter 3.3 'Streamline Entitlement & Permit Processes.'
- Reducing the number of specialized zoning districts to research and enforce is a best management practice to streamline the development review process and helps expedite the permit review process (Chapter 3.3).

Pacific Pointe Land Use Changes

The requested land use changes from commercial to residential in the downtown core area align with several tenets of the City's Strategic Plan. The infill location,

Planning Commission Staff Report

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redevelopment of an under-used site, and the potential for additional housing of various types uphold and fulfill the Vision Principles of:

- Rocklin is a community of neighborhoods; each unique and essential in preserving and promoting a diverse and welcoming community
- Rocklin strives to be a sustainable community, both economically and environmentally
- Rocklin celebrates and builds on its rich history by protecting natural and cultural resources

The location of future housing in the core of the City supports the economic sustainability of Rocklin: it is ideal to bring potential customers to existing downtown businesses and future businesses in the nearby established and developing commercial centers, while these surrounding commercial areas provide the convenience of nearby goods and services to the future residents. The future redevelopment of an already partially developed site will help protect existing natural resources and habitats that would not be impacted by an infill project. The location in the Quarry District makes potential residential projects unique as there are few other available sites for residential infill in the District, while the varying land uses will encourage and preserve the diverse mix of housing types in the core of the City.

Based on the above, Staff recommends the Planning Commission recommend approval of the zoning ordinance amendments and land use changes for Pacific Pointe as presented.

Attachments

Attachment 1 – R-3 and New Small Lot Single Family zone modifications Resolution of Intent Staff Report and Resolution

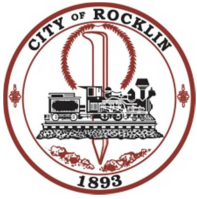
Attachment 2 – Sample HDR Project Data

Attachment 3 – Map of existing R-3 zoning in Central Rocklin

Attachment 4 -- Current R-3 Zone Ordinance Text

DLD/

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Pacific Pointe (KMart GPA-RZ)\Meeting Packets\01 Pacific Pointe GPA SR PC 11-15-16-final.docx



City Council Report

Subject: Notice of Intent to Amend the Zoning Ordinance to modify certain sections of Chapter 17.40 Multiple-Family Residential (R-3) zone and to add a new Small Lot Single Family Residential zone (RS)

ZOA2014-0005

Date: November 12, 2014

Submitted by: Laura Webster, Deputy Community Development Director
Ben Fu, Planning Services Manager
Dara Dungworth, Associate Planner

Department: Community Development Reso. No. 2014-247

Staff Recommendation:

- Approve a resolution of intent to initiate an amendment of the citywide Zoning Ordinance to modify certain sections of the existing Multiple-Family Residential (R-3) zone and to add a new Single Family Residential Small Lot (RS) zone.

BACKGROUND:

As the housing market becomes increasingly competitive, developers respond with denser and more creative housing products. In the last few years, the City has approved several single-family small lot projects and is currently processing a few multi-family projects, most of which have required a new or amended general development plan to allow lot sizes and/or development standards that provide the flexibility needed for these projects to go forward.

Since the City has applied various land use changes in 2014 to implement the Housing Element available sites inventory, including the removal of the density cap, Staff is bringing forward an amendment to the citywide Zoning Ordinance that would bring zoning into alignment with the City's density goals and provide flexibility with regard to development standards in the Multiple-Family Residential (R-3) zone district (Chapter 17.40.). Specifically, Staff recommends the removal of the minimum lot area per family unit requirement (Section 17.40.040), to allow increased primary building heights without the need for a conditional use permit (17.40.020), and to reduce building setbacks (17.40.070). These changes would provide the necessary flexibility to encourage more creative and higher density residential development in the straight zone district without the need to process a general development plan, and potentially a rezone to a planned development, to obtain development standards that suit each individual multi-family project.

In recent years, the City has approved several small lot subdivisions on infill sites, including Granite Terrace between Racetrack Road and Granite Drive, Avalon on Rocklin Road, and Spring Valley in Whitney Ranch. Developers maximize the viability of subdivisions by increasing the density of the project with smaller lots and by responding to the market with creative house designs or products. These are not traditional lot and block subdivisions with regards to lot size or development standards; these subdivisions have been proposed in response to current trends in the housing market. Most of these small lot subdivisions have required a new or amended general development plan to establish reduced lot sizes and development standards to fit the proposed development. Staff is proposing a new zone, Single Family Residential Small Lot (RS), to create a zone that will provide the flexibility needed to accommodate various types of housing products. The minimum lot sizes and development standards to be brought forward will be similar to those of projects previously approved by the City. This new zone would bring flexibility and consistency to small lot subdivisions and eliminate the need to process multiple similar general development plans.

The proposed amendments to the Rocklin Municipal Code would establish citywide development standards for the two zones. Creating zones that provide flexibility eliminates the need to process the additional general development plan entitlements, which helps streamline the project entitlement review process. In addition, after project approval, having fewer general development plans and more consistent development standards will be simpler and therefore more efficient to implement and enforce.

FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- Developers are responding to the competitive housing market by creating developments with higher densities and with more creative housing projects.
- Current zoning regulations do not provide the flexibility needed for projects to conform with the City's density goals or for the types of projects being proposed by developers.

Conclusions:

- Creating zones that provide flexibility
 - Eliminates the need to process the additional general development plan entitlements which in turn;
 - Helps streamline the project entitlement review process; and
 - After project approval, fewer general development plans and more consistent development standards will be more efficient to implement and enforce.

Recommendations:

- Staff recommends approval of a resolution of intent to initiate an amendment of the Rocklin Municipal Code to modify certain sections of Multiple-Family (R-3) (17.40) and to add a new zone Single Family Residential Small Lot (RS).

Alternatives:

- The Council can choose not to initiate the amendment and retain the current zoning and development standards in the R-3 zone and continue the need to process new and amended general development plans for many multi-family and small lot single family projects.

Fiscal Impact:

- There is a possible limited fiscal impact with this motion. It is expected that entitlement processing will be streamlined in the short-term and implementation and enforcement will be simplified in the long-term, thus providing operational efficiencies that translate into incremental fiscal savings.



Ricky A. Horst, City Manager
Reviewed for Content



Russell A. Hildebrand, City Attorney
Reviewed for Legal Sufficiency

RESOLUTION NO. 2014-247

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN
 OF INTENT TO INITIATE AN AMENDMENT TO THE ZONING ORDINANCE
 TO MODIFY CERTAIN SECTIONS OF CHAPTER 17.40 MULTIPLE-FAMILY RESIDENTIAL (R-3) ZONE
 AND TO ADD A NEW SMALL LOT SINGLE FAMILY RESIDENTIAL ZONE (RS)
 ZOA2014-0005

The City Council of the City of Rocklin does resolve as follows:

Section 1. The City Council of the City of Rocklin finds and determines as follows:

The City has applied various land use changes in 2014 to implement the Housing Element available sites inventory, including removing the density cap. The modifications to the existing Multiple-Family (R-3) zone would bring zoning into alignment with the City’s density goals and provide flexibility with regard to development standards in the R-3 zone district.

The City has approved several small lot subdivisions on infill sites in recent years. The creation of a new zone, Single Family Residential Small Lot (RS), would provide the flexibility needed to accommodate various types of housing products. The minimum lot sizes and development standards would be similar to those of projects previously approved by the City. This new zone would bring consistency to small lot subdivisions.

These modifications will eliminate the need to process multiple similar general development plans and therefore, will help to streamline the entitlement process and will allow for more efficient implementation and enforcement.

Section 2. The City Council hereby authorizes and directs staff to prepare and process an amendment to the Rocklin Zoning Ordinance which amendment shall address the specific terms listed in Section 1, above.

PASSED AND ADOPTED this 12th day of November, 2014, by the following vote:

| | | |
|----------|-----------------|----------------------------------------|
| AYES: | Councilmembers: | Butler, Ruslin, Janda, Magnuson, Yuill |
| NOES: | Councilmembers: | None |
| ABSENT: | Councilmembers: | None |
| ABSTAIN: | Councilmembers: | None |

 Scott Yuill, Mayor

ATTEST:

 Barbara Ivanusich, City Clerk

ATTACHMENT 2
SAMPLE HDR PROJECT DATA – ELEVATIONS, DENSITIES AND BUILDING HEIGHTS

Vicara and Montessa - Whitney Ranch Units 4 and 5. Total site acreage 19.74 acres. 435 Multi-Family units.

Overall Density both projects combined = 22 units per acre. However, Vicara is more dense. On its own is 264 units on 10.6 = 24.90 units per acre. Vicara received a density bonus because of affordability.

Building Heights – 40 feet.

Photo of Vicara



Photo of Montessa



Arroyo Vista - 120 Units on 8 acres. Density = 15 du/gross acre. 3 story components. Building Heights – 36.5 feet.



Garnet Creek Apartments



260 units. Mixed MF and SF project. Total acreage of Multi-Family portion only (excluding open space) is 11.54 acres. Density of Multi Family Portion only = 22.53 du/net acre. Buildings varied between 27 and 38 feet in height.

Garnet Creek Approved Multi-Family Attached Development Standards

| | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|
| Minimum Lot Area | 6,200 |
| Minimum Lot Width | 90 feet |
| Building Setbacks | |
| Front * | 15 feet |
| Side Interior | 10 feet |
| Side Street * | 15 feet |
| Rear | 10 feet |
| Maximum Lot Coverage * | 60 % |
| Maximum Building Height | |
| Principal * | 50 feet / 4 stories |
| Accessory | 14 feet |
| * Front and Side Street setbacks may be reduced and maximum building height / stories, and lot coverage exceeded subject to justification provided and accepted as part of a design review approval. | |

Bella Vida – 140 units on a 6.4 acre site. Density = 21.875 du/gross acre. 200,000 square foot building. 4 stories with tower – Height of the main building = 50 feet. Tower height = 64 feet.



Sunset West Lot 2A – 186 units on 10.8 acres = 17.22 du/gross acre. 3 stories. Building heights = 38 to 40 feet



Original Approved Design



Modified Design – Received PC Review (colors to go back to PC prior to painting)



ATTACHMENT 4
R-3 RELATED ZONING ORDINANCE TEXT AMENDMENTS - EXISTING TEXT AND MODIFICATIONS

Chapter 17.08 - USE REGULATIONS GENERALLY

Sections:

~~17.08.040 - Multiple family structure setback.~~

~~Multiple family structures shall be constructed so that the following minimum distances are provided between buildings and between buildings and lot lines:~~

- ~~A. The sum of the height of any two adjacent buildings, divided by two, but in no case less than twenty feet, shall be maintained between buildings.~~
- ~~B. A minimum of fifteen feet shall be maintained between a side setback and the access side of a structure.~~

~~(Ord. 336 § 7.03.0-10, 1977).~~

Chapter 17.40 - R-3 ZONE

Sections:

17.40.005 - Permitted uses.

Permitted uses in the R-3 zone:

- ~~A. Schools, public elementary and secondary.~~
- BA. Apartments, townhouses, condominiums (for residential use, including cluster developments);
- €B. Accessory buildings subject to regulations in Chapter 17.08;
- ƉC. Accessory uses as regulated by Chapter 17.08;
- €D. Duplexes, triplexes, subject to regulations in Chapter 17.38.

(Ord. 821 § 3, 2000; Ord. 813 § 26, 1999).

(Ord. No. 977, Exh. A, A5., 10-11-2011)

17.40.010 - Conditional uses.

The following uses are permitted in the R-3 zone subject to issuance of a conditional use permit:

- A. Roominghouses and boardinghouses;

- B. Schools, private or public elementary and secondary.
- ~~B. Rest homes;~~
- ~~C. Places of assembly for community services;~~
- ~~D. Community care facility, day care center or residential facility;~~
- ~~E. Mobile home parks;~~
- ~~F. Schools, private elementary and secondary.~~

(Ord. 821 § 4, 2000; Ord. 813 § 27, 1999; Ord. 581 § 25, 1988; Ord. 517 § 15, 1984; Ord. 336 § 6.17.010, 1977).
 (Ord. No. 977, Exh. A, A5., 10-11-2011)

17.40.020 - Height regulations.

Height regulations in the R-3 zone:

- ~~A. The maximum height for principal buildings and structures shall be thirty feet and the maximum number of stories shall be two, with the following exception:
 With a use permit, the maximum allowable height may be increased up to forty feet and the maximum number of stories may be increased up to three.~~
- A. The maximum height for principal buildings and structures shall be fifty feet. The maximum allowable height may be increased beyond fifty feet subject to justifications provided and accepted as part of a Design Review approval.
- B. The maximum height for accessory buildings or structures shall be fourteen feet.

(Ord. 821 § 5, 2000; Ord. 555 § 1, 1986; Ord. 336 § 6.17.020, 1977).

17.40.030 - Lot area.

The minimum area for each lot in the R-3 zone shall be as follows:

- A. Corner lots: six thousand five hundred square feet.
- B. Interior lots: six thousand square feet.

(Ord. 336 § 6.17.030, 1977).

~~17.40.040 - Lot area per family unit.~~

~~The minimum lot area per family unit shall be three thousand square feet.~~

(Ord. 336 § 6.17.040, 1977).

17.40.050 - Lot coverage.

The maximum lot coverage by all structures and buildings in the R-3 zone shall not exceed sixty percent of the lot area.

(Ord. 336 § 6.17.050, 1977).

17.40.060 - Lot width.

The minimum lot width in the R-3 zone shall be as follows:

- A. Corner lot: sixty-five feet;
- B. Interior lot: sixty feet.

(Ord. 336 § 6.17.060, 1977).

17.40.070 - Setbacks.

No building or structure shall hereafter be erected or enlarged in the R-3 zone unless the following setbacks are provided and maintained:

- A. Front. There shall be a front setback of not less than twenty feet.
- B. Rear. There shall be a rear setback of not less than fifteen feet.
- C. Interior Side. There shall be an interior side setback of not less than ten feet.
- D. Street Side. There shall be a street side setback of not less than fifteen feet.
- E. Specified Streets. Front, side, street side, or rear setbacks required for lots abutting a highway or street for which rights-of-way are established by the circulation element of the general plan shall be measured from the adopted plan line or the property line, whichever provides the greater setback.

(Ord. 336 § 6.17.070, 1977).

17.40.080 - Dwelling unit minimum area.

The minimum square footage per dwelling unit shall be regulated by Section 17.08.020.

(Ord. 336 § 6.17.080, 1977).

17.40.090 - Off-street parking.

Off-street parking shall be provided subject to the regulations in Chapter 17.66.

(Ord. 336 § 6.17.090, 1977).

RESOLUTION NO. PC-2016-

RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF ROCKLIN
RECOMMENDING APPROVAL OF AN ORDINANCE MODIFYING
SECTIONS OF TITLE 17 OF THE ROCKLIN MUNICIPAL CODE
RELATING TO MULTI-FAMILY AND SMALL LOT SINGLE-FAMILY ZONING

(Multi-Family and Small Lot Single Family Zoning / ZOA2016-0003)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. The City of Rocklin's Environmental Coordinator has reviewed the proposed Zoning Ordinance Amendment (ZOA2016-0003) ("Project") and determined that it is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15060 (c)(2) – Activity is not subject to CEQA if it will not result in a direct or reasonably foreseeable indirect physical change in the environment and it is exempt from review pursuant to CEQA Guidelines Section 15061 (b)(3) – Activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment.

B. The proposed amendments to the Rocklin Municipal Code are consistent with and implement the policies of the City of Rocklin's General Plan, including the Housing Element.

C. The proposed amendments to the Rocklin Municipal Code are not likely to create serious health problems or create nuisances on or near affected properties.

D. The Planning Commission has considered the effect of the proposed amendments to the Rocklin Municipal Code on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

Section 2. The Planning Commission of the City of Rocklin hereby recommends approval of the ordinance amendment attached hereto as Attachment 1 and incorporated by reference herein.

PASSED AND ADOPTED this 15th day of November, 2016, by the following roll call vote:

AYES: Commissioners

NOES: Commissioners

ABSENT: Commissioners

ABSTAIN: Commissioners

Chairman

ATTEST:

Secretary

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Pacific Pointe (KMart GPA-RZ)\Meeting Packets\02 R-3 Modifications and R1-3.5 PC Reso (ZOA2016-0003) - final.doc

Attachment 1

ORDINANCE NO.

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKLIN
MODIFYING SECTIONS OF TITLE 17 OF THE ROCKLIN MUNICIPAL CODE RELATING TO
MULTI-FAMILY AND SMALL LOT SINGLE-FAMILY ZONING

(Multi-Family and Small Lot Single Family Zoning / ZOA2016-0003)

The City Council of the City of Rocklin does ordain as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. The City of Rocklin's Environmental Coordinator has reviewed the proposed Zoning Ordinance Amendment (ZOA2016-0003) ("Project") and determined that it is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15060 (c)(2) – Activity is not subject to CEQA if it will not result in a direct or reasonably foreseeable indirect physical change in the environment and it is exempt from review pursuant to CEQA Guidelines Section 15061 (b)(3) – Activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment.

B. The proposed amendments to the Rocklin Municipal Code are consistent with and implement the policies of the City of Rocklin's General Plan, including the Housing Element.

C. The proposed amendments to the Rocklin Municipal Code are not likely to create serious health problems or create nuisances on or near affected properties.

D. The City Council has considered the effect of the proposed amendments to the Rocklin Municipal Code on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

Section 2. The City Council of the City of Rocklin hereby approves the amendments to subsections of Title 17, Zoning of the Rocklin Municipal Code as shown on Exhibit A attached hereto and incorporated by reference herein.

Section 3. Within 15 days of the passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Council members voting for and against the ordinance, to be published in the Placer Herald. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within 15

days, shall cause a summary of the ordinance, prepared by the City Attorney and with the names of the City Council members voting for and against the ordinance, to be published in the Placer Herald, and shall post in the office of the City Clerk a certified copy of the full text of the ordinance, along with the names of those City Council members voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code section 36933(c)(1) are met.

INTRODUCED at a regular meeting of the City Council of the City of Rocklin held on _____, 20__ , by the following vote:

AYES: Councilmembers:

NOES: Councilmembers:

ABSENT: Councilmembers:

ABSTAIN: Councilmembers:

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Rocklin held on _____, 20__, by the following roll call vote:

AYES: Councilmembers:

NOES: Councilmembers:

ABSENT: Councilmembers:

ABSTAIN: Councilmembers:

, Mayor

ATTEST:

Barbara Ivanusich, City Clerk

First Reading:
Second Reading:
Effective Date:

ZOA2016-0003

EXHIBIT A

Modifications to the Rocklin Municipal Code:

1. MULTIPLE FAMILY STRUCTURE SETBACK.

Delete Section 17.08.040 in its entirety.

2. R-3 ZONE

Delete Chapter 17.40 – R-3 ZONE.

Add Chapter 17.40 – R-3 ZONE as follows:

Chapter 17.40 - R-3 ZONE

Sections:

17.40.005 - Permitted uses.

Permitted uses in the R-3 zone:

- A. Apartments, townhouses, condominiums (for residential use, including cluster developments);
- B. Accessory buildings subject to regulations in Chapter 17.08;
- C. Accessory uses as regulated by Chapter 17.08;
- D. Duplexes, triplexes, subject to regulations in Chapter 17.38.

17.40.010 - Conditional uses.

The following uses are permitted in the R-3 zone subject to issuance of a conditional use permit:

- A. Roominghouses and boardinghouses;
- B. Schools, private or public elementary and secondary.

17.40.020 - Height regulations.

Height regulations in the R-3 zone:

- A. The maximum height for principal buildings and structures shall be fifty feet. The maximum allowable height may be increased beyond fifty feet subject to justifications provided and accepted as part of a Design Review approval.

- B. The maximum height for accessory buildings or structures shall be fourteen feet.

17.40.030 - Lot area.

The minimum area for each lot in the R-3 zone shall be as follows:

- A. Corner lots: six thousand five hundred square feet.
- B. Interior lots: six thousand square feet.

17.40.050 - Lot coverage.

The maximum lot coverage by all structures and buildings in the R-3 zone shall not exceed sixty percent of the lot area.

17.40.060 - Lot width.

The minimum lot width in the R-3 zone shall be as follows:

- A. Corner lot: sixty-five feet;
- B. Interior lot: sixty feet.

17.40.070 - Setbacks.

No building or structure shall hereafter be erected or enlarged in the R-3 zone unless the following setbacks are provided and maintained:

- A. Front. There shall be a front setback of not less than twenty feet.
- B. Rear. There shall be a rear setback of not less than fifteen feet.
- C. Interior Side. There shall be an interior side setback of not less than ten feet.
- D. Street Side. There shall be a street side setback of not less than fifteen feet.
- E. Specified Streets. Front, side, street side, or rear setbacks required for lots abutting a highway or street for which rights-of-way are established by the circulation element of the general plan shall be measured from the adopted plan line or the property line, whichever provides the greater setback.

17.40.080 - Dwelling unit minimum area.

The minimum square footage per dwelling unit shall be regulated by Section 17.08.020.

17.40.090 - Off-street parking.

Off-street parking shall be provided subject to the regulations in Chapter 17.66.

3. R1-3.5 ZONE

Add Chapter 17.09 – R1-3.5 ZONE as follows:

17.09 – R1-3.5 ZONE

17.09.010 – Purpose.

The R1-3.5 single-family residential zone is intended to facilitate development of small lot traditional lot and block residential subdivisions.

17.09.020 – Permitted uses.

Permitted uses in the R1-3.5 zone:

- A. Single-family dwelling;
- B. Accessory uses as regulated by Chapter 17.08;
- C. Accessory buildings as regulated by Chapter 17.08;
- D. Secondary residential units as regulated elsewhere in this Title.

17.09.030 – Conditional uses.

The following uses are permitted in the R1-3.5 zone subject to issuance of a conditional use permit:

- A. Public utility buildings and uses, but excluding equipment yards, warehouses, or repair shops;
- B. Schools, private or public elementary and secondary.

17.09.040 – Height regulations.

Height regulations in the R1-3.5 zone:

- A. The maximum height for principal buildings and structures shall be thirty-five feet.

- B. The maximum height for accessory buildings and structures shall be fourteen feet.

17.09.050 – Lot area.

The minimum lot area for each lot in the R1-3.5 zone shall be three thousand five hundred square feet.

17.09.060 – Lot coverage.

The maximum lot coverage by all structure and buildings in the R1-3.5 zone shall not exceed seventy percent of the lot area.

17.09.070 – Lot width.

The minimum lot width in the R1-3.5 zone shall be fifty feet.

17.09.080 – Setbacks

No building or structure shall hereafter be erected or enlarged in the R1-3.5 zone unless the following setbacks are provided and maintained:

- A. Front - Porch and living area. There shall be a front setback of not less than ten feet.
- B. Front - Face of garage. There shall be a front setback of not less than eighteen feet.
- C. Rear – Primary structure. There shall be a rear setback of not less than ten feet.
- D. Rear - Structure open on three sides. There shall be a setback of not less than four feet to the vertical structure and there shall be a setback of not less than one foot to the eaves.
- E. Interior Side. There shall be an interior side setback of not less than four feet with no encroachments by structural or architectural elements, including fireplaces and chimneys.
- E. Street Side. There shall be a street side setback of not less than ten feet.

- F. A ten foot by twenty foot (two hundred square foot) clear area shall be maintained within the required setbacks as a rear yard / patio area.

17.09.090 – Dwelling unit minimum area.

The minimum square footage per dwelling unit shall be regulated by Section 17.08.020.

17.09.100 – Off-street parking.

Off-street parking shall be provided subject to the regulations in Chapter 17.66.

RESOLUTION NO. PC-2016-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN
 RECOMMENDING APPROVAL OF A GENERAL PLAN AMENDMENT TO CHANGE THE LAND
 USE DESIGNATION OF PORTIONS OF AN APPROXIMATELY 15.7 ACRE SITE FROM RETAIL
 COMMERCIAL (RC) TO MEDIUM DENSITY RESIDENTIAL (MDR) AND HIGH DENSITY
 RESIDENTIAL (HDR)

(Pacific Pointe / GPA2016-0004)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The City of Rocklin's Environmental Coordinator has reviewed the proposed General Plan Amendment (GPA2016-0004) ("Project") and determined that it is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15060 (c)(2) – Activity is not subject to CEQA if it will not result in a direct or reasonably foreseeable indirect physical change in the environment and it is exempt from review pursuant to CEQA Guidelines Section 15061 (b) (3) – Activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment.

Section 2. The Planning Commission of the City of Rocklin finds and determines that:

A. The Planning Commission has considered a General Plan Amendment (GPA2016-0004) to change the land use designation of portions of an approximately 15.7 acre site generally located on the northeast corner of Pacific Street and Sunset Boulevard, in the existing Kmart shopping center (APNs 010-470-003, 008, 021, 022, 023 (portion), 024 (portion), and 026), from Retail Commercial (RC) to Medium Density Residential (MDR) and High Density Residential (HDR).

B. The Planning Commission has considered the effect of the recommended approval of this General Plan Amendment (GPA2016-004) on the housing needs of the region, and balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

C. The area is physically suited for the land uses allowed by the proposed amendment in terms of topography and availability of services.

D. The circulation and land uses allowed by the proposed amendment are compatible with land uses existing and permitted on properties in the vicinity, providing the properties are developed in accordance with the policies and requirements of the Rocklin General Plan and applicable zoning and subdivision ordinances.

E. The circulation and land uses allowed by the proposed amendment, and their intensity, are not likely to create serious health problems or nuisances on properties in the vicinity.

F. The land uses and circulation allowed by the proposed amendment are consistent with and implement the goals and policies of the Rocklin General Plan, including the Housing Element.

Section 3. The Planning Commission hereby recommends City Council approval of the General Plan Amendment (GPA2016-004), as shown in Exhibit A, attached hereto and by this reference incorporated herein.

PASSED AND ADOPTED this 15th day of November, 2016, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

Chairman

ATTEST:

Secretary

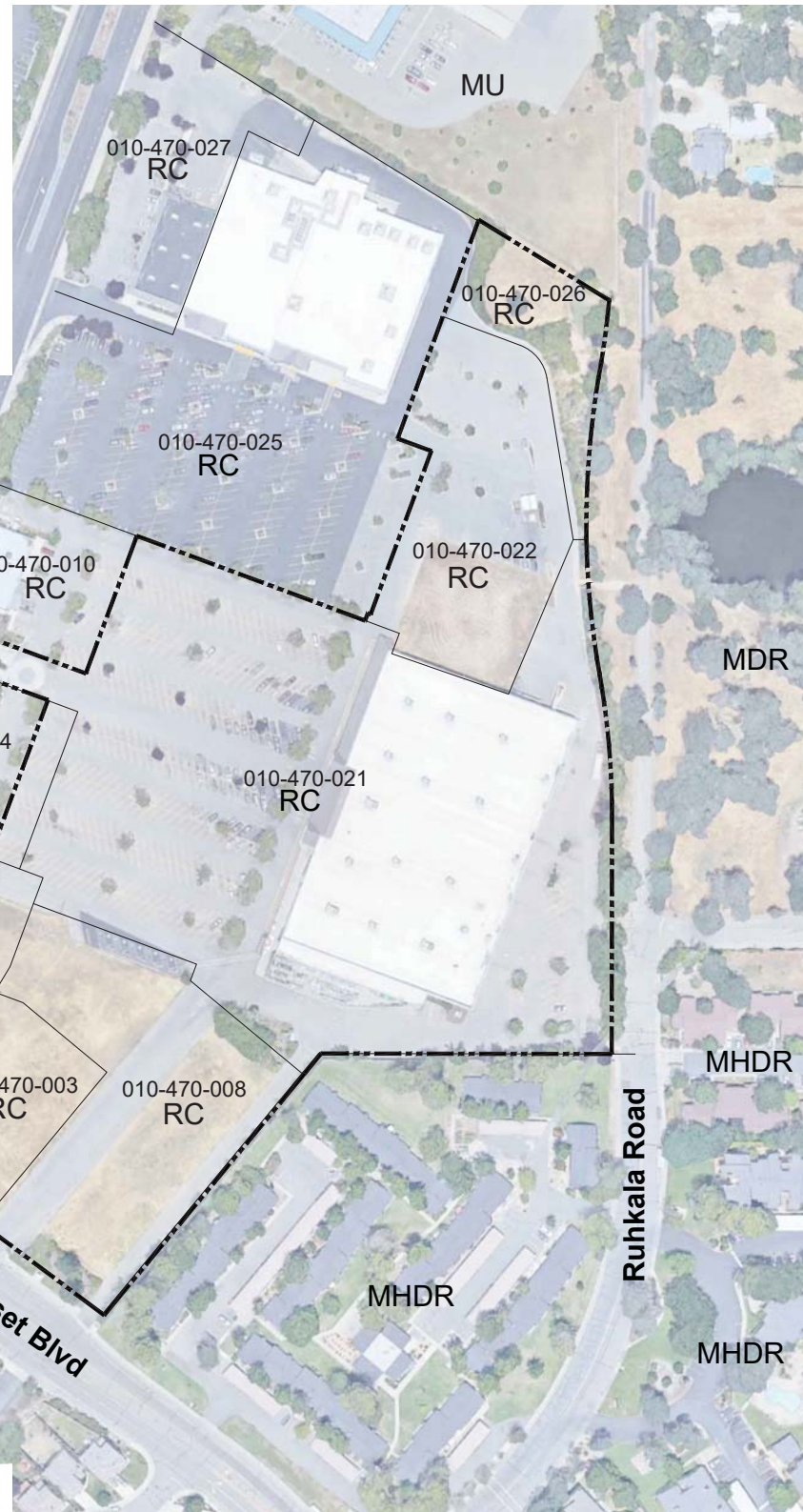
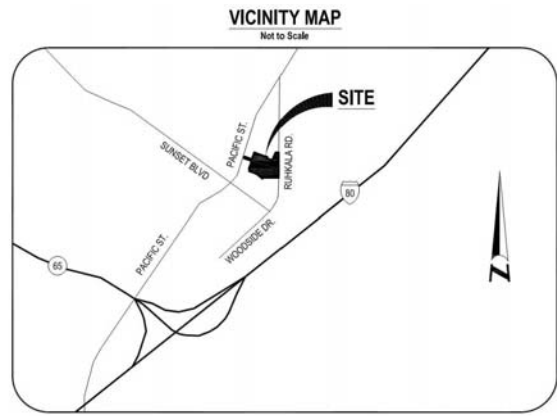
DLD/

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Pacific Pointe (KMart GPA-RZ)\Meeting Packets\03 Pacific Pointe PC Reso (GPA2016-0004) - final.docx

EXHIBIT A

Pacific Pointe (GPA2016-0004)

Map of Existing and Proposed General Plan Land Use Designations

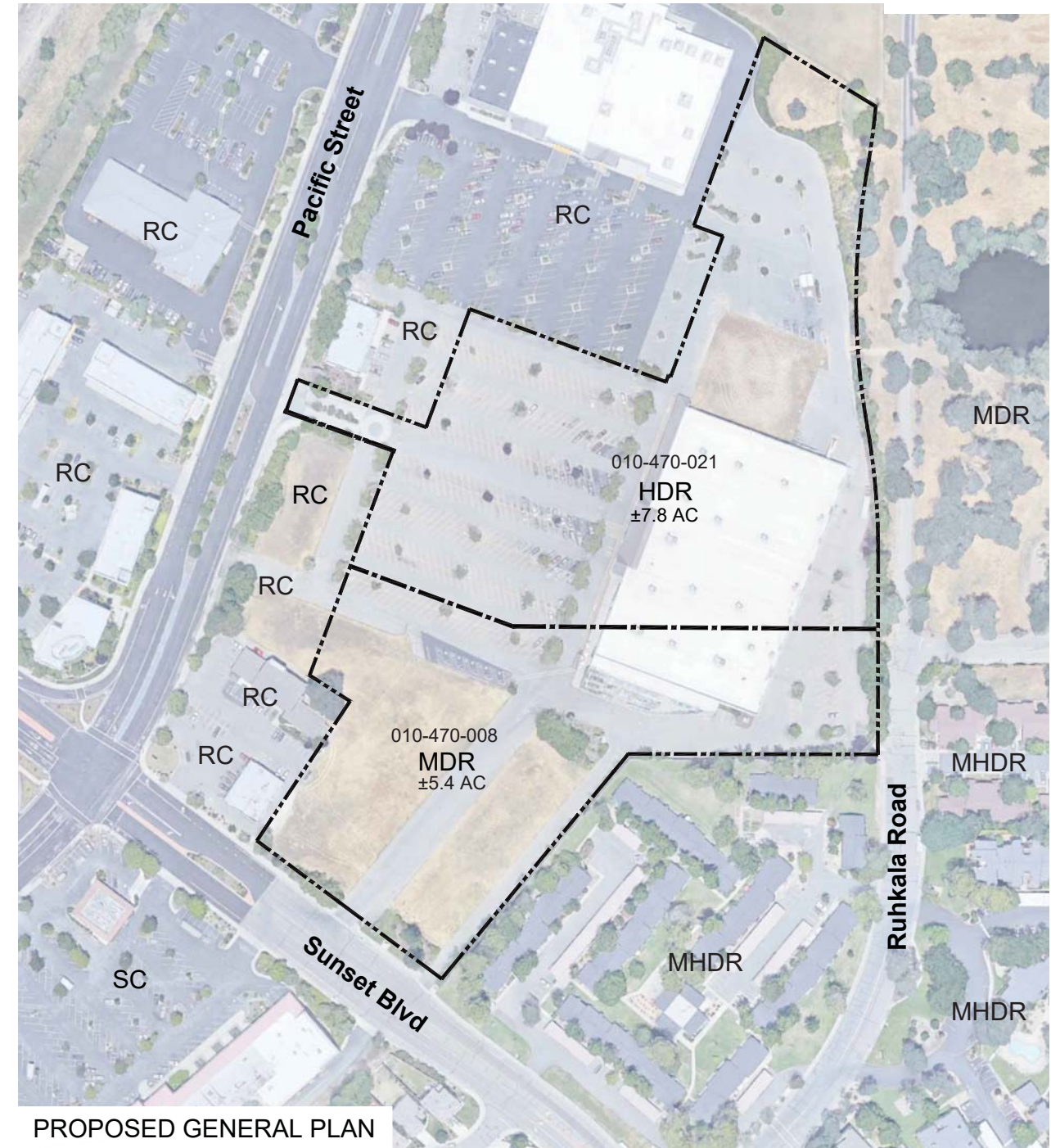


EXISTING GENERAL PLAN

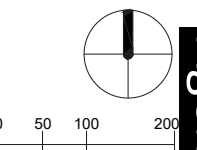
| | | | |
|--------------------------|-------------|------------------|------------|
| Land Use Summary: | | Existing Zoning: | C-2 |
| Gross Site Area: | ±13.2 acres | Proposed Zoning: | R1-3.5/R-3 |
| Existing General Plan: | RC | Proposed MDR: | ±5.4 acres |
| Proposed General Plan: | MDR/HDR | Proposed HDR: | ±7.8 acres |

EXHIBIT A

GPA2016-0004



PROPOSED GENERAL PLAN



GENERAL PLAN AMENDMENT MAP



RESOLUTION NO. PC-2016-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN
 RECOMMENDING APPROVAL OF A REZONE OF PORTIONS OF AN APPROXIMATELY 15.7
 ACRE SITE FROM RETAIL COMMERCIAL (C-2) TO MULTI-FAMILY RESIDENTIAL (R-3) AND
 SINGLE-FAMILY RESIDENTIAL 3,500 SQUARE FEET MINIMUM LOT SIZE (R1-3.5)

(Pacific Pointe / Z2016-0003)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. This project will change portions of an approximately 15.7 acre area of the Kmart shopping center (APNs 010-470-003, 008, 021, 022, 023 (portion), 024 (portion), and 026) from the C-2, Business Commercial zone district to R-3, Multiple-Family and R1-3.5, Small Lot Single-Family residential zone districts.

B. The City of Rocklin's Environmental Coordinator has reviewed the proposed Rezone (Z2016-0003) ("Project") and determined that it is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15060 (c)(2) – Activity is not subject to CEQA if it will not result in a direct or reasonably foreseeable indirect physical change in the environment and it is exempt from review pursuant to CEQA Guidelines Section 15061 (b)(3) – Activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment.

C. The proposed Rezone is consistent with the General Plan designations concurrently being proposed for the property and implements the policies of the City of Rocklin's General Plan, including the Housing Element.

D. The area is physically suited to the uses authorized in the proposed general development plan and rezoning.

E. The proposed Rezone is compatible with the land uses existing and permitted on the properties in the vicinity.

F. The land uses, and their density and intensity, allowed in the proposed Rezone are not likely to create serious health problems or create nuisances on properties in the vicinity.

G. The Planning Commission has considered the effect of the proposed Rezone on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

H. The requested zone changes encourage a creative and more efficient approach to the use of land; increase the choice in the type of housing available in Rocklin; and provide adequate protection of the environment and of the health, safety, and comfort of the residents of the City.

Section 2. The Planning Commission of the City of Rocklin hereby recommends City Council approval of the Rezone (Z2016-0003) in the form as shown on Attachment 1, attached hereto and incorporated by reference herein.

PASSED AND ADOPTED this 15th day of November, 2016, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairman

ATTEST:

Secretary

DLD/

P:\PUBLIC PLANNING FILES__ PROJECT FILES\Pacific Pointe (KMart GPA-RZ)\Meeting Packets\04 Pacific Pointe PC Reso (Z2016-0004) - final.docx

ATTACHMENT 1

ORDINANCE NO.

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING
 A REZONE OF PORTIONS OF AN APPROXIMATELY 15.7 ACRE SITE FROM RETAIL
 COMMERCIAL (C-2) TO MULTI-FAMILY RESIDENTIAL (R-3) AND SINGLE-FAMILY
 RESIDENTIAL 3,500 SQUARE FEET MINIMUM LOT SIZE (R1-3.5)

(Pacific Pointe / Z2016-0003)

The City Council of the City of Rocklin does ordain as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. This project will change portions of an approximately 15.7 acre area of the Kmart shopping center (APNs 010-470-003, 008, 021, 022, 023 (portion), 024 (portion), and 026), from the C-2, Business Commercial zone district to the R-3, Multiple-Family and R1-3.5, Small Lot Single-Family residential zone districts.

B. The City of Rocklin’s Environmental Coordinator has reviewed the proposed Rezone (Z2016-0003) (“Project”) and determined that it is exempt from review under the California Environmental Quality Act pursuant to California Code of Regulations Section 15060 (c)(2) – Activity is not subject to CEQA if it will not result in a direct or reasonably foreseeable indirect physical change in the environment and it is exempt from review pursuant to CEQA Guidelines Section 15061 (b)(3) – Activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment.

C. The Rezone is consistent with the General Plan designations concurrently being proposed for the property and implements the policies of the City of Rocklin's General Plan, including the Housing Element.

D. The area is physically suited to the uses authorized in the proposed general development plan and rezoning.

E. The proposed Rezone is compatible with the land uses existing and permitted on the properties in the vicinity.

F. The land uses, and their density and intensity, allowed in the proposed Rezone are not likely to create serious health problems or create nuisances on properties in the vicinity.

G. The City Council has considered the effect of the proposed Rezone on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

H. The requested zone changes would encourage a creative and more efficient approach to the use of land; maximize the choice in the type of housing available in Rocklin; and provide adequate protection of the environment and of the health, safety, and comfort of the residents of the City.

Section 2. The City Council of the City of Rocklin hereby approves the Rezone (Z2016-0003), as shown on Exhibit A, attached hereto and incorporated by reference herein.

Section 3. Within 15 days of the passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Council members voting for and against the ordinance, to be published in the Placer Herald. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within 15 days, shall cause a summary of the ordinance, prepared by the City Attorney and with the names of the City Council members voting for and against the ordinance, to be published in the Placer Herald, and shall post in the office of the City Clerk a certified copy of the full text of the ordinance, along with the names of those City Council members voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code section 36933(c)(1) are met.

INTRODUCED at a regular meeting of the City Council of the City of Rocklin held on _____, 20__, by the following vote:

- AYES: Councilmembers:
- NOES: Councilmembers:
- ABSENT: Councilmembers
- ABSTAIN: Councilmembers

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Rocklin held on _____, 20__, by the following roll call vote:

- AYES: Councilmembers:
- NOES: Councilmembers:
- ABSENT: Councilmembers:
- ABSTAIN: Councilmembers:

Mayor

ATTEST:

City Clerk

First Reading:
Second Reading:
Effective Date:

EXHIBIT A

Pacific Pointe (Z2016-0003)

Map of Existing and Proposed Zoning

VICINITY MAP

Not to Scale

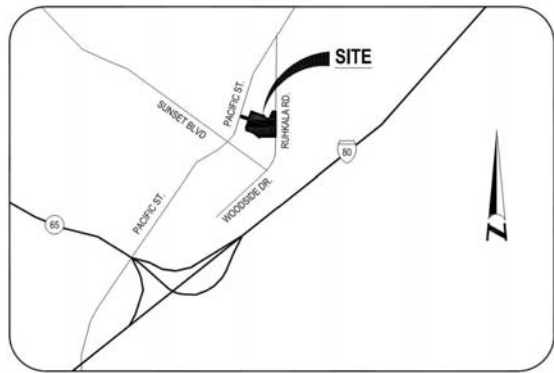


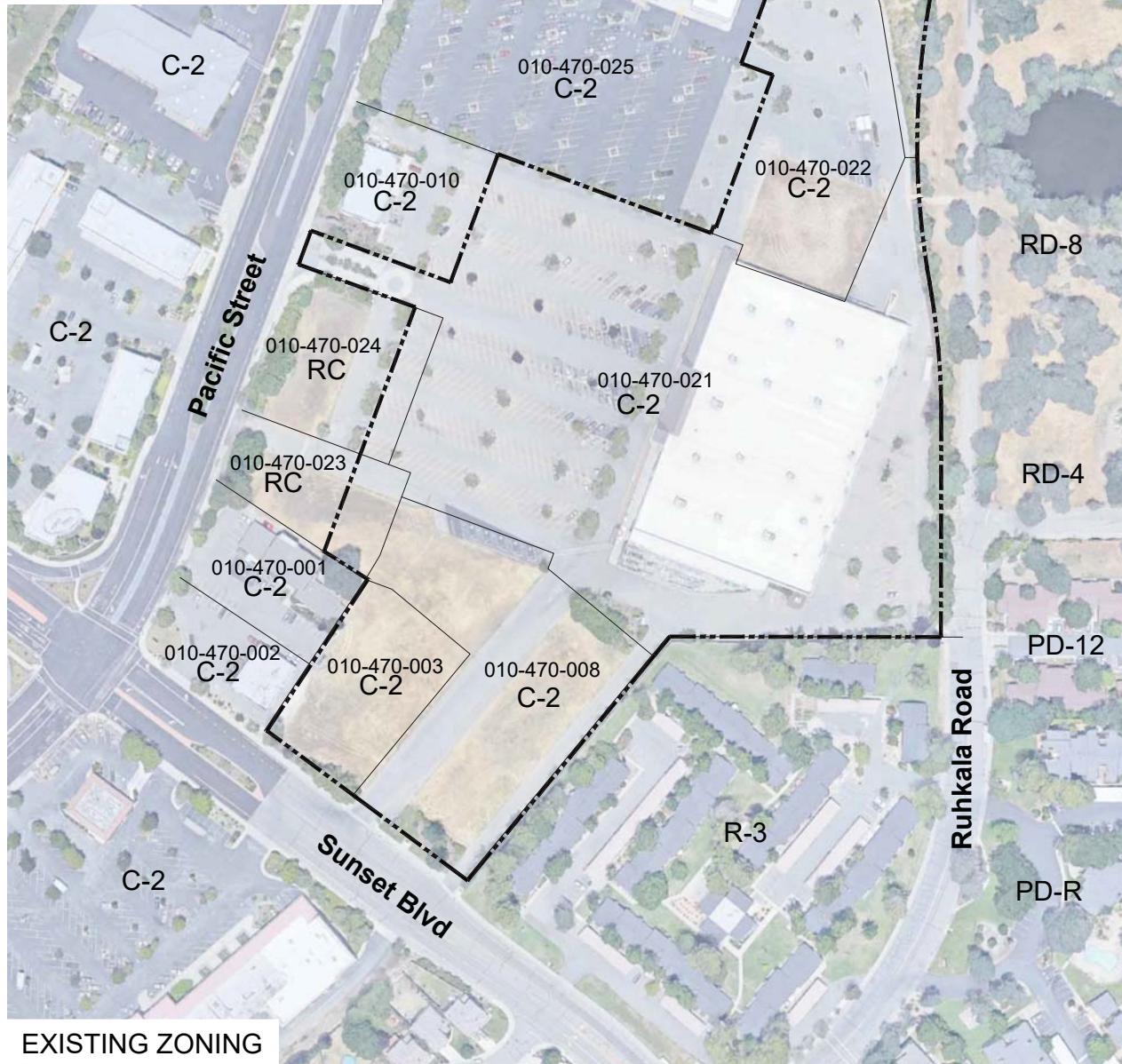
EXHIBIT A

Z2016-0004

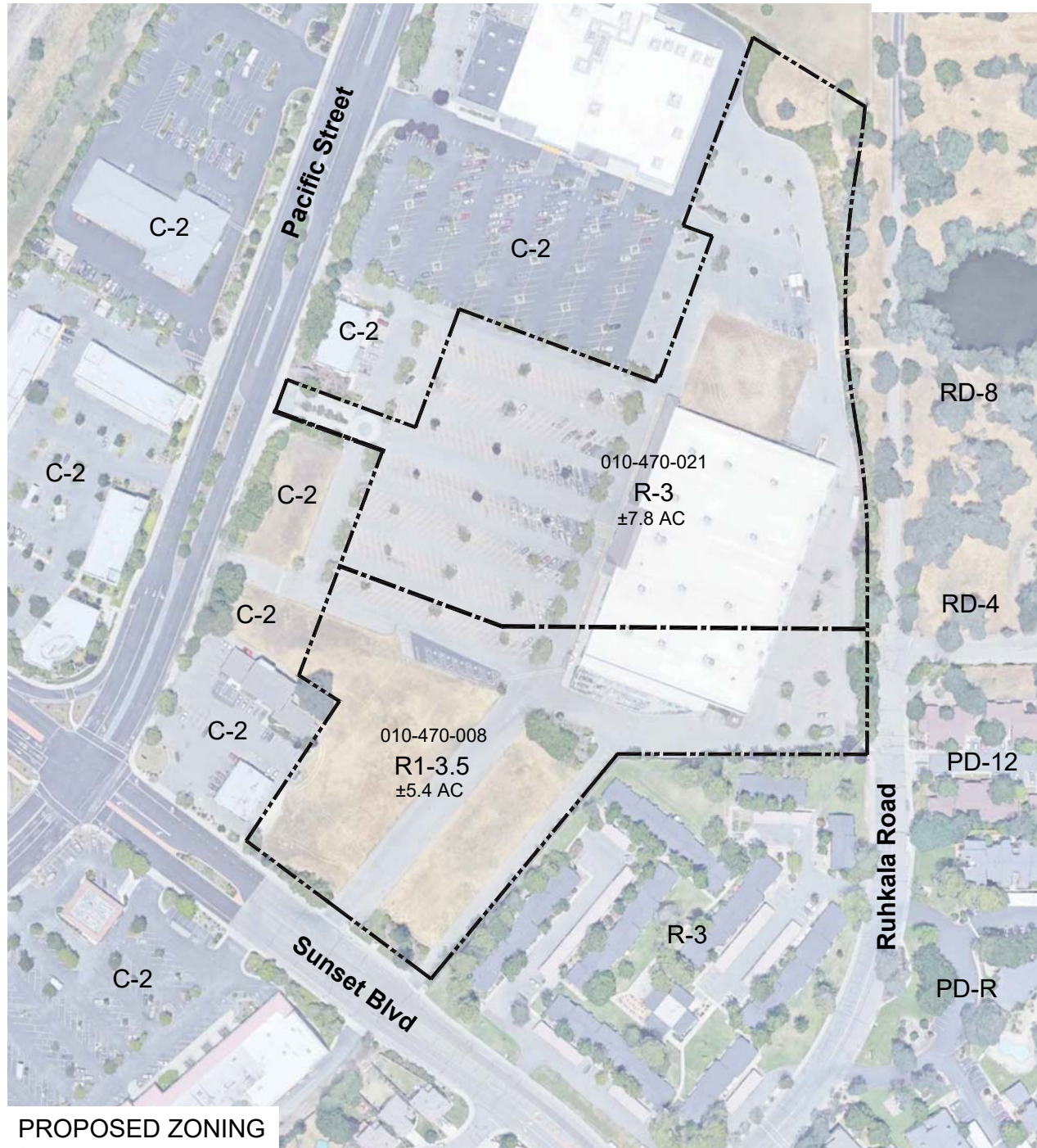
Land Use Summary:

Gross Site Area: ±13.2 acres
 Existing General Plan: RC
 Proposed General Plan: MDR/HDR

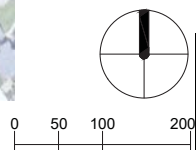
Existing Zoning: C-2
 Proposed Zoning: R1-3.5/R-3
 Proposed R1-3.5: ±5.4 acres
 Proposed R-3: ±7.8 acres



EXISTING ZONING



PROPOSED ZONING





City of Rocklin Economic and Community Development Department

**Planning Commission
STAFF REPORT**

**Design Review Objectives and Criteria Amendment
Design Review Criteria Update/ZOA2016-0002**

November 15, 2016

Recommendation

Staff recommends the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF A RESOLUTION AMENDING DESIGN REVIEW OBJECTIVES AND CRITERIA UNDER ROCKLIN MUNICIPAL CODE CHAPTER 17.72 AND REPEALING RESOLUTION NOS. 2008-37 AND 2011-22 (Design Review Criteria Update/ZOA2016-0002).

Proposal/Application Request

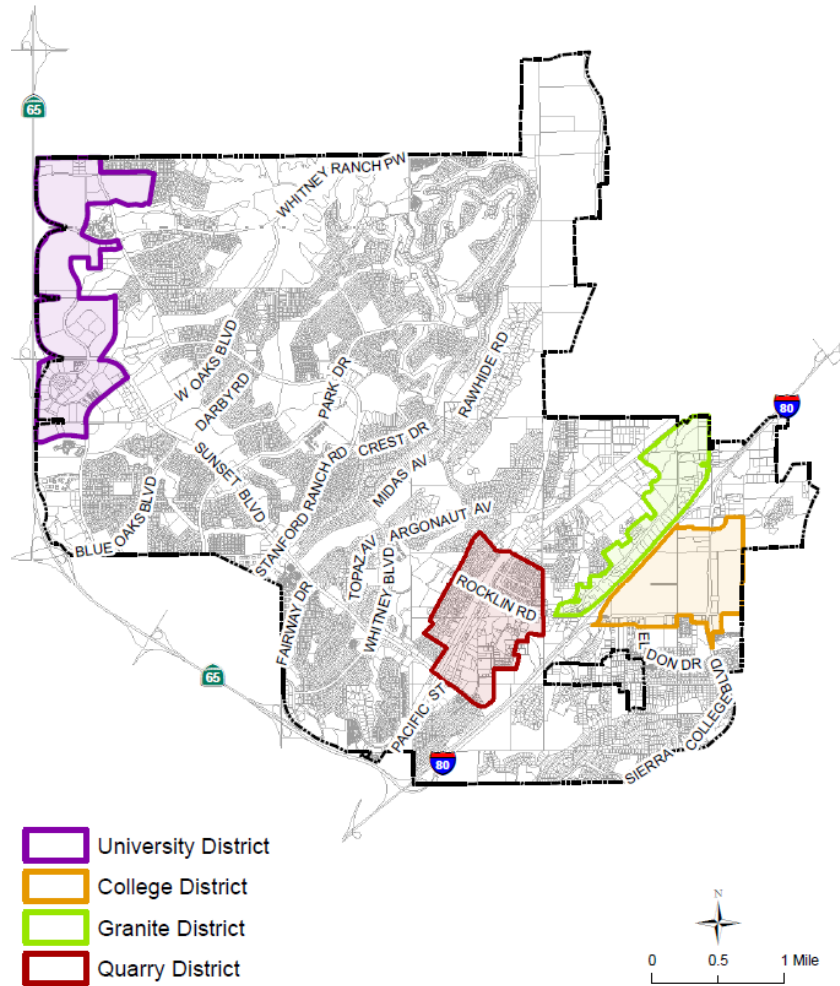
This application is a request for approval of a resolution amending design review objectives and criteria under Rocklin municipal code chapter 17.72 and repealing resolution nos. 2008-37 and 2011-22. The proposed modification would establish new District Architectural Guidelines and revise the existing citywide Design Review Objectives and Criteria.

Location

The proposed Architectural Guidelines pertain to four select areas within the City referenced as; the University District, the College District, the Granite District, and the Quarry District (see Figure 1). The University district is generally located in the northwest section of Rocklin along Hwy 65 and surrounding the William Jessup University. The College, Granite, and Quarry Districts are generally located in the southeast section of Rocklin surrounding the Sierra College, Granite Drive, and City Hall/Downtown Rocklin area respectively. The existing citywide Design Review

Objectives and Criteria and proposed revisions pertain to all areas within the city limits including the Districts previously referenced.

Figure 1. Location Map



Background and Discussion

The Planning Commission and City Council adopted the city’s first set of design review criteria in 2000. Since that time, much development has occurred in the city and the policies and concerns related to Design Review have been refined. The City Council and Planning Commission has, therefore, asked staff to formally update the Design Review Criteria to reflect the preferences and clarifications that have emerged through processing and evaluating design review projects over the last several years. The Council also recognized the opportunity and importance of creating locations in Rocklin where a unique sense of place could be established and expanded through articulation of a clear vision and architectural guidelines that invite and inspire private development to

creatively participate in promoting specific design themes in those key areas. The intent of the update is to provide as clear a direction as possible to the general public, developers, staff and decision makers regarding the community's expectations relative to the design of development projects. The Design Review Criteria update will apply citywide and the new Architectural Guidelines within several select Districts.

As part of the update process, the City Council established a committee to include two Council Members, two Planning Commissioners and staff to prepare the required documents and coordinate an extensive public outreach effort including;

- June 23, 2015 Council meeting (Committee established)
- July 8, 2015 Committee/Stakeholder meeting
- August 12, 2015 Committee/Stakeholder meeting
- August 26, 2015 Committee/Stakeholder meeting
- September 9, 2015 Committee meeting
- October 14, 2015 Committee meeting
- November 11, 2015 Committee meeting
- December 2, 2015 Tour (Utah)
- December 9, 2015 Committee meeting
- January 13, 2016 Committee meeting
- February 3, 2016 Committee meeting
- February 8, 2016 Tour (Sacramento)
- February 9, 2015 City Council presentation (Utah Tour)
- March 8, 2016 Committee meeting (Draft)
- July 12, 2016 Committee/Stakeholder presentation (Draft)
- July 26, 2016 City Council/Planning Commission presentation (Draft)
- July 27, 2016 Draft provided in hard copy to Council and Commission
- August 17, 2016 Building Industry Association (BIA) presentation
- October 12, 2016 Staff meeting with BIA representative
- October 17, 2016 Committee meeting (Revised Draft)
- November 15, 2016 Planning Commission (Final Draft)
- November 29, 2016 City Council (Final Draft)

After careful consideration of all comments received and responses (see attached), the Committee is herein (see resolution and exhibit) presenting a Design Review Objectives and Criteria amendment which; 1) creates several unique destination locations with a sense of place, and 2) inspires design creativity while providing basic direction focusing on quality and allowing for flexibility in response to market forces while providing a predictable review process.

The amendment provides for the following:

- Clarifies what types of projects are subject to citywide and/or architectural design guidelines and the correlation to district guidelines.
- Adds a largely graphic and web based experience to identify desired design themes and provide inspiration for development within the four specific Architectural Districts.
- References the potential for expedited processing and other incentives in response to exceptional design packages.
- Clarifies how modifications to design review approvals can be processed including review and approval authority.
- Adds a definition of general maintenance to items that are not subject to design review.
- Describes the goals, purpose and appointment of the Architectural Review Committee.
- Clarifies that the Architectural Review Committee's area of emphasis includes architecture and building related art and signage within the districts.
- Recognizes the Architectural Review Committee's ability to interpret policies applicable to its area of emphasis and approve non-substantive revisions such as the addition of new graphics, photos, etc. within the Review Criteria/ Architectural Guidelines.
- Provides generalized direction regarding how development edges are to be addressed rather than dictating duplicative architecture.
- Creates the opportunity for flexibility regarding the location of loading facilities.
- Deletes graphics that show traditional separations between commercial and residential as a requirement to create room for creative mixed use layouts and greater connections between uses as appropriate.
- Incorporated references to compliance with the city's post construction low impact development manual.
- Expresses a desire for tasteful yet vibrant use of color and crisp white trim when appropriate with the architectural style.
- Places emphasis not only on "high quality" but "sustainable" materials.
- Creates opportunities to use materials not traditionally embraced on buildings where exceptional design results can be demonstrated.
- Creates flexibility regarding sign illumination facing residential areas and incorporates flexibility for illumination of signage in mixed use projects.
- Provides flexibility for landscape planter widths along public rights-of-way making it more performance based rather than utilizing strict numerical formulas.
- Modifies parking lot shading standard to achieve 50% shading of paved areas at 15 year maturity rather than 1 tree per 5 spaces.

- Expands the list of enhancements for principal project entries to include public art.
- Adds emphasis regarding the importance of pedestrian access within a site, but also into a site from street corners.
- Emphasizes the need for pedestrian connectivity between places of business, shopping, parks and neighborhoods.
- Addresses wall heights as viewed from public right-of-way requiring landscaped benches or berming where sound wall and/or wall/retaining wall combinations will exceed 6'-0" feet.
- Encourages avoidance of walls through creative site design.
- Provides greater specificity regarding desired wall designs when necessary.
- Specifies wall pilaster intervals at no more than 60'-0" feet.
- Creates opportunity for wall designs without stone veneer or caps to be considered if quality design principles can be demonstrated using alternative methods and features.
- Adds flexibility to allow unique and varied awning designs to encourage interest and variety on streetscapes and building facades.
- Adds more specifics regarding desired design for residential neighborhoods and architectural design for homes on lots less than 6,000 square feet.
- Single family residential revisions include but are not limited to:
 - Neighborhood planning
 - Entries and character
 - Separated sidewalks and alleys
 - Changes minimum driveway depth from 20'-0" to 18'-0"
 - Clarifies visitor parking standards with allowances for flexibility
 - More specifics regarding desired architectural styles
 - Building form and articulation
 - Building heights, rooflines and upper story details
 - Materials and finishes
 - Landscaping and walls
 - Addresses locations and screening of risers and other similar features
 - Encourages integration and thoughtful location of solar and other similar technologies to minimize impacts on design and public views
- Reduces reliance on homeowner associations in favor of code compliance.
- Adds discussion of infill development and potential for modified development standards on a case-by-case basis.

For the convenience of all parties, a redline strikeout version of the Design Review Objectives and Criteria has been attached to the resolution for this item. Modifications recommended by the Committee since the public review draft was published in July

*Planning Commission Staff Report
Design Review Objectives and Criteria Amendment
November 15, 2016
Page 6*

2016 are identified with yellow highlight. The Architectural Guidelines for the Districts is a completely new section within the document so underline strikeout has not been used in that segment. The final version of the document adopted by City Council will be revised to remove all underline, strikeout and highlighting notations.

Future Actions

Assuming amendment approval, staff will be working with design professionals and utility providers to update the city's land development regulations and standards to comply with the amendment and districts addressing the following (among others):

- Streets and Streetscaping (ie. lighting, benches, sidewalks, etc.)
- Utility standards and locations
- Parking lots
- Landscaping

Attachments

- 1) Prior meeting comments and themes
- 2) Committee's response to comments received
- 3) Resolution No. PC-2016-

Prepared by Marc Mondell and Laura Webster

The following are the Committee's responses to comments received:

1. The proposed Committee is referred to as the "Architectural Guidelines Committee" in some places and the "Architectural Review Committee" in other places. The documents have been revised to refer in all cases to the "Architectural Review Committee" and to the Planning Commission in its capacity as the "Design Review Board".
2. The following is in response to comments received from Sierra College regarding their concern about the requirement to use brick:

Buildings (both on and off-campus) visible from right-of-way should use brick as one of the primary materials. Buildings at the end of vistas or other prominent positions should at a minimum incorporate brick feature walls and surfaces. Buildings that are less visible could use brick as a trim or accent element alone. Brick should also be considered for other site elements including signage, walls, etc. In all cases, the Committee prefers the use of brick but will accept the use of a brick veneer if designed and installed properly (i.e. so that the use of a veneer is not self-evident).
3. The Committee approved the following language to be added to each "District Boundaries" section of the website:

Structures adjacent to and visible from highways, located within transition areas along collector or arterial roadways, at project entries, vistas, plazas, common areas, or prominent corners should include feature elements consistent with the district guidelines.
4. The Committee approved the following language to be added to the "How to Use the Guidelines" section of the website:

Small structures include; houses, chapels, pavilions, and single-tenant commercial, etc.
5. The Committee approved the following language to be added to the "Review Process" section of the website:

In general, new structures and major additions or remodels require Architectural Review Committee consideration prior to Planning Commission approval. Small additions and maintenance projects may be approved at the staff level unless the Director elects to forward to the Architectural Review Committee for approval or the applicant appeals staff's determination to the Committee.
6. The Committee approved the following response to comments received from BIA regarding their concern about the use of the term "shall" versus "should", the requiring of specific cladding materials, and dictating or restricting the arrangement of interior spaces:

In general the guidelines are intended to encourage creativity and flexibility in achieving certain performance objectives and therefore include the term "should" in place of "shall" in certain instances. However, there are instances where the Committee has elected to use the term "shall" over "should" to ensure achievement of a specific performance objective or goal. The guidelines encourage the use of specific cladding materials in certain districts but the guidelines do encourage the use of alternative quality materials. The guidelines do not intend to dictate or restrict the arrangement of interior spaces and only in limited cases encourages the arrangement of exterior spaces.

7. A comment was received indicating that when reviewing the tables it's difficult at-first-glance to determine which structures are indicative of the districts desired architecture and which are not. The Committee directed staff to work with Bamboo to include a symbol or screening device over those images which are not indicative of the districts desired architecture.
8. A comment was received that the architectural styles represented in the Granite District appear to be more reflective of what's already in existence than what the City may desire for the district to become. While there is some truth to that statement the Committee does not recommend a change to the approach but is open to additional styles and examples being added if necessary.

**Design Guidelines Committee
Prior Meeting Comments and Themes**

Legend

- C Cost Need to be cost conscious
- T Technical Need to address a detailed technical issue
- F Flexibility Need for flexibility in design and process
- P Predictability Need for transparency and timely approval
- Q Quality Need to retain or create a high quality environment
- M Market Need to understand and adapt to market conditions

Meeting #1 Comments

- The Committee should also meet with architects and engineers to gain their insights as to what works from a design perspective in the marketplace
- C ● While a Council, Commission, or staff may want certain amenities (ie. front porches, roof dormers, etc.) consumers may not be willing to pay for that over a larger backyard (for example)
- T ● Single-story single family residences are currently in demand but it's difficult to fit them on small lots, may require a 6,500 sq ft lot minimum
- C ● A single-story single family residence of the same square footage as a two-story single family residence may cost more to build
- F ● A necessity for codes and processes is to allow for flexibility in working with builders
- F ● The City needs to work on its design standards to allow flexibility in setbacks, lot coverage, etc. so that consumer demands (ie. Sunrooms, patio covers, etc.) can be accommodated
- F ● Developers want a stable and predictable entitlement process which allows for some flexibility
- P ● Speed, certainty, and minimal political interference is attractive to the development community
- The Committee should also meet with utility providers to gain their insights and support as to what can work and how to problem solve or avoid design issues
- The Committee should also meet with regional brokers and corporate relocation decision makers to gain their insights as to what works from a design perspective in the marketplace
- The Committee should also meet with key property and business owners in the selected areas to gain their insights as to what works from a design perspective in the marketplace
- F ● Government should strive to be more nimble and react more quickly to market demands
- T ● Utility provider standards may be in direct conflict with community expectations for new development, those issues need to be reconciled
- P ● The more entitlement approvals that can be achieved upfront the better
- P ● Staff level approvals that help expedite processing is important – One of the biggest concerns for a developer is time.
- Q ● While community builders need to be sensitive to demographic change many basic consumer demands such as safe neighborhoods, stable communities, etc. do not change
- M ● In terms of single family residential product, most consumers remain primarily interested in 6,000sq.ft. lots
- T ● Many current designs are driven by building and energy related codes
- F ● Create a mechanism by which lot size can be easily changed post tentative map approval
- F ● Perhaps include language supporting up to a 10% variance in condition language during entitlement process
- C T M ● The City can create special unique areas but needs to be “eyes wide open” about the consequences and impacts of such decisions (ie. police, fire, sanitation, utilities, etc.) which might narrow the list of potential builders, retailers and buyers of the end product
- C ● Land cost can significantly impact the product that can be supported in the market
- C M ● The City may want to consider incentivizing certain features it wants that the market does not equally value
- Q ● Get basic infrastructure items correct (ie. livability, walkability, traffic circulation) first, architectural style is less important
- M ● Some projects look great architecturally, but don't do well in the market in terms of actual sales or leases – need to be careful
- Q ● Consider looking at other communities that have created a new image or standards but don't lose track of what fundamentally makes Rocklin attractive (ie. schools, safety, families, etc.)
- P ● Streamline the CEQA process by in-part adopting both citywide and subject area environmental impact reports so that more categorical exemptions are available while allowing flexibility in design review
- T ● Ensure connectivity to community assets (ie. Sierra College, Downtown, William Jessup, etc.) and allow for architectural diversity which can remain more aesthetically pleasing for a longer period than any one style
- F ● Consider offering an a la carte menu in design review for developer selection rather than stringent requirements
- T F ● Perhaps there are different standards and greater flexibility for infill site development
- T M ● Certain residential types work better on infill (ie. duplex, triplex, quadruplex) sites than on greenfield sites
- M ● More large lots 10,000 sq ft + are needed to attract executive residential market

Legend

- C Cost Need to be cost conscious
- T Technical Need to address a detailed technical issue
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- M Market Need to understand and adapt to market conditions

- M • Consider what other communities are doing in response to emerging market trends and uses (ie. business incubators)
- C T M • Often large and mid-size anchors in a commercial development dictate design restrictions well beyond what the City's codes and guidelines will allow, so developers are contending with that as well
- C M • Some users – sit down restaurants in particular – have their own design themes and branding and don't want to deviate – they may go elsewhere if they can't have what they want.
- C M • Mixed unit-type communities are highly desirable from a planning perspective but difficult from a developer perspective
- Q • Having all socio-economic levels sharing community amenities should be the basic goal
- Q • Housing choice keeps values rising as families move up and stay in Rocklin
- T • Consider adopting village standards so that each village within the master area requires specific standards and guidelines
- T • Color should be addressed in guidelines
- T M • A certain percentage of home designs should require front porches for safety
- F • Alternative designs; alleys, paseos, six-packs, zipper-lots, etc. can provide variety but may require flexibility with zoning requirements (ie. setback, lot coverage, etc.)
- T • Requiring commercial buildings to front streets and parking at the rear can create problems for deliveries, trash collection, fire exits, etc. and can negatively impact business sales and operations
- T • Consider increasing shade tree requirement to green up streetscape
- T • Vehicular and pedestrian circulation and conflicts should be addressed
- T • Allow adequate space for commercial wall signage
- T • Address wayfinding signage

Meeting #2 Comments

- T • Consider establishing a technical review committee to include utility provider representatives, City staff (planning, engineering and streets), and select engineers to look at what can be reduced in terms of PUE's and to discuss possibility of establishing urban design standards
- T • On small lots setbacks and utility easements should match
- T • The requirement for 10' separation between dry and wet utilities is a constraining factor
- T • Consider reducing minimum street width requirements for both infill and greenfield development
- T Q • City should work with utility providers on special geographic areas of interest where adequate utility capacity modelling, design solutions, design standards, and funding could be discussed
- T • Try to identify areas where utilities can support higher densities of development. As part of that consider storm drainage systems which are often constrained or inadequate in infill situations.
- T • Consider conversion of current two-way streets into one-way streets in select areas to support infill
- T • Consider utilities under sidewalks (repair and replacement costs need to be resolved)
- T • Consider overlapping non-exclusive utility easements
- T • Alley's and paseos can be challenging from a utility perspective (both installation and maintenance). Need to work out best configuration, materials, etc.
- Q • What the market desires is not always what's best for the community
- Q • In addition to the Sierra College, William Jessup, and Downtown area consider creating design guidelines for the Sunset Whitney area
- T • Define the characteristics of each area and then visit other communities that have similar areas (ie. William Jessup and other small contemporary college areas)
- T • Consider developing specific area plans for each unique area
- F M • Design guidelines should allow for creativity and flexibility
- T • Dry utilities often create some of the biggest visual issues, the City needs to bring the dry utilities into the design review process as early as possible.
- T Q • Need to balance desire to screen utilities with needs for access

Legend

- C Cost Need to be cost conscious
- T Technical Need to address a detailed technical issue
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- P Predictability Need for transparency and timely approval
- Q Quality Need to retain or create a high quality environment
- M Market Need to understand and adapt to market conditions

- Q • We are getting too much of the same thing and need more variety in designs, color, materials and encouragement for active destination type uses
- Q • Useable front porches are essential to creating a community
- C M • Consider offering developers density bonuses to encourage infill and redevelopment projects
- C T M • Consider reducing parking standards and requirements for infill and redevelopment projects
- M • Be realistic with what guidelines can achieve in the short and long term
- C T M • In suburban commercial development other cities have experimented with putting buildings up front and parking in the rear. Without alley's also being included it creates a challenge in terms of allocating space for deliveries and trash collection. A better alternative would be to increase the shade requirement in the parking lots and require larger more enhanced areas for front landscaping.
- T • Circulation for both vehicles and pedestrians should be addressed including avoiding vehicle/pedestrian conflicts
- T • Commercial building designs should allow appropriate spaces for signage
- T • Street signage shouldn't disappear, but wayfinding should become the focus rather than large display signage
- C M Q • Useable porches should be required. In addition to the social benefits they provide "eyes on the street" and reduce crime.

Meeting #3 Comments

- M Q • The vision and goals for each proposed district needs to be established
- Q • There needs to be an understanding of where Sierra College and William Jessup are heading in terms of enrollment, campus expansion, architectural style, partnership with private development, etc
- M Q • The planned Quarry Park and related programming will attract visitors downtown but the adjacent and surrounding uses (ie. restaurants, bars, etc.) will help to keep them downtown
- M Q • The type of visitors, businesses, and residents we trying to attract to each district will inform what the guidelines need to require
- F P T • Need to clearly define what can be developed by right, what can be approved administratively, and what requires public review and approval
- Q • Focus both on function and form
- Q • Consider a complimentary contemporary architectural pallet around William Jessup up to the Lincoln border
- C F M • Describe what you want in the guidelines but allow for flexibility in how its achieved
- T • Establish the guideline priorities and realize therefore everything else is not the priority
- Q • Identify and build off of Rocklin's defining attributes (ie. education)
- Q • The district concept should be more than just about architectural style
- F • Allow greater flexibility in zoning
- T • The design guidelines and zoning need to work together
- F • Guidelines should be flexible but not subjective, allow for an appeal process
- P • Provide greater administrative authority
- P • The submittal and approval process needs to be clear
- T • Establish guidelines and not rules
- T • Allow for adjacent transitional clauses
- T • Allow the grading of small lots to proceed without specific development plans
- F M • Recognize that developers are part of the process in shaping the vision
- M • Shift from a regulatory and extraction posture with developers to more of a partnership position
- Q • Rocklin has been able to maintain its small town character

Legend

- C Cost Need to be cost conscious
- T Technical Need to address a detailed technical issue
- F Flexibility Need for flexibility in design and process
- P Predictability Need for transparency and timely approval
- Q Quality Need to retain or create a high quality environment
- M Market Need to understand and adapt to market conditions

- M Q • William Jessup has a very influential and distinct design which should inspire and influence surrounding development both in terms of architectural style and type of development that would serve and assist to further attract their student base. This likely includes higher densities, retail and access to trails and recreation.
- T • Consider design theme as concentric rings, for example William Jessup is the center of a district and exemplifies the design theme. As you move out from the center, the design theme maybe becomes less prominent until it transitions to surrounding design themes
- F T • Design Guidelines must be adaptable. If too specific, people get fixated on a specific vision and cannot see outside of that tunnel vision
- Q • Downtown needs a landmark which will perhaps be served by Quarry Park
- T • Transportation to key areas needs to be addressed, particularly Sierra College and William Jessup
- M • Clearly define and protect job centers. Definition should include types of industries that make sense for Rocklin, but should also be flexible to consider industries that maybe weren't considered before.
- M Q • Look at factors that will influence or dictate the type of companies we can attract (infrastructure, labor pool, land availability, etc.). Even things like the density of employees we can expect as a suburb will drive the type of companies we can attract
- Q • Rocklin lacks a defining sense of place, the proposed districts can help to establish that sense of place
- C Q • The use of certain construction materials over others can have a significant impact making a project financially infeasible
- T M • Properties adjacent must connect to Sierra College and William Jessup to increase the overall value proposition and appropriately integrate uses
- T M • Define how mixed use works in each district
- M Q • More urban and dense development patterns should exist near William Jessup and compliment the contemporary design but allow it to maintain its identity
- C M • High density affordable housing may not be desirable in the marketplace and therefore not work financially, the City may need to figure out subsidy gap
- F Q • The guidelines need to create a sense of place but allow flexibility on how that's achieved
- Q • The City can encourage a Sierra College district architectural theme but the college needs to be agreeable for it to be integrated
- M Q • Sierra College anticipates growing from 15,000 to 23,000 students under the current masterplan and continue feeding students to four year programs, William Jessup anticipates growth to 3,500 students and continued focus on international and traditional undergraduates although there could be expansion of masters and adult education programs
- Q • The districts should include consideration of iconic and identifiable features such as clock towers, etc
- F M Q • Make sure the vision for each district can adapt to changes in the marketplace
- M • There may be limited opportunity for large-scale manufacturing type operations but good diversity of opportunity in the smaller commercial and office space
- T • Ease of transportation from one district to another and within each district is important
- Q • Public and private gathering spaces are important
- C M • Companies are hard to attract and will work to meet the communities needs and desires to a point, don't be overly restrictive
- Q • Public art and use of defining materials are important
- Q • Landscaping and streetscaping can help to establish a sense of place without dictating building styles

Summary

| Category | C | T | F | P | Q | M |
|----------|----|----|----|---|----|----|
| Count | 16 | 47 | 18 | 7 | 35 | 34 |
| Rank | 5 | 1 | 4 | 6 | 2 | 3 |

Composite Ranking

| Category | C | T | F | P | Q | M |
|----------|----|----|----|----|----|----|
| Count | 43 | 46 | 54 | 56 | 70 | 54 |
| Rank | 5 | 6 | 4 | 2 | 1 | 3 |

RESOLUTION NO. PC-2016-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN
RECOMMENDING APPROVAL OF A RESOLUTION
AMENDING DESIGN REVIEW OBJECTIVES AND CRITERIA
UNDER ROCKLIN MUNICIPAL CODE CHAPTER 17.72 AND
REPEALING RESOLUTION NOS. 2008-37 AND 2011-22
(Design Review Criteria Update/ZOA 2016-0002)

WHEREAS, Chapter 17.72.070(C)(9) of the Rocklin Municipal Code allows the City Council to adopt design review criteria by resolution of the City Council; and

WHEREAS, pursuant to Chapter 17.72.040(B), the Planning Commission of the City of Rocklin has the duty to establish design guidelines;

WHEREAS, on February 26, 2008 the City Council amended design review criteria by Resolution No. 2008-37 and subsequently revised sections pertaining to permanent building signage by Resolution No. 2011-22; and

WHEREAS, the Planning Commission has determined that it is necessary to update and refine the adopted criteria.

Section 1. The Planning Commission of the City of Rocklin hereby recommends approval of the Resolution Amending the Review Criteria for Design Review Under Rocklin Municipal Code Chapter 17.72 as attached hereto as Exhibit A.

Section 2. The Planning Commission of the City of Rocklin hereby recommends that the City Council repeal Resolution Nos. 2008-37 and 2011-22.

PASSED AND ADOPTED this 15th day of November, 2016, by the following roll call vote:

AYES: Commissioners:
NOES: Commissioners:
ABSENT: Commissioners:
ABSTAIN: Commissioners:

Chairman

Attest:

Secretary

EXHIBIT A

CITYWIDE DESIGN REVIEW OBJECTIVES AND CRITERIA

Rocklin places high value on the design of its Community.

This document contains both Citywide Design Review Criteria and Criteria that is specific to unique geographic Districts where the Community has envisioned and will implement particular Architectural themes.

Sections D and E of the Design Review Criteria apply citywide, except that provisions related to Building Architecture, Public Art and Signage within the following Districts shall supersede those which apply citywide:

University District

Quarry District

Granite Drive District

College District

Criteria specific to Building Architecture, Public Art and Signage in the Districts noted above are contained in Section G of this document.

A. DESIGN REVIEW: WHEN REQUIRED.

1. In all cases, tThe Design Review Board shall review each application ~~for a building permit for~~ associated with the following types of construction within all areas subject to design review under Rocklin Municipal Code Chapter 17.72.:

~~1-a.~~ All new construction of multi-family structures (two or more units), and non-residential structures, including permanent signs or sign relocation, and all site improvements (including but not limited to, walls fencing, trash enclosures, landscaping, and other special features) that are associated with multifamily residential and non-residential projects.

~~a.b.~~ All new construction of single-family residential units on lots less than 6,000 square feet in area and/or specific single family lots identified as requiring design review in entitlements approved by the Planning Commission and/or City Council, except those that are located in the R1-5 zoning district.

~~a.c.~~ All new single-family residential units within the University, Quarry, Granite Drive and College Districts regardless of lot size. However, in instances where the units are being constructed on infill lots (i.e., no more than four single family lots which are not part of a larger residential subdivision) Design Review approval authority in the Districts is delegated to the Architectural Review Committee.

~~Any exterior addition or modification of multi-family and non-residential structures, including significant changes permanent sign structure.~~

~~d.4-~~ Relocation of any multifamily residential or non-residential building or structure.

~~5. e. Permanent P stand alone parking lots and parking structures.~~

2. Modifications to Projects That Have Received Design Review Approval (including Single Family as applicable) or Modifications to Existing Multi-Family and Non-Residential Development Projects:

Repainting, re-roofing, re-siding, and modifications to existing buildings, signage, landscaping, walls, fencing, trash enclosures and other special features where the colors, materials and design deviate from what is existing and/or was formally approved by the City, but substantially complies with the approved paint color and materials or a reasonable range of standards used in the community may be approved by the Community Development Director unless specifically stated in the approving Design Review approval resolution. The Community Development Director may determine that such requests depending upon the scope and magnitude of the changes require approval by the Planning Commission or Architectural Review Committee as applicable. The applicant has the right to appeal the Director's decision to the Architectural Review Committee.

3. The following shall not be subject to design review unless specified.

a. General maintenance of existing structures, parking lots and landscaping which do not require permits or substantively deviate from a prior Design Review approval. For purposes of these Guidelines and Criteria maintenance is defined as activities required or undertaken to conserve as nearly, and as long, as possible the original condition of an asset or resource while compensating for normal wear and tear. Any modification or replacement of materials associated with general maintenance involves use of that which is the same in color and substantially similar to or of higher quality than the existing material in place. Maintenance of landscaping as defined does not include removal of mature trees and plants.

1.b. Repainting where the color of the paint substantially complies with the approved paint color unless specifically stated in the approving Design Review approval resolution.

~~2. Re-roofing, or re-siding where the new material substantially complies with the approved existing material.~~

~~3.c.~~ Repair, cleaning, or refurbishing of an existing permanent building, structure or sign.

~~4. Permanent sign replacement where a sign is similar in design to the entitled permanent sign.~~

~~5. Minor architectural elements of a sign, building or structure that substantially comply with the approved design.~~

~~d~~6. Temporary signs.

~~e~~7. Resurfacing and re-striping of existing paved parking lot areas. However, property owners are urged to ensure that such activities are completed in a manner that conforms to all applicable accessibility requirements.

~~8. Installation of new landscaping areas.~~

B. DESIGN REVIEW OBJECTIVES

In previous decades, cities and counties relied almost exclusively on zoning and subdivision ordinances to regulate the design and appearance of new development. However, in recent years, staff and decision makers have become increasingly aware that those techniques and standards alone are not adequate to deal effectively with some of the more subtle aspects of development related to building aesthetics, design quality, the relationship of new development with existing buildings, or in some instances, with the character of the community as a whole.

One of the City's primary desires is to create a "sense of place" in Rocklin by incorporating unique natural features, creating thoughtful layouts and connections between projects, establishing desirable public spaces, softening the suburban hardscape with ample landscaping, including focal points with decorative accent features (i.e., fountains and public art), and insisting on the use of quality materials and design rather than accepting standardized corporate image driven design that can lead city after city to appear like "Anywhere USA". The market, economy, and land values all change fairly rapidly, but poor design lasts forever.

The objective of design review is to provide a forum to review small lot single family developments, multi-family residential, and nonresidential development to encourage originality in building and landscaping design in a manner that will enhance the physical appearance of the community; encourage harmonious and compatible development; reduce potential visual conflicts with adjacent development (both existing and proposed); and involve area residents, owners, and merchants in the review process. The Board shall evaluate design review applications by applying the following criteria in

conjunction with Chapter 17.72. These criteria are not intended to supersede requirements in the City's development and construction regulations, or restrict imagination, innovation or variety, but rather to assist in focusing on design principles that can result in creative solutions to assist in promoting the objectives of design review.

As used herein, the terms "should" or "are encouraged" means the city strongly prefers that the applicant apply the criteria to his or her project, but the applicant may use an alternative design feature to the one expressed by the criteria, if they can demonstrate that an alternative design feature may be used to achieve the design concept or desired aesthetic.

The term "shall" is a requirement.

The applicant is generally expected to comply with the criteria unless he or she can demonstrate that unique circumstances or special characteristics applying to the project warrant the use of an acceptable alternative to the standard expressed in the criteria or they can demonstrate that adherence to the criteria (1) will render the project infeasible and (2) even without complying with the specific criteria, the project design as a whole will still achieve the City's design goals and policies.

The term "prohibited" is intended to illustrate those aspects of design which do not achieve the city's design review objectives or meet the design review criteria and are therefore, not permitted.

Processing and Incentives for Excellence – The Economic and Community Development Department is committed to providing exceptional customer service and ensuring that all its applicants experience a quality development process.

Unless waived, all projects are subject to a formal in-person Pre-Application Meeting in which the reviewing parties provide comments, suggestions and recommendations prior to formal submittal to ensure an efficient and effective process.

In instances when staff believes that the applicant offers an exceptional design package that exceeds the provisions of these guidelines, the Economic and Community Development shall prioritize and expedite the review process to the fullest extent possible. The process, commitments and timelines for all parties will be determined and agreed upon on a case by case basis. Other measures and economic incentives may also be available from time to time as provided by state law or City Council Policy.

The final determination regarding whether or not a project meets the City's design review objectives and criteria rests with the approving body (i.e., typically the Planning Commission unless some specific authority has been delegated in these guidelines or other ordinance to City Staff or the Architectural Review Committee)- The only

~~exceptions to this being~~ and in those instances when entitlements that are processed concurrently with design review require City Council approval, or a decision made by the Planning Commission is appealed to the City Council.

The authority for the City to make these determinations emanates from the police power which is defined as the power of the government to enforce regulations designed to protect public health, safety, morals, and general welfare. This includes land-use and aesthetic restrictions.

As stated by the California Supreme Court: “We have recognized that a city’s or county’s power to control its own land use decisions derives from this inherent police power, not from the delegation of authority by the state. *See, e.g., Candid Enters., Inc. v. Grossmont Union High Sch. Dist.*, 39 Cal. 3d 878, 885-86 (1985).”

The police power allows cities to tailor regulations to suit the interests and needs of a “modern, enlightened and progressive community,” even as those interests and needs change. *Rancho La Costa v. County of San Diego*, 111 Cal. App. 3d 54, 60 (1980).

The City may exercise its police power to achieve an expansive range of interests. The California Supreme Court has held that aesthetic reasons alone can justify the exercise of the police power.

C. ARCHITECTURAL REVIEW COMMITTEE

Goals

1. Providing developers upfront feedback on architectural design submittals affords greater predictability and likelihood of achieving high quality design.
2. Streamlining review of the architectural aspects of development projects while achieving conformance with Citywide and District Guidelines.

Purpose

The Committee serves as a recommending body to the Planning Commission on building architectural design within the University, College, Quarry and Granite Drive Districts (does not include other onsite, offsite, or environmental review consideration).

As responsibilities have been delegated, the Committee is to review proposed project architectural design submittals (including the incorporation of building related art and signage) to determine compliance with applicable guidelines and to transmit its recommendation to the Planning Commission. Design review related to monument and freestanding signs remain under the purview of the Planning Commission.

The Committee can make a recommendation to override adopted building sign regulations (cited in Chapter 17.75 of the Rocklin Municipal Code – Signs on Private Property) if they can establish findings as to why compliance with existing regulations is infeasible or undesirable and that the deviation would actually result in exceptional design. The Planning Commission has the authority to approve deviations to the numerical standards for building and other signs as outlined in Rocklin Municipal Code Section 17.75.030 (D).

The Planning Commission is the City's designated Design Review Board, however, the Commission's purview relative to building architecture (style, colors, materials), signage (design, colors, materials) and building related art which the Architectural Review Committee has already found consistent with adopted guidelines and criteria is extremely narrow. The Planning Commission's authority to request minor alterations to project architecture and other related features is limited to those instances when such changes are justified by public health and safety, overriding onsite, offsite, or environmental considerations only.

The Committee has the authority to interpret policies applicable to its area of emphasis and approve non-substantive revisions such as the addition of new graphics, photos, etc. within the Review Criteria/Architectural Guidelines.

Appointment

The Committee includes two appointed City Council members, two Planning Commissioners, and a member of staff consisting of either the City Manager or his/her designee.

Committee members consisting of Planning Commissioners and Council Members are recommended by the Mayor and approved by City Council serving until they are replaced or resign. Terms are to be staggered every two years to ensure continuity.

Meetings

The Committee is scheduled to meet on a frequent and regular basis regularly twice per month (assuming there is business to be considered). Regular meeting dates and times will be established and agendas posted in the established City Hall posting location.

Support staff will attend the Architectural Review Committee Meetings as appropriate.

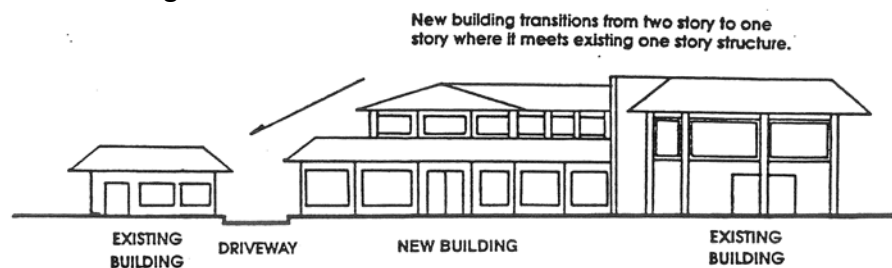
Initial submittals are reviewed by the Committee to determine compliance or required revisions. Resubmittals (if necessary) are reviewed together with the applicant until a final Committee determination is made.

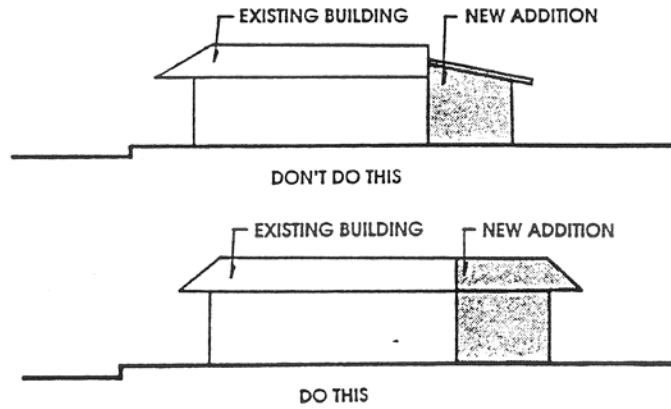
Actions and formal recommendations of the Committee will be carried by vote of a simple majority of the Committee Members who are present.

CD. DESIGN REVIEW CRITERIA

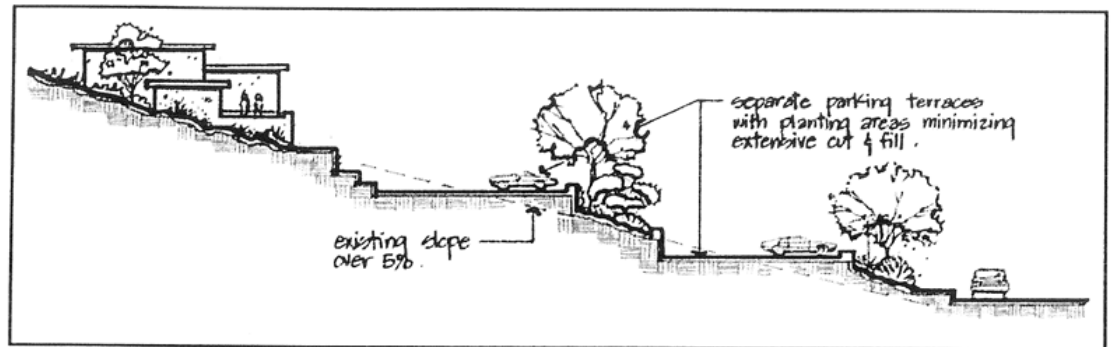
1. Locating or siting of the proposed structure and/or addition to an existing structure.

- a. Height and scale of each structure, including signs, should be compatible with its site improvements and buildings in the surrounding area.

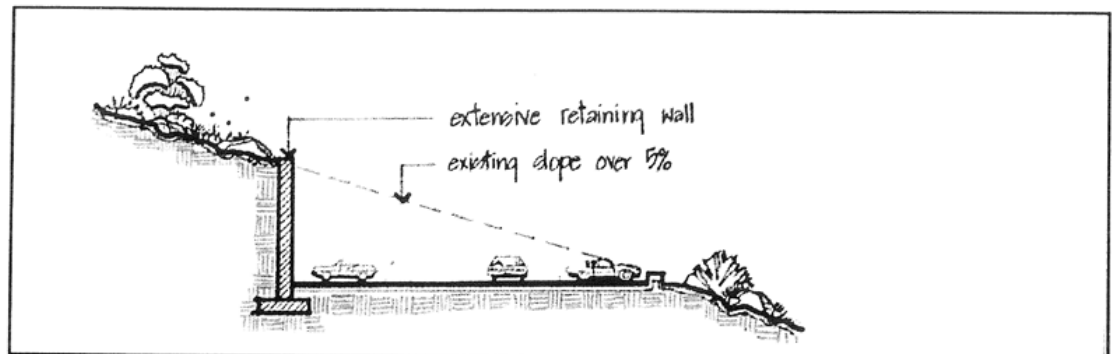




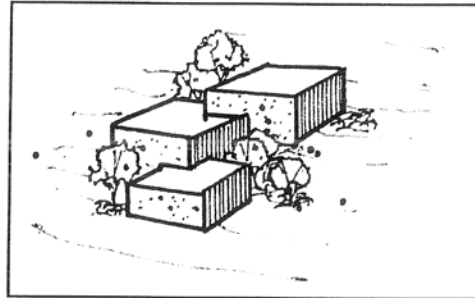
- b. Where natural or existing topographic patterns contribute to the beauty and unity of the building site and surrounding development, they should be preserved and incorporated into the plan.



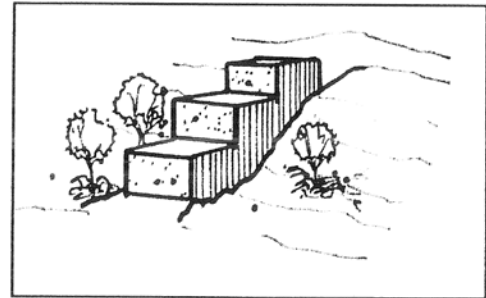
Encouraged



Discouraged

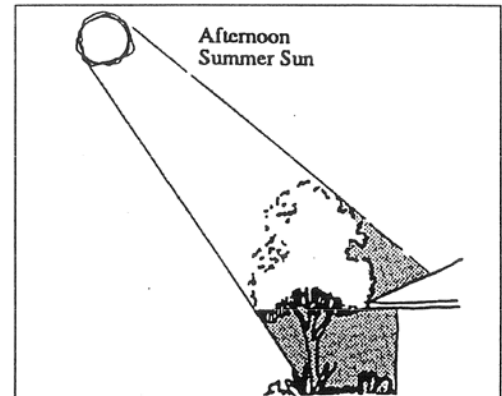
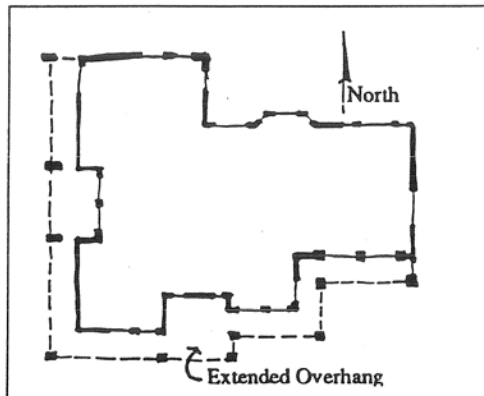


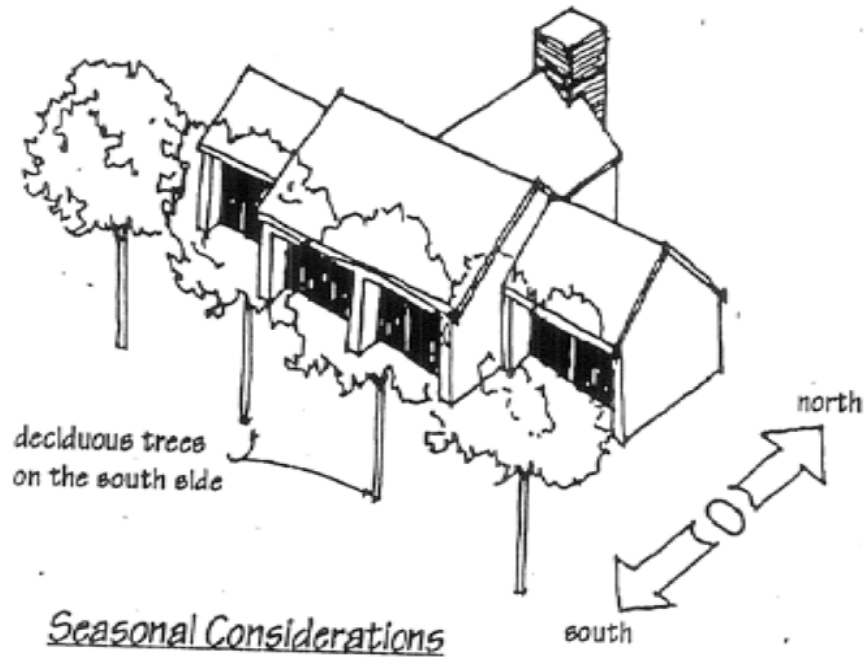
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Discouraged

- c. ~~Every effort should be made to preserve oak trees as a part of the site design for a project. Projects shall comply with the City's Oak Tree Preservation Ordinance as amended from time to time.~~
- d. Structures should be oriented in such a way as to take advantage of known atmospheric conditions (such as wind, sun, etc.) for purposes of heating and cooling, so as to conserve energy.





2. Site Planning.

- a. ~~Proposed buildings and structures of different architectural styles to those of the surrounding buildings should be made compatible by such methods as screening, site breaks, color or materials.~~

Thoughtful consideration should be given to development edges and transitions.

DELETE THE FOLLOWING GRAPHICS



recommended

elements from the existing building are used on the new building



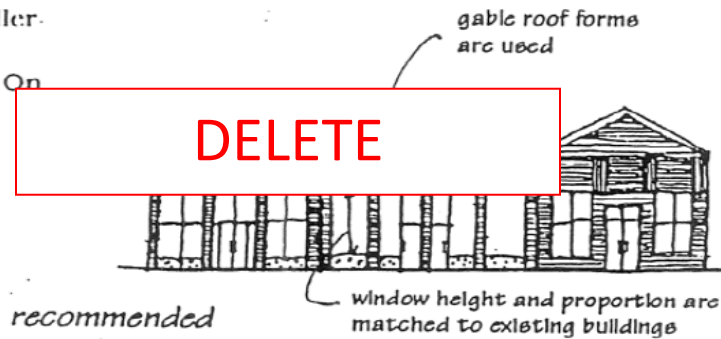
not recommended

a building not responding to neighboring buildings takes away from the area

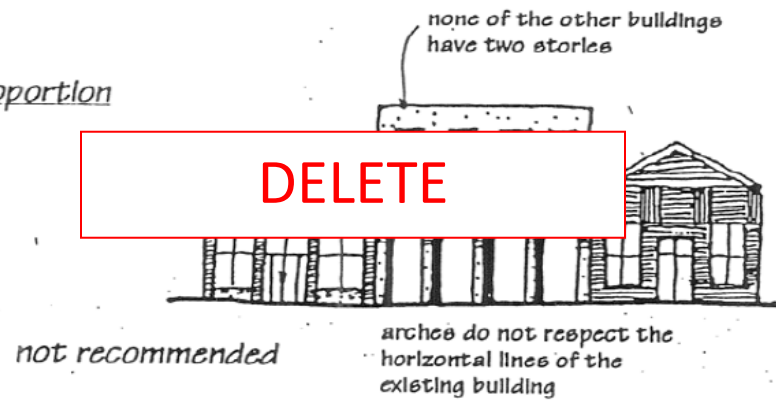
Continuity of Design

DELETE THE FOLLOWING GRAPHICS

For example, long smaller- tained by ame size. On

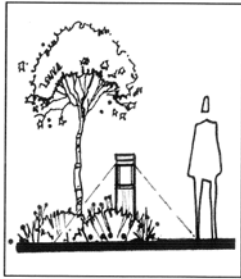


Proportion



b. ~~Buildings and structures shadowing onto adjacent properties should be minimized.~~

be. Lighting standards and fixtures should be of a design and size compatible with the building and with adjacent areas and be complementary to the architectural style of the buildings. ~~Lighting should be restrained in brilliance by meeting Dark Sky principles.~~ Adverse glare onto adjacent properties is prohibited. More, smaller scale parking lot lights instead of fewer, overly tall and large parking lot lights should be installed. The use of bollard lighting, decorative poles and fixtures is strongly encouraged. Outdoor light fixtures mounted on building walls should relate to the height of pedestrians and not exceed 8 to 10 feet.



- cd. ~~“Row” buildings and structures should be avoided except in the Downtown/Central Rocklin area. Attractive building placement and articulation is desired. Layouts that orient buildings forward toward the street with parking behind are encouraged in most locations.~~ Variation may be achieved through the use of such measures as setbacks, building height variation, and wall and roof offsets, to prevent a monotonous appearance. Multiple buildings should be clustered to achieve a “village” scale with plazas and pedestrian areas. When clustering is impractical, a visual link

should be established between buildings through the use of arcades, trellises, colonnades, landscaping and trees, or enhanced paving.

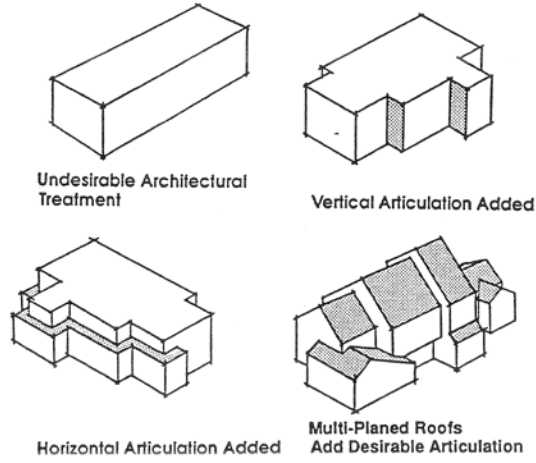
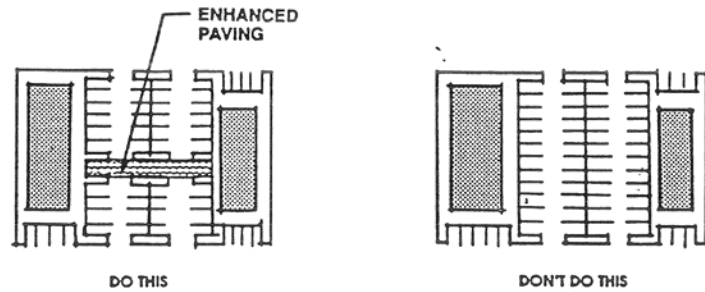
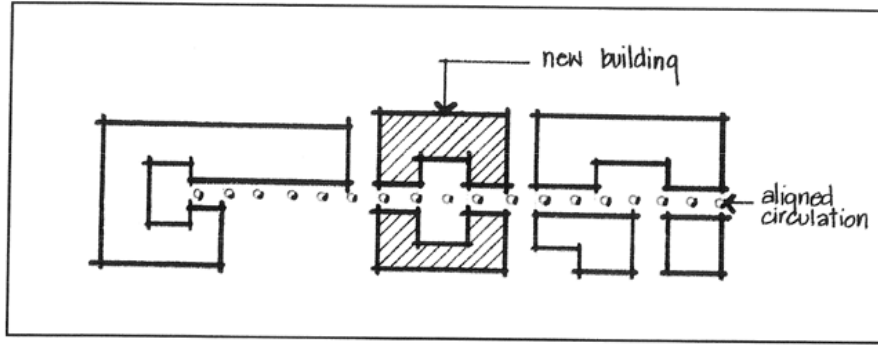


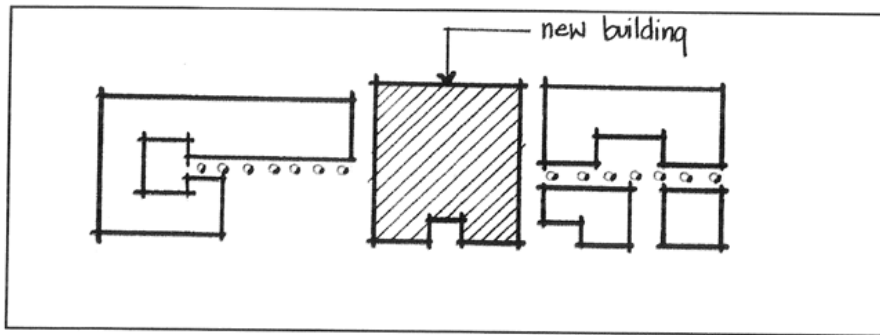
Figure 3-15 - Walkways Separate From Vehicle Access



- de. Projects with multiple phases, regardless of ownership of the applicable properties, should be coordinated in architecture and site design.

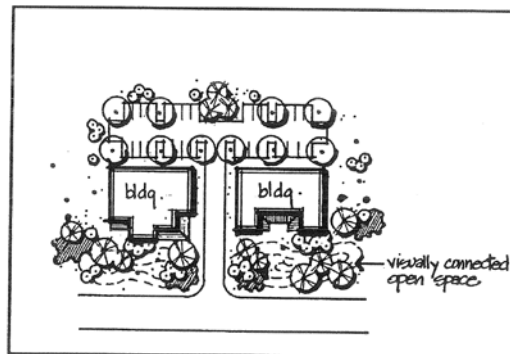


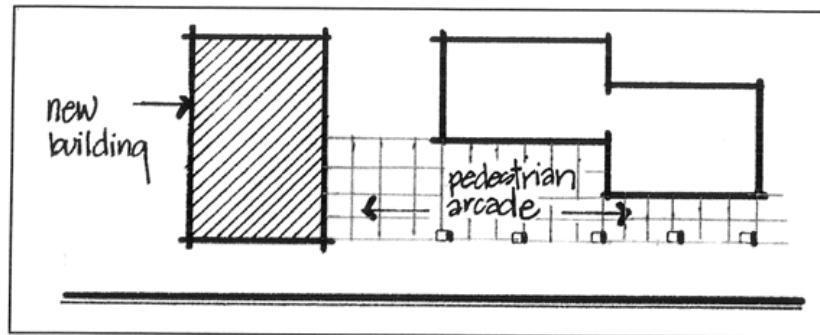
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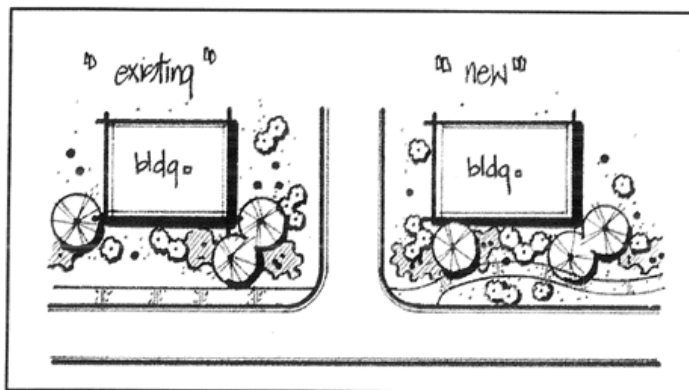
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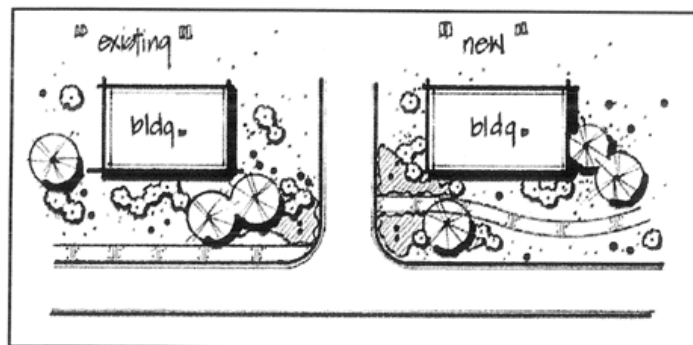




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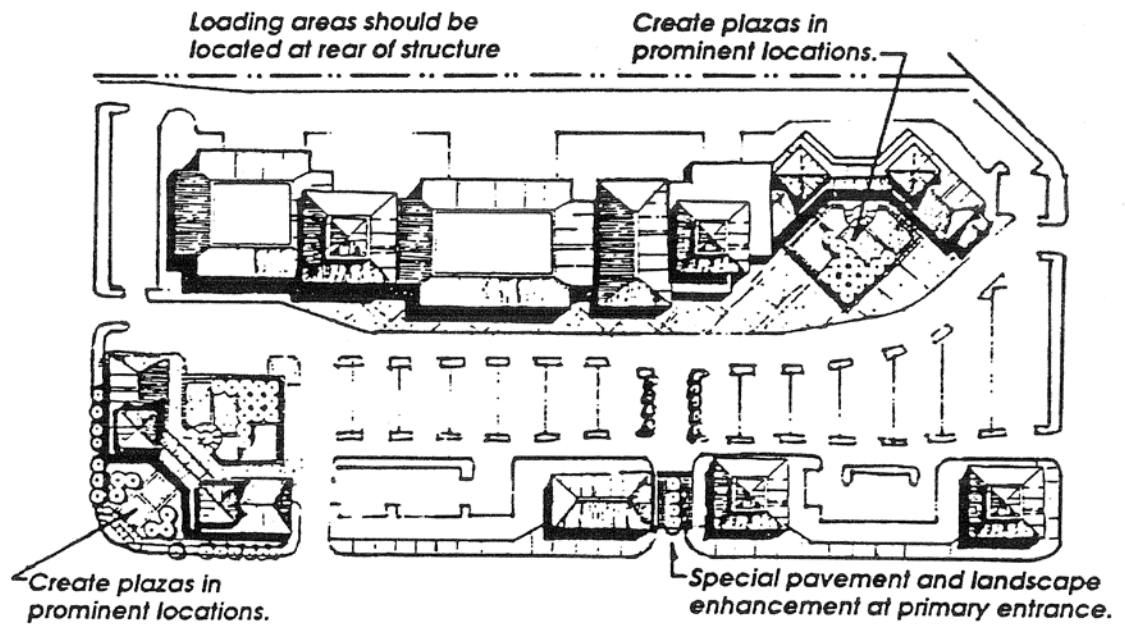
Encouraged



Discouraged

See also section 2.4.1, "Relationship to Adjacent Development".

ef. In most instances, loading facilities should not be located at the front of buildings where they will interfere with customer and employee traffic and can be difficult to adequately screen, unless site layout advantages and design enhancements can be incorporated to address those concerns. These facilities are usually more appropriate at the rear of buildings.

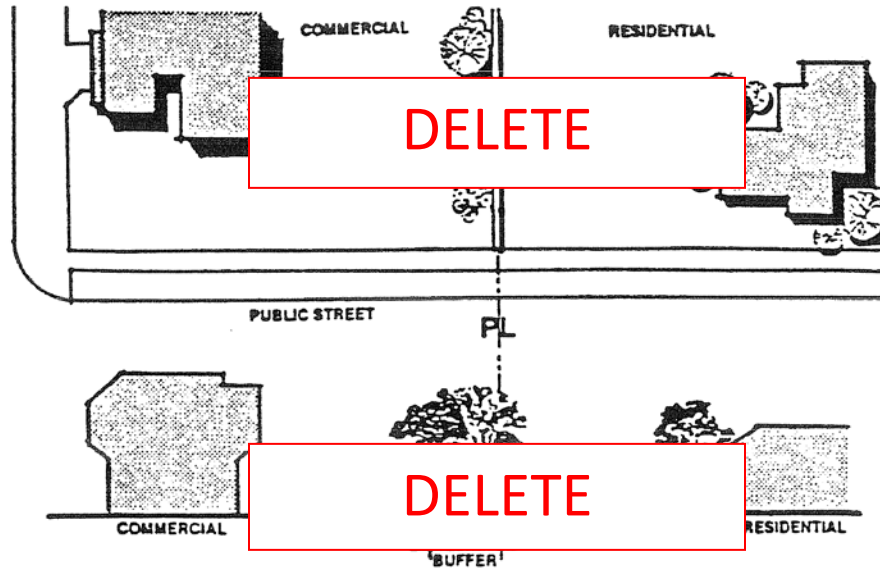


fg. Loading docks should be screened from street and off-site views to maximum extent feasible, and be architecturally integrated with the design of the building. Loading dock screen walls should include the materials used on the building where the dock is located and should include decorative caps and pilasters. Landscaping should be used to soften the appearance of the screen walls.



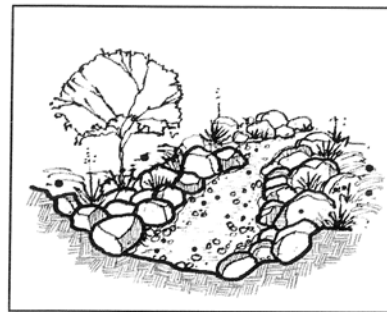
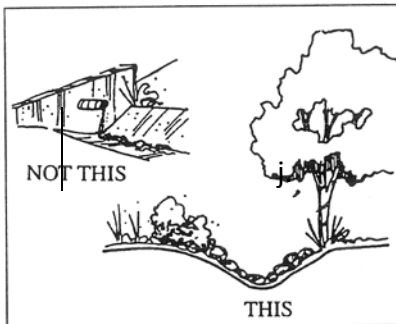
gh. Special attention should be given to the design of loading facilities adjacent to residential areas to minimize noise and visual

conflicts. Techniques to achieve this guideline include lower lighting, orientation, sound walls and enclosed loading facilities.

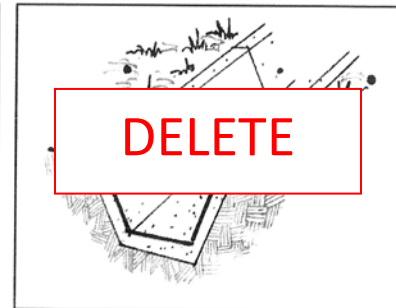


Buffer separation is required between different uses.

hi. Open drainage features should be designed to mimic natural creeks and swales in their visual and water filtration qualities consistent with the City of Rocklin Post-Construction Low Impact Development (LID) Manual. Design professionals should consult with the City's Environmental Services Division for the most current design criteria and standards. ~~where feasible. In areas where it is necessary to drain water more quickly from homes and properties, such as homes located at the bottom of a hill, with development located above, engineered and lined open drainage features should be used.~~

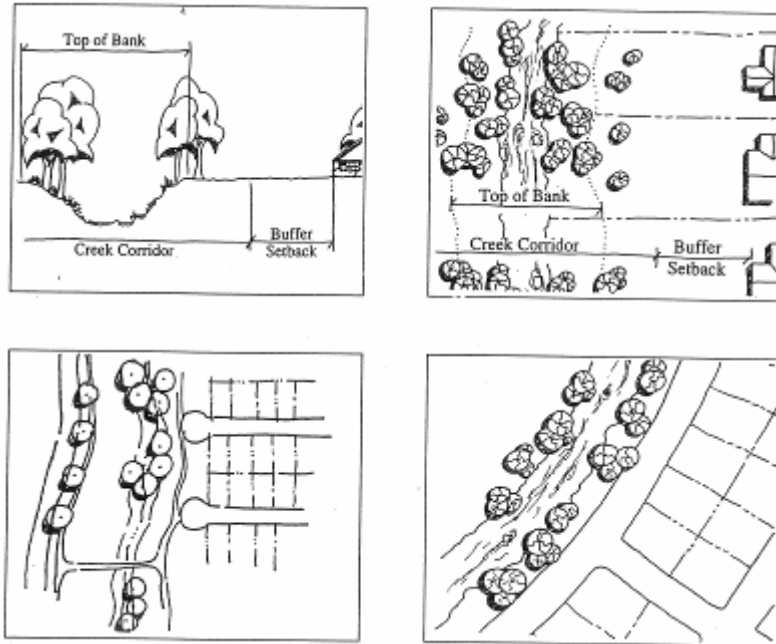


Encouraged



Discouraged

- ij. Creeks and riparian areas should be protected through the use of setbacks in accordance with the City’s General Plan policies. The location of the setbacks should be verified in the field with the City Engineer and Environmental Services Manager prior to engaging in project design.



3. Building Elevations / Architecture

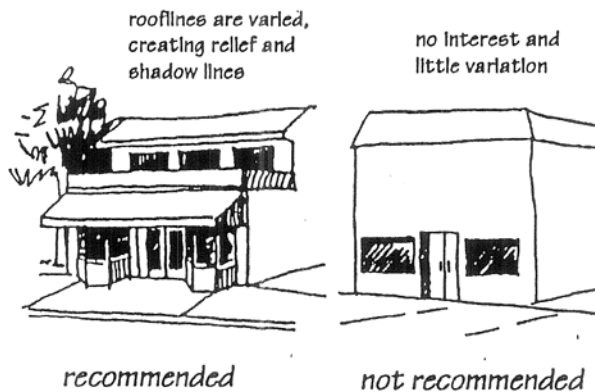
Architecture

- a. No particular architectural style or design is required by the City except as specified within the Architectural Districts presented in Section G of this document. However, prototypical building designs used by businesses should be avoided. Corporate colors should be used as an accent only.

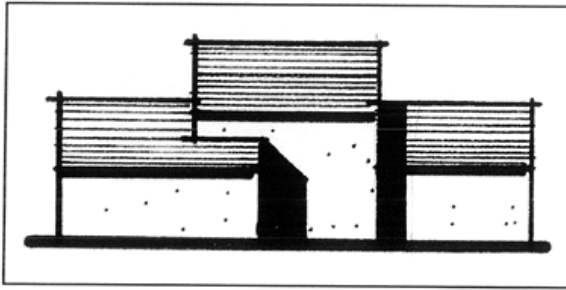


b. Color applications on a façade should be tasteful, create a vibrant appearance and compliment the character of the structure. When in keeping with the architectural style, crisp white trim or other color applications should be used to highlight the prominence of building lines and openings.

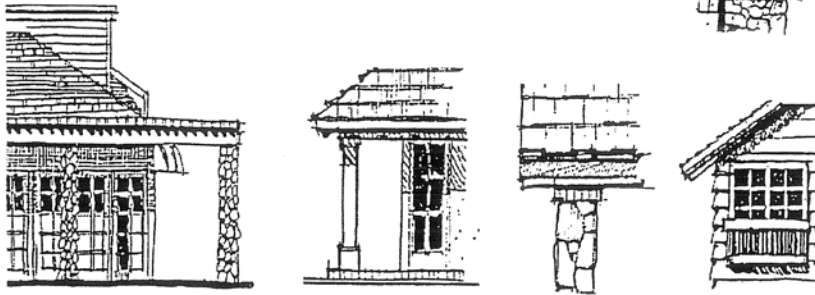
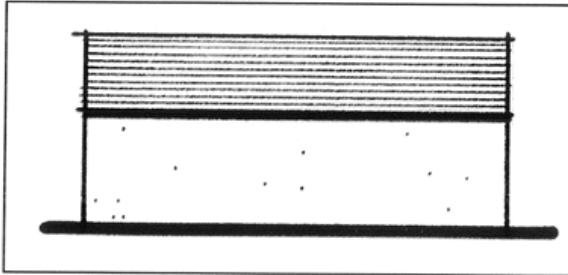
b.c. Monotony of texture, building lines or mass should be avoided.



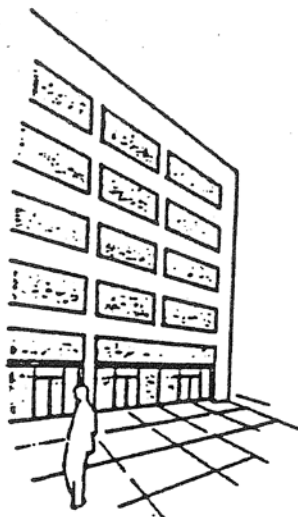
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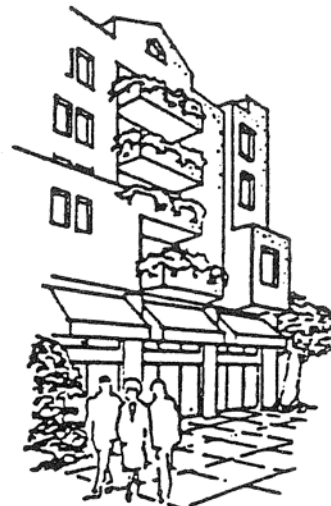
Discouraged



Utilization of numerous desirable architectural elements.



Undesirable articulation of building facade



Desirable articulation of building facade

ed. Blank walls should be avoided by utilizing some combination of features such as window designs, window trim, trellis features, wall articulation, arcades, wall light, change in materials or other features.



ee. Offsetting planes are encouraged, including variation in roof planes and variations of exterior building walls.



Excellent horizontal and vertical wall articulation



ef. A mixture of high quality sustainable exterior building materials is encouraged.



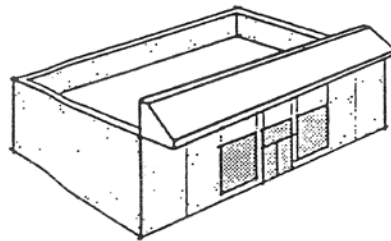
fg. Exterior finish materials should be chosen and applied so that they do not appear “thin” and otherwise artificial as in the case of brick veneer applied to a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2” x 2” or 2” x 4” members. Veneers should turn corners, avoiding exposed edges.



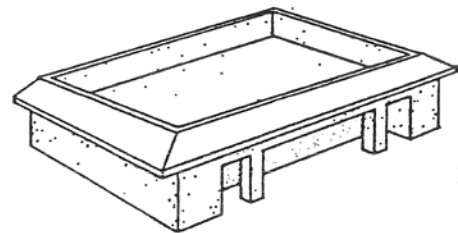
gh. Three dimensional architectural elements such as towers and boxed parapets should be designed with continuous parapet walls and not be designed as façade treatment only.



hi. Parapet walls should be designed to be proportional to the scale of the building. Bracing for the parapet wall should not be visible.



NOT ACCEPTABLE
Partial mansard roof appears added-on.



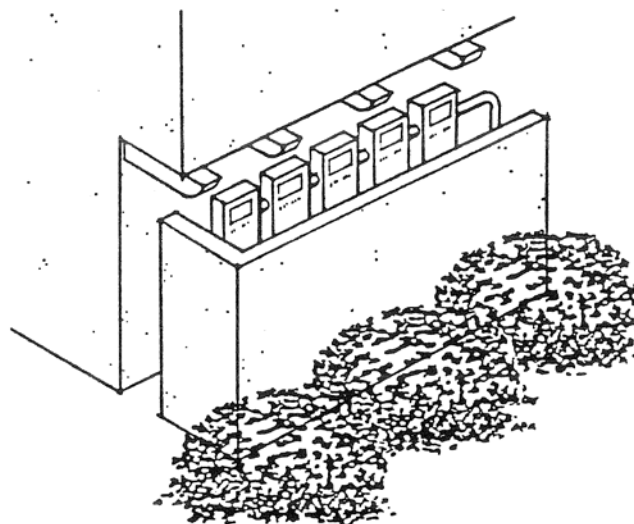
ACCEPTABLE
Mansard roof wraps around entire building.



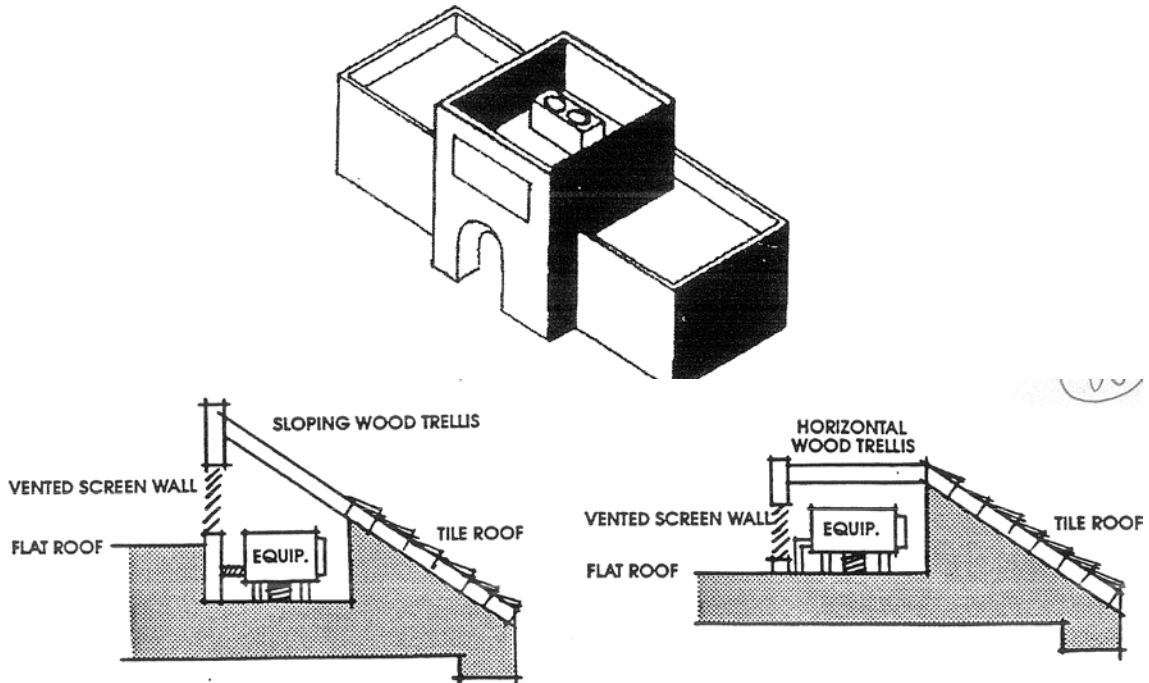
j. Painted concrete blocks or CMUs should be avoided, unless it can be demonstrated that their use is essential in order to achieve exceptional design results. Buildings incorporating a large percentage of this material may be subject to a higher level of design analysis.

Mechanical Equipment, Drains and Valves

k. Mechanical equipment, utility meters and service equipment, fire risers, and related piping or wiring should be located within the building or in an equipment room with an exterior entrance. If located outside the building, equipment should be screened from public streets and neighboring properties.



- k. Roof mounted mechanical equipment should be screened from all views by a building parapet or other effective roof design.



- m. Ground mounted mechanical equipment should be hidden from all views with a durable solid screen painted to match adjacent building and landscaping. Screen materials should compliment the architecture of the building.



- n. Consideration should be taken to plan for screening of all roof mounted equipment from existing or planned overpasses, hillsides, etc. Cross sections should be submitted demonstrating that the proposed screening will be effective where these circumstances apply.

h. Downspouts and drain pipes should preferably be placed within building walls. If they must be placed on a building exterior, they should be integrated with the architectural design, colors and finish materials of the building.

i. All check valves and back flow prevention devices should be covered with a dark green all weather blanket or screened in some manner acceptable to the Design Review Board.



j. An enclosure(s) designed to screen all trash containers, including trash bins, recycling bins, grease rendering bins, containers, and toters should be included for every project. The design of the enclosure should be constructed from similar architectural features and materials to the principal buildings and should include solid metal doors, decorative caps, blocks and other decorative features.



4. Signage: General Guidelines for All Permanent Signs.

- a. Sign designs should be coordinated with the architecture of the buildings on site. The sign structure and graphic imagery should relate to the building form and design concept of the entire project.



- b. Materials and colors of signs should be coordinated with the building materials and colors of the buildings on site and be durable.



- c. Signs should not consist of traditional cabinet signs, flat plywood, signs painted directly on building siding, or other flat signs without three-dimensional character.

Traditional cabinet signs referenced above, are defined by the City as those cabinet signs consisting of a shaped box (i.e., square, rectangle, round, oval, triangle or other shaped cabinet) which is typically internally illuminated and contains not only the sign copy and logos, but also a solid illuminated background or panel that is a component of the sign. The solid background or panel also fills

the space between the copy presented in the sign and the outside perimeter of the cabinet.

The following are examples of traditional cabinet signs:



Signs may, however, consist of Contoured Cabinet Signs (also known as Individual Pan Channel Word signs) that are in substantial compliance with the following design parameters:

- 1) The perimeter of the sign follows the outside boundary of all of the copy and is an irregular shape, with significant articulation.
- 2) In cases where the copy consists of multiple words, each word is typically created by a separate can or cabinet meeting all design parameters.
- 3) The sign contains minimal to no background color.
- 4) Although the letters in the copy may be connected, there are substantial “cut out” or void spaces which still allow the building surface to be seen behind and amongst the lettering. The use of cut out spaces is maximized within the sign design.
- 5) The use of cursive font lends itself to more articulation and void spaces, therefore, cursive font is preferred to print or block style letters.
- 6) The letter outline or background color should be darker than the lettering color. However, if a light or white outline/background color is used, the width of the outline should be minimized to the extent possible.
- 7) Raceways which match the building color and/or blend with the building materials may be used as part of the installation of contoured style cabinet signs, as well as, other signs consisting of individual pan channel letters. Raceways are defined as a rectangular box or channel upon which illuminated letters or other

illuminated sign components are attached in such a manner that all of the electrical apparatus for the sign is prewired and contained entirely within the raceway.

The following are examples of Contoured Cabinet signs that **COMPLY WITH** the design parameters established for these types of signs:

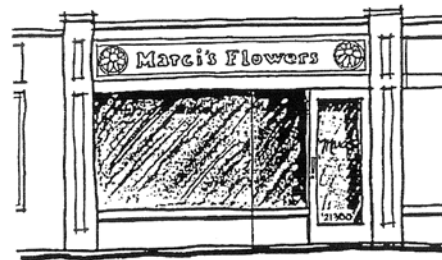




- d. The size of signs should be coordinated with, and be proportional to, the elements of the building.

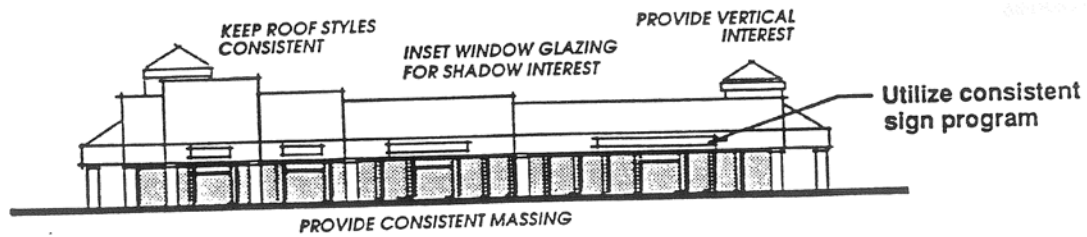


Inappropriate sign placement



Recommended sign placement





- e. Sign illumination that creates adverse glare on adjoining properties or public streets is prohibited.
- f. Signs facing adjacent residential areas should be non-illuminated unless it can be demonstrated that due to physical distances between the uses or the method of lighting and the proposed placement will not create compatibility concerns. Signage within a mixed use building or project because of its nature may be given more flexibility regarding the types of signage allowed in proximity to residential uses.

5. Signage: Freestanding Permanent Signs.

- a. Freestanding signs with a solid base (sometimes called blade or monolithic signs) and background are preferred. This is due in part to the fact that the solid signs assume the character of a building and therefore, tend to incorporate more architectural features such as reveals, horizontal offsets and canopies. The entire sign, including the sign base should be clad with materials to make the sign architecturally compatible with the buildings.



b. Exposed pole signs are prohibited.



c. The number of colors on the sign structure should be minimized. The sign structure(s) within a project should have a consistent background and materials with the goal being consistency and uniformity among the signs within a project.



d. Corporate logos may be integrated into the sign design.



- e. Architectural features from the building(s) on the site should be integrated into the sign design. This may be a combination of color, materials, style, cornice elements or other design features from the building.



6. Signage: Permanent Building Mounted Signs

- a. Building/wall mounted signs with individual letters are preferred over signs with cans or cabinets. Halo-lit signs are strongly encouraged.



Standard
Channel
Letters



Reverse
Channel
Letters



Open Face
Channel
Letters



Front & Back Lit
Channel
Letters



Contoured Cabinet signs that are in substantial compliance with the design parameters established in Section C.4.c. of the Citywide Design Criteria are also considered acceptable.



Traditional cabinet signs are generally not allowed, however, they will be considered when it is demonstrated that it is a necessary component of the overall sign presentation. A traditional cabinet sign component is considered generally acceptable if the area of the traditional cabinet is not more than 25% of the total sign area being proposed. In addition, ancillary traditional cabinet sign components greater than 25% of the total sign area being proposed may be considered upon submittal of clear and convincing evidence of necessity, and if it can be demonstrated that such components are an integral part of the overall design, enhance the aesthetic of the sign presentation rather than detract from it, are in appropriate proportion to other components of the sign and are not greater than 50% of the total sign area. Traditional cabinet signs may only be used in association with a sign composed of individual or contour cabinets, not as stand alone signage. The use of an opaque background is preferred.

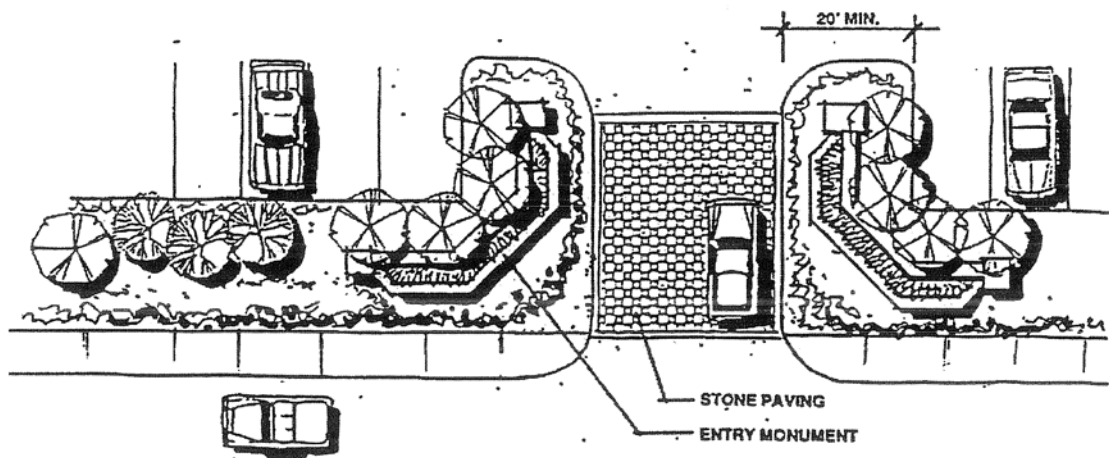




7. Parking Lots, Landscaping and Pedestrian Access

Parking Lots

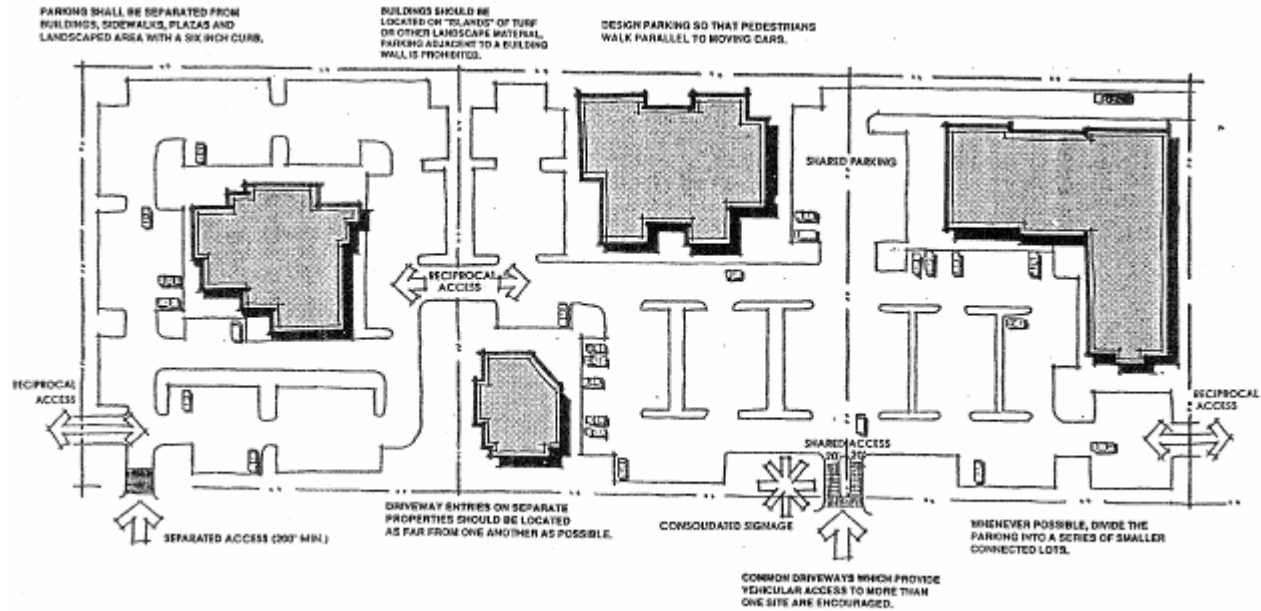
- a. Parking lot access points should have sufficient throat depth from the street to the first point of vehicular conflict, be it a parking space or a cross access aisle. Sufficient depth is the amount necessary to ensure adequate space to maneuver onto the site before encountering the first point of conflict and adequate stacking. The number of access points should be limited to the minimum amount necessary to provide adequate circulation.



- b. Parking lots should be treated with some combination of features in order to break up large expanses of paved areas and make them pedestrian friendly. The features should include, but not be limited to, decorative elements such as, building wall extensions, plantings, berms, trellises, stamped pavement, water features, and potted plants.

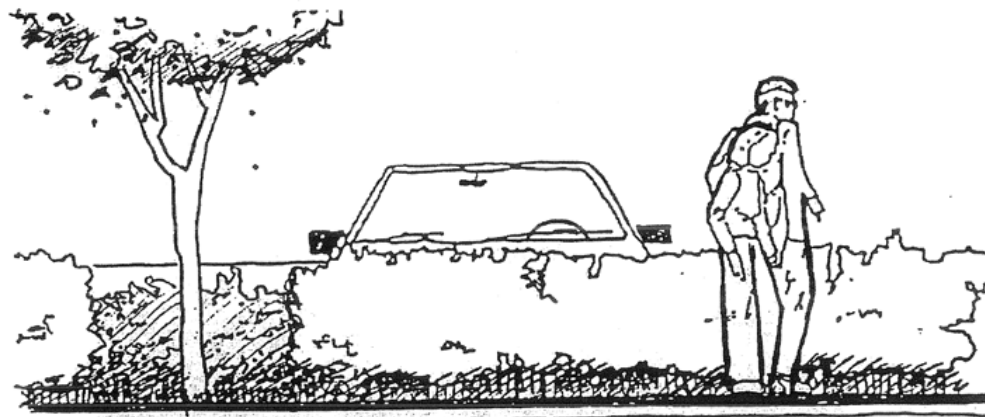
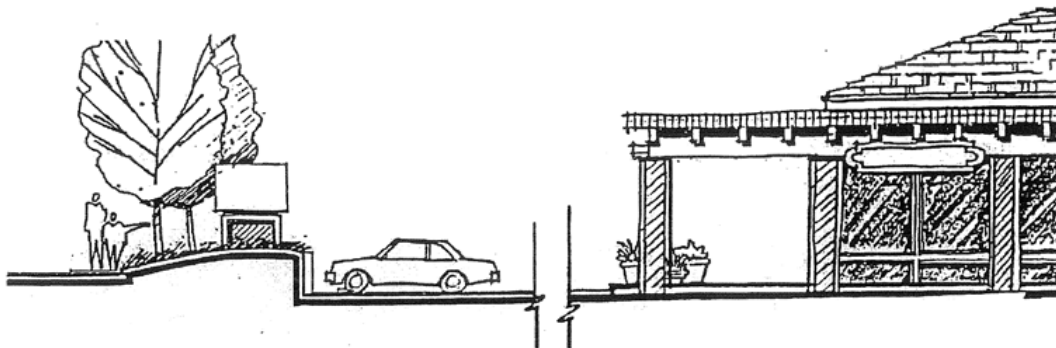
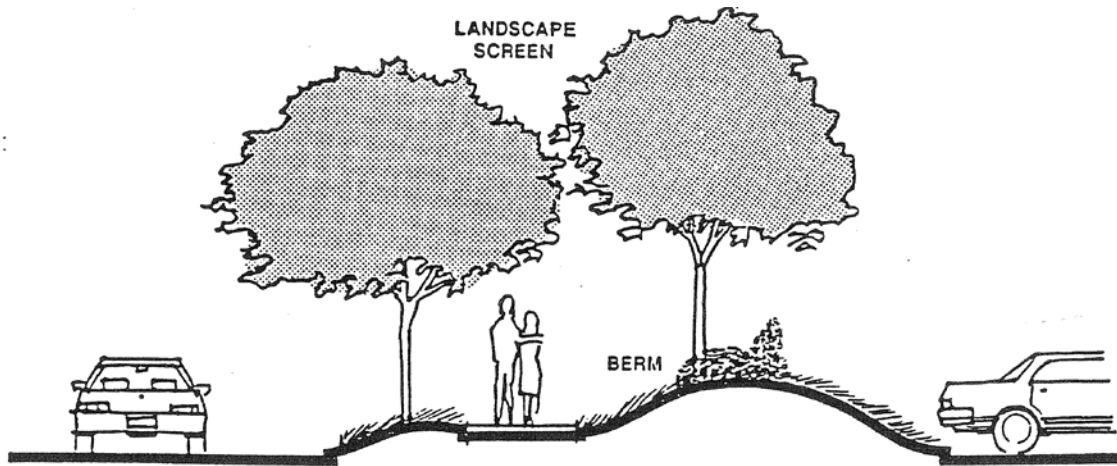


- c. Parking lot designs which incorporate reciprocal access points between adjoining properties that have the same or similar land uses are encouraged.



- d. Parking lot areas abutting public rights-of-way should be screened from the street by a landscaped area wide enough (typically 15 feet or more) to include earth berms or low walls, ~~typically~~ 3 feet in height as measured above the adjoining parking stall. Planter widths along the public right-of-way may vary to provide interest and accommodate specific circulation needs as long as the overall appearance from the street results in a substantial visual buffer. Preliminary designs for berming or screening should be shown on the grading and/or landscaping plans. The design of the berms should be sculpted and undulating rather than angular in appearance. Additional landscape width should be provided where there is a substantial differential (i.e., more than 3 feet) between the street and parking lot grade to accommodate berms that are tall enough to screen vehicle undercarriages yet look natural.





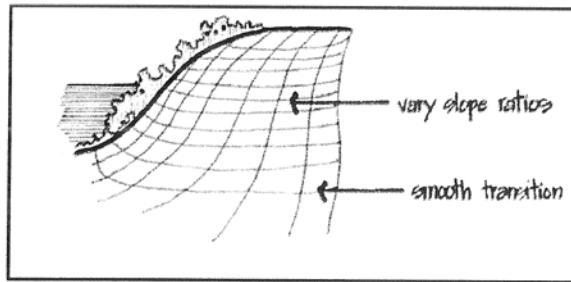
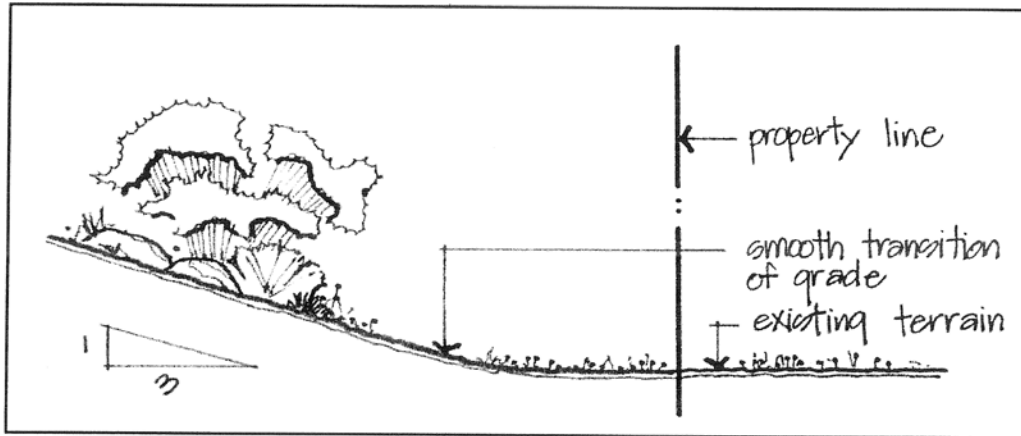
- e. Parking lots should be shaded by tree planting at a distribution that achieves 50% shading of the paved area at maturity (15 years).at one tree per 5 spaces. Trees should be located throughout the parking lot within planters adequately sized to achieve mature growth. Planter areas may also provide for pre-treatment of storm water runoff, oak tree preservation, and incorporate benches and other amenities within expanded green space. not just at the ends of parking aisles. Parking lot planters should be designed with consideration of pedestrian access through the landscaping to get from the parking area to the building. Parking lot trees should be large canopy trees to maximize the amount of shade produced by the tree.

Landscaping

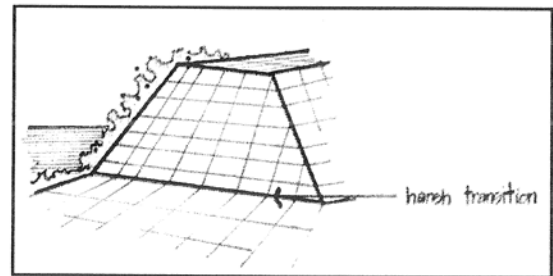
- f. Dense and sustainable landscaping should be included within the project design to soften the hardscape, provide transitions and screening where necessary.



- g. Principal entries to projects ~~should~~shall be enhanced with design features such as a combination of pavers, landscaping, rocks, signage, public art and other appropriate features- items to enhance the project's image.
- h. Tree wells and landscaping planters should be large enough to prevent cars from striking the mature trees and any associated plants within the planter areas. Landscaped areas susceptible to injury by motor or pedestrian traffic should be protected by appropriate curbs, tree guards and other devices or means.
- i. Existing topographic or natural patterns and existing trees should be incorporated into landscaping designs wherever possible.

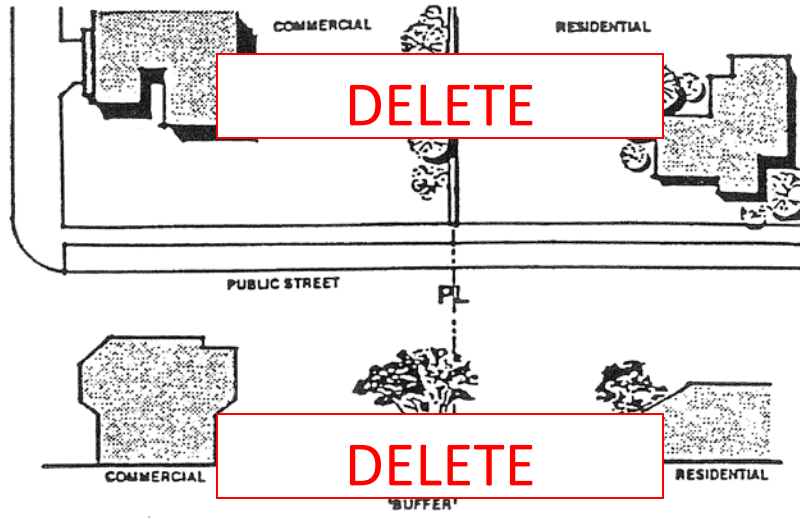


Encouraged



Discouraged

- j. All landscaped areas ~~should~~ shall have water efficient irrigation systems.
- k. ~~Landscaping should be used wherever possible to provide additional screening between single family neighborhoods and non-single family areas. Landscaping should also be used wherever possible to provide additional screening between multi family projects and adjoining areas.~~



Buffer separation is required between different uses.

- k.** Natural granite or moss rock boulders should be included within the landscaped areas along the public right of way.



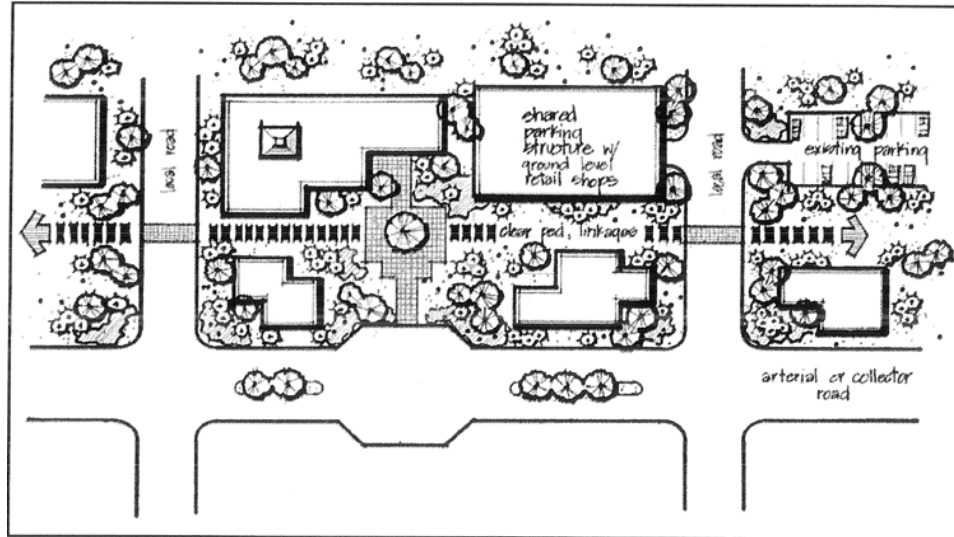
- m.** Plant sizes and species and granite boulders will be approved with the Design Review entitlement.

Pedestrian Access

- am. Pedestrian access throughout the site ~~should~~shall be distinguished from driving surfaces and enhanced with design features such as colored pavement, sitting areas, dedicated pathways, enhanced landscaping and decorative architectural features. Pedestrian access should be incorporated into a site particularly at street corners unless it is not feasible due to grades or other physical limitations. The goal is to provide convenient connectivity between street intersections and places of business, shopping, employment parks, etc.

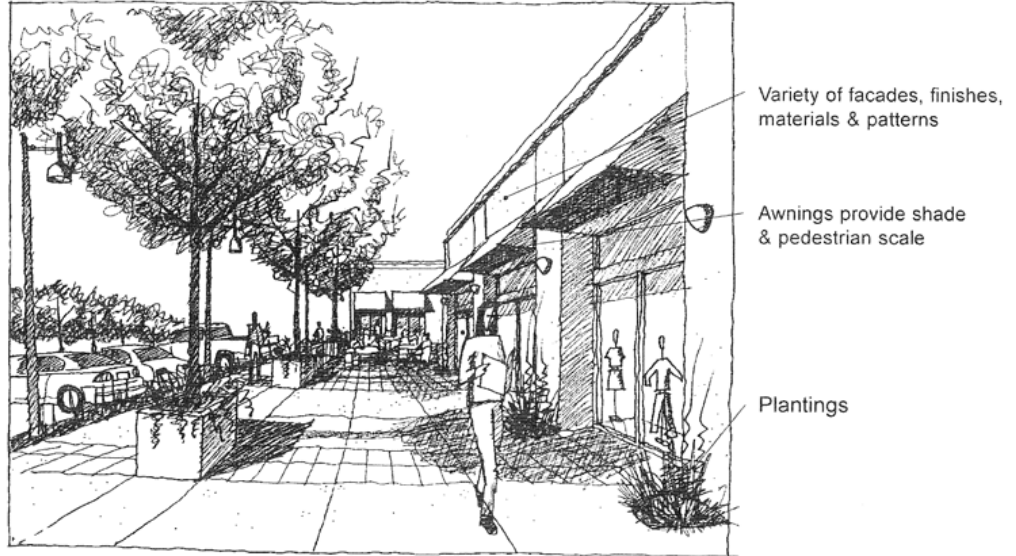


- en. Pedestrian connections should be provided between separate buildings within a project and to existing centers on adjoining sites.



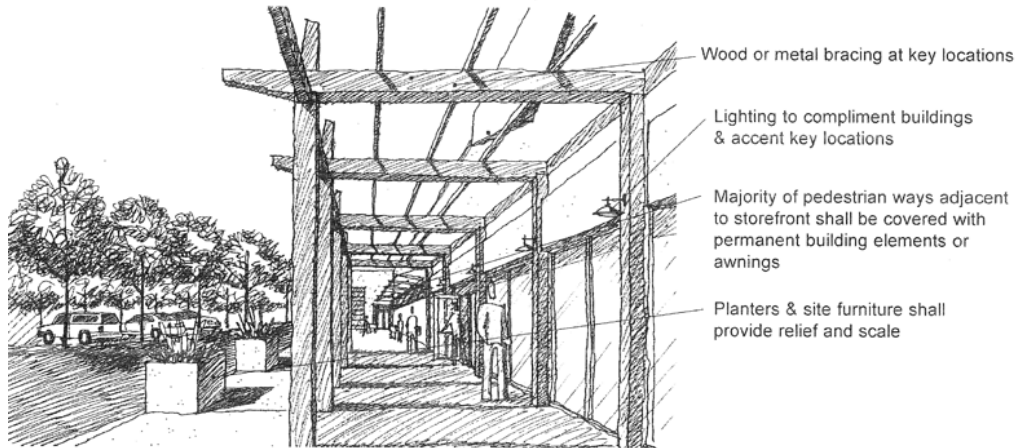
- po. Sidewalks should have canopy trees at regular intervals along the edge adjacent to the parking areas or vehicular access ways, so that the combination of building walls, sidewalk, and trees provide an enhanced pedestrian experience.





ep. The use of decorative on-site pedestrian amenities, such as coordinated benches, shelters, fountains, lighting, planter pots and trash receptacles is encouraged.





eg. Pedestrian walkways throughout the site and in the parking lot should be related to the central building entrances and be a part of the total design.



8. Walls and Fencing

- a. The height measurement for all walls/fencing should be taken from the point where the fence sits on the ground using the higher finished grade elevation. In instances where a retaining wall and masonry wall will result in a combined height greater than 6 feet along arterial and collector streets, benched or bermed landscaping is to be incorporated such that the exposed view of a single wall plane is not more than 6 feet in height as viewed from the public right-of-way.
- b. Chain link fencing is prohibited along the railroad right of way or in any location clearly visible to the public right-of-way unless otherwise previously authorized by resolution or ordinance.

- c. All open fencing should be wrought iron or medium gauge decorative tubular steel painted black or other dark color. White, or any other similar light color should not be a permitted color on open fencing. All wrought iron or tubular steel fences should be designed to result in a smooth line following a slope, to the extent feasible. ~~Where fencing has to be stepped due to topographical constraints, no two horizontal sections can be separated by more than four (4) inches.~~

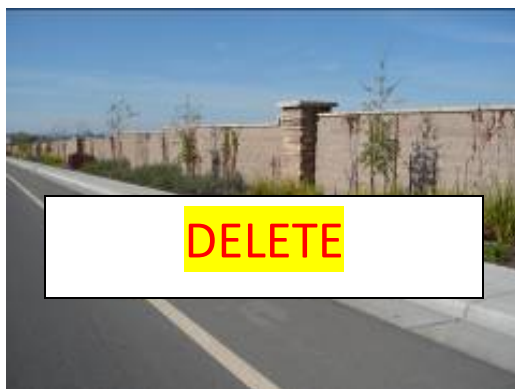


- d. ~~Use of masonry walls shall be avoided through creative site design and building orientation to the extent practical. When determined necessary, decorative masonry walls should shall be provided for all single family residential instead of wood or other less durable fencing along major arterials and collectors. The masonry walls should shall step down around corners to create a finished appearance, transitioning into the front yards.~~

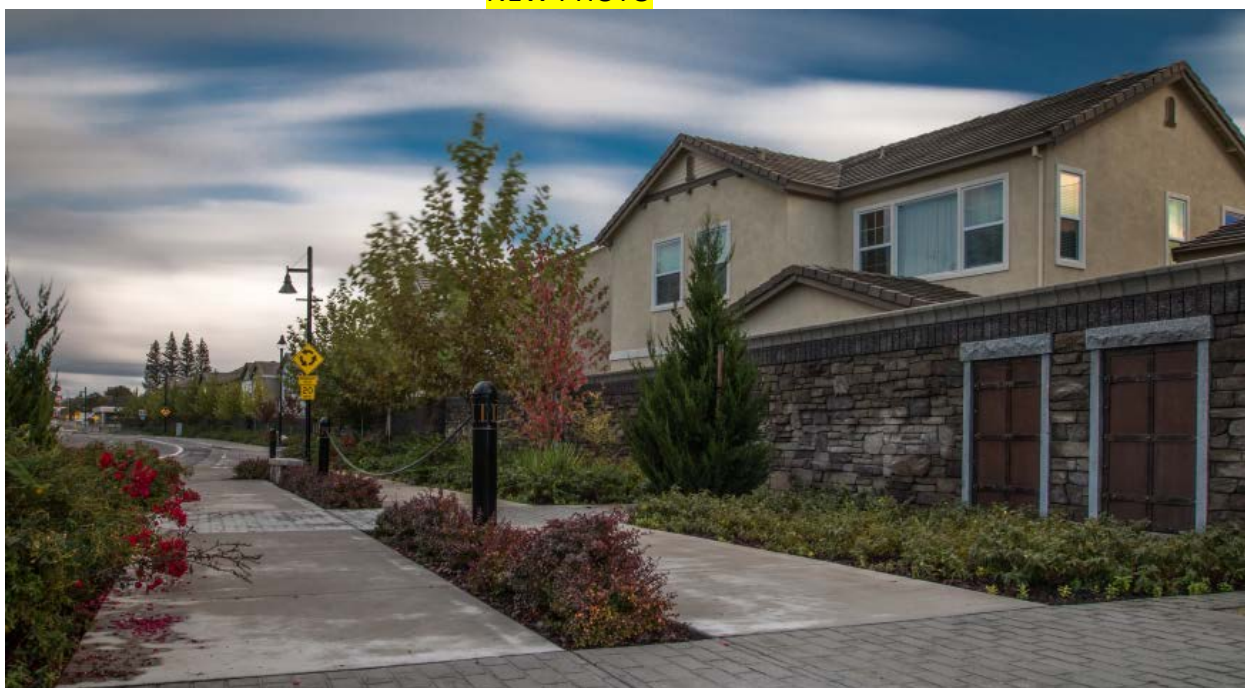


- e. ~~Decorative masonry walls should shall be broken up with dense landscaping and incorporate the use of materials with texture. Stone veneer and artistic features shall be concentrated in prominent locations such as entries. Masonry walls shall include and architectural interest, substantial wall caps throughout and~~

~~capped full decorative pilasters (typically 3 feet in width, wide by 3 feet deep) with the wall centered on the pilaster and full pilaster caps) spaced no more than every 60 80-100 feet. Decorative pilasters should also be incorporated —and— at every corner. Alternative methods of visually breaking up wall sections such as substantial landscaping pockets, transparent sections, artistic decorative features or a change to different materials will be considered where it is demonstrated that such methods will achieve exceptional design results. Proposed wall design deviations that do not include caps or stone veneer need to demonstrate how quality design principles will be achieved using alternative methods and features.~~



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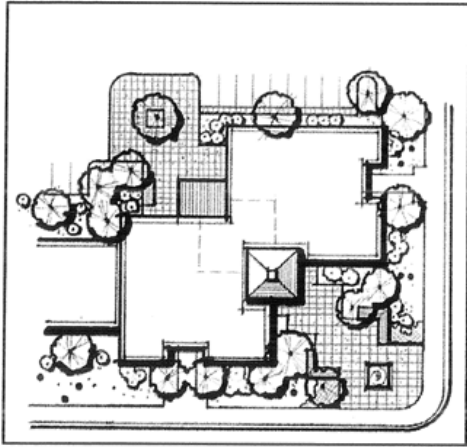


f.e. Service yards, refuse areas, trash containers/bins (whether residential or non-residential) which could be visible to the public should be screened by a solid masonry wall or a combination of masonry wall, solid doors and plantings designed to be complementary to the architecture of the building. These areas should be located away from the front of buildings, property lines or near streets, to the extent feasible.

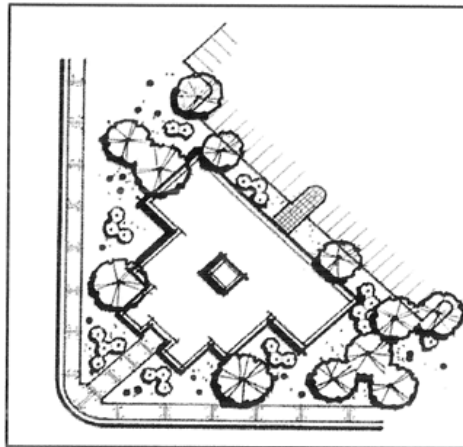


9. Special Features

- a. If a project sits on a corner lot, the corner landscaping should be enhanced with features such as special plantings, outdoor dining areas, trellises, water features, public art or columns.



Encouraged



Discouraged



- b. All commercial centers ~~should~~shall include a dedicated outdoor space of a sufficient size, number and location for people to gather (“people places”) for passive activities.



- c. Awnings should be a complimentary shape and design to the opening it covers. Plastic or vinyl materials are typically not appropriate. ~~Single building faces with multiple tenants should use a consistent awning design and color. Awning designs and styles shall consist of quality materials and add interest and variety to streetscapes and building facades.~~



- d. Banners or flags (such as seasonal light pole banners) may be used to enhance non-residential projects except they may not be used for any product advertising or include any logos or project names



DE. Design Guidelines For Small Lot Single Family Subdivisions (Lots Less than 6,000 square feet)

These guidelines are recommended for all single family subdivisions and homes and specifically required for Small Lot Single Family Subdivisions (lots less than 6,000 square feet).

1. Site Planning

- a. Site planning is one of the most important aspects of making a residential neighborhood subdivision a desirable place to live. A mix of densities and lot sizes creates diversity in housing products. Neighborhoods Residential subdivisions should be pedestrian scaled, have a high quality streetscape, and provide access to open space and neighborhood serving commercial uses, where appropriate.

2. Project Entry and Character

- a. Residential project neighborhood entries shall incorporate design features such as special paving, architectural elements, decorative lighting, public art, large specimen trees, landscaped medians, stone wall features and landscaping treatments to set the overall tone for the neighborhood's subdivision's character and design.
- a. Neighborhoods in Rocklin shall be distinguished from one another through the use of edges and landscapes that are formed with trees, open space, parks, natural features, or streets.
- b. Project entry features shall reflect the overall architectural identity and character of the project. Entry features shall consist of authentic

materials (rock, stone, brick, wood, iron-work, etc.) or products manufactured to have the character, quality and visual appearance of these materials.

b. A combination of the following accent features shall be incorporated into project entries: decorative lighting, public art, large specimen trees, landscaped medians, stone wall features, water features, architectural monuments, etc.

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3. Subdivision Design

~~1.~~ a. Innovation and creativity in subdivision design is highly encouraged. Rear facing garages (“alley-loaded” design) are preferred and especially encouraged for lots less than 4,000 square feet.



~~2.~~ b. Separated sidewalks are encouraged and should be part of the street design for small lot “alley-loaded” and “greencourt” subdivisions where access to garages is provided from the rear of homes. A minimum four foot wide planter strip or parkway that includes trees should be provided. Meandering sidewalks could have sections closer to the curb as long as the overall intent is achieved. Street designs with sidewalk on one side only will be considered in instances where other amenities with public benefits are provided.



~~3. c.~~ The City of Rocklin’s Standard Drawing for an alley is designed for commercial applications. In individual subdivisions, a modified alley apron (or taper) may be considered. Alley designs shall be appropriate to accommodate utilities, access to garages and other necessary functions such as trash collection. Designs shall be according to City standards and/or appropriate as recommended by the City Engineer.

~~4.1.~~ d. The subdivision design should address trash pick for dead-end alley units and other situations where clustered home designs are proposed.

- e. Garages for alley-loaded houses should be setback either:
 - 5. ~~a.1)~~ Twenty feet Eighteen feet or more from the property line/alley right-of-way (to accommodate a parked vehicle on the driveway);
 - Or
 - ~~b.2)~~ No less than four feet and no greater than five feet from the property line/alley right-of-way (to discourage parking in alleys)

~~6. f.~~ The subdivision design for green court, six pack, and other clustered home products, should include a central green space that would be property owner association/and or City maintained with appropriate ongoing funding. At a minimum, the green space should include seating, shade trees, accent landscaping, and turf.



~~7. g.~~ The subdivision design ~~should~~shall include provisions for sufficient visitor parking. Visitor parking can be located along the streets or in dedicated parking stalls but not on the driveways. Projects with street designs that do not provide for or accommodate standard on-street parking shall provide for guest parking locations that are evenly dispersed and attractively located throughout the subdivision development. Guest parking should be at a ratio of at least 25% of the total number of residential lots in the subdivision, unless data is presented to justify a lesser demand based on the unique characteristics of the subdivision development/use or how visitor parking will be adequately accommodated by other means.

8. h. Shared common areas should be designed into the subdivision development neighborhood.



4. Architecture - Generally

These guidelines aim to promote high quality architectural designs that enhance the character of Rocklin. Neighborhood developments shall utilize styles that complement each other when grouped together.

Recommended architectural styles include but are not limited to the following:

- 1. Craftsman
- 2. California Cottage
- 2. French Country
- 4. Urban Farmhouse
- 5. English Revival
- 6. Modern Prairie
- 7. Italian
- 8. Spanish
- 9. Monterey
- 10. Colonial
- 11. European Cottage



Craftsman



Craftsman



California Cottage



California Cottage



French Country



French Country



Urban Farmhouse



Urban Farmhouse



English Revival



English Revival



Modern English Revival



Modern Prairie



Italian



Italian



Italian



Spanish



Spanish



Monterey



Monterey



Colonial



Colonial



European Cottage



European Cottage

These features or characteristics are the component parts that, when put together, make up the style:

- a) Roof type
- b) Symmetry and shape
- c) Frame
- d) Articulation
- e) Massing
- f) Windows and doors
- g) Building materials and colors
- h) Decorative trims; and
- i) Porches, eaves and columns

5. *Building Form and Articulation*

Building form and articulation includes variation in the wall planes (projections and recesses) and wall height (vertical relief) as well as variations in roof forms and heights to provide variety and interest. reduce the perceived scale of the structure.

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- a. Residential homes should incorporate articulation of all facades, including variation in massing, roof forms, and wall planes, as well as surface articulation.
- b. Architectural styles that are traditionally built on raised foundations are encouraged.
- c. Elements and details of homes shall be true to the chosen architectural style.
- d. Wall planes on all sides of the house shall be **variable varied** if visible from a public street, pedestrian pathway or publicly accessible open space.
- e. Surface detailing shall not serve as a substitute for well integrated and distinctive massing.
- f. Massing shall accentuate entries and minimize garage prominence.

6. Architectural Elements ~~House Design~~

- 9.2. a. The house designs should incorporate a strong mix of styles and materials to avoid monotony **and create architectural diversity. This can best be accomplished through the incorporation of**, ~~including~~ varied architectural elements and details. The following are **strongly** encouraged ~~(not limited to)~~:
- a. ~~Usable porches~~
 - b. ~~Balconies~~
 - c. ~~Bay and dormer windows~~
 - d. ~~Special window treatments and shapes (mullions, Palladian windows, etc.)~~
 - e. ~~Shutters~~

- ~~f. Awnings~~
 - ~~g. Brackets, out-lookers, corbels, etc.~~
 - ~~h. Accent trim, vents, and other changes in material and texture~~
 - ~~i. Avoid the use of obvious false, tacked-on treatments such as false windows~~
- 1) Use of multiple architectural elements that add visual interest, scale, and character such as recessed or projecting balconies, trellises, recessed windows, bay windows, dormers or other special window treatments such as mullions, shutters and arches. Incorporation of useable porches is particularly encouraged. Additional architectural features such as brackets, out-lookers, corbels, accent trim, vents and other changes in material and texture should also be incorporated to enhance the elevations.
 - 2) The use of obvious, false tacked-on treatments **such as false windows** shall be avoided.
 - 4-3) Any wall space designed above the first level of the garage should be architecturally integrated into the overall house design. Blank walls are unacceptable.

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- ~~10. — b. Enhanced elevations should be provided for all floors of the home when publicly visible from arterials and open space. Elements of enhanced elevations include, but are not limited to:~~
- ~~a. — Special window treatments and shapes (mullions, Palladian windows, etc.)~~
 - ~~b. — Shutters~~
 - ~~c. — Awnings~~
 - ~~d. — Brackets, out lookers, corbels, etc.~~
 - ~~e. — Accent trim, vents, and other changes in material and texture~~
 - ~~f. — Avoid the use of obvious false, tacked-on treatments such as false windows~~



7. Building Height:

- ~~a. Single-family residential homes shall be one to three stories. Homes should have varied heights to create visual interest in the subdivision development neighborhood.~~
- ~~b. Corner lots shall should feature single-story homes or single story features within a two story home.~~
- ~~c. Depending on the architectural style, the second and third floors of two and three story upper floors of multi story homes shall emphasize the same detail and quality materials as first story floor architectural features.~~
- ~~d. The upper stories of a house shall should be designed to reduce the appearance of the overall scale of the structure depending on the chosen architectural style. Possible techniques include setting the second story back from the fronts and sides of the first story, providing larger front and/or side setbacks for the entire structure.~~

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8. Roof and Upper Story Details:

REORDERED AND COMBINED SOME BULLETS

- a. Visual diversity in the subdivision development and areas visible from arterial and collector streets shall be created by incorporating multiple rooflines, styles and designs (e.g. gabled, hipped, dormers and shed roofs) while remaining consistent with the architectural style of the home.
- b. Variation in ridgeline height and alignment can be utilized to create visual interest
- c. Exposed gutters and downspouts should be concealed. When visible they shall be designed as an architectural feature and colored to match fascia.
- d. Roof penetrations such as vents should not be located toward street frontages.

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- e. A variety of roofs shall be incorporated throughout the development (e.g. gabled, hipped, dormers, etc...)
- f. Multi form roofs, gabled hipped and shed roof combinations are encouraged to create varying roof forms and to break up the massing of the building
- g. Various roof forms and changes in roof plane shall be used on all structure elevations visible from a public street or pedestrian right of way

9. Building Materials and Finishes:

The use of high quality materials will create a look of permanence within the project. Materials and colors shall be varied to generate visual interest in the facades and to avoid the monotonous appearance that is sometimes common in some contemporary residential subdivision development projects.

REORDERED SOME BULLETS

- a. Façades shall be enhanced with a variety of quality materials and color. Material selections should focus on design and also demonstrate long term durability.
- b. Material changes shall generally occur at intersecting planes, preferably at inside corners or changing wall planes or where architectural elements intersect (e.g. chimney, pilaster, projection, fence line, etc.) Material change wrap from front to side facades shall be a minimum of two feet.
- c. Projects shall provide a minimum of three distinctly different color/material palettes per architectural style. Main house colors are encouraged to include options that are bold and vibrant. Contrasting but complementary colors shall be used for trim, windows, doors and key architectural elements. Crisp white trim in particular can be used effectively to emphasize trim and architectural features.
- d. Roof materials and colors shall should be consistent with the desired architectural style.
- e. Projects shall provide a minimum of three distinctly different color/material palettes per architectural style.
- f. Heavier materials shall should be used lower on the structure elevation to form the base of the structure
- g. Stucco, plaster and other similar products are an appropriate building material if careful attention is paid to ensure its use is true to the architectural style of the house and it is applied in a quality manner. However, this should not be the only exterior material that is applied

unless it can be demonstrated that use of this type of finish alone is essential to the architecture proposed.

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10. *Windows, Doors and Entries*

The desired architectural style of the building can be captured by carefully designing windows, doors and entries.

REORDERED SOME BULLETS

- a. Main entrances to a home shall be clearly identifiable and articulated with projecting or recessed forms and enhanced by using with lighting, landscaping and architectural detailing
- b. Window type, material, shape, color and proportion shall compliment the architectural style of the building

c. Windows shall be articulated with design features such as sills, trim, kickers, shutters, or awnings that are authentic to the architectural style of the structure.

a.d. The main entrance to a home shall be clearly identifiable and shall be articulated with projecting or recessed forms so as to create a covered landing

NEW PHOTO



NEW PHOTO

NEW PHOTO



NEW PHOTO



NEW PHOTO



11. Garages

When garages are well integrated into a project it will ensure that they do not dominate front facades.

NEW PHOTO



- a. Garage doors shall should be recessed a minimum of six inches from the face of the garage. Recesses may not be provided by trim alone.

NEW PHOTO



- b. Garages doors facing the street are encouraged to be set back from the exterior face of the main house to help reduce the visual impact. Garages doors that are closer to the street than other wall planes are expected to use greater architectural detail such as hardware (handles, strap hinges), varied panel styles with relief/depth, windows, etc... along with enhanced detail around the garage door to include planters, lighting, trellis overhangs, etc... Garages that are not set back more than 10 feet from the main structure will be required to provide enhanced architectural details.

NEW PHOTO



12. Compatibility with Adjacent Properties

In new subdivisions developments, single-family homes shall should vary from adjacent neighbors residential development in architectural style, height, and material selection, while still relating to the overall theme of the larger development area as a whole:

- a. The same floor plan or exterior colors for dwelling units shall should not be placed side by side.

- b. Homes directly across the street from one another should not have the same floor plan or use a reverse plan and different architectural detail.

13. Landscaping

Landscaping shall should be used to define entrances to neighborhoods subdivisions developments and homes, to provide a buffer between incompatible land uses, and to provide screen when necessary.

NEW PHOTO



- a. Enhanced landscaping that provides shade and year round color and adds visual interest shall be installed at both corners of all alley entrances and alley termini and at all entry points into the neighborhood subdivision development;



- b. A variety of height, textures and colors shall be used in the landscape palette. A combination of trees, shrubs and ground cover shall be incorporated into landscaping plans.

NEW PHOTO



~~c. Front and street side yard landscaping should be maintained by a homeowners association or a homeowners association should have the right to cause the maintenance of the front or street side yard landscaping if not maintained in accordance with the approved landscaping plans.~~

~~11. Enhanced landscaping that provides shade and year round color and interest should be installed at both corners of all alley entrances and at all entry points into the neighborhood. These landscape areas would be property owner association maintained.~~

~~12. Enhanced landscaping should be installed in the ends of alley termini and at internal alley corners, to complement the landscaping found at the alley entrance. These landscape areas would be property owner association maintained.~~

MOVED ALLEY PHOTO UNDER 13.a.



14. Fences and Screening

Fences and walls visible from public spaces are an integral part of the streetscape. They shall be coordinated with the style and materials used in the neighborhood subdivision development.

NEW PHOTO



- a. Fencing shall be constructed of authentic looking materials (natural woods, common brick, stone, rock, wrought iron) or veneers which appear authentic. Vinyl and other manufactured fencing materials may not be acceptable. No wire fencing is allowed.
- b. Use of masonry walls shall be avoided through creative site design and building orientation to the extent practical. When determined necessary, decorative masonry walls shall be provided instead of wood or other less durable fencing along major arterials and collectors. The walls must be set back a minimum of 15 feet from an adjacent public right-of-way, unless a reduced setback can be justified through incorporation of exceptional design features.
- c. The maximum length of continuous unbroken and uninterrupted fence or wall plane shall be sixty feet (60'). Breaks in the fence/wall plane shall be provided through the use of full decorative pilasters (typically 3 feet in width wide by 3 feet deep) with the wall centered on the pilaster and full pilaster caps. Alternative methods of visually breaking up wall sections such as columns, substantial landscaping pockets, transparent sections, artistic decorative features or a change to different materials will be considered where it is demonstrated that such methods will achieve exceptional design results.

NEW PHOTO



NEW PHOTO



- d. Stone (actual or quality veneer) and artistic features shall be concentrated in prominent locations such as entries.
 - e. Masonry walls and fences along arterials and collectors shall include substantial wall caps throughout **and capped full decorative pilasters**. The walls shall also step down around corners to create a finished appearance.
 - f. Proposed wall design deviations that do not include caps or stone veneer need to demonstrate how quality design principles will be achieved using alternative methods and features.
 - g. Breaks for connections: Breaks in the length of a perimeter fence shall be made to provide for required pedestrian connections to the perimeter of a site or adjacent development, such as perimeter sidewalks and public trails.
 - h. All fences in areas viewed by the public from outside of the subdivision or in key locations within the subdivision should be enhanced. Some examples of enhanced fence construction are framed wood and wrought iron. "Good neighbor" fences are not acceptable in these key locations. ~~Enhanced fencing would be property owner association maintained or a homeowner's association should have the right to cause the maintenance of the enhanced fence if not maintained in accordance with the approved plans.~~
- ~~13.~~
- i. The height measurement for all walls/fencing shall be taken from the point where the fence sits on the ground using the higher finished grade elevation. In instances where a retaining wall and masonry wall will result in a combined height greater than 6 feet **along arterial and collector streets**, benched or bermed landscaping is to be incorporated such that the exposed view of a single wall plane is not more than 6 feet in height as viewed from the public right-of-way.

~~j. Exterior mechanical equipment Risers shall be screened fully concealed from public view in by physical enclosures such as building walls with access panels or be located completely behind fencing that ties in with the architecture and fencing for the project.~~

15. Solar, Other Energy Efficiency Features and Above Ground Low Impact Development/Water Quality Structures

~~a. Solar and other energy efficiency features are encouraged to be installed at the time of initial construction to the extent feasible so that these items can be integrated into the building design and materials.~~

~~b. The location of these items, unless considered decorative, should be directed to areas and surfaces which are not visible from public views and rights-of-way to the extent feasible. In locations where the items cannot be hidden, efforts should be made to create layouts that are as symmetrical as possible.~~

~~c. Ground mounted equipment should be installed in locations that are hidden from public view (i.e., behind structures and fences) to the extent feasible.~~

16. ~~15.~~ Garbage Storage Areas

~~14. a. House plans should indicate the location for storage of garbage totes, for when they are and when they are not out for pick up by the disposal company.~~

~~b. If storage is proposed within the garages of homes, the area provided must not encroach into the minimum area required and reserved for parking.~~

~~15. Any wall space designed above the first level of the garage should be architecturally integrated into the overall house design. Blank walls are unacceptable.~~

F. INFILL DEVELOPMENT

Infill development is the process of developing vacant or under-used parcels within existing urban and suburban areas where surrounding parcels are already largely developed. There are many challenges to facilitating these often difficult to develop parcels that make special considerations warranted depending upon the circumstances.

The goal is to accommodate an appropriate level of development on these sites that will contribute positively to the area in which they are located.

Modified Improvement Standards

A number of constraints may affect the ability to develop any given infill parcel. These include, but are not limited to: site size or configuration, location of existing utilities, specific features associated with existing adjacent development, the presence of natural features or environmental constraints and physical access limitations.

In light of these unique circumstances, the City will consider modified development standards for infill projects where it can be demonstrated that implementation of standard improvements is not feasible or if implemented would render other objectives such as density, mix of housing types and uses, or a reasonable level of non-residential development on a site infeasible.

Proposed modifications to standards must demonstrate that minimum safety, operational and development functions (utilities, fire access, adequacy of parking, etc.) will be achieved by non-traditional means.

Real world examples where the proposed standards have been successfully constructed and implemented elsewhere need to be provided as part of the application materials.

The City may offer incentives to facilitate infill development including, but not limited to, reduced street standards in instances where other improvements such as expanded trails, enhanced entries and other project amenities are proposed.

The City will evaluate proposals including modified improvement standards for infill projects on a case by case basis. Findings to support use of modified improvement standards will be included in the Design Review and Subdivision entitlements associated with those projects.

G. ARCHITECTURAL AND RELATED GUIDELINES FOR SPECIFIC DISTRICTS

SEE SEPARATE HANDOUT

DH. MINOR CHANGES.

Changes to an approved entitlement may be approved by the Community Development Director, provided such changes do not change the character or intent of the project.

I. MAINTENANCE / ENFORCEMENT

Enforcement of all Design Review requirements and ongoing maintenance of all improvements including but not limited to buildings, structures, lighting, landscaping, signage, walls/fencing, parking lot improvements, other special features, etc. shall be to the satisfaction of the Community Development Director.

EJ. VALIDITY.

An approved design review entitlement shall expire and become null and void two (2) years after approval; provided, that if at the end of the two (2) year period a building permit for the project is active, the approval shall expire and become null and void upon the expiration of the building permit.

FK. DEFINITIONS

1. Adjacent – Next to or adjoining.
2. Breezeway – A porch or roofed passageway open on the sides which functions to connect two buildings or parts of a building.
3. Pergola – A structure of parallel colonnades supporting an open roof of beams and crossing rafters or trelliswork, over which climbing plants are trained to grow.
4. Plaza – A public square or open area usually located near or between urban buildings that is designed as a gathering place and often features walkways, decorative paving, trees, shrubs, places to sit, fountains and/or public art,
5. Prototypical Building Designs – A standard or typical design that is often replicated with little deviation.
- 5.6. Quality – A high level of value, craftsmanship or measure of excellence. Exhibits genuine and superior attributes.
- 6.7. Trellis – A frame supporting open latticework, used as a screen or a support for growing vines or plants.

~~7.8.~~ Usable porches – Porches that are open on at least two sides and a minimum of 5 feet deep and 10 feet long. The area calculated as the usable porch should not include any area that functions as the access way into the dwelling. In zoning districts where front setback encroachments are permitted for usable porches, the porch should not occupy more than 50% of the front width of the house.

~~8.9.~~ Water Features – Fountains, waterfalls, and other similar facilities which include water movement as part of their visual display.

[P:\PUBLIC PLANNING FILES\Laura\Design Guidelines Update 2016\Citywide Consolidated Document with New Track Changes\Design Review Criteria Update - Citywide Doc - 11-1-16 PC.doc](#)

CITY OF ROCKLIN

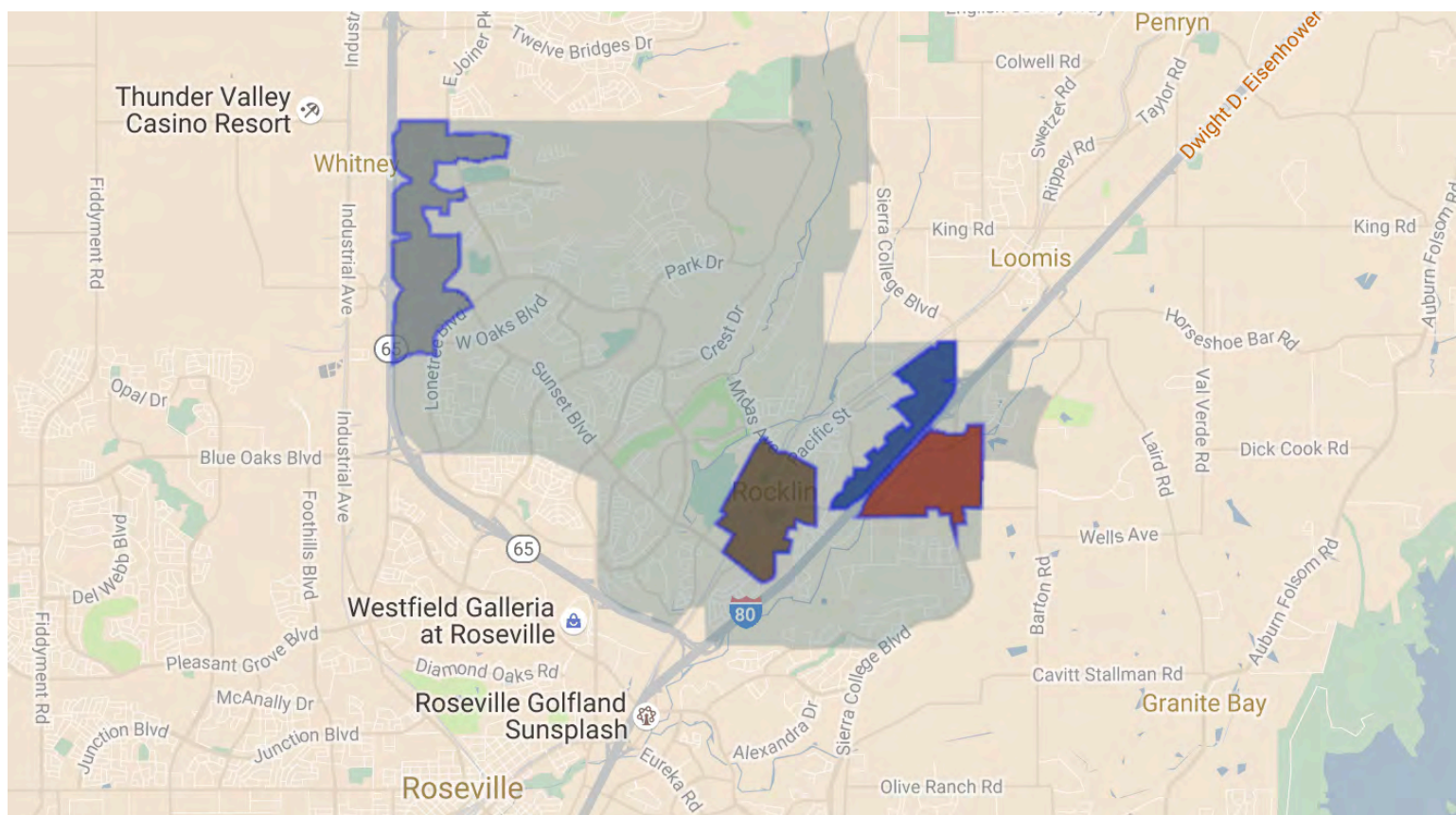
ARCHITECTURAL GUIDELINES

Overview

- **It is a goal of City Council to create several unique destination locations with a sense of place that each build upon existing man-made and natural features.** These guidelines – coupled with the citywide Design Review Guidelines – serve as the policy documents, which will assist the private development community in working with the City to achieve the goal.

OUR MISSION

The City of Rocklin's mission is to become a city that provides its citizens with exceptional quality of life while maintaining its small town sense of community.



THE DISTRICTS

GRANITE DISTRICT

UNIVERSITY DISTRICT

QUARRY DISTRICT

COLLEGE DISTRICT

These guidelines apply to four distinct areas, or districts. Each area is unique in terms of existing architectural style and development pattern, but more importantly represent emerging trends or opportunities for transformation. These guidelines will ensure that each District ultimately embodies a definable yet unique quality of place and experience in the built environment. Each district is defined geographically based on land use, transportation, and natural features, which results in irregularly shaped boundaries.

PURPOSE OF GUIDELINES

These guidelines are meant to inspire and provide designers with basic direction in preparing review documents that focus on high quality design and use of materials but also allow for flexibility of design in response to market forces while allowing for a more predictable review process. These guidelines are supplemental to, but equally enforceable under the City's Design Review Ordinance (RMC 17-72).

HOW TO USE THE GUIDELINES

Each district is defined by an existing structure or set of structures referenced as the archetype. The archetype embodies the architectural style(s) or elements that should be considered and expanded upon by the designer. Each district includes a statement regarding the vision for that particular district that is meant to be achieved followed by a table showing photographs of existing structures and proposed examples at various sizes and locations within the district.

The tables on each district page divide structures into small, medium, and large sizes. In general:

- Small structures include; houses, chapels, and single-tenant commercial.
- Medium structures include; multi-family, multi-tenant commercial, places of worship, and manufacturing.
- Large structures include; corporate headquarters, campuses, wholesale distribution, big box retail, and institutions.

Designers should consider all of the information provided in the guidelines, including existing structures, proposed examples, other similar architectural styles, and appendix related images before preparing initial design submittals.

REVIEW PROCESS

Projects located within a district and required to meet the City's Design Review Guidelines are subject to review and approval by the Architectural Guidelines Committee. The Committee includes two City Council members, two Planning Commissioners, and staff.

Applications are to be submitted to the Economic and Community Development Department using the Universal Application form below.

GRANITE DISTRICT

Vision

- The district is an architecturally eclectic thoroughfare and continues to serve as Rocklin's modern "Mainstreet" along with supporting other new neighborhood and destination type uses. An infusion of new and exciting housing types compliments and supports walkability to commercial uses.

ARCHETYPE

The district features several neighborhood and destination retail, restaurant, and entertainment uses linked by a central corridor including a variety of luxury vehicle dealerships, shopping plazas, and the school district headquarters. There are not one but many existing buildings which serve as archetypal references for future design consideration.



ARCHITECTURAL FEATURES

The following architectural features or elements commonly characterize the architecture sought after for the district. Designers should pay special attention to these features and incorporate a minimum of three of the following:

PRECAST “TILT-UP” CONSTRUCTION

STOREFRONT GLASS

AWNINGS

INTERESTING AND VARIED ROOF CONFIGURATIONS

INTERESTING AND VARIED CORNICES

SIMPLE GEOMETRIC METAL WORK

VARIED SURFACE TEXTURES

VARIED BUT COMPLIMENTARY COLOR SCHEMES

FEATURED GLAZING ELEMENTS

UNCONVENTIONAL USE OF MATERIALS

SPLIT-FACE BLOCK AND EXTERIOR INSULATING FINISHING SYSTEMS AS ACCENT SURFACES

PROJECTING ROOF OVERHANGS AND CANTILEVERS

ARCHITECTURAL STYLES

The following architectural styles and related examples offer a complimentary approach for designer consideration and basis for research:

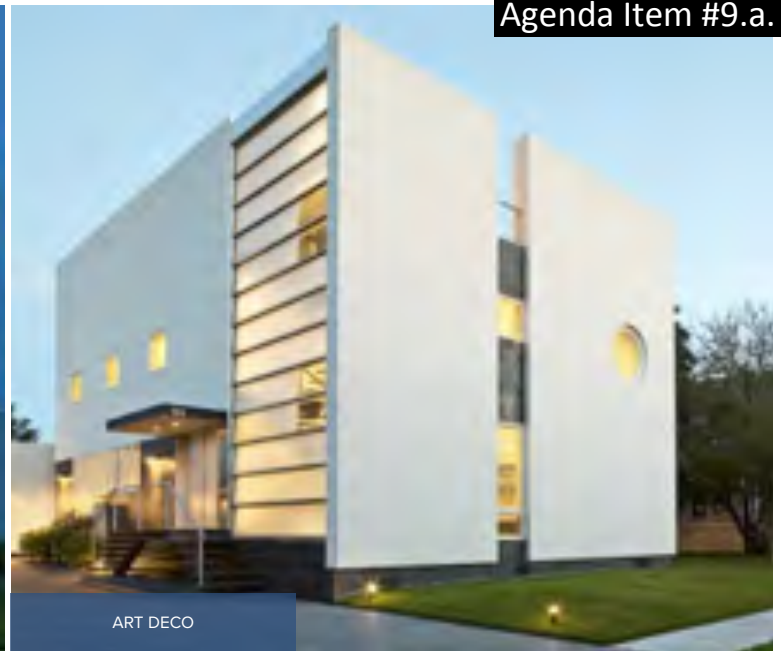
PRAIRIE REVIVAL

AVANT GARDE

ART DECO



ART DECO



ART DECO



AVANT GARDE



AVANT GARDE



PRAIRIE REVIVAL



PRAIRIE REVIVAL

ART AND SIGNAGE

The incorporation of art and signage compatible with the proposed architectural design is essential. Designers are encouraged to be creative and propose ideas even if inconsistent with City code. The following examples demonstrate art and signage with an emphasis on murals and neon or back lighting are meant only for designer consideration and basis for research:

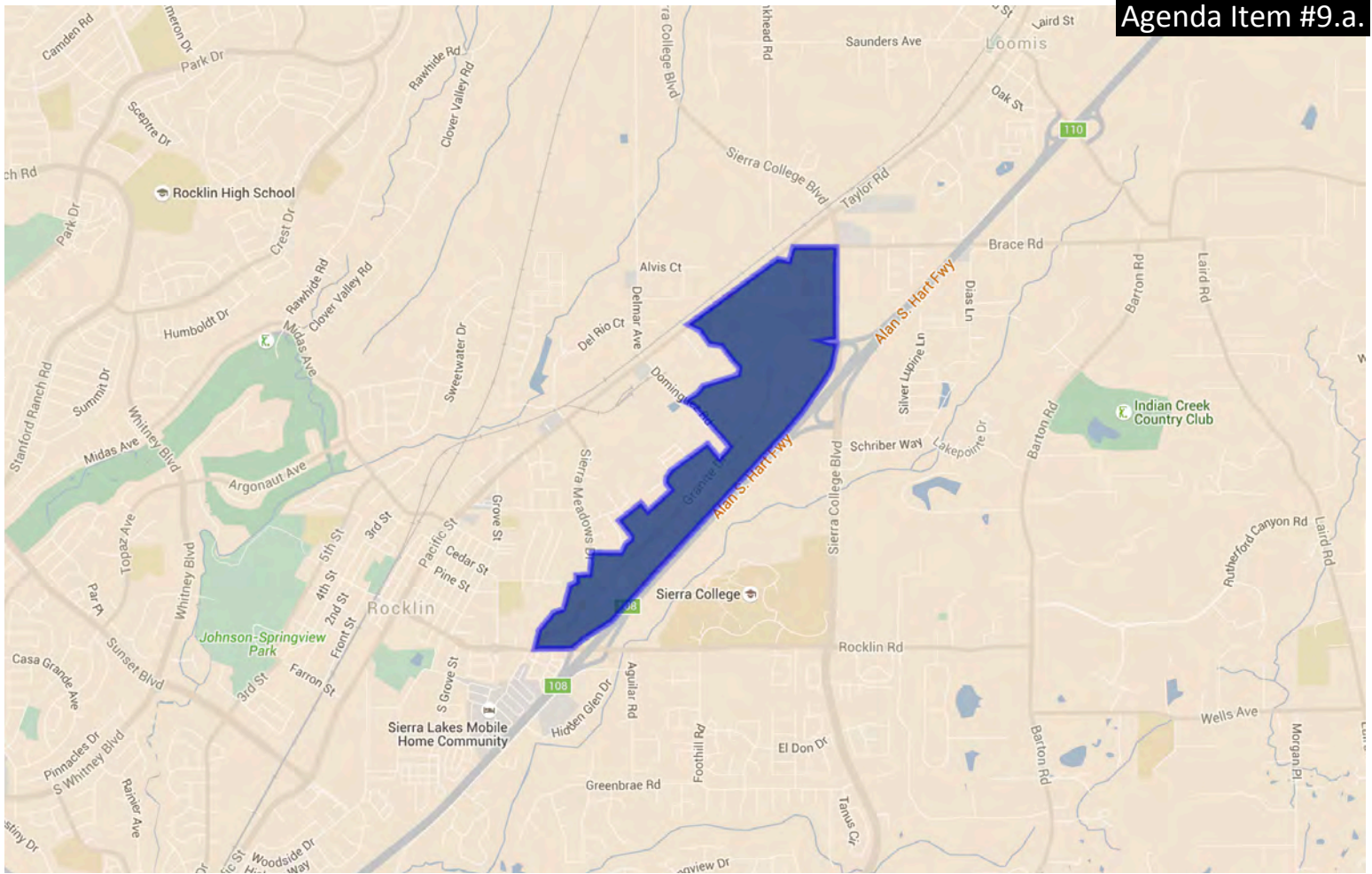


DISTRICT BOUNDARIES

Each district is defined geographically based on land use, transportation, and natural features which results in irregularly shaped boundaries. In most cases a “core” area near the center of the district and a “transition” area near the edge of the district are shown on each district map to express the intent that proposed structures located close to the center should pay special attention to the archetype(s), while those at the edge in areas of transition should also attempt to blend with existing architectural patterns adjacent but outside of the district.

Structures adjacent to and visible from highways, located within transition areas along collector or arterial roadways, at project entries, vistas, plazas, common areas, or prominent corners should include feature elements consistent with the district guidelines.

CORE



BUILDING EXAMPLES

Use the building examples below for inspiration on creating your building in the Granite District. Photos of some existing structures may not be indicative of the desired architecture, but may include features that should be reviewed.

SMALL STRUCTURES

CORE

CORE

CORE



MEDIUM STRUCTURES

CORE

CORE

CORE



LARGE STRUCTURES

CORE

CORE

CORE



APPENDIX



UNIVERSITY DISTRICT

Vision

- The district's architecture is contemporary and expands on the modern archetype to elevate learning, creativity, and industry. Progressive thinkers and companies desire to locate within this urban district because it's a walkable destination for innovation and mixed use development.

ARCHETYPE

Designed in 1985 by world-renown architect Frank Gehry, the former Herman Miller furniture factory (current home of William Jessup University) serves as the primary exemplar for this district's architectural style and approach. The campus contains fragmented building alignments supporting interesting and diverse internal spaces. There is a strong horizontal emphasis to exterior facades including long metallic paneled wall surfaces broken by voids, patterned openings and projecting planes. Primary colors are used to accent feature elements and surfaces.



ARCHITECTURAL FEATURES

The following architectural features or elements commonly characterize the architecture sought after for the district. Designers should pay special attention to these features and incorporate a minimum of three of the following:

STRONG LINEAR EMPHASIS

STRONG GEOMETRIC PROJECTIONS AND CANTILEVERS

STRONG VOIDS

STRONG USE OF COLOR

METALLIC PANELS AND SURFACES

TRANSLUCENCY

EXPOSED STRUCTURAL ELEMENTS

CORNER ACCENTUATION

COMPLEX GEOMETRIC FORMS

INCORPORATION OF PASSIVE TECHNOLOGIES AND DEVICES

ARCHITECTURAL STYLES

The following architectural styles and related examples offer a complimentary approach for designer consideration and basis for research:

DECONSTRUCTIVISM

AMORPHIC

ECOLOGICAL

In addition, contemporary interpretations of the following historic architectural styles and related examples should be considered:

FUTURISM

NEO EXPRESSIONISM

BAUHAUS

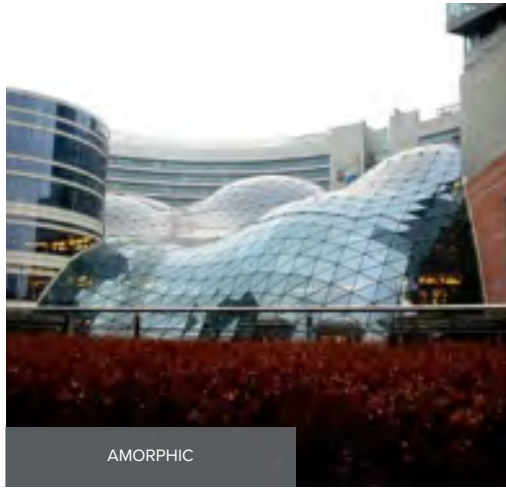
DE STIJL

MODERNE

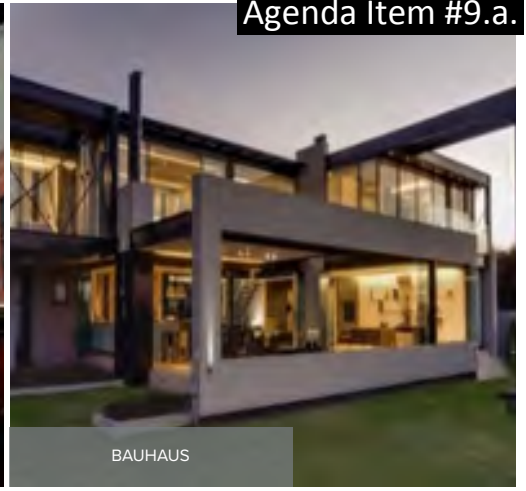
STRUCTURALISM



AMORPHIC



AMORPHIC



BAUHAUS



DE STIJL



DECONSTRUCTIVISM



DECONSTRUCTIVISM



ECOLOGICAL



ECOLOGICAL



FUTURISM



MODERNE



NEO EXPRESSIONISM



STRUCTURALISM

ART AND SIGNAGE

The incorporation of art and signage compatible with the proposed architectural design is essential. Designers are encouraged to be creative and propose ideas even if inconsistent with City code. The following examples demonstrate contemporary art and signage as interactive with an emphasis on color and meant only for designer consideration and basis for research.



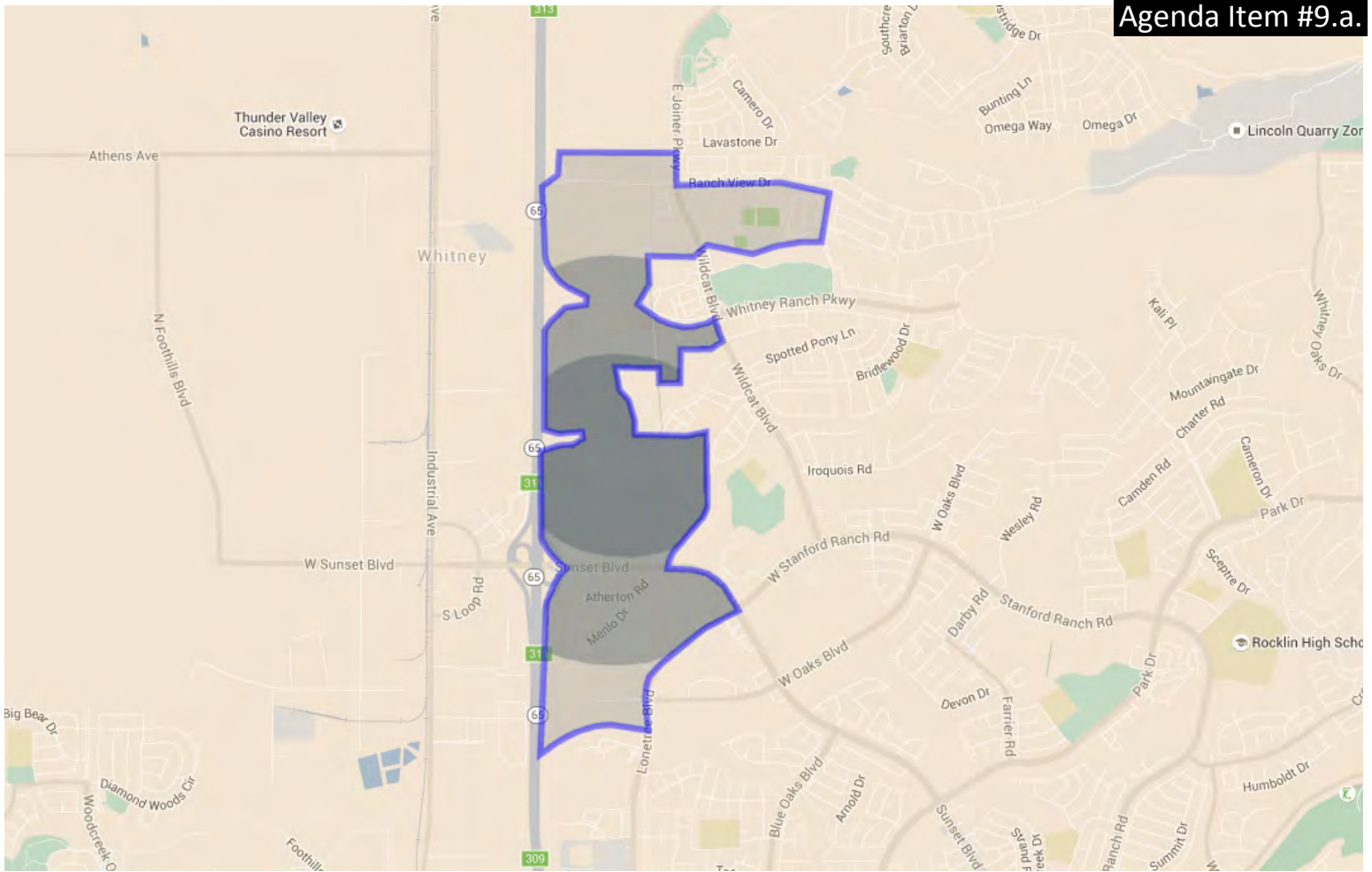
DISTRICT BOUNDARIES

Each district is defined geographically based on land use, transportation, and natural features which results in irregularly shaped boundaries. In most cases a “core” area near the center of the district and a “transition” area near the edge of the district are shown on each district map to express the intent that proposed structures located close to the center should pay special attention to the archetype(s), while those at the edge in areas of transition should also attempt to blend with existing architectural patterns adjacent but outside of the district.

Structures adjacent to and visible from highways, located within transition areas along collector or arterial roadways, at project entries, vistas, plazas, common areas, or prominent corners should include feature elements consistent with the district guidelines.

CORE

TRANSITION



BUILDING EXAMPLES

Use the building examples below for inspiration on creating your building in the University District. Photos of some existing structures may not be indicative of the desired architecture, but may include features that should be reviewed.

SMALL STRUCTURES

CORE

TRANSITION

TRANSITION

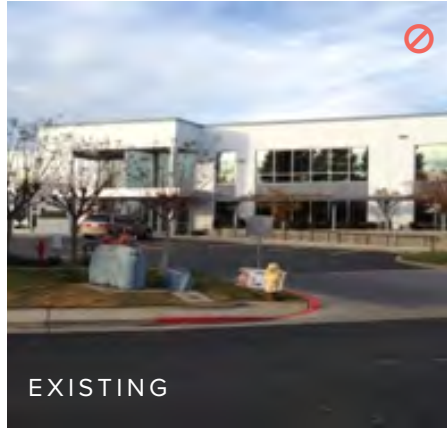


MEDIUM STRUCTURES

CORE

TRANSITION

TRANSITION

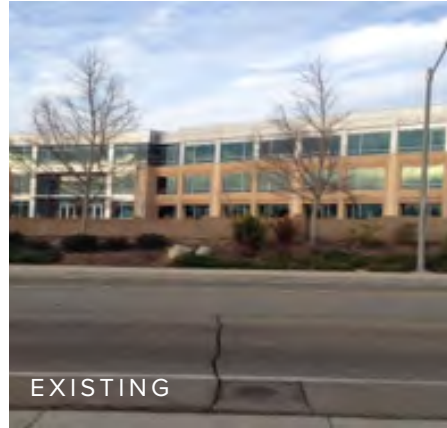


LARGE STRUCTURES

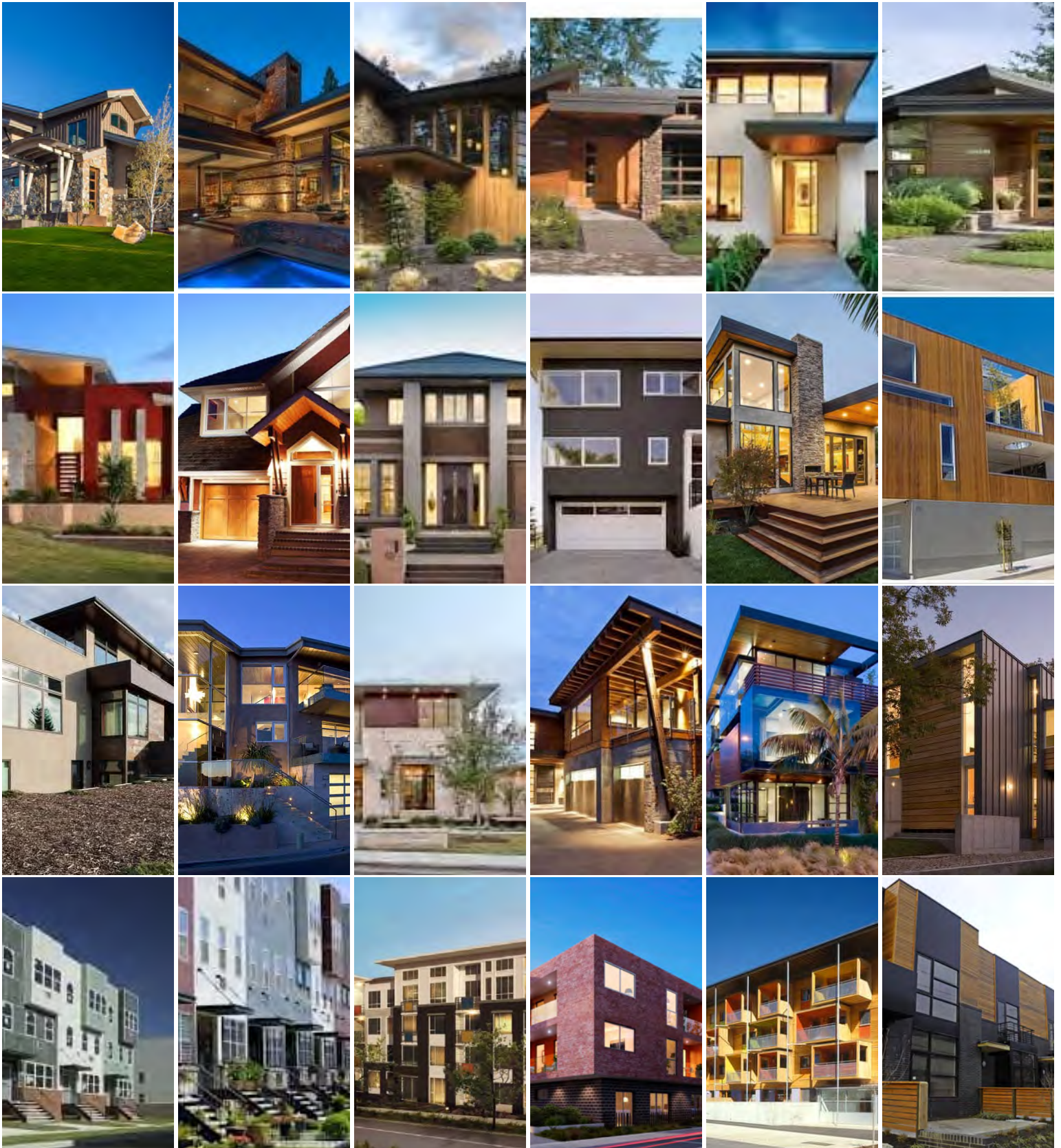
CORE

TRANSITION

TRANSITION



APPENDIX







QUARRY DISTRICT

Vision

- The district is a safe, walkable, and inviting village; a gathering place anchored by Quarry Park. The architecture is rustic and vernacular featuring granite, exposed wood elements and reminiscent of its mining heritage. The village is charming and respectful to the community's historic roots yet also vibrant and bold meeting citizen's expectations for housing, retail shopping and entertainment.

ARCHETYPE

This is a historic and architecturally diverse district featuring human-scaled native granite and wood frame structures. There are not one but many existing buildings which serve as archetypal references for future design consideration.



ARCHITECTURAL FEATURES

The following architectural features or elements commonly characterize the architecture sought after for the district. Designers should pay special attention to these features and incorporate a minimum of three of the following:

- EXPOSED WOOD FRAMING
- STONE MASONRY
- GABLE ROOFS
- DORMERS
- EXPOSED RAFTERS
- OPERABLE WINDOWS WITH DIVIDED LIGHTS
- OPERABLE SHUTTERS
- PANELS
- CHIMNEYS PORCHES AND COLONNADES
- BAY WINDOWS
- SHED ROOFS
- NOVELTY SIDING
- SHINGLES
- DECORATIVE ELEMENTS

ARCHITECTURAL STYLES

Contemporary interpretations of the following historic architectural styles and related examples should be considered:

BUNGALOW

CRAFTSMAN

ARTS AND CRAFTS

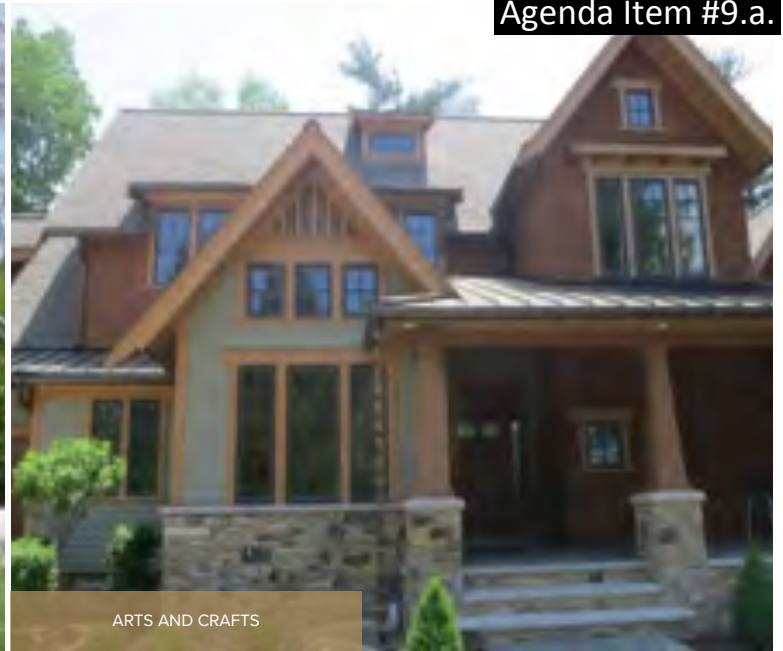
TIMBER FRAME REVIVAL

CARPENTER GOTHIC REVIVAL

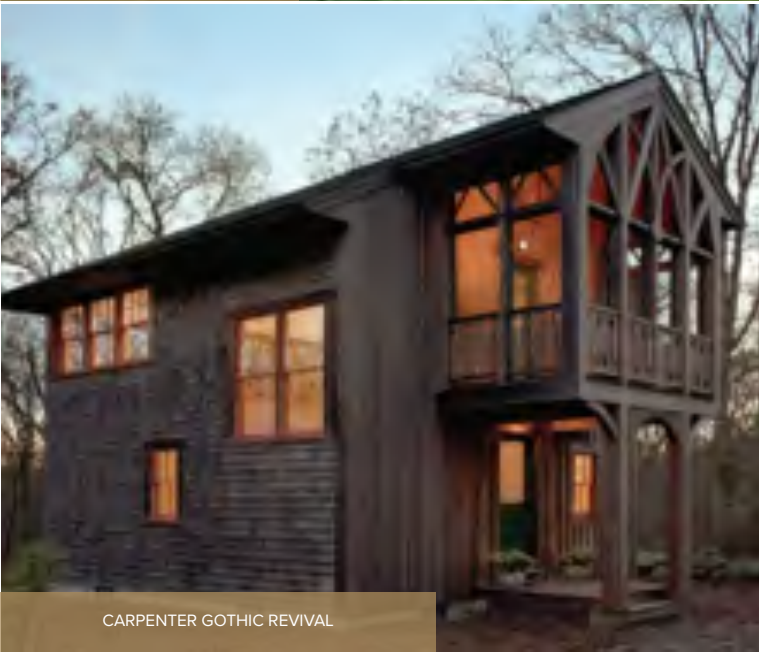
SHINGLE STYLE



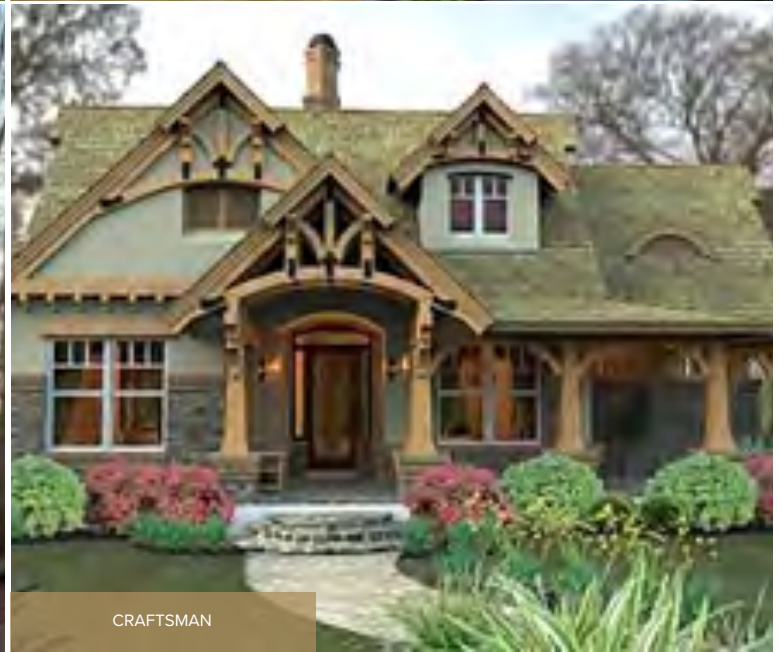
BUNGALOW



ARTS AND CRAFTS



CARPENTER GOTHIC REVIVAL



CRAFTSMAN



SHINGLE STYLE



TIMBER FRAME REVIVAL

ART AND SIGNAGE

The incorporation of art and signage compatible with the proposed architectural design is essential. Designers are encouraged to be creative and propose ideas even if inconsistent with City code. The following examples demonstrate art and signage with an emphasis on weathered and reused materials and are meant only for designer consideration and basis for research.



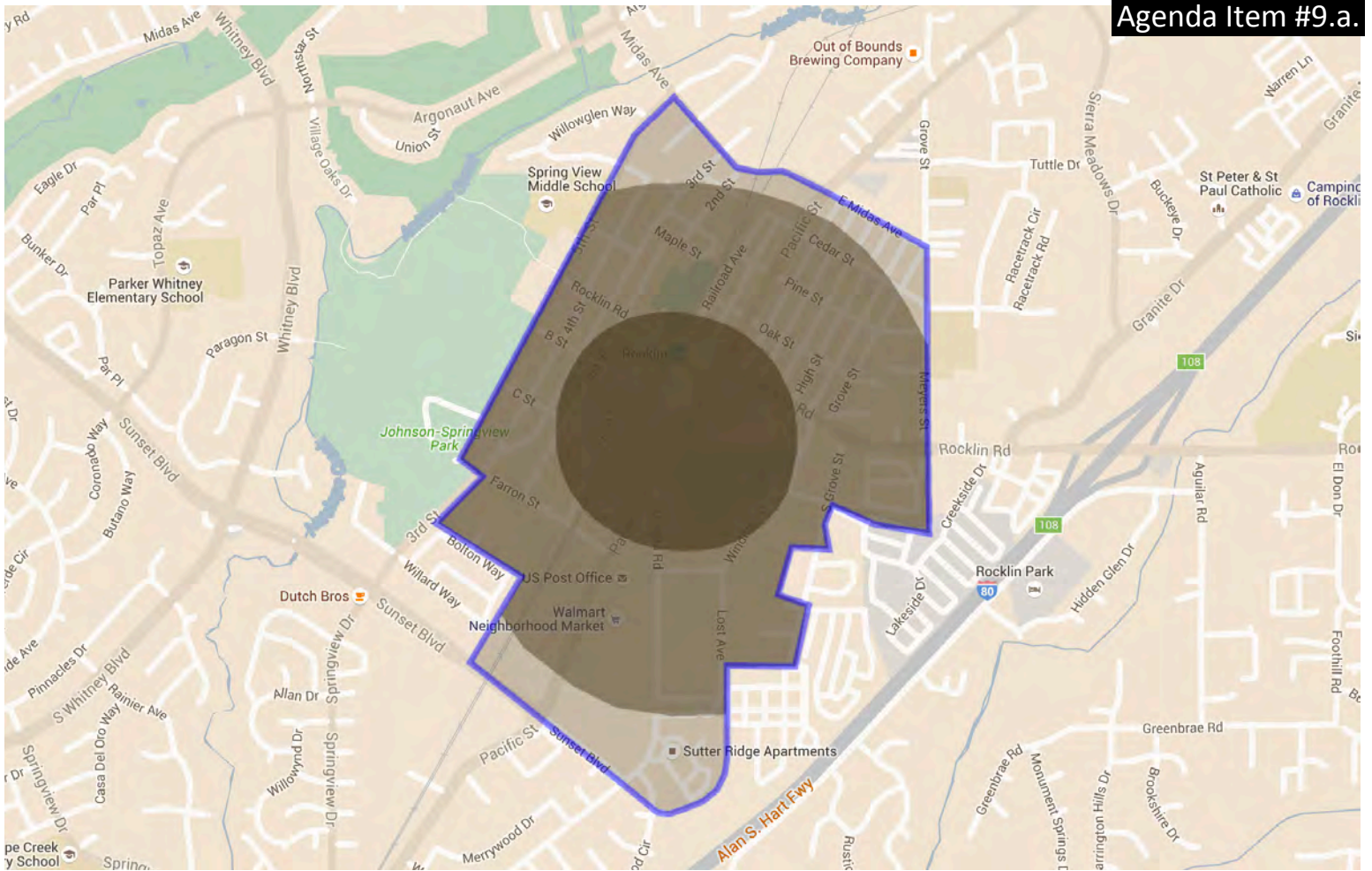
DISTRICT BOUNDARIES

Each district is defined geographically based on land use, transportation, and natural features which results in irregularly shaped boundaries. In most cases a “core” area near the center of the district and a “transition” area near the edge of the district are shown on each district map to express the intent that proposed structures located close to the center should pay special attention to the archetype(s), while those at the edge in areas of transition should also attempt to blend with existing architectural patterns adjacent but outside of the district.

Structures adjacent to and visible from highways, located within transition areas along collector or arterial roadways, at project entries, vistas, plazas, common areas, or prominent corners should include feature elements consistent with the district guidelines.

CORE

TRANSITION



BUILDING EXAMPLES

Use the building examples below for inspiration on creating your building in the Quarry District. Photos of some existing structures may not be indicative of the desired architecture, but may include features that should be reviewed.

SMALL STRUCTURES

CORE

TRANSITION

TRANSITION



MEDIUM STRUCTURES

CORE

TRANSITION

TRANSITION



LARGE STRUCTURES

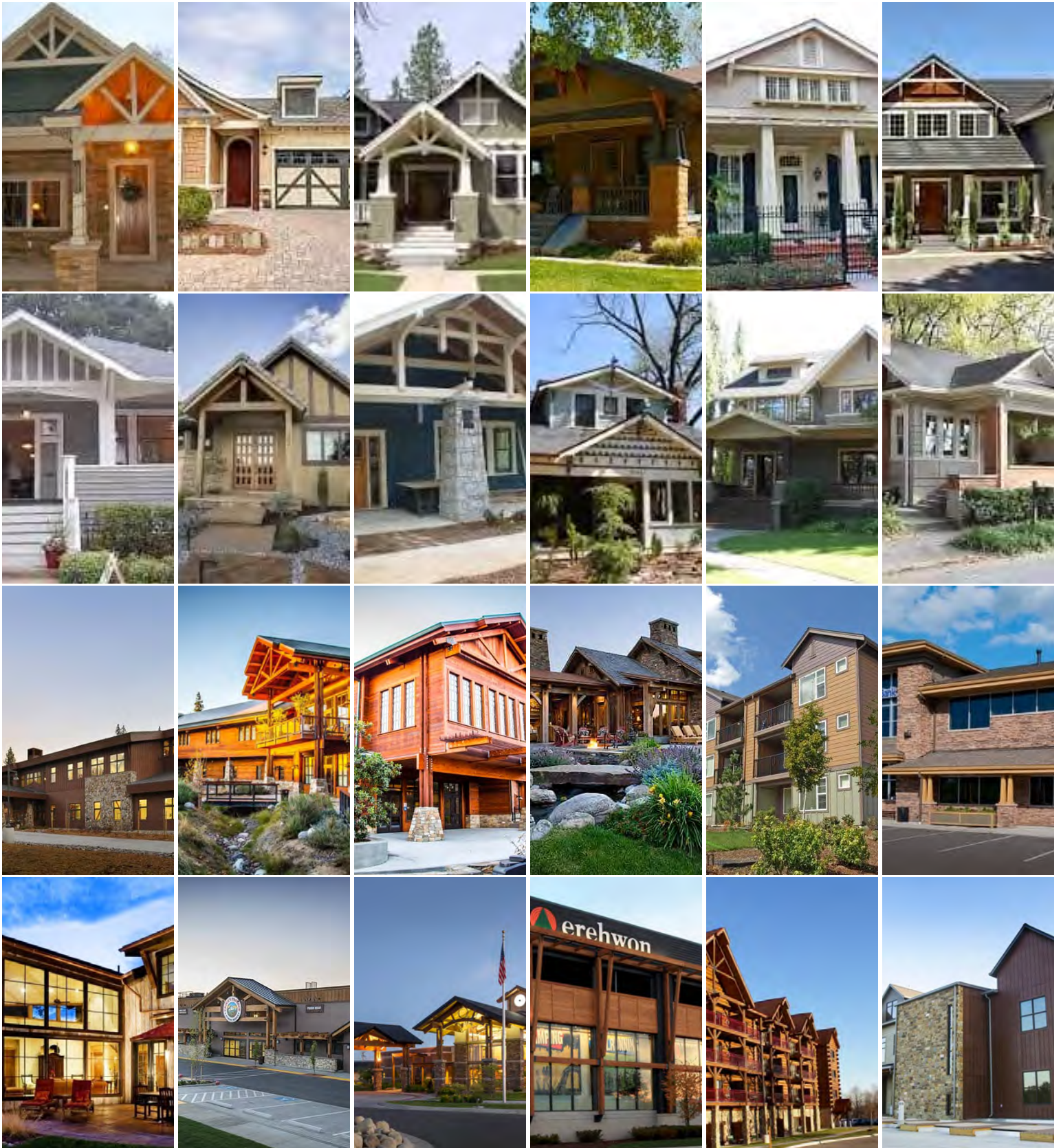
CORE

TRANSITION

TRANSITION



APPENDIX





COLLEGE DISTRICT

Vision

- The district is interconnected with Sierra College featuring contemporary interpretations of traditional forms of collegiate architecture. The district offers something to do for all age groups with a focus on continuing and higher education. There are a variety of housing types for students and educators alike.

ARCHETYPE

Currently, there are no buildings embodying all aspects of the traditional collegiate style of architecture desired for the district. The following images are meant to serve as archetypal references for future design consideration.



ARCHITECTURAL FEATURES

The following architectural features or elements commonly characterize the architecture sought after for the district. Designers should pay special attention to these features and incorporate brick into the building(s) plus a minimum of three of the following:

ARTICULATED CORNICES

ARTICULATED COLUMNS (INCLUDING BASES AND CAPITALS)

DECORATIVE TRIM

CASED OPENINGS

OPERABLE WINDOWS WITH DIVIDED LIGHTS

PORCHES AND BALCONIES (INCLUDING ARTICULATED RAILINGS)

OPERABLE SHUTTERS

COMPLEX GABLES

CHIMNEYS

PRECAST ACCENTS

BOXED BAY WINDOWS

TRANSOM WINDOWS

NOVELTY SIDING

MANSARD ROOFS

SHINGLES

DECORATIVE ORNATE METAL WORK

PATINA FINISHES

ARCHITECTURAL STYLES

Contemporary interpretations of the following historic architectural styles and related examples should be considered:

COLLEGIATE GOTHIC

GEORGIAN

COLONIAL REVIVAL

VICTORIAN REVIVAL

FEDERAL

GOTHIC REVIVAL



COLLEGIATE GOTHIC



COLONIAL REVIVAL



FEDERAL



GEORGIAN



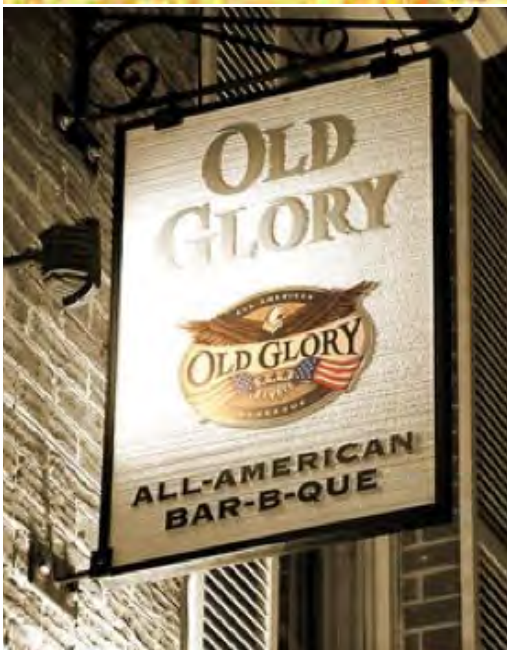
GOTHIC REVIVAL



VICTORIAN REVIVAL

ART AND SIGNAGE

The incorporation of art and signage compatible with the proposed architectural design is essential. Designers are encouraged to be creative and propose ideas even if inconsistent with City code. The following examples demonstrate art and signage with an emphasis on metalwork and the incorporation of brick and are meant only for designer consideration and basis for research.



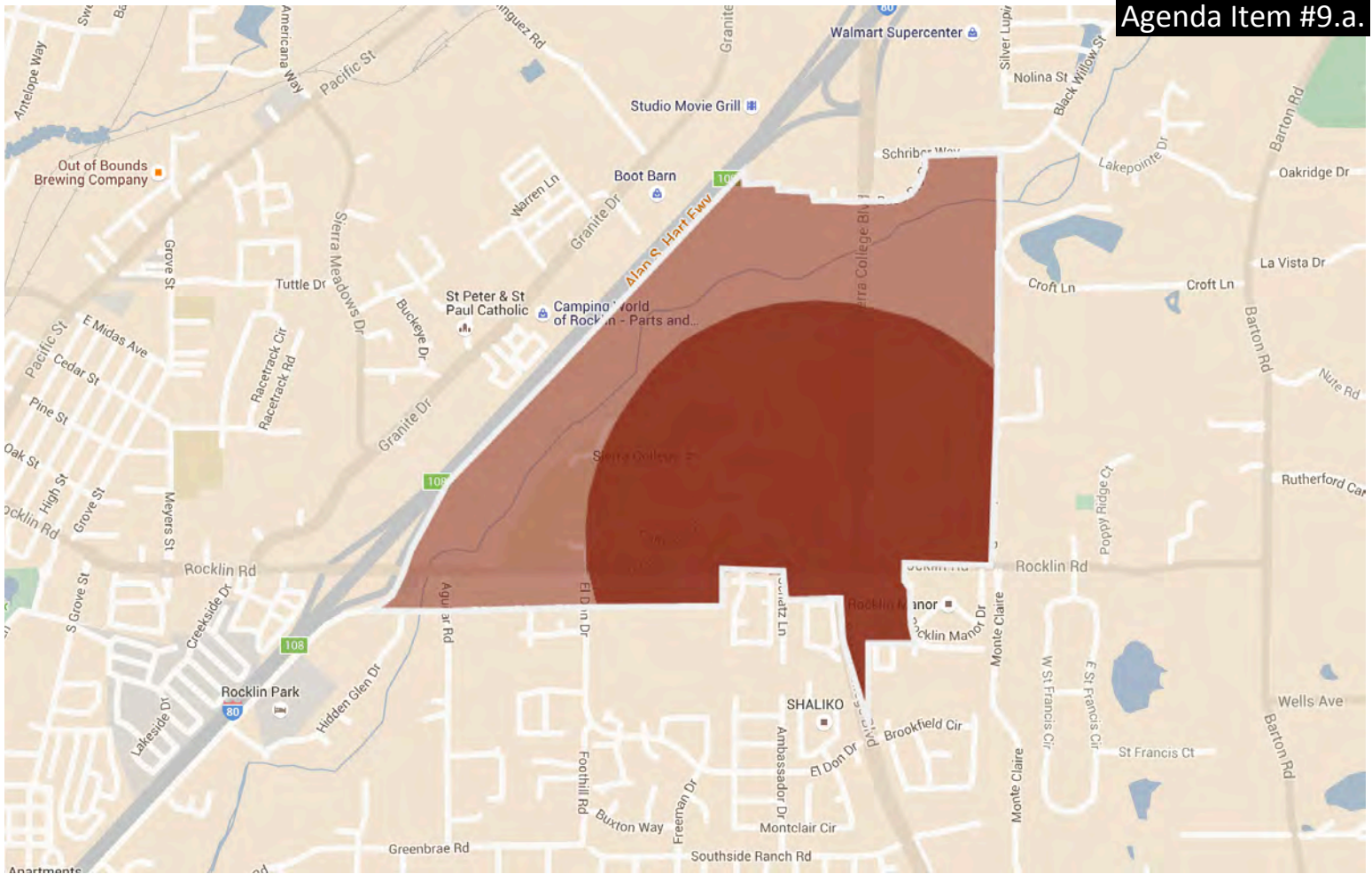
DISTRICT BOUNDARIES

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Structures adjacent to and visible from highways, located within transition areas along collector or arterial roadways, at project entries, vistas, plazas, common areas, or prominent corners should include feature elements consistent with the district guidelines.

CORE

TRANSITION



BUILDING EXAMPLES

Use the building examples below for inspiration on creating your building in the College District. Photos of some existing structures may not be indicative of the desired architecture, but may include features that should be reviewed.

SMALL STRUCTURES

CORE

TRANSITION

TRANSITION

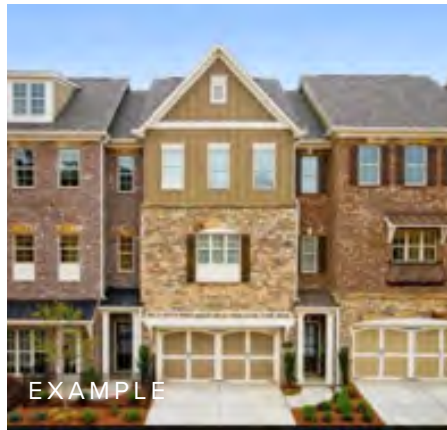


MEDIUM STRUCTURES

CORE

TRANSITION

TRANSITION



LARGE STRUCTURES

CORE

TRANSITION

TRANSITION



APPENDIX



