



**AGENDA**  
**CITY OF ROCKLIN PLANNING COMMISSION**  
**DATE: August 15, 2017**  
**TIME: 6:30 PM**  
**PLACE: Council Chambers, 3970 Rocklin Road**  
**[www.rocklin.ca.us](http://www.rocklin.ca.us)**

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**MEETING PROCEDURES AND STANDARDS OF DECORUM**

Citizens may address the Planning Commission on any items on the agenda, when the item is considered. Citizens wishing to speak may request recognition from the presiding officer by raising his or her hand and stepping to the podium when requested to do so. Although not required, speakers are requested to identify themselves by stating their name and city of residence for the official record.

For items not listed on the agenda, any person may do so under "Citizens Addressing the Planning Commission on non-agenda items." Three to five-minute time limits may be placed on citizen comments. As a reminder, the Brown Act does not permit the Commission to take action on items not on the agenda.

All remarks shall be addressed to the Commission as a body and not to any member thereof, or to staff, or to the public. No person, other than a member of the Commission, and the person having the floor, shall be permitted to enter into any discussion without the permission of the presiding officer.

Whenever any group of persons wishes to address the Commission on the same subject matter, it shall be proper for the Chairman to request that a spokesperson be chosen.

Any person who disrupts the meeting of the Commission, may be barred by the Chairman from further audience before the Commission during that meeting.

**WRITINGS RECEIVED AFTER AGENDA POSTING**

Any writing related to an agenda item for the open session of this meeting distributed to the Planning Commission less than 72 hours before this meeting is available for inspection at City Hall, 3970 Rocklin Road, Rocklin, during normal business hours. These writings will also be available for review at the planning commission meeting in the public access binder located on the table at the back of the Council Chambers. If you have questions related to this agenda, please call 916-625-5160.

**WRITTEN MATERIAL INTRODUCED INTO THE RECORD**

Any citizen wishing to introduce written material into the record at the hearing on any item is requested to provide a copy of the written material to the Planning Department prior to the hearing date so that the material may be distributed to the Planning Commission prior to the hearing.

**AMERICANS WITH DISABILITIES ACT**

In compliance with the Americans with Disabilities Act, the City of Rocklin encourages those with disabilities to participate fully in the public hearing process. If you have a special need in order to allow you to attend or participate in our public hearing process or programs, please contact our office at (916) 625-5160 well in advance of the public hearing or program you wish to attend so that we may make every reasonable effort to accommodate you.

**COURT CHALLENGES AND APPEAL PERIOD**

Court challenges to any public hearing items may be limited to only those issues which are raised at the public hearing described in the notice or in written correspondence delivered to the City at or prior to the public hearing. (Government Code Section 65009)

There is a 10-day appeal period for most Planning Commission decisions. However, a Planning Commission approval of a tentative parcel map has a 15-day appeal period. Appeals can be made by any interested party upon payment of the appropriate fee and submittal of the appeal request to the Rocklin City Clerk or the Planning Department, 3970 Rocklin Road, Rocklin.

### ELECTRONIC PRESENTATIONS

All persons with electronic presentations for public meetings will be required to bring their own laptop or other form of standalone device that is HDMI or VGA compatible. It is further recommended that presenters arrive early to test their presentations. The City is not responsible for the compatibility or operation of non-city devices or the functionality of non-city presentations.

### FURTHER INFORMATION

Any person interested in an agenda item may contact the Planning Staff prior to the meeting date, at 3970 Rocklin Road, Rocklin, CA 95677 or by phoning (916) 625-5160 for further information.

### POSTING OF AGENDA

In accordance with Government Code Section 54954.2(a) this agenda was posted on the City's bulletin board at City Hall, 3970 Rocklin Road, Rocklin, and City of Rocklin website at [www.rocklin.ca.us](http://www.rocklin.ca.us).

### AGENDA

#### INTRODUCTION

1. **Meeting called to Order**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Minutes**
  - a. July 18, 2017
5. **Correspondence**
6. **Citizens Addressing the Commission on Non Agenda Items**

#### CONSENT ITEMS

None

#### PUBLIC HEARINGS

7. **THIS ITEM WAS CONTINUED FROM AUGUST 10, 2017**

#### **STANFORD TERRACE RE-APPROVAL SUBDIVISION MAP, SD-2013-05 DESIGN REVIEW, DR-2013-12**

This application is a request for a re-approval of a prior Design Review and Tentative Subdivision Map to develop 119 townhomes on 7.3+/- acres. The subject property is approximately 7.3 +/- acres and is generally located on Stanford Ranch Road near the southwest intersection of Stanford Ranch Rd. and Sunset Blvd. APN 017-460-003. The property is zoned Planned Development 20 units per acre (PD-20). The General Plan designation is High Density Residential (HDR).

A Mitigated Negative Declaration of Environmental Impacts was previously approved by the Rocklin City Council through Resolution No. 2014-234. The project site is not on any of the lists enumerated under Section 65962.5 of the Government Code related to hazardous wastes.

The applicant is Chris Scerri with Golden State Lumber, Inc. The property owner is Golden State Lumber, Inc.

- a. Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval A Tentative Subdivision Map (Stanford Terrace / SD-2013-05)
- b. Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval A Design Review For Multi-Family Residential Homes (Stanford Terrace / DR-2013-12)

**8. SIERRA PINE SUBDIVISION**

**GENERAL PLAN AMENDMENT, GPA2016-0002**  
**GENERAL DEVELOPMENT PLAN, PDG2016-0004**  
**REZONE, Z2016-0002**  
**TENTATIVE SUBDIVISION MAP, SD2016-0005**  
**DESIGN REVIEW, DR2016-0009**

This application is a request for approval of the following entitlements to allow the development of approximately 28.17 acres into 199 single-family residential lots:

- A General Plan Amendment to change the land use designation from a combination of Mixed Use (MU) and High Density Residential (HDR) to Medium High Density Residential (MHDR).
- A General Development Plan to establish the land uses and development standards for the proposed zone district.
- A Rezone to change the zoning applicable to the project site from Heavy Industrial (M-2) to Planned Development 7 dwelling units per acre (PD-7).
- A Tentative Subdivision Map to create a 199-unit single family small lot residential subdivision.
- A Design Review for the site design, landscaping, architectural designs, colors and materials of a proposed single-family small lot residential subdivision.

The subject site is located at 4300 Dominguez Road. APN 045-021-011. The property is zoned Heavy Industrial (M-2). The General Plan designation is Mixed Use (MU) and High Density Residential (HDR).

Notice is hereby given that the City of Rocklin will consider adoption of a Mitigated Negative Declaration for the development project described above. The review period for the Mitigated Negative Declaration begins on July 13, 2017 and ends at 5:00 p.m. on August 11, 2017. The environmental document is available for review during normal business hours at the City of Rocklin Community Development Department, Planning Division, located at 3970 Rocklin Road, Rocklin, CA 95677 and online at <http://www.rocklin.ca.us/depts/develop/planning/currentenvirodocs.asp>. Written comments regarding the environmental document may be submitted to the attention of the Environmental Coordinator at the mailing address above or e-mailed to [planner@rocklin.ca.us](mailto:planner@rocklin.ca.us).

The applicant is Jerry Aplash with Burrell Consulting Group. The property owner is Sierra Pine, a California limited partnership.

- a. Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of A Mitigated Negative Declaration Of Environmental Impacts (Sierra Pine Subdivision / GPA2016-0002, PDG2016-0004, Z2016-0002, SD2016-0005, DR2016-0009 And TRE2017-0006)

- b. Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of An Ordinance Amending The General Plan Designation Of An Area From High Density Residential (HDR) And Mixed Use (MU) To Medium Density Residential (MDR) (Sierra Pine Subdivision / GPA2016-0002)
- c. Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of An Ordinance Establishing The Sierra Pine General Development Plan And Rezoning An Area From Heavy Industrial (M-2) To Planned Development Residential – 8 Dwelling Units Per Acre (PD-8) (Sierra Pine Subdivision / PDG2016-0004 And Z2016-0002)
- d. Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of A Tentative Subdivision Map And An Oak Tree Preservation Plan Permit (Sierra Pine Subdivision / SD2016-0009 And TRE2017-0006)
- e. Resolution Of The Planning Commission Of The City Of Rocklin Recommending Approval Of A Design Review (Sierra Pine Subdivision / DR2016-0009)

**NON PUBLIC HEARINGS**

**9. Informational Items and Presentations**

- a. None

**10. Reports and Discussion Items from Planning Commissioners**

**11. Reports from City Staff**

**12. Adjournment**

CITY OF ROCKLIN  
MINUTES OF THE PLANNING COMMISSION MEETING

July 18, 2017  
Rocklin Council Chambers  
Rocklin Administration Building  
3970 Rocklin Road  
(www.rocklin.ca.us)

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1. Meeting Called to Order at 6:30 p.m.
2. Pledge of Allegiance was led by Commissioner Vass .
3. Roll Call

Chairman Sloan  
Vice Chairman Martinez  
Commissioner McKenzie  
Commissioner Whitmore  
Commissioner Vass

Others Present:

Marc Mondell, ECD Director  
DeeAnne Gillick, Deputy City Attorney  
Bret Finning, Planning Services Manager  
Nate Anderson, Associate Planner  
Terry Stemple, Planning Commission Secretary

About 7 others

4. Minutes –
  - a. Minutes of June 20, 2017 were approved as submitted.

5. Election of Officers –

Commissioner McKenzie made a motion to appoint Commissioner Martinez as Chairman and Commissioner Whitmore as Vice Chairman. Chairman Vass seconded the motion. Commission voted 5/0.

6. Correspondence - None
7. Citizens Addressing the Commission on Non Agenda Items – None

CONSENT ITEMS

None

**PUBLIC HEARINGS**

**8. STANFORD RANCH PARCEL 56 TIME EXTENSION  
TENTATIVE PARCEL MAP, DL-2011-01**

This application is a request for approval of a one-year extension of time for a previously approved tentative parcel map, Stanford Ranch Parcel 56 (DL-2011-01), to allow the subdivision of 9.24 ± acres into 2 approximately equal lots. The proposed project site is generally located on the southeast corner of West Stanford Ranch Road and Sunset Blvd. The Assessor’s Parcel Number is 017-081-025.

The project was previously found to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines through Resolution PC-2012-03.

The property owner and applicant is 1400 Stanford Ranch Properties, LLC.

Nate Anderson, Associate Planner, presented the staff report.

The Commission had no questions for staff.

The applicant did not address the Commission.

The hearing was opened to the public for comment. There being none, the hearing was closed.

**Commission Deliberation/Discussion:**

On a motion by Commissioner McKenzie and seconded by Commissioner Martinez, Resolution of the Planning Commission of the City of Rocklin Approving a One-Year Time Extension of the Stanford Ranch Parcel 56 Tentative Parcel Map (DL-2011-01) was approved by the following vote:

AYES: McKenzie, Martinez, Vass, Whitmore, Sloan  
 NOES: None  
 ABSENT: None  
 ABSTAIN: None

**9. NELLIA ESTATES (a.k.a. SAMOYLOVICH ESTATES) TIME EXTENSION  
TENTATIVE PARCEL MAP DL-2003-07**

This application is a request for approval of a one-year extension of time for a previously approved tentative subdivision map (DL-2003-07) to divide approximately 1.8 acres into four residential lots ranging in size from approximately 11,000 square feet to 30,000 square feet. The lots are proposed to be accessed via a private street. The subject property is generally located approximately 120 feet south of the intersection of Lost Avenue and Winding Lane. APN 010-260-040.

A Mitigated Negative Declaration of Environmental Impacts was previously approved for this project through Resolution PC-2005-56.

The property owner and applicant is Multigroup, LLC.

Nate Anderson, Associate Planner, presented the staff report.

The Commission had no questions for staff.

Applicant, Bill Mitchell stated they had nothing to add.

The Commission had no questions for the applicant.

The hearing was opened to the public for comment. There being none, the hearing was closed.

**Commission Deliberation/Discussion:**

On a motion by Commissioner Vass and seconded by Commissioner Martinez, Resolution of the Planning Commission of the City of Rocklin Approving a One-Year Extension of the Nellia Estates (Formerly Samoylovich Estates) Tentative Parcel Map and Oak Tree Preservation Permit (DL-2003-07; TRE-2005-18) was approved by the following vote:

AYES:	Vass, Martinez, McKenzie, Whitmore, Sloan
NOES:	None
ABSENT:	None
ABSTAIN:	None

**NON PUBLIC HEARINGS**

**10. Informational Items and Presentations - None**

**11. Reports and Discussion Items from Planning Commissioners - None**

**12. Reports from City Staff**

- **Special meeting on August 10<sup>th</sup>**
- **No meeting on August 1<sup>st</sup>**
- **Update on ARC meetings**
- **Update on Adventure Park**

**13. Adjournment**

There being no further business brought before the Commission, the meeting was adjourned at 6:51 p.m.

Respectfully submitted,

Terry Stemple  
Planning Commission Secretary

*Approved at the regularly scheduled Meeting of*



City of Rocklin Economic and Community Development Department

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**Planning Commission  
STAFF REPORT**

**Stanford Terrace Townhomes Re-Approval**

**Tentative Subdivision Map, SD-2013-05  
Design Review, DR-2013-12**

**August 15, 2017**

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**Recommendation**

Staff recommends the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL A TENTATIVE SUBDIVISION MAP (Stanford Terrace / SD-2013-05)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL A DESIGN REVIEW FOR MULTI-FAMILY RESIDENTIAL HOMES (Stanford Terrace / DR-2013-12)

**Proposal/Application Request**

This application is a request for re-approval of the following:

- A Tentative Subdivision Map to create 119 residential lots and three common area lots for circulation, recreational facilities, and landscaping.
- A Design Review to approve the design of multi-family townhomes and the associated site design and landscaping.

**Location**

The subject property is generally located on Stanford Ranch Road between the southwest corner of the intersection of Stanford Ranch Road and Sunset Boulevard and the southeast corner of the intersection of Stanford Ranch Road and Plaza Drive. APN 017-460-003.





Location Map

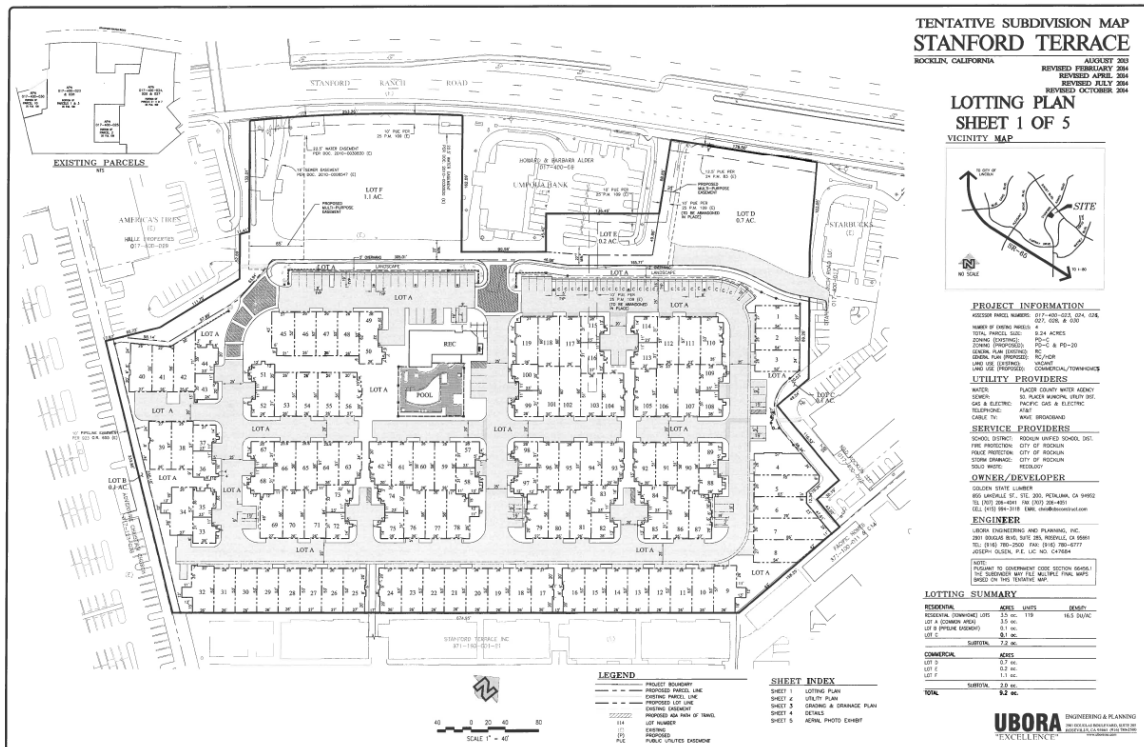
### Owner/Applicant

The applicant and property owner is Chris Scerri of Golden State Lumber, Inc.

### Re-Approval

The proposed tentative subdivision map re-approval would create 119 residential townhouses and three common area lots for circulation, recreational facilities, and landscaping. The design review entitlement would approve the architectural design, materials, colors, site layout, and landscaping for the proposed project. A tentative subdivision map, which included three commercial parcels, and a design review for this project were first approved by City Council on October 28, 2014 along with a General Plan Amendment (GPA-2013-05), a General Development Plan Amendment (PDG-2013-05), a Rezone (Z-2013-09), a Zoning Ordinance Amendment (ZOA2014-0001), and a Mitigated Negative Declaration of Environmental Impacts. Only the applicant addressed the City Council during the public hearing to request support of the project. After deliberations the Council unanimously approved the project as recommended by staff and the Planning Commission. Please see the attached City Council staff report dated October 28, 2014 and minute excerpt for additional information.

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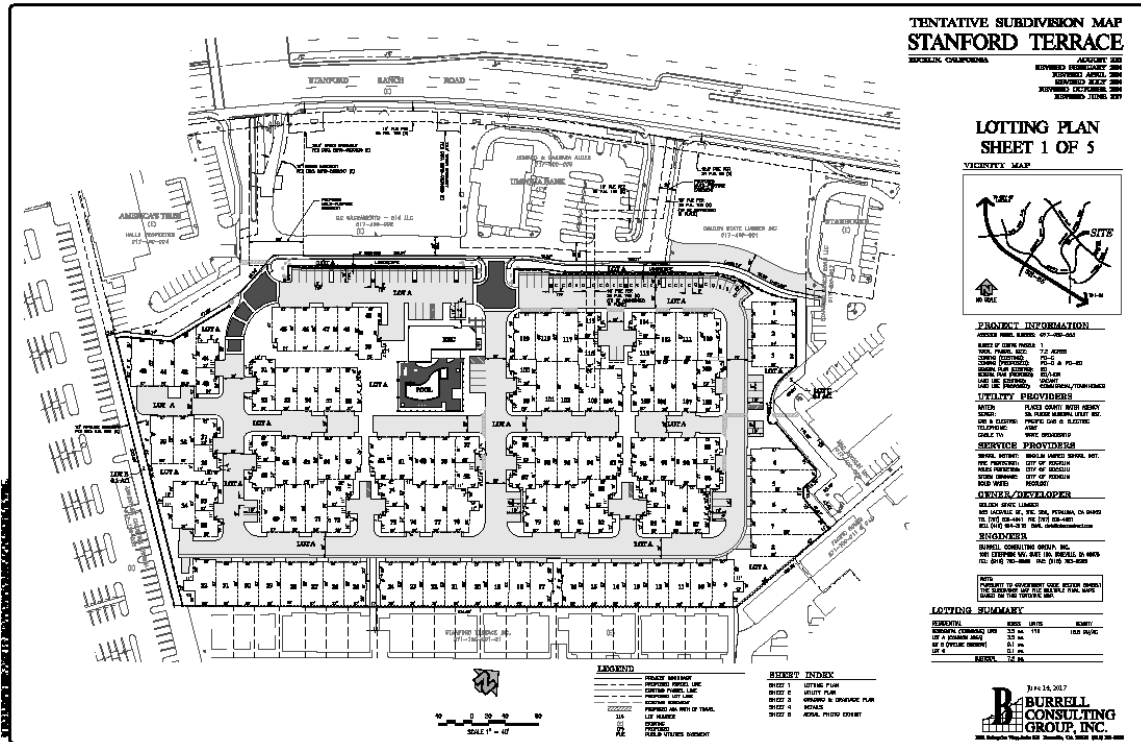


**Previously Approved Tentative Subdivision Map**

Since the project was first approved by the City Council, the applicant recorded a final map for the first phase of the project, creating the three commercial parcels and the 7.2-acre parcel on which the townhome project is to be built. The third commercial parcel was subsequently merged with the Umpqua Bank property through a Lot Line Adjustment.

The applicant submitted documents and improvement plans for review and approval to construct the townhome project and record the final map. While the improvement plans were between rounds of review and comment, the expiration date for the original approvals passed before either the applicant or the City realized. As the applicant has diligently worked to move forward with this project staff recommends the project, modified to remove the recorded Phase I commercial parcels, be re-approved pursuant to the draft resolutions of approval provided as a part of this packet.

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Modified Tentative Subdivision Map

**Environmental Determination**

A Mitigated Negative Declaration of Environmental Impacts was previously approved by the Rocklin City Council through Resolution No. 2014-234; the requested re-approval does not result in any environmental impacts beyond those that were previously identified.

*Prepared by Dara Dungworth, Senior Planner*

**Attachments**

- Attachment 1 – City Council Staff Report dated October 28, 2014
- Attachment 2 – Excerpt from City Council Minutes of October 28, 2017

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# City Council Report

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**Subject:** Zoning Ordinance Text Amendment Amending Requirements for  
Masonry Separation Walls and Stanford Terrace Condominiums

Zoning Ordinance Text Amendment, ZOA2014-0001  
General Plan Amendment, GPA-2013-05  
General Development Plan Amendment, PDG-2013-05  
Rezone, Z-2013-09  
Tentative Subdivision Map, SD-2013-05  
Design Review, DR-2013-12

**Date:** October 28, 2014

**Submitted by:** Laura Webster, Deputy Director Community Development  
Ben Fu, Planning Services Manager  
Dara Dungworth, Associate Planner

**Department:** Community Development Department

**Reso. Nos.**

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## Recommendation

The Planning Commission and Staff recommend the City Council approve the following:

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING A NOTICE OF EXEMPTION (Amending Requirements for Masonry Separation Walls / ZOA2014-0001)

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKLIN AMENDING TITLE 17, CHAPTER 17.08, SECTION 17.08.080 OF THE ROCKLIN MUNICIPAL CODE RELATED TO MASONRY WALLS BETWEEN RESIDENTIAL AND NON-RESIDENTIAL ZONES (Masonry Separation Walls / ZOA2014-0001)

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING A MITIGATED NEGATIVE DECLARATION OF ENVIRONMENTAL IMPACTS (Stanford Terrace Condominiums / GPA-2013-05, Z-2013-09, PDG-2013-05, SD-2013-05, and DR-2013-12)

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING AN AMENDMENT TO THE LAND USE ELEMENT OF THE GENERAL PLAN OF THE CITY OF ROCKLIN TO CHANGE THE LAND USE DESIGNATION OF A 7.2-ACRE SITE FROM RETAIL

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COMMERCIAL (RC) TO HIGH DENSITY RESIDENTIAL (HDR) (Stanford Terrace Condominiums / GPA-2013-05)

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING AN AMENDMENT TO THE STANFORD RANCH GENERAL DEVELOPMENT PLAN AND A REZONE FROM PLANNED DEVELOPMENT COMMERCIAL (PD-C) TO PLANNED DEVELOPMENT 20 DWELLING UNITS PER ACRE (PD-20) (Stanford Terrace Condominiums / PDG-2013-05 and Z-2013-09)

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING A TENTATIVE SUBDIVISION MAP (Stanford Terrace Condominiums / SD-2013-05)

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING A DESIGN REVIEW FOR MULTI-FAMILY RESIDENTIAL HOMES (Stanford Terrace Condominiums / DR-2013-12)

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### **Project Description**

The General Plan Amendment is requested to change the land use designation of a portion of the site from Retail Commercial (RC) to High Density Residential (HDR). The General Development Plan Amendment is requested to modify the proposed residential portion of the site from PD-C to PD-20 within the Stanford Ranch General Development Plan. The Rezone is requested to change a portion of the site's zoning from Planned Development Commercial (PD-C) to Planned Development 20 dwelling units per acre (PD-20).

The Tentative Subdivision Map would create 119 condominium residential lots, three common area lots for circulation, recreational facilities, and landscaping, and three lots to remain designated for commercial use.

The Design Review is requested to approve the design of multi-family townhomes and the associated site design and landscaping.

Accompanying the project application is a Zoning Ordinance Text Amendment to modify the requirement to always have a six-foot masonry wall between residential and non-residential land uses. The amendment to Section 17.08.080 will allow an exception to the six-foot wall under certain circumstances and will apply city-wide, including all Planned Development General Development Plan zones. The traditional wall requirement will typically not be applicable in mixed use developments such as the proposed project.

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### **Summary of Planning Commission Hearing and Action and Subsequent Modification to Tentative Map Conditions of Approval**

On August 19, 2014, the Planning Commission held a public hearing regarding the proposed Stanford Terrace Subdivision project. The project representative, Marcus Lo Duca, spoke during the public hearing requesting that the Planning Commission recommend approval of the project, and answered questions raised by the Planning Commission. Mr. Howard Adler, the owner of the Umpqua Bank property, addressed the Commission with his concerns regarding the project. Mr. and Mrs. Adler's letter is included in Attachment 3 of the staff report and the points in their letter are discussed at the end of the report. Two other representatives for the Adlers, Kirk Smith and Ed Quinn, spoke on behalf of them regarding their concerns. A representative from Umpqua Bank also addressed the Commission expressing the bank's concerns with the project, which included widening the connecting driveway, adding stop signs to the connecting driveway, lighting along the driveway, and ensuring the connecting driveway at Starbucks was completed.

During the presentations by Staff and Mr. Lo Duca, Planning Commission had questions about the internal, "cross" driveway access at Lot D and Starbucks; site circulation and driveway locations relative to existing access driveways in the shopping center and the Umpqua Bank trash enclosure; and external site lighting along the sidewalk of the internal driveway.

The Commissioners noted that they supported the project and they concurred with the findings and recommendations in the staff report, with the exception of Commissioner Whitmore, who could not support the locations of the driveways. At the conclusion of deliberations, the Planning Commission voted 4-0 to approve each of the resolutions recommending approval of the project with the exception of a 3-1 vote on the Tentative Subdivision Map. The Map was recommended for approval, as amended to include the language for Special Condition #4a. and #4b. as provided in the Blue Memo addressing the construction timing of the connecting driveway at Starbucks. The Design Review was recommended for approval as proposed with the addition of the lighting exhibit provided at the hearing. The draft Map and Design Review resolutions include these additions.

Subsequent to the Planning Commission hearing, the applicant for the project and the City had further discussions about the language of Special Condition #4.b. The parties agreed to the language provided in the draft resolution of approval for the Tentative Subdivision Map that amends the language recommended for approval by the Planning Commission to provide the timing and mechanisms to achieve the construction of the connecting driveway at Starbucks.

The remainder of this staff report is generally as presented to the Planning Commission.

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**Location**

The subject properties are generally located on Stanford Ranch Road between the southwest corner of the intersection of Stanford Ranch Road and Sunset Boulevard and the southeast corner of the intersection of Stanford Ranch Road and Plaza Drive. APNs 017-400-023, 024, 025, 026, 027, 028, and 030.



**Location Map**

**Owner/Applicant**

The applicant is Al Johnson Consulting. The property owner is Golden State Lumber.

**Site Characteristics and Background**

The project site, comprised of the remaining portions of the larger, partially developed Crossroads shopping center, is located on top of a ridge and is generally higher than surrounding properties and streets. The bulk of the site is sloping. There are no trees or shrubs on the site, only native and naturalized grasses, as the site has previously been disturbed in connection with the development of other parcels within the shopping center and utilities stubbed into some areas of the site.

The site of the Crossroads shopping center was originally known as Stanford Ranch Parcel 79 and was designated a commercial site with the adoption of the Stanford Ranch General Development Plan. It was intended for development of a major grocery store, a major drug store, and five pad buildings in late 1980's (SPU-89-15). While the Parcel

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Map (DL-89-16) associated with the original project was recorded in 1990, the Specific Plan Use Permit expired in 1996.

In 2005, the first of the Crossroads shopping center development was approved, including the existing drive-through/fast food restaurant (now Starbuck’s), the gas station with convenience store and car wash (now 7-Eleven), and 16,500 square feet of shops (Lot 79A).

Subsequent approvals for projects that were never built include additional construction of the shopping center (DR-2004-05) as a commercial cluster (neighborhood retail spaces, fast food or bank with drive through) and an event center and commercial shell building with a drive through (DR-2012-02).

The existing America’s Tire store (DR-2008-14, U-2012-09) was approved in 2009 on an existing parcel within the shopping center. The existing Umpqua Bank (DR-2014-08) was originally approved in 2007 and a modification (DR-2008-08A) was approved in 2009.

Staff believes the market has shown over the years that this site is not configured well to support major commercial tenants such as grocery and drug store anchors as originally envisioned. The site is too deep and therefore has never been developed into the neighborhood commercial project as was intended.

**Surrounding Land Uses**

	Use	General Plan / Zoning
Project Site	Vacant	Retail Commercial (RC) / Planned Development Commercial (PD-C)
North-west / North	The Plaza at Stanford Ranch and Stanford Plaza commercial centers	RC / PD-C
North-east / East	Existing Crossroads commercial buildings / Existing Pacific Sunset multi-family development	RC / PD-C High Density Residential (HDR) / Planned Development 20 dwelling units per acre (PD-20)
South-east / South	Stanford Terrace I town-homes (aka Rocklin Ridge)	HDR / PD-20
West / South-west	America’s Tire Store / Adventure Christian Church	City of Rocklin: RC / PD-C City of Roseville: Public/Quasi Public (PQP) / Public/Quasi Public (PQP)



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### **Environmental Determination**

The California Environmental Quality Act (CEQA) defines environment as “the physical condition, which exists within the area, which will be affected by a proposed project, including land, air, water, minerals, flora, fauna, noise, and objects of historic or aesthetic significance.” CEQA requires the City of Rocklin to conduct an assessment of the potential environmental impacts of a project over which it has discretionary approval authority, and to take that assessment into consideration before approving the project.

#### **Zoning Ordinance Text Amendment**

The City’s Environmental Coordinator has reviewed the Zoning Ordinance Text Amendment and determined that it is exempt from review under the California Environmental Quality Act pursuant to Section 15061(b)(3) - General rule of no potential for causing significant impact. For a more detailed discussion of the environmental assessment and determination, please refer to the Notice of Exemption prepared for the project and attached to the draft resolution approving said exemption.

#### **Stanford Terrace Project**

As part of the required assessment for the Stanford Terrace subdivision, an Initial Study was prepared to determine the project’s potential impact on the environment.

The Initial Study prepared for the project found that the project could have significant impacts with regard to biological resources, cultural resources, and air quality; however it was also able to identify mitigation measures that would reduce each of these potential impacts to a less than significant level. Therefore, Staff has prepared a Mitigated Negative Declaration (MND) of environmental impacts for the project. The MND was properly circulated pursuant to the provisions of CEQA. A comprehensive discussion of the potential project impacts considered, why they were or were not determined to not be significant, and mitigation measures that were found to reduce significant impacts to a less than significant level can be found as a part of the draft resolution for the MND prepared for the project.

The Stanford Terrace Condominiums MND was circulated for a public review period from July 17, 2014 to August 15, 2014. The MND was also submitted to the State Clearinghouse on July 17, 2014, which provided for a 30-day public review period for State agencies ending on August 15, 2014. The City received two comment letters as a result of the public review period, one from the State Clearinghouse and one from the Native American Heritage Commission (NAHC); copies of those letters are provided as Attachment 1 to the staff report, and a summary of the letters and responses thereto are provided below.

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#### SUMMARY OF STATE CLEARINGHOUSE COMMENT LETTER

The State Clearinghouse provided comments acknowledging that the Stanford Terrace Condominiums MND was sent to state agencies for their review. The comments also identified the closing date of the MND comment period and noted that no state agencies had submitted comments (despite the City receiving a comment letter directly from the NAHC).

#### RESPONSE

The comment does not affect the analysis or conclusions reached in the MND and are considered to be noted. Additional response or revisions to the MND are not necessary.

#### SUMMARY OF NATIVE AMERICAN HERITAGE COMMISSION LETTER

The Native American Heritage Commission (NAHC) letter provided four categories of recommendations for determining impacts to cultural resources, as summarized below.

1. NAHC recommended that the appropriate Information Center be contacted for a records search to determine whether or not the project area has been surveyed and whether or not recorded archaeological sites are located within or adjacent to the project area.
2. NAHC recommended that if the project area had not been previously surveyed, then a professional archaeologist should prepare a confidential survey report to be submitted to the Information Center.
3. NAHC recommended that it be contacted to perform a sacred lands file check and for a list of Native American community members who may have comments about the project.
4. NAHC recommended that the lead agency include, as part of its mitigation plan, provisions for unanticipated discovery and monitoring of sensitive areas by an archaeologist and tribal monitor.

#### RESPONSE

1. A cultural resources report (Stanford Terraces, Cultural Resources Inventory and Evaluation, Rocklin, Placer County California, prepared by Ric Windmiller, March 2014) was prepared for the Stanford Terrace Condominiums project. As a part of that report, the Stanford Terrace Condominium project's Area of Potential Effect (APE) was established as the area bounded by Stanford Ranch Road and commercial buildings to the north, a church parking lot on the south and

- condominiums on the east. An APE is defined as the geographic area or areas within which an undertaking may directly or indirectly cause changes in the character or use of historic properties, if any such properties exist. As a part of the cultural resources report, on February 10, 2014 the North Central Information Center (NCIC) of the California Historical Resources Information System completed a records search of the project's APE and a one-eighth mile radius around the APE. As a result of that search, information center staff found no cultural resources listed in the system. Six previous cultural resource studies within a one-eighth mile radius were on file at the information center. However, only one previous study encompassed a portion of the project's Area of Potential Effects (APE).
2. The project site was completely surveyed by a professional archaeologist on February 22, 2013, and no prehistoric period resources were located in the project area.
  3. As a part of the NCIC records search noted above, a Sacred Lands search and a list of Native American contacts was also requested from the NAHC. The results of the Sacred Lands search, dated February 13, 2014, failed to reveal any properties listed as Sacred Lands. The NAHC provided a list of tribal representation groups in the event that the City of Rocklin needs to consult with Native American tribes pursuant to Government Code Section 65352.3. It should be noted that the City of Rocklin did consult with three Native American tribes (four contact persons) pursuant to Government Code Section 65352.3 (SB-18 Consultation) and a response was received from the United Auburn Indian Community expressing a desire to be consulting parties as the project advances and wishing to receive copies of any reports related to cultural resources or environmental issues.
  4. The Stanford Terrace Condominiums MND includes a mitigation measure for the accidental discovery of cultural resources during grading and construction activities.

In summary, the assessment of cultural resources impacts included with the Stanford Terrace Condominiums project was conducted consistent with the above-noted requirements identified by the NAHC. The comments from the NAHC do not affect the analysis or conclusions reached in the MND and are considered to be noted; additional response or revisions to the MND are not necessary.

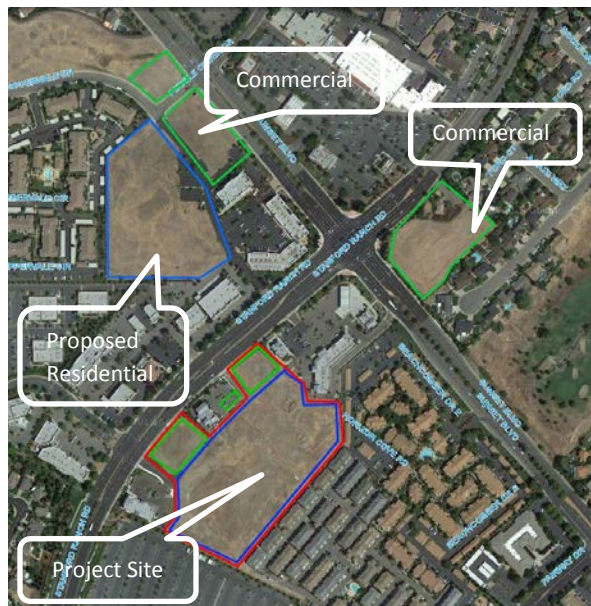
### **General Plan Amendment**

The site is currently designated in the City's General Plan as Retail Commercial (RC). One of the purposes of this designation is to provide "appropriately located areas for retail

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stores, professional offices, supportive commercial uses and amusement uses in a concentrated area for the convenience of the public in mutually beneficial relationships to each other.”

The applicant is requesting that a majority of the project site, 7.2 acres of the approximately 9.2 acres, be changed to a High Density Residential (HDR) General Plan designation. The HDR designation is intended to provide “areas for multi-family homes, conveniently near commercial uses, employment centers, arterial and collector streets and other intensive uses.”



Stanford Ranch Road and Sunset Boulevard Development Sites

As indicated on the aerial map above, the Stanford Terrace project is one of two residential developments (indicated by blue outlines) currently being processed in the Stanford Ranch Road and Sunset Boulevard area. The blue outline north of the project site is the location of the proposed Sunset at Stanford Ranch small lot subdivision to create forty-eight single family residential lots. In addition to existing commercial development in the area and the two remainder commercial lots associated with this project in the Crossroads shopping center, three commercially designated sites remain undeveloped (indicated by green outlines). Currently, the City is not processing entitlement requests for these three properties. Subsequent to the August 19 Planning Commission hearing for Stanford Terrace, the City has brought forward the conveyance of the Sunset/Pebble Creek Park and Ride site. On September 16, the Planning Commission recommended approval of the conveyance of the property and the designation of the site as mixed use. The Council approved the conveyance of the property on October 7, 2014. This is another site in the vicinity of the Stanford Terrace project that could be developed with residential and/or commercial uses.

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Staff supports the land use designation change for the 7.2 acres because the site is immediately adjacent to the Sunset Pacific multi-family development (approved in 1997 under the name Club Pacific Condominiums, SD-93-03/SPU-90-32) to the east and the existing Stanford Terrace townhomes (approved in 2004 under the name Rocklin Ridge Townhomes, SD-2002-05/DR-2002-30) to the south. The proposed project and the original Stanford Terrace/Rocklin Ridge townhomes are under the same ownership; the proposed project is intended to be a second phase of the original project. Therefore, the proposed project can be seen as an extension of existing multi-family residentially designated land. The site is adjacent to the intersection of Stanford Ranch Road and Sunset Boulevard, two major arterial roads. Furthermore, the site is integral to existing commercial within the Crossroads shopping center and within walking distance of three other commercial centers, The Shops at Stanford Plaza, Stanford Plaza, and Stanford Village (Bel Air) shopping center, as well as the three vacant commercially designated properties.

In analyzing the proposed designation change, Staff determined that the integration of the residential component into the existing commercial center to be an infill development project using a “horizontal mixed use” concept. The horizontal mixed use concept is consistent with two General Land Use Policies of the General Plan. Policy LU-1 is to “promote flexibility and innovation in new development through the use of...mixed-use projects...” Policy LU-2 encourages “a variety of building sites, building types, and land use concepts in Medium High and High Density Residential...areas that are located along major streets...”

The project will bring additional residents to the Stanford Ranch Road and Sunset Boulevard area to help support existing and future businesses in the surrounding commercial areas consistent with the direction to “Provide for planning, development, infrastructure and services that support the local economy and are fundamental to a strong, vibrant region” set forth in the Rocklin Strategic Plan. The project also aligns with the Strategic Plan Vision Principle “Rocklin is a community of neighborhoods; each unique and essential in preserving and promoting a diverse and welcoming community.” By creating a horizontal mixed use development with both residential and commercial uses, the project will be unique and will provide more diversity of housing options in a key location within the City at the Stanford Ranch “entry” to the City.

This site was not identified as one planned to provide opportunities for low and/or moderate income housing in the City’s recently adopted Housing Element. However, it will provide opportunities for housing in a location that was not previously planned for that use. The future sales price of the homes will determine if the proposed change will assist the City’s ability to meet its Regional Housing Needs Allocation (RHNA).

This request is one of several general plan amendments that will be brought to a hearing this year. If the Planning Commission recommends approval of the project it will

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be considered by the City Council at one of the two remaining general plan amendment hearings that can be held in 2014.

**General Development Plan Amendment, Rezone, and Zoning Ordinance Text Amendment**

The requested rezone and amendment to the Stanford Ranch General Development Plan would apply the Planned Development 20 units per acre (PD-20) zone district to this site in the existing Stanford Ranch General Development Plan and amend the City Zoning Map.

The uses and development standards applicable to the project would be those of the existing PD-20 (aka RD-20) zone in the Stanford Ranch General Development Plan. The proposed project is consistent with the proposed PD-20 zoning relative to uses (as amended by Ordinance 788) and building setbacks and height (as spelled out in Section XI.C.1. and 2. of Ordinance 560). See Attachment 2 for an excerpt of the Stanford Ranch General Development Plan development standards (Area Regulations).

This project would transform the previously approved Crossroads Shopping Center into a horizontal mixed use development. When the Stanford Ranch General Development Plan was created in the mid-1980's a mixed-use concept was not envisioned and therefore the document is not structured to provide the flexibility that hybrid zoning for mixed use typically requires. The Stanford Ranch General Development Plan requires a twenty-five foot setback for commercial buildings from a property line that abuts residential land and a solid masonry wall of not less than six feet in height to be constructed between residential and commercial land uses.

The intent of the twenty-five foot setback is to provide an adequate buffer to promote compatibility between commercial and residential uses. The proposed project layout would have the rear lot lines of the nearest of the eight townhomes that back up to the adjoining commercial building (Lots 4 and 5) about thirty feet from the side of the building. The actual separation between the nearest residential building (Lot 4) and the existing commercial building is approximately fifty-five feet. In addition to the physical separation, an adequate buffer is provided by the existing driveway, the proposed six-foot masonry wall, and by the project design on the east side that incorporates extra landscaping at the pedestrian access and deep backyards at Lots 4 to 8. In Staff's opinion the buffer area and separation of the structures is adequate to ensure compatibility between the residential and existing commercial uses, and satisfies the intent of the Stanford Ranch General Development Plan setback requirement.

This project does not have a six-foot masonry wall on all property lines. The design of the project is better served, and its integration into the existing commercial center is better achieved, without the typical solid wall. Staff does not believe the project would

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achieve the same aesthetic or economic value if it was completely hidden behind a six-foot masonry wall. The noise analysis conducted for the project found that a sound wall was not required on all of the project boundaries (a brief discussion is provided below under the Noise Analysis section and a thorough discussion is provided in the mitigated negative declaration for the project), so a solid wall is not required for noise mitigation purposes except where specifically identified on the site plans.

Because the Stanford Ranch General Development Plan did not anticipate any type of infill or mixed-use development that included commercial and residential on the same site, Staff recommends the City Council find the separation between the commercial and residential structures to be substantially compliant with the buffer and land use compatibility requirements of the Stanford Ranch General Development Plan. Staff also recommends that the Council find that the project walls at the property lines are appropriate designs and adequate buffers because they provide a superior aesthetic appearance and are unnecessary for noise control or additional compatibility buffering.

Since the City has applied a mixed use land use designation in several areas as part of the Citywide General Plan Update in 2012 and various land use changes in 2014 to implement the Housing Element available sites inventory, Staff is also bringing forward an amendment to the Citywide Zoning Ordinance that would provide flexibility with regard to masonry wall requirements between residential and non-residential land uses. This flexibility is considered necessary to properly integrate mixed use development projects where issues related to compatibility can be adequately addressed by other means. This amendment to the Citywide Zoning Code would also supersede any similar provisions that exist in various General Development Plans applied throughout the City. A resolution recommending approval of the Zoning Ordinance Text Amendment and corresponding Notice of Exemption have been included in the entitlements presented with this project for the City Council's consideration.

### **Tentative Subdivision Map**

#### **Subdivision Design - General**

The Tentative Subdivision Map application will subdivide the approximately 9.2 acre site into 125 lots: four parcels to remain commercially designated (approximately 2.0 acres), a multi-family townhouse development with 119 units, and two common area lots for associated parking and circulation, landscaping, recreation facilities, and the pipeline easement (approximately 7.2 acres).

The project is conditioned to install sewer, water, and other infrastructure as required by the City and the applicable utilities to provide service to the project.

### **Commercial Lots**

Three of the lots to remain commercially designated, Lots D, E, and F, are adjacent to Stanford Ranch Road and the existing commercial development, America's Tire, Umpqua Bank, and Starbuck's. When Umpqua Bank was approved and built, it was assumed that the rest of Crossroads shopping center would eventually develop with the benefit of reciprocal access and parking across all the parcels. Accordingly, part of the parking required for the bank project was constructed on two adjacent parcels (017-400-023 and 017-400-028). Lot E would consolidate parcel 017-400-028 with a section out of parcel 017-400-023 to place the entire bank parking lot off-site from the proposed project. Lots D and F would remain commercially designated in much their same configurations (they are currently being marketed for potential commercial uses). The proposed property lines would generally follow the centerline of the existing driveways within the center. The fourth commercial lot, Lot C, is comprised mainly of the existing driveway shared with the shops parcel 017-400-022 and would remain designated commercial.

### **Condominiums/Residential Lots**

Lot A of the multi-family residential subdivision is the main common lot that includes driveways, guest parking, landscaping, and the recreation facilities (recreation building, swimming pool, and tot lot). Lot B is a landscape lot over the existing Kinder Morgan pipeline that runs on the project site along the City boundary with Roseville and adjacent to the Adventure Christian Church property.

The multi-family residential subdivision as proposed would comply with the building/structure development standards set forth in the Stanford Ranch General Development Plan for PD-20, including building height and setbacks. Lot sizes meet the minimum lot size requirement of 1,050 square feet for condominiums.

The project proposes 119 individual cadmium lots that include portions of cluster buildings and, for most lots, a small fenced backyard.

### Circulation and Access

The subdivision is designed with two points of vehicular and pedestrian access from and to the existing internal driveways. One entry on the west side of the project is aligned with the Plaza Drive driveway into the center and the other entry is opposite the Umpqua Bank building approximately mid-point along the "front" of the project on the main driveway that runs roughly west to east from the Plaza Drive entrance. Both project entrances have four foot wide sidewalks that continue along the front of the project. There is also a pedestrian-only access on the northeast side of the project.

Staff was concerned that the front of the project would not have enhancements to ensure an attractive and appealing integration of the residential project and required that a sidewalk and landscape planter area be included on the main east-west driveway.



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Accordingly, the applicant revised the project to include a four foot wide sidewalk and a planter area with an average width of seven feet, but reduced the driveway width from the City's standard of twenty-five feet. Because there is no parking along this driveway, and thus no backing or maneuvering other than turns into side driveways, Staff supports the main driveway width of twenty-two feet.

The project proposes to construct the remaining section of the east-west driveway between Umpqua Bank and Starbuck's. A section of this driveway is off-site of the proposed map boundaries and would require the removal of two parking spaces and a landscape planter. Also, as currently built, the Starbuck's drive-through exit where it curves east would conflict with west-bound oncoming traffic. Without the property owner's authorization, the off-site work cannot proceed. The grading plan includes a note that this connection would be designed during improvement plans, but Staff is concerned that the project may not be able to obtain agreement with the property owner in a timeframe that would not affect the proposed project's construction. The project proponents indicated they would contact Starbuck's to start the discussion to resolve the drive-through conflict. In order to address the driveway conflict and allow the project to proceed, Staff has included in the draft resolution for the Tentative Map two special conditions. The first condition is intended to ensure that, at a minimum, a temporary resolution for the drive-through exiting is provided prior to the City issuing an approval for any development associated with the townhouse building for Lots 1 through 3 (including any grading of that area of the site). The driveway alignment and design to resolve the drive-through exiting conflict shall be to the satisfaction of the City Engineer. The second condition requires a note on the Map itself with language requiring the circulation and connection at the driveway/drive-through conflict are ultimately resolved with the development of Lot D, to the satisfaction of the City Engineer.

*Grading, Drainage/Stormwater Quality, and Retaining Walls*

The preliminary grading plan conceptually reflects approximately 14,000 cubic yards of cut and 7,000 cubic yards of fill with a net export of 7,000 cubic yards. During improvement plan preparation, the earthwork will be refined in anticipation of balancing the earthwork on site. In the event the effort is unsuccessful, the excess cuts will be off-hauled to a location to be identified at the time of improvements plans.

The site will be graded such that various parcels drain into the storm drain systems of the existing surrounding development. The proposed storm drain system has been designed to the City of Rocklin Storm Water Quality standards that are in compliance with the NPDES Phase II State Water Resources Control Board General Permit. The project site is within the Pleasant Grove Creek watershed. In the middle and the southwest quadrants of the project site (portions of Lot A), storm water run-off will drain generally to the southwest, passing through sand and oil separators, before connecting with the neighboring Rocklin Ridge storm drain system through the two

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storm drain access areas that are part of common Lot A. That system discharges into the City's stormwater drain system and ultimately into a southern tributary of Pleasant Grove Creek via open space in the Five Star area and City of Roseville open space. For the west, north and northeast quadrants of the site (portions of Lot A, Lot D and Lot F), storm water run-off will drain to the northwest (towards Stanford Ranch Road) into the existing Crossroads drainage system. The Crossroads system discharges into the City's system and finally into the Pleasant Grove Creek Cross Canal. Sediment and erosion control measures will be required to be implemented and maintained during construction.

Along the southwest property line shared with the Rocklin Ridge project, retaining walls with additional masonry walls on top are proposed as a part of the project grading and improvements. On the north side of the project, adjacent to the commercial shops building, two foot retaining walls retain the project site at the existing driveway. The retaining walls will be constructed of masonry block or an equivalent material, to the satisfaction of the City Engineer.

#### Noise Analysis

The City of Rocklin General Plan goal for noise is: "To protect residents from health hazards and annoyance associated with excessive noise levels". To implement that goal, the City has adopted Noise Compatibility Guidelines prepared by the State Office of Noise Control. The objective of the Noise Compatibility Guidelines is to assure that consideration is given to the sensitivity to noise of a proposed land use in relation to the noise environment in which it is proposed to be located. An in-depth discussion of the potential noise impacts related to this project is provided in the mitigated negative declaration attached to this staff report.

To comply with the City's daytime and nighttime stationary noise source standards of 55dBA from 7:00 a.m. – 10:00 p.m. and 45dBA from 10:00 p.m. – 7:00 a.m., respectively, the subdivision includes a six foot masonry sound wall where the private yards back up to the existing commercial development at America's Tire (Lots 40-44) on the west and on the north side of the project adjacent to Starbuck's and the shops building (Lots 1-3, 4-8). The sound wall also extends along the southwest boundary of the site at the City limit line adjacent to the pipeline easement on Lot B (Lots 34 and 39). Staff feels strongly about not "walling off" the townhouses within the commercial center and supports the inclusion of sound walls in these locations to provide privacy and noise attenuation in the backyards of the units, but not in other areas of the project where noise attenuation is not required.

#### Common Areas and Maintenance

As noted, Lot A includes the utility connections, internal circulation, visitor parking, common landscaping areas, and recreational facilities including the clubhouse, pool area, and tot lot. Lot A as well as the facilities and amenities located on it will be owned

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and maintained by a homeowners association that will be required to be created as part of this project.

Consistent with the maintenance structure of the Rocklin Ridge project, the homeowners association will be required to maintain all of the townhouse buildings and development, with the exception of the roofs of the buildings and the private rear yards of the individual lots. The homeowners association would be responsible for maintaining the exterior of the buildings and the wooden good neighbor fences on each individual lot.

Similarly, Lot B and its improvements, including the wall and landscaping, would also be maintained by the homeowners association.

### **Design Review**

Exhibit A to the draft resolution is the architectural drawings; Exhibit B is the landscape plans.

### **Circulation, Pedestrian Access, and Parking**

From the two vehicular entries, the driveway forms a loop through the project, with short "alleys" to provide access to units located on the interior lots. The internal driveways are twenty-five feet wide, consistent with the City's standard for a driveway with parking or, in this case, garages that require backing and other maneuvers.

As noted previously, vehicular and pedestrian access is provided at two entrances and a pedestrian only entry is provided on the northeast side to provide further connection to the existing commercial center. The project entries are enhanced with colored and stamped asphalt. For further discussion of the design of the entrances, including the pedestrian entry, please see the Site Landscaping and Signage sections below.

The City's standard parking requirement for one bedroom townhouse and condominium units is 1.75 spaces per dwelling unit of which one space shall be in an enclosed garage and at least 0.25 spaces shall be reserved for visitors. Units with two or more bedrooms shall each have at least 2.5 spaces per dwelling unit, two of which shall be in an enclosed garage and 0.5 is reserved for visitors. The parking provided for the residences meets the requirement of the Rocklin Municipal Code (RMC 17.66.020.B.). In addition to the garages provided for every unit, the project provides eighty-four visitor parking spaces. The project is required to provide sixty-nine visitor spaces and thus has a surplus of fifteen spaces. The visitor parking is located mainly across the front of the project adjacent to the west-east driveway. Pursuant to the RMC for townhouses and condominiums (Chapter 17.66.020.B.h.), the project has provided the required parking enforcement plan. It is attached as Exhibit C to the draft resolution of approval for the design review.

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### Walls and Fences

The following wall and fence types are proposed to be used at various locations throughout the project.

- Six foot combination masonry and tubular steel fence
- Six foot masonry walls/Sound walls
- Six foot good neighbor wood fences

The proposed wall and fence designs and their locations within the project area are depicted on Landscape Plan Sheets 4 (Plan) and 5 (Details) of Exhibit B.

Along the front of the project and at each of the two entrances, the project proposes a six foot tall combination masonry wall and tubular steel fence. The project originally proposed a six foot tall wall around the residential project. Staff recommended no wall or fence around the project to support the integration of the residential into the commercial to better accomplish the horizontal mixed use concept. The applicant proposed the compromise combination wall/fence, which Staff believes will give the project a finished edge and will enhance the interface between the residential and commercial without the intrusiveness of a solid wall. The masonry bottom half of the wall/fence combination will also serve to screen from the main driveway the undercarriages of vehicles parked in the guest parking area. The lower masonry portion of the wall will be split face tan CMU, with the split face facing the east-west driveway and the tubular steel fence above will be black. At the project entrances, brick veneer that matches the existing Rocklin Ridge project will be used on the pilasters and on portions of the three foot tall masonry wall.

As discussed in the above Noise Analysis section, the proposed subdivision includes a six foot masonry sound wall where the private yards back up to the existing commercial development (Lots 40-44, 1-3, 4-8). Staff feels strongly about not "walling off" the townhouses within the Crossroads shopping center and supports the inclusion of sound walls in these locations to provide privacy and noise attenuation in the backyards of the units while allowing the rest of the project interface to remain relatively open to the commercial center. The six foot masonry wall extends along the shared property boundaries to the east and south with the Sunset Pacific and Rocklin Ridge projects and continues along the boundary between Lot A and Lot B to prevent access to the pipeline and noise attenuation on the southwest side of the project adjacent to Adventure Christian Church. At Lots 1-3 and 4-8, the six foot wall will be located on top of a two foot high maximum retaining wall. At Lots 9-32, the six foot wall will be constructed on top of the retaining walls for the project which are immediately next to the retaining and sound walls constructed on the Rocklin Ridge Project site. The masonry wall will be constructed of split face tan CMU block with decorative beveled cap and 32 inch brick veneer pilasters with cap that match the pilasters in the tubular steel fence at Rocklin Ridge townhomes.

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Wooden good neighbor type fences will be used to delineate the outdoor property boundaries of the individual residential lots.

#### Site Landscaping

The applicant has proposed to use a variety of trees, shrubs, and groundcovers throughout the project in all the common areas of Lot A to create an attractive and pleasant project. Southern Magnolia trees that can reach forty feet wide and thirty feet tall are proposed for “street” trees in the landscape planter along the west-east driveway and Little Leaf Lindens are used for parking lot shade trees. Shrubs and groundcovers fill out the understory in the landscape planter and at the project entrances, which also include accent trees to enhance and help identify the project entries. The pedestrian entry is also enhanced with shade trees and other landscaping. The project entrances are designed to be amenities and create an appealing first impression of the project.

Landscaping Lot B will be open to Adventure Christian Church and will be landscaped with the project’s mix of shrubs and groundcovers. To ensure that access to Lot B and ongoing maintenance is provided as with the Rocklin Ridge project, staff has included conditions in the draft resolution requiring a gate to match Rocklin Ridge’s access gate and that Lot B is maintained. In addition, vines on the masonry wall were required of Rocklin Ridge and thus, Staff has included a condition for vines for this project as well.

The proposed preliminary plant list provides a mix of plants that are appropriate for the Rocklin climate and are generally locally available. The list is intended to be a palette from which the project’s landscape architect can choose when it is time to order plants. The final mix of plants from this list used in the project will be based on the availability of plant materials due to the drought, economy, season, etc.

The project’s owner and/or homeowners association would maintain landscaping in all areas not enclosed by individual yard fencing.

#### Site Lighting

Staff has concerns that the proposed locations of the parking lot lights on Lot A will conflict with the required parking lot shade trees (Exhibit B to the Design Review – color Sheets 2 and 3 do not show the locations of the proposed parking lot lights at the ends of the finger planters). Staff has included a draft condition to require any conflict be resolved during the improvement plan check process, including but not limited to, moving the parking lot lights closer to the combination wall/fence.

Staff has included a condition to require that the parking lot lights match those used in the Crossroads Shopping Center.

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### Signage

The project proposal includes a project identification sign at each of the entrances. The signs are incorporated into the perimeter combination wall/fence on a stucco panel between brick pilasters. The size and location of the signs are consistent with the provisions of the Sign Ordinance for multi-family entry signage.

### Architecture

The project includes one, two, three, and four bedroom townhouse units. All buildings are two stories with garages and living space on the ground floor and additional living space on the second floor. Buildings range in size and configuration from three units in a small cluster arrangement to eight units in a row. The architecture is generally similar to that of the Rocklin Ridge project, expressed as a contemporary interpretation of traditional styles of the past, with varied massing, articulation of the building facades, and hipped and gabled rooflines. Exhibit A provides color and black and white elevations and floor plans for each of the proposed townhouse buildings. The three proposed color schemes include earth tones of creams, tans, and greys for the main stucco body colors and trim, with darker browns and greys for additional trim colors; materials include concrete 'flat shake' tile roofs and variegated brick veneers. The digital color and material boards are provided on Sheet A5.00 of Exhibit A.

To ensure that the facades of the buildings that face the visitor parking lot, and are visible from the main east-west driveway, are adequately enhanced, Staff has included a recommended condition of approval for lap siding or other material enhancement to be included, to the satisfaction of the Community Development Director.

### Private Yards, Patio Covers, and Garbage

As proposed, the two, three, and four bedroom units are located on lots with enclosed private yards with small concrete patios accessible from within the units. The backyards range in depth from approximately six feet up to more than thirty feet; the average backyard area would be approximately ten feet deep.

The applicant has not proposed any patio covers with this application. However, it is Staff's experience that as individual homes are purchased in the future, a number of the new homeowners will want to construct patio covers. Due to the small size of the rear yard areas and to ensure clarity and consistency, Staff has included a condition in the draft resolution that will allow only open, lattice-type, patio covers, made of non-flammable materials, with all parts of the patio cover to maintain a minimum setback of three feet from the property lines.

The project is proposed without common trash collection. Each garage is designed to include space to store a garbage toter without infringing on the required square footage to accommodate vehicle parking, therefore it is anticipated that individual trash cans will be stored in the garages except on garbage collection days.

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### Recreation Facilities

The project includes a centrally located recreation building, pool area, and tot lot. These amenities are provided in part to address the lack of nearby City parks in the surrounding mostly commercial area. The recreation building's architecture is consistent with that of the townhouses, using a mix of the same colors, materials, and architectural forms.

Staff has compared the proposed subdivision layout and architectural designs with the provisions in the City's adopted Design Review Guidelines and determined that they are consistent with those criteria.

### Letter of Concern

The City received a letter from the property owners of the Umpqua Bank parcel expressing concerns with the project. In the letter Mr. and Mrs. Adler outlined four major concerns they have with the proposed project in its current design as presented in the staff report and attached to the draft resolutions of approval.

#### 1. Width of the east-west driveway

The Adler's believe the width of the east-west driveway is too narrow and that it should be twenty-eight feet from curb to curb.

Staff response: please see the Circulation and Access section of the Tentative Map discussion. Staff determined that the proposed twenty-two foot wide driveway is adequate.

#### 2. Adequate lighting along east-west driveway

The Adler's feel there is not enough site lighting to provide safety, crime prevention, and commercial visibility.

Staff response: please see Site Lighting section of the Design Review discussion. While staff believes there should be enough "spill-over" light from the parking lots on Lots A, F, D, and the Umpqua Bank property as would have occurred had the project site been developed for commercial uses, Staff has concerns that the proposed locations of the parking lot lights on Lot A will conflict with the required parking lot shade trees (Exhibit B to the Design Review – color Sheets 2 and 3 do not show the locations of the proposed parking lot lights at the ends of the finger planters, but the black and white exhibit does). Staff has included a draft condition to require any conflict be resolved during the improvement plan check process, including but not limited to, moving the parking lot lights closer to the combination wall/fence.

#### 3. Quality of landscaping along east-west driveway

The Adler's would like to see high quality landscaping provided and maintained on the frontage of the project. In conjunction with the driveway width, they are concerned the driveway will seem like an alley.

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Staff response: as described in the various sections above, the project proposes a decorative split face CMU/brick and tubular steel combination wall with “street” trees (Southern Magnolias) in the six to seven foot wide planter in the landscape planter creating a vertical landscape element between the commercial properties/buildings and the townhouses. A mix of shrubs and groundcovers will complete the understory. There is decorative project signage, additional accent landscaping, and decorative paving at the entries. Staff feels the combination of these elements across the “frontage” of the project will present a high quality development that will not detract from the existing or future commercial development. Maintenance of the common areas of Lot A including the landscaping is subject to code enforcement. Also, Staff believes the homes are adequately setback from the commercial, creating width and separation between the commercial and proposed townhomes, because there is the twenty-two foot wide east-west driveway, four foot sidewalk, six to seven feet of landscaping, plus the parking spaces and drive aisle in front of the units (approximately forty-five feet), for a total of approximately seventy-seven feet between the uses.

#### 4. Vehicular connection on east side of project

The Adler’s expressed surprise and disappointment that the project does not include a vehicular access on the east side to provide an additional connection with the existing commercial center.

Staff response: Vehicle access to the existing commercial to the east is not feasible due to the existing driveway configuration on the commercial side; a connection here would be awkward at best. Staff worked with the applicant to get the enhanced pedestrian entry/access that is shown.

The Planning Commission and Staff recommend approval of the project as proposed and conditioned.

*Prepared by Dara Dungworth, Associate Planner*

#### Attachments

Attachment 1 – Copies of Letters from the State Clearing House

Attachment 2 – Excerpt from Stanford Ranch General Development Plan, Section XI.C. and D.

Attachment 3 – Letter from Howard and Barbara Adler



*City Council Staff Report  
Stanford Terrace Condominiums  
October 28, 2014  
Page 22*

Attachment 1 – Copies of Letters from the State Clearing House



EDMUND G. BROWN JR.  
GOVERNOR

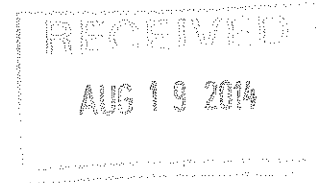
STATE OF CALIFORNIA  
GOVERNOR'S OFFICE *of* PLANNING AND RESEARCH  
STATE CLEARINGHOUSE AND PLANNING UNIT



KEN ALEX  
DIRECTOR

August 18, 2014

David Mohlenbrok  
City of Rocklin  
4081 Alvis Court  
Rocklin, CA 95677



Subject: Stanford Terrace Condominiums  
SCH#: 2014072046

Dear David Mohlenbrok:

The State Clearinghouse submitted the above named Mitigated Negative Declaration to selected state agencies for review. The review period closed on August 15, 2014, and no state agencies submitted comments by that date. This letter acknowledges that you have complied with the State Clearinghouse review requirements for draft environmental documents, pursuant to the California Environmental Quality Act.

Please call the State Clearinghouse at (916) 445-0613 if you have any questions regarding the environmental review process. If you have a question about the above-named project, please refer to the ten-digit State Clearinghouse number when contacting this office.

Sincerely,

Scott Morgan  
Director, State Clearinghouse

**SCH#** 2014072046  
**Project Title** Stanford Terrace Condominiums  
**Lead Agency** Rocklin, City of

**Type** MND Mitigated Negative Declaration

**Description** The project is generally described as a request for approval of a General Plan Amendment, a General Development Plan Amendment/Rezone, a Tentative Subdivision Map and Design Review entitlements to allow the development of 119 townhomes on 7.2 acres while retaining approximately two acres for the development of future retail commercial uses. The site would be subdivided into 125 lots, including 119 townhome units, one common property, a utility easement lot and three commercial parcels.

**Lead Agency Contact**

**Name** David Mohlenbrok  
**Agency** City of Rocklin  
**Phone** 916 625 5162 **Fax**  
**email**  
**Address** 4081 Alvis Court  
**City** Rocklin **State** CA **Zip** 95677

**Project Location**

**County** Placer  
**City** Rocklin  
**Region**  
**Lat / Long** 38° 47' 37" N / 121° 15' 58" W  
**Cross Streets** Sunset Blvd and Stanford Ranch Road  
**Parcel No.** 017-400-023, 025, 028, 030  
**Township** **Range** **Section** **Base**

**Proximity to:**

**Highways** I-80, SR-65  
**Airports**  
**Railways** UPRR  
**Waterways** Antelope Creek, Pleasant Grove Creek  
**Schools** Cobblestone/Parker ES  
**Land Use** Partly Vacant/Commercial/Retail Commercial

**Project Issues** Aesthetic/Visual; Agricultural Land; Air Quality; Archaeologic-Historic; Biological Resources; Drainage/Absorption; Flood Plain/Flooding; Forest Land/Fire Hazard; Geologic/Seismic; Minerals; Noise; Population/Housing Balance; Public Services; Recreation/Parks; Sewer Capacity; Soil Erosion/Compaction/Grading; Solid Waste; Toxic/Hazardous; Traffic/Circulation; Vegetation; Water Quality; Water Supply; Wetland/Riparian; Landuse; Other Issues

**Reviewing Agencies** Resources Agency; Department of Conservation; Department of Fish and Wildlife, Region 2; Office of Historic Preservation; Department of Parks and Recreation; Department of Water Resources; Office of Emergency Services, California; California Highway Patrol; Caltrans, District 3 S; Department of Housing and Community Development; Air Resources Board; Regional Water Quality Control Bd., Region 5 (Sacramento); Department of Toxic Substances Control; Native American Heritage Commission

**Date Received** 07/17/2014 **Start of Review** 07/17/2014 **End of Review** 08/15/2014



EDMUND G. BROWN JR.  
GOVERNOR

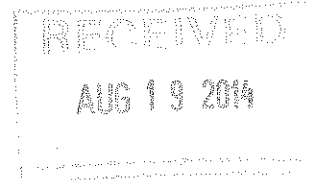
STATE OF CALIFORNIA  
GOVERNOR'S OFFICE *of* PLANNING AND RESEARCH  
STATE CLEARINGHOUSE AND PLANNING UNIT



KEN ALEX  
DIRECTOR

August 18, 2014

David Mohlenbrok  
City of Rocklin  
4081 Alvis Court  
Rocklin, CA 95677



Subject: Stanford Terrace Condominiums  
SCH#: 2014072046

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Sincerely,

Scott Morgan  
Director, State Clearinghouse

**SCH#** 2014072046  
**Project Title** Stanford Terrace Condominiums  
**Lead Agency** Rocklin, City of

**Type** MND Mitigated Negative Declaration  
**Description** The project is generally described as a request for approval of a General Plan Amendment, a General Development Plan Amendment/Rezone, a Tentative Subdivision Map and Design Review entitlements to allow the development of 119 townhomes on 7.2 acres while retaining approximately two acres for the development of future retail commercial uses. The site would be subdivided into 125 lots, including 119 townhome units, one common property, a utility easement lot and three commercial parcels.

**Lead Agency Contact**

**Name** David Mohlenbrok  
**Agency** City of Rocklin  
**Phone** 916 625 5162 **Fax**  
**email**  
**Address** 4081 Alvis Court  
**City** Rocklin **State** CA **Zip** 95677

**Project Location**

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**Railways** UPRR  
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**Reviewing Agencies** Resources Agency; Department of Conservation; Department of Fish and Wildlife, Region 2; Office of Historic Preservation; Department of Parks and Recreation; Department of Water Resources; Office of Emergency Services, California; California Highway Patrol; Caltrans, District 3 S; Department of Housing and Community Development; Air Resources Board; Regional Water Quality Control Bd., Region 5 (Sacramento); Department of Toxic Substances Control; Native American Heritage Commission

**Date Received** 07/17/2014 **Start of Review** 07/17/2014 **End of Review** 08/15/2014

## NATIVE AMERICAN HERITAGE COMMISSION

1550 Harbor Blvd., Suite 100  
West SACRAMENTO, CA 95691  
(916) 373-3710  
Fax (916) 373-5471



July 22, 2014

David Mohlenbrok  
City of Rocklin  
4081 Alvis Court  
Rocklin, CA 95677

RECEIVED  
JUL 24 2014

RE: SCH# 2014072046 Stanford Terrace Condominiums, Placer County.

Dear Mr. Mohlenbrok:

The Native American Heritage Commission (NAHC) has reviewed the Notice of Completion (NOC) referenced above. The California Environmental Quality Act (CEQA) states that any project that causes a substantial adverse change in the significance of an historical resource, which includes archeological resources, is a significant effect requiring the preparation of an EIR (CEQA Guidelines 15064.5(b)). To comply with this provision the lead agency is required to assess whether the project will have an adverse impact on historical resources within the area of project effect (APE), and if so to mitigate that effect. To adequately assess and mitigate project-related impacts to archaeological resources, the NAHC recommends the following actions:

- ✓ Contact the appropriate regional archaeological Information Center for a record search. The record search will determine:
  - If a part or all of the area of project effect (APE) has been previously surveyed for cultural resources.
  - If any known cultural resources have already been recorded on or adjacent to the APE.
  - If the probability is low, moderate, or high that cultural resources are located in the APE.
  - If a survey is required to determine whether previously unrecorded cultural resources are present.
- ✓ If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
  - The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum, and not be made available for public disclosure.
  - The final written report should be submitted within 3 months after work has been completed to the appropriate regional archaeological Information Center.
- ✓ Contact the Native American Heritage Commission for:
  - A Sacred Lands File Check. **SFL Check Completed with Negative Results**
  - A list of appropriate Native American contacts for consultation concerning the project site and to assist in the mitigation measures. **Native American Contacts List attached**
- ✓ Lack of surface evidence of archeological resources does not preclude their subsurface existence.
  - Lead agencies should include in their mitigation plan provisions for the identification and evaluation of accidentally discovered archeological resources, per California Environmental Quality Act (CEQA) Guidelines §15064.5(f). In areas of identified archaeological sensitivity, a certified archaeologist and a culturally affiliated Native American, with knowledge in cultural resources, should monitor all ground-disturbing activities.
  - Lead agencies should include in their mitigation plan provisions for the disposition of recovered cultural items that are not burial associated, which are addressed in Public Resources Code (PRC) §5097.98, in consultation with culturally affiliated Native Americans.
  - Lead agencies should include provisions for discovery of Native American human remains in their mitigation plan. Health and Safety Code §7050.5, PRC §5097.98, and CEQA Guidelines §15064.5(e), address the process to be followed in the event of an accidental discovery of any human remains and associated grave goods in a location other than a dedicated cemetery.

Sincerely,

*Katy Sanchez*

Katy Sanchez  
Associate Government Program Analyst

**Native American Contact List**  
Placer County  
July 21, 2014

Rose Enos  
15310 Bancroft Road  
Auburn, CA 95603  
(530) 878-2378  
Maidu  
Washoe

T' si-Akim Maidu  
Grayson Coney, Cultural Director  
P.O. Box 1316  
Colfax, CA 95713  
Maidu  
akimmaidu@att.net  
(530) 383-7234

United Auburn Indian Community of the Auburn Rancheria  
Gene Whitehouse, Chairperson  
10720 Indian Hill Road  
Auburn, CA 95603  
(530) 883-2390 Office  
(530) 883-2380 Fax  
Maidu  
Miwok

United Auburn Indian Community of the Auburn Rancheria  
Marcos Guerrero, Tribal Preservation Committee  
10720 Indian Hill Road  
Auburn, CA 95603  
mguerrero@auburnrancheria.com  
(530) 883-2364 Office  
(530) 883-2320 Fax  
Maidu  
Miwok

T' si-Akim Maidu  
Eileen Moon, Vice Chairperson  
P.O. Box 1246  
Grass Valley, CA 95945  
(530) 274-7497  
Maidu

April Wallace Moore  
19630 Placer Hills Road  
Colfax, CA 95713  
(530) 637-4279  
Nisenan - So Maidu  
Konkow  
Washoe

Washoe Tribe of Nevada and California  
Darrel Kizer, Chairperson  
919 Highway 395 South  
Gardnerville, NV 89410  
ktrovato@washoetribe.us  
(775) 265-4191 Office  
(775) 265-6240 Fax  
Washoe

Shingle Springs Band of Miwok Indians  
Daniel Fonseca, Cultural Resource Director  
P.O. Box 1340  
Shingle Springs, CA 95682  
(530) 676-8010 Office  
(530) 676-8033 Fax  
Miwok  
Maidu

Washoe Tribe of Nevada and California THPO  
Darrel Cruz, Cultural Resources Coordinator  
919 Highway 395 South  
Gardnerville, NV 89410  
darrel.cruz@washoetribe.us  
(775) 782-0014  
(775) 546-3421 Cell  
775-265-6240 Fax  
Washoe

Colfax-Todds Valley Consolidated Tribe  
Judith Marks  
1068 Silverton Circle  
Lincoln, Ca 95648  
(916) 580-4078  
Miwok  
Maidu

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of the statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and Section 5097.98 of the Public Resources Code.

This list is only applicable for contacting local Native Americans with regard to cultural resources for the proposed SCH # 2014072046 Stanford Terrace Condominiums, Placer County.





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Stanford Terrace Condominiums  
October 28, 2014  
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Attachment 2 – Excerpt from Stanford Ranch General Development Plan. Section XI.C. and D.

**B. Utilization of the Residential Planned Development Zone Classification Use Regulations**

- RD-6 Maximum 6 units per gross acre;
- RD-8 Maximum 8 units per gross acre;
- RD-12 Maximum 12 units per gross acre;
- RD-16 Maximum 16 units per gross acre;
- RD-20 Maximum 20 units per gross acre;

**C. Uses Allowed (*All Residential Uses*)**

Buildings, structures and land shall be used for the following:  
 Apartments, condominiums, and single family detached dwellings, day care, churches, rooming houses, and other similar uses.

**D. Parking (*All Residential Uses*)**

Off-Street parking shall comply with Section 17.66.020 of the Rocklin Municipal Code.

**E. Area Regulations (*Single Family Detached, RD-6*)**

Buildings and structures shall comply with the following area regulations:

1. Lot Coverage - The maximum lot coverage by all structures shall not exceed 40 percent of the lot area.
2. Front and Street Side Yards - Buildings and structures shall have a front yard set back of at least twenty-five (25) feet from all adjacent streets. Sideyard setbacks shall be a minimum of ten (10) feet from all adjacent streets.
  - a. The standard twenty five (25) feet setback for Conventional Single Family, may be reduced up to twenty (20) feet from the street right-of-way provided that; the average sum of the setbacks are equal to twenty five (25) feet and that setbacks greater than thirty five (35) feet are not considered in the averaging of the sum of those setbacks, with the intent of creating a variety of setbacks.

The setback requirements as outlined above, may be further reduced five (5) feet for corners of buildings when the angle formed by extended lines of the building intersecting with the street are between 20 and 70°.

3. Side Yard Setback - There shall be a total of the side yards between each dwelling of at least ten (10) feet for single story and two story structures.
4. Rear Yard Setback - There shall be a rear yard of not less than twenty (20) feet. However, rear yards may be reduced to fifteen (15) percent of the average depth of the lot, but in no event less than ten (10) feet on one story and fifteen (15) feet for two story buildings. Provided

that when the main building projects into the rear yard there shall be an equal area provided as a yard or court within the buildable portion of the lot.

- 5. Parking, loading, and manuevering areas shall be set back at least fifteen (15) feet from all property lines abutting a public street.
- 6. Minimum lot size shall be 5,500 square feet.
- 7. Lots shall have a minimum lot width of 55 feet, or 60 feet on corner lots.
- 8. Height- Buildings shall not exceed 30 feet nor 2 stories in height. Accessory structures shall not exceed 14 feet in height.

F. Area Regulations (Multi-Family RD-6 to RD-20, Inclusive)

Buildings and structures shall comply with the following area regulations:

- 1. Lot Coverage - The maximum lot coverage by all structures shall not exceed 60 percent of the lot area.
- 2. Front and Side Street Yards - Buildings and structures shall have a front yard set back of at least thirty (30) feet from all adjacent streets having rights-of-way of one hundred (100) feet or greater, and at least twenty-five (25) feet from all adjacent streets having rights-of-way of less than one hundred (100) feet. Sideyard setbacks shall be a minimum of fifteen (15) feet from all adjacent streets.
- 3. Rear and Interior Side Yards - Buildings and structures, except fences and walls, shall have a rear yard setback of at least fifteen (15) feet, and an interior yard setback of at least ten (10) feet.
- 4. Parking, loading, and manuevering areas shall be set back at least fifteen (15) feet from all property lines abutting a public street.
- 5. Minimum lot size shall be 3,500 square feet, or 1,050 sq.ft. for individual condominium type lots.
- 6. Lots shall have a minimum lot width of 35 feet , except condominium type lots which shall be determined by individual site design.
- 7. Height- Buildings shall not exceed 40 feet nor 3 stories in height.

Please refer to  
 City of Rocklin  
 Ordinance 652 for  
 the amended language  
 for Section VIII,  
 Subparagraph G.

G. AREA REGULATIONS (Single-Family Detached, RD-8)

SECTION IX

A. Purpose

Ensure the proper development, use, and improvements in a manner so as to achieve a high quality, campus park-like, nuisance free environment for business-professional land uses in accordance with the City General Plan.

Business  
 Professional (BP)  
 Development  
 Standards

Please refer to  
 City of Rocklin  
 Ordinance 788 for  
 the amended language  
 for Section I

*City Council Staff Report  
Stanford Terrace Condominiums  
October 28, 2014  
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Attachment 3 – Letter from Howard and Barbara Adler

Howard L. Adler  
1515 Shasta Drive, #3115  
Davis, CA 95616  
530.747.6324

Email: [Barbanhow@aol.com](mailto:Barbanhow@aol.com)

July 23, 2014

Ben Fu, Planning Services Manager  
Dara Dungworth, Associate Planner  
City of Rocklin  
Economic and Community  
Development Department  
3970 Rocklin Road  
Rocklin, CA 95677

Dear Dara and Ben,

Thank you for taking the time to meet with us yesterday.

As you requested, we follow up yesterday's discussion with this brief summary of the site plan issues relating to the Golden State rezone request which we find most troubling. We offer our views as the fee owners of the adjacent parcel, which is the Umpqua Bank building site. We have encouraged the responsible executives of Umpqua Bank (our tenant) to submit comments articulating their views regarding the potential impact of this project on their business.

1. We are concerned that the 22 foot road running generally east-west along the back of our property is too narrow. While we agree with City Staff's decision to require a sidewalk along that road, we think that the road surface itself should be at least 28 feet curb to curb. We are concerned that the very narrow road proposed would be detrimental both to vehicle circulation and visibility directly behind our bank building. We leave the engineered solution to this problem to your staff and the applicant, but note that narrowing the project's interior roads slightly would provide the space to widen this important access road.
2. It does not appear from the materials we have reviewed that there will be adequate lighting along this main access roadway. For the sake of pedestrian/vehicle safety, crime prevention and commercial visibility, this should be remedied.
3. We would like to see high quality landscaping installed and maintained along this access road. Our building reflects a high level of design, construction and maintenance, all of which affect the image of our tenant and of the other businesses on the nearby commercial properties. That quality should be carried over into the southern frontage of the adjacent access road. We suggest strong conditions of approval to assure that. As we mentioned to you yesterday, we are concerned that the combination of narrow road surface, inadequate lighting and questionable quality landscaping will give that access road the feel of an alleyway. This would be detrimental to our property value and perhaps to the commercial interests of our tenant.

Howard L. Adler  
1515 Shasta Drive, #3115  
Davis, CA 95616  
530.747.6324

Email: [Barbanhow@aol.com](mailto:Barbanhow@aol.com)

4. We are somewhat surprised, and very disappointed, that the proposed project lacks any vehicular access point on its eastern side. This will severely inhibit cross-access to the commercial areas on that side of the HDR project, and will likely increase the potential for congestion on the access points and access roads which are included in the project design. We understand that the project proponent is interested in maximizing the number of saleable/rentable units in the project, but feel that the City review process should balance that interest against the more general interest of good circulation and integration of adjacent commercial activities.

In addition to these particular design issues (which, candidly, we consider to be design defects), we discussed our interest in having the City require the applicant to adhere to a final design which is as conducive to adjacent commercial activity as possible. You have mentioned that the impetus for City Staff support for this rezone has been to encourage residential infill that will indirectly benefit existing and potential future retail/commercial in this area of the City. While we don't necessarily agree with this policy position, we do understand it. However, we think it important that the City not allow a project which it hopes will indirectly benefit commercial activity to directly harm that same commercial activity through poor quality design or construction. We note that the quality of future development and tenancy likely to occur on the currently vacant parcels on Stanford Ranch Road will be influenced significantly by the nature of the adjacent Golden State project.

Finally, as we mentioned yesterday, our first inkling that Golden State had proposed a rezone from Commercial to High Density Residential came only a few weeks ago, and we did not have our first look at the project design until you sent us the latest materials on July 8. We have been in regular contact with the project proponent on another business matter since September of 2013, and yet the proponent has made no mention of this major planning initiative other than an oblique request in late-June or early-July to speak with our land use counsel. For this reason, we do not think that the fact that the proponent may have been through several project design iterations with City Staff should have any bearing on your willingness to reopen your analysis of the project.

Please feel free to contact us or our attorney, Ed Quinn, at (916) 551-2091, or via email at [edward.quinn@bbklaw.com](mailto:edward.quinn@bbklaw.com), should you have any questions.

Best regards,

Howard and Barbara Adler

cc: Edward J. Quinn, Jr., Best Best & Krieger, LLP

**EXCERPT****MINUTES**

**REGULAR MEETINGS  
OF THE  
ROCKLIN CITY COUNCIL,  
ROCKLIN PUBLIC FINANCING AUTHORITY  
AND SUCCESSOR AGENCY**

**10/28/2014**

**TIME: 6:00 PM**

**PLACE: Council Chambers, 3970 Rocklin Road  
www.rocklin.ca.us**

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**INTRODUCTION**

1. The Regular Meeting of the Rocklin City Council, Rocklin Public Financing Authority and Successor Agency convened at 6:00 p.m. Mayor Yuill presiding.
2. Lon Milka led the Pledge of Allegiance.

Mayor Yuill called for a moment of silence in remembrance of the two fallen deputies from the tragedy that occurred on Friday.

3. Roll Call:

A. Councilmembers: Dave Butler, Greg Janda, Diana Ruslin,  
Mayor Scott Yuill

George Magnuson - Excused

B. City Personnel: Rick Horst, City Manager  
Russell Hildebrand, City Attorney  
Jason Johnson, Finance  
Dave Palmer, Public Services  
Rick Holmes, Fire  
Ben Fu, Community Development  
Jim Summers, Fire  
Lon Milka, Police  
Justin Nartker, Public Services  
Matt McClure, Public Services  
Rick Forstall, Public Services  
Laura Webster, Community Development  
Barbara Ivanusich, City Clerk

Minutes of 10/28/2014

Page 2

C. Commissioners: None

## **PUBLIC HEARINGS**

### 7. Stanford Terrace Condominiums General Plan Amendment

This application is a request for a General Plan Amendment, Rezone/General Development Plan, Design Review and Tentative Subdivision Map to develop 119 townhomes on 7.2 acres while retaining approximately 2 acres for development of future commercial retail. The subject properties are approximately 9.2 acres and are generally located on Stanford Ranch Road near the southwest intersection of Stanford Ranch Road and Sunset Boulevard.

Mayor Yuill opened the public hearing at 7:05 p.m.

Ben Fu's report included:

- Project site
- Site plan/aerial
- General Plan Amendment
- Tentative Subdivision Map
- Grading plan map
- Elevations
- Color and material
- Landscape plan
- Entry landscaping details
- Fencing exhibit

Councilmembers Ruslin, Janda, Butler and Yuill disclosed ex parte meetings with the applicant.

Council questions/comments:

- Clubhouse to be utilized by adjacent development
- Pedestrian access
- Driveway access/isle width
- Adequate sidewalks/pedestrian circulation

Marcus LoDuca, on behalf of the applicant, spoke in support of the project.

Mayor Yuill closed the public hearing at 7:29 p.m.

Council comments:

- Neighborhood retail



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Page 3

- Affordable ownership opportunities
  - Fencing
- A. Resolution No. 2014-233 of the City Council of the City of Rocklin Approving a Notice of Exemption (Amending Requirements for Masonry Separation Walls / ZOA2014-0001)

Motion to approve Item 18.A. by Councilmember Ruslin, seconded by Councilmember Butler. Passed by the following vote:

Ayes: Ruslin, Butler, Janda, Yuill  
 Noes: None  
 Absent: Magnuson  
 Abstain: None

- B. First Reading & Publication: Ordinance No. 1019 of the City Council of the City of Rocklin Amending Title 17, Chapter 17.08, Section 17.08.080 of the Rocklin Municipal Code Related to Masonry Walls Between Residential and Non-Residential Zones (Masonry Separation Walls / ZOA2014-0001)

Motion to Read by Title Only Item 18.B. by Councilmember Janda, seconded by Councilmember Ruslin. Passed by the following vote:

Ayes: Janda, Ruslin, Butler, Yuill  
 Noes: None  
 Absent: Magnuson  
 Abstain: None

Motion to approve on First Reading Item 18.B. by Councilmember Janda, seconded by Councilmember Ruslin. Passed by the following vote:

Ayes: Janda, Ruslin, Butler, Yuill  
 Noes: None  
 Absent: Magnuson  
 Abstain: None

- C. Resolution No. 2014-234 of the City Council of the City of Rocklin Approving a Mitigated Negative Declaration of Environmental Impacts (Stanford Terrace Condominiums / GPA-2013-05, Z-2013-05, PDG-2013-05, SD-2013-05 and DR-2013-12)

Motion to approve Item 18.C. by Councilmember Ruslin, seconded by Councilmember Butler. Passed by the following vote:

Ayes: Janda, Ruslin, Butler, Yuill  
 Noes: None  
 Absent: Magnuson  
 Abstain: None

- D. Resolution No. 2014-235 of the City Council of the City of Rocklin Approving an Amendment to the Land Use Element of the General Plan of the City of Rocklin to Change the Land Use Designation of a 7.2-Acre Site from Retail Commercial (RC) to High Density Residential (HDR) (Stanford Terrace Condominiums / GPA-2013-05)

Motion to approve Item 18.D. by Councilmember Janda, seconded by Councilmember Ruslin. Passed by the following vote:

Ayes: Janda, Ruslin, Butler, Yuill  
 Noes: None  
 Absent: Magnuson  
 Abstain: None

- E. First Reading & Publication: Ordinance No. 1020 of the City Council of the City of Rocklin Approving an Amendment to the Stanford Ranch General Development Plan and a Rezone from Planned Development Commercial (PD-C) to Planned Development 20 Dwelling Units Per Acre (PD-20) (Stanford Terrace Condominiums / PDG-2013-05 and Z-2013-09)

Motion to Read by Title Only Item 18.E. by Councilmember Janda, seconded by Councilmember Ruslin. Passed by the following vote:

Ayes: Janda, Ruslin, Butler, Yuill  
 Noes: None  
 Absent: Magnuson  
 Abstain: None

Motion to approve on First Reading Item 18.E. by Councilmember Janda, seconded by Councilmember Ruslin. Passed by the following vote:

Ayes: Janda, Ruslin, Butler, Yuill  
 Noes: None  
 Absent: Magnuson  
 Abstain: None

- F. Resolution No. 2014-236 of the City Council of the City of Rocklin Approving a Tentative Subdivision Map (Stanford Terrace Condominiums / SD-2013-05)

Minutes of 10/28/2014

Page 5

Motion to approve Item 18.F. by Councilmember Janda, seconded by Councilmember Ruslin. Passed by the following vote:

Ayes: Janda, Ruslin, Butler, Yuill  
Noes: None  
Absent: Magnuson  
Abstain: None

- G. Resolution No. 2014-237 of the City Council of the City of Rocklin Approving a Design Review for Multi-Family Residential Homes (Stanford Terrace Condominiums / DR-2013-12)

Motion to approve Item 18.G. by Councilmember Janda, seconded by Councilmember Ruslin. Passed by the following vote:

Ayes: Janda, Ruslin, Butler, Yuill  
Noes: None  
Absent: Magnuson  
Abstain: None

## RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN  
RECOMMENDING APPROVAL OF A  
TENTATIVE SUBDIVISION MAP(Stanford Terrace Re-Approval / SD-2013-05)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. The Stanford Terrace Re-Approval hereby approves a modified Tentative Subdivision Map (SD-2013-05) to allow the further subdivision of an approximately 7.2 acre parcel into 119 residential lots and three lettered common area lots consistent with the original City Council approval granted on October 28, 2014. (APN 017-460-002)

B. A Mitigated Negative Declaration of environmental impacts prepared for this project was approved via City Council Resolution No. 2014-234.

C. The Planning Commission has considered the effect of the approval of this subdivision on the housing needs of the region, and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the zoning classification on the property.

E. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the objectives, policies, general land uses and programs in the City of Rocklin's General Plan.

F. The site is physically suitable for the proposed type and density of development.

G. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage, nor will they substantially and avoidably injure fish or wildlife or their habitat.

H. The design of the subdivision and type of improvements will not cause serious public health problems.

I. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

J. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

Section 2. The re-approval for the Stanford Terrace project (SD-2013-05), as depicted in Exhibits A and B attached hereto and by these references incorporated herein, are hereby recommended for approval, subject to the conditions listed below. The approved Exhibits A and B shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibits A and B shall be controlling and shall modify Exhibits A and B. All other plans, specifications, details, and information contained within Exhibits A and B shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition, and each of these conditions must be satisfied prior to or concurrently with the submittal of the final map with the City Engineer for the purpose of filing with the City Council. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition..

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

- a. Water – Water service shall be provided to the subdivision from Placer County Water Agency (PCWA) in compliance with all applicable PCWA standards and requirements. PCWA shall verify ability to serve the subdivision by signing off on the subdivision improvement plans. All

necessary easements shall be shown and offered (or Irrevocable Offer of Dedication provided) on or with the final map. All necessary improvements shall be included on the subdivision improvement plans. (PCWA ENGINEERING)

- b. Sewer – Sewer service shall be provided to the subdivision from South Placer Municipal Utility District (SPMUD) in compliance with all applicable SPMUD standards and requirements. SPMUD shall verify ability to serve the subdivision by signing off on the subdivision improvement plans. All necessary easements shall be shown and offered (or Irrevocable Offer of Dedication provided) on or with the final map. All improvements shall be included on the subdivision improvement plans. (SPMUD, ENGINEERING)

Copies of any required permits from federal, state, and local agencies having jurisdiction over wetland/riparian areas, which may be impacted by the placement of the sewer system within the plan area, shall be submitted to SPMUD prior to approval of the sewer plan for the project. (ENGINEERING)

- c. Telephone, Gas, and Electricity – Telephone, gas and electrical service shall be provided to the subdivision from AT&T and Pacific Gas & Electric (AT&T, PG&E, ENGINEERING)
- d. Postal Service – Mailbox locations shall be determined by the local postmaster. A letter from the local postmaster verifying all requirements have been met shall be filed with the City Engineer. (ENGINEERING)
- e. Prior to recordation of a final map, the project shall be included in the appropriate City financing districts as needed to most efficiently provide for public maintenance of public landscaping, open space, improvements such as sound walls, and provision of new or enhanced services such as street lighting, to the satisfaction of the City Finance Manager. (FINANCE, ENGINEERING, PUBLIC SERVICES)

## 2. Fire Service

Improvement plans shall show the location and size of fire hydrants and water mains in conformance with the standards and requirements of the Rocklin Fire Chief and Placer County Water Agency (PCWA). (PCWA, ENGINEERING, FIRE)

3. Improvements/Improvement Plans

Prior to any grading, site improvements, or other construction activities associated with this project, improvement plans shall be prepared consistent with the exhibits and conditions incorporated as a part of this entitlement, and in compliance with all applicable city standards, for the review and approval of the City Engineer. The project improvement plans shall include the following: (ENGINEERING, PUBLIC SERVICES, PLANNING)

- a. Improvement plans shall be valid for a period of two years from date of approval by the City Engineer. If substantial work has not been commenced within that time, or if the work is not diligently pursued to completion thereafter, the City Engineer may require the improvement plans to be resubmitted and/or modified to reflect changes in the standard specifications or other circumstances. (ENGINEERING)
- b. All improvements shall be constructed and/or installed prior to submitting the final map with the City Engineer for the purpose of filing with the City Council, unless the subdivider executes the City's standard form subdivision improvement agreement and provides the financial security and insurance coverage required by the agreement, prior to or concurrent with submitting the final map with the City Engineer. (ENGINEERING)
- c. A detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibits, shall be included in the improvement plans for the project. The grading and drainage plan shall include the following: (ENGINEERING, PLANNING)
  - i. Provisions for detaining run off at pre-development levels, to the satisfaction of the City Engineer and Public Services Director.
  - ii. Individual lot drainage including features such as lined drainage swales.
  - iii. All storm drainage run-off from site shall be collected into a City standard sand and oil trap manhole (or an equal as approved by the City Engineer) prior to discharge of storm run-off offsite.
  - iv. All storm drainage inlets shall be stamped with City Engineer approved wording indicating that dumping of waste is prohibited and identifying that the inlets drain into the creek system.

- v. Subdivider shall prepare a storm water pollutant protection plan (SWPPP) for review and approval by the State Regional Water Quality Control Board as part of the project's drainage improvement plans.
- vi. Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified.
- vii. Construction related and permanent Best Management Practices (BMPs) and Best Available Technologies (BATs) shall be incorporated into the final project design and / or noted on the Improvement Plans as appropriate to reduce urban pollutants in runoff, consistent with goals and standards established under Federal and State non-point source discharge regulations (NPDES permit) and Basin Plan water quality objectives. Stormwater runoff BMPs selected from the Storm Water Quality Task Force, the Bay Area Storm Water Management Agencies Association Start at the Source – Design Guide Manual, the Sacramento Stormwater Quality Partnership's Stormwater Quality Design Manual for the Sacramento and South Placer Regions, or equally effective measures shall be identified prior to final design approval and shall be incorporated into project design and / or noted on the Improvement Plans as appropriate.

To maximize effectiveness, the selected BMPs shall be based on finalized site-specific hydrologic conditions, with consideration for the types and locations of development.

Provisions for the maintenance and periodic inspection of permanent facilities shall be addressed to the satisfaction of the



City Engineer and the Public Services Director and shown on the improvement plans. These provisions shall include periodic inspection, cleaning, and the replacement of filter materials, as necessary, to retain the integrity of the BMP/BAT. (ENGINEERING, PUBLIC SERVICES)

viii. Prior to any grading or construction activities, the subdivider shall:

- 1) Obtain a General Construction Activity Storm Water Permit as a part of the National Pollutant Discharge Elimination System (NPDES) permit process from the Regional Water Quality Control Board.
- 2) Submit verification from the U.S. Army Corp of Engineers and the California Department of Fish and Game that the project meets all regulations and that the subdivider has obtained all required permits relating to wetlands and waterways.

ix. Prior to any grading or construction activities, the subdivider shall:

- 1) *Waters of the U.S.*
  - a. Prior to any grading or construction activities, the appropriate Section 404 permit will need to be acquired for any project-related impacts to waters of the U.S. Any waters of the U.S. that would be lost or disturbed should be replaced or rehabilitated on a “no-net-loss” basis in accordance with the Corps’ mitigation guidelines. Habitat restoration, rehabilitation, and/or replacement should be at a location and by methods agreeable to the Corps. In association with the Section 404 permit and prior to the issuance of improvement plans, a Section 401 water quality certification from the Regional Water Quality Control Board shall be obtained, and if applicable, a California Department of Fish and Wildlife Section 1600 Streambed Alteration Agreement (SAA) shall also be obtained. All terms and conditions of said permits shall be complied with.

- b. For potential impacts to riparian habitat, the project may be required to obtain a Section 1600 SAA from the California Department of Fish and Wildlife. If it is determined that a SAA is required, the applicant shall obtain one and all terms and conditions of the SAA shall be complied with.
- c. Prior to any grading or construction activities, the applicant/developer shall submit documentation that they have obtained an Army Corps of Engineers Section 404 permit, a Regional Water Quality Control Board Section 401 water quality certification, and if applicable a USFWS Biological Opinion and a California Department of Fish and Wildlife Section 1600 SAA. The applicant/developer shall also demonstrate that they have implemented habitat restoration, rehabilitation, and/or replacement as stipulated in their Section 404 permit. The applicant/developer shall also demonstrate to the Public Services Department how they have, or intend to, comply with the terms and conditions of the Section 404 permit, the Section 401 water quality certification, and if applicable, the Biological Opinion and Section 1600 SAA. (IV.-1)

2) *Nesting Raptors and Migratory Birds*

- a. The applicant/developer shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February - August).
- b. If vegetation removal and/or project grading or construction activities occur during the nesting season for raptors and migratory birds (February-August), the applicant/developer shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than 30 days prior to initiation of development activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of grading or construction activities,

documentation of the survey shall be provided to the City of Rocklin Public Services Department. If the survey results are negative, no further mitigation is required and necessary tree removal may proceed.

- c. If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the size of an appropriate buffer area (CDFW guidelines recommend implementation of 500-foot buffers). Monitoring of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.

If construction activities are scheduled to occur during the non-breeding season (September-January), a survey is not required and no further studies are necessary. (IV.-2)

- d. The following subdivision improvements shall be designed, constructed, and/or installed:

- i. All on-site standard subdivision improvements, including streets, curbs, gutters, sidewalks, drainage improvements, utility improvements (including cable television trenching), street lights, retaining walls, and fire hydrants. (ENGINEERING, PUBLIC SERVICES, PLANNING)

- ii. The following off-site special improvements:

The project shall construct a driveway across APN's 017-460-001 (undeveloped) and 017-400-017 (Starbucks) to connect the commercial portions of the Crossroads Shopping Center as generally indicated on Exhibit A. The driveway improvements shall include modifications, as needed to function safely, to the drive-through, drive aisle, landscaping, irrigation, and parking on APN 017-400-017 (Starbucks) to the satisfaction of the Economic and Community Development Director and the City Engineer. (PLANNING, ENGINEERING)

- e. Prior to any grading or construction activities including issuance of improvement plans, the developer shall submit a design-level soil investigation for the review and approval of the City Engineer and Chief Building Official that evaluates soil and rock conditions, particularly the potential for expansive soils. The professional engineer that prepared the soil investigation shall recommend appropriate roadway construction and foundation techniques and other best practices that are to be implemented by the project during construction. These techniques and practices shall address expansive soils or other geological concerns requiring remediation, including but not limited to:
- Recommendations for building pad and footing construction;
  - Use of soil stabilizers or other additives; and
  - Recommendations for surface drainage.
- f. Provisions for dust control, re-vegetation of disturbed areas, and erosion control, in conformance with the requirements of the City of Rocklin, including but not limited to the following items, which shall be included in the project notes on the improvement plans: (ENGINEERING)
- i. The prime contractor shall submit to the District a comprehensive inventory (e.g., make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used in aggregate of 40 or more hours for the construction project. If any new equipment is added after submission of the inventory, the prime contractor shall contact the District prior to the new equipment being utilized. At least three business days prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the District with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman.
  - ii. During construction the contractor shall utilize existing power sources (e.g., power poles) or clean fuel (e.g., gasoline, biodiesel, natural gas) generators to minimize the use of temporary diesel power generators.
  - iii. During construction, the contractor shall minimize idling time to a maximum of 5 minutes for all diesel powered equipment.
  - iv. Traffic speeds on all unpaved road surfaces shall be posted at 15 mph or less.

- v. All grading operations shall be suspended when fugitive dust emissions exceed District Rule 228-Fugitive Dust limitations. The prime contractor shall be responsible for having an individual who is CARB-certified to perform Visible Emissions Evaluations (VEE). This individual shall evaluate compliance with Rule 228 on a weekly basis.
- vi. Fugitive dust emissions shall not exceed 40% opacity and shall not go beyond the property boundary at any time. If lime or other drying agents are utilized to dry out wet grading areas, the developer shall ensure such agents are controlled so as not to exceed District Rule 228-Fugitive Dust limitations.
- vii. The prime contractor shall be responsible for keeping adjacent public thoroughfares clean of silt, dirt, mud, and debris, and shall “wet broom” the streets (or use another method to control dust as approved by the individual jurisdiction) if silt, dirt mud or debris is carried over to adjacent public thoroughfares.
- viii. The prime contractor shall suspend all grading operations when wind speeds (including instantaneous gusts) are excessive and dust is impacting adjacent properties.
- ix. The contractor shall apply water or use other method to control dust impacts offsite. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
- x. All construction equipment shall be maintained in clean condition.
- xi. Chemical soil stabilizers, vegetative mats, or other appropriate best management practices, in accordance with manufacturers’ specifications, shall be applied to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
- xii. All exposed surfaces shall be revegetated as quickly as feasible.
- xiii. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
- xiv. Water shall be applied to control fugitive dust, as needed, to prevent impacts offsite. Operational water trucks shall be onsite to control fugitive dust. Construction vehicles leaving the site shall

be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.

- xv. Processes that discharge 2 pounds per day or more of air contaminants, as defined by California State Health and Safety Code Section 39013, to the atmosphere may require a permit. Developers / Contractors should contact the PCAPCD prior to construction or use of equipment and obtain any necessary permits.
  - xvi. In order to minimize wind driven dust during construction, the prime contractor shall apply methods such as surface stabilization, establishment of a vegetative cover, paving, (or use another method to control dust as approved by the City).
  - xvii. Construction equipment exhaust emissions shall not exceed Placer County APCD Rule 202 Visible Emission limitations. Operators of vehicles and equipment found to exceed opacity limits are to be immediately notified by APCD to cease operations and the equipment must be repaired within 72 hours.
  - xviii. Open burning of any kind shall be prohibited. All removed vegetative material shall be either chipped on site or taken to an appropriate recycling site, or if a site is not available, a licensed disposal site.
  - xix. Any diesel powered equipment used during project construction shall be Air Resources Board (ARB) certified.
- g. The following shall be included in the project notes on the improvement plans:
- i. If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the City's Environmental Services Manager, and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the

resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.

In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006). (V.-1)

- ii. If at any time during the course of grading or construction activities evidence of the existence of old wells, septic systems or other similar features is encountered, work shall be halted within 100 feet of the find and the City of Rocklin Engineer shall be notified. The City Engineer shall make a determination as to the nature of the feature (or features), the appropriate size for a buffer around the feature beyond which work could continue on the balance of the site, and which outside agencies, if any, should be notified and involved in addressing and/or remediation of the feature. At the discretion of the City Engineer and at the applicant's expense, a qualified consultant(s) shall be retained to assess and characterize the feature and to determine appropriate

remediation, if any. Remediation of the feature including obtaining any special permits and/or approvals as needed shall be completed and documented to the satisfaction of the City Engineer and any responsible agencies, such as but not limited to the Placer County Department of Environmental Health, prior to completion of grading/construction in the affected area.

- iii. If blasting activities are to occur in conjunction with site development, the contractor shall conduct the blasting activities in compliance with State and local regulations. The contractor shall obtain a blasting permit from the City of Rocklin prior to commencing any blasting activities. Information submitted to obtain a blasting permit shall include a description of the work to be accomplished and a statement of necessity for blasting as opposed to other methods considered, including avoidance of hard rock areas, safety measures to be implemented, such as blast blankets, and traffic groundshaking impacts. The contractor shall coordinate any blasting activities with police and fire departments to ensure proper site access control, traffic control, and public notification including the media and affected residents and businesses, as appropriate. Blasting specifications and plans shall include a schedule that outlines the time frame that blasting will occur to limit noise and traffic inconveniences.

4. Special Conditions

Prior to approval of improvement plans and / or recording of a final map, Sheets 2 through 5 of, Exhibit A, shall be revised as needed to reflect the project layout as shown on Sheet 1 of Exhibit A. These modifications are necessary to reflect the removal of the commercial parcels from the project boundaries, on all related sheets (i.e. Grading, Utilities Plan, etc.). (PLANNING, ENGINEERING)

5. Common Areas Maintenance

Prior to or concurrently with the recordation of the final map the Subdivider shall provide for the ownership and maintenance of those portions of the project to be commonly owned and / or maintained by the residents of the subdivision as specified herein through formation of a homeowner's association. The documents creating the homeowner's association shall meet the following requirements and minimum provisions: (ENGINEERING, CITY ATTORNEY)

- a. Define the following portions of the subdivision to be common areas jointly owned and / or maintained by the residents of the subdivision:



Common areas, including driveways, parking, landscaping, lighting, walls and fencing, and recreation facilities on Lots A, B, and C, as shown on Exhibit A.

- b. Assignment to the homeowner's association responsibility for the maintenance of common areas and commonly maintained areas including but not limited to:
  - i) Structures, including the townhouses, except the roofs for individual lots.
  - ii) Site improvements including landscaping, private utility services, outdoor lighting, private streets, parking, recreation facilities, and walls and fencing, but excluding the wooden good neighbor fences for individual lots.
- c. Assignment to the homeowner's association responsibility to monitor and report to the Community Development Director of the City of Rocklin on activities and violations of any of these conditions, easement restriction, or any other ordinance, rule, or regulation of the City occurring within the common area.
- d. A statement that the City may, at its option, cause the maintenance responsibilities set forth in the documents creating the homeowners association to be performed and assess (lien) the cost to the homeowner's association in the event the project is not maintained in accordance with the approved plans. (RMC §17.60.040)
- e. A statement expressly prohibiting modification or deletion of any portion of the homeowner's association documents which specifically address City conditions of approval, City requirements, or termination of the HOA in its entirety, without the express written consent of the City.
- f. The documents creating the homeowner's association shall specifically include the following condition(s) for enforcement by the homeowner's association:
  - i) A "parking enforcement plan" (Exhibit B) that includes guarantees, to the satisfaction of the Community Development Director, that the garages shall be used for the parking of automobiles; and ensures that roll-up garage doors, with

automatic garage door openers are used throughout the project, consistent with RMC 17.66.020.

- g. City review and approval shall be required for any development, including fencing and landscaping, within the common area. Notice of this requirement shall be recorded by separate instrument with the Final Map.
- h. A notice shall be included in the subdivision's CC&Rs, and recorded by separate instrument with the final map, stating that individual lot and building design shall be subject to City Design Review approval.

#### 5. Easements

- a. To continue to provide reciprocal access between the existing commercial lots in the Crossroads Shopping Center, a reciprocal access easement granting access rights to all of the parcels that comprise the balance of the original Crossroads Shopping Center site (APN Nos. 017-400-012, 017, 022 and 017-460-001, 002, 004, & 005) shall be recorded over the parcel comprising the project site prior to or concurrently with recording of a final map, or evidence shall be provided to prove that such an easement is already in place and will not be affected by this map. (PLANNING, ENGINEERING, CITY ATTORNEY)
- b. Prior to or concurrently with recording of a final map, a document shall be recorded, in a form acceptable to the City Attorney, to abandon the rights of the residential property to park on the commercially zoned portions of the Crossroads Shopping Center (APN Nos. 017-400-012, 017, 022 and 017-460-001, 002, 004, & 005), or evidence shall be provided to prove that such a document is already in place and will not be affected by this map. (PLANNING, ENGINEERING, CITY ATTORNEY)

#### 6. Monitoring

Prior to recording of the first final map or any grading on the property, the subdivider shall deposit with the City of Rocklin the current fee to pay for the City's time and material cost to administer the Mitigation Monitoring Program. The Community Development Director shall determine if and when additional deposits must be paid for administering the Mitigation Monitoring Program, including additional deposits on subsequent phase final maps. These amounts shall be paid prior to recording subsequent final maps on this project. (PLANNING, ENGINEERING)

7. Indemnification and Duty to Defend

Within 30 days of approval of this entitlement by the City, the subdivider shall execute an Indemnity Agreement, approved by the City Attorney’s Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the entitlement by the City’s planning commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the applicant of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

8. Validity

- a. All portions of this entitlement for which a final map has not been recorded shall expire two years from the date of approval unless prior to that date a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent re-approval of the Design Review (DR-2013-12) has been approved. (PLANNING, ENGINEERING)

PASSED AND ADOPTED this 15<sup>th</sup> day of August, 2017, by the following roll call vote:

AYES: Commissioners:  
 NOES: Commissioners:  
 ABSENT: Commissioners:  
 ABSTAIN: Commissioners:

\_\_\_\_\_  
Chairman

ATTEST:

\_\_\_\_\_  
Secretary

P:\PUBLIC PLANNING FILES\\_\_ PROJECT FILES\Stanford Terrace Condo's Re-approval\Meeting Packets\PC 8-15-17\02 Stanford Terrace Re-App PC Reso SD-2013-09 - final.docx

# EXHIBIT A

SD-2013-09

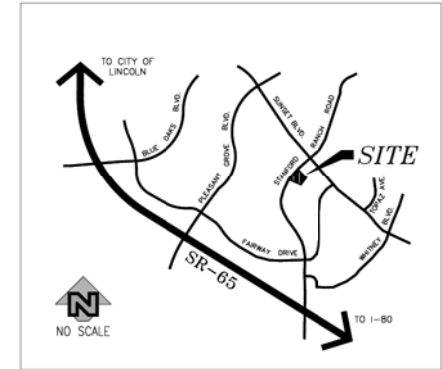
# TENTATIVE SUBDIVISION MAP STANFORD TERRACE

ROCKLIN, CALIFORNIA

AUGUST 2013  
REVISED FEBRUARY 2014  
REVISED APRIL 2014  
REVISED JULY 2014  
REVISED OCTOBER 2014  
REVISED JUNE 2017

## LOTING PLAN SHEET 1 OF 5

VICINITY MAP



### PROJECT INFORMATION

ASSESSOR PARCEL NUMBERS: 017-460-003  
NUMBER OF EXISTING PARCELS: 1  
TOTAL PARCEL SIZE: 7.2 ACRES  
ZONING (EXISTING): PD-C  
ZONING (PROPOSED): PD-C & PD-20  
GENERAL PLAN (EXISTING): RC  
GENERAL PLAN (PROPOSED): RC/HDR  
LAND USE (EXISTING): VACANT  
LAND USE (PROPOSED): COMMERCIAL/TOWNHOMES

### UTILITY PROVIDERS

WATER: PLACER COUNTY WATER AGENCY  
SEWER: SO. PLACER MUNICIPAL UTILITY DIST.  
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC  
TELEPHONE: AT&T  
CABLE TV: WAVE BROADBAND

### SERVICE PROVIDERS

SCHOOL DISTRICT: ROCKLIN UNIFIED SCHOOL DIST.  
FIRE PROTECTION: CITY OF ROCKLIN  
POLICE PROTECTION: CITY OF ROCKLIN  
STORM DRAINAGE: CITY OF ROCKLIN  
SOLID WASTE: RECOLOGY

### OWNER/DEVELOPER

GOLDEN STATE LUMBER  
855 LAKEVILLE ST., STE. 200, PETALUMA, CA 94952  
TEL (707) 206-4041 FAX (707) 206-4051  
CELL (415) 994-3118 EMAIL chris@bsconstruct.com

### ENGINEER

BURRELL CONSULTING GROUP, INC.  
1001 ENTERPRISE WAY, SUITE 100, ROSEVILLE, CA 95678  
TEL: (916) 783-8898 FAX: (916) 783-8222

NOTE:  
PURSUANT TO GOVERNMENT CODE SECTION 66456.1  
THE SUBDIVIDER MAY FILE MULTIPLE FINAL MAPS  
BASED ON THIS TENTATIVE MAP.

### LOTING SUMMARY

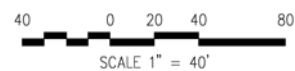
RESIDENTIAL	ACRES	UNITS	DENSITY
RESIDENTIAL (TOWNHOME) LOTS	3.5 ac.	119	16.5 DU/AC
LOT A (COMMON AREA)	3.5 ac.		
LOT B (PIPELINE EASEMENT)	0.1 ac.		
LOT C	0.1 ac.		
<b>SUBTOTAL</b>	<b>7.2 ac.</b>		

### LEGEND

- PROJECT BOUNDARY
- PROPOSED PARCEL LINE
- EXISTING PARCEL LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT
- PROPOSED ADA PATH OF TRAVEL
- 114 LOT NUMBER
- (E) EXISTING
- (P) PROPOSED
- PUE PUBLIC UTILITIES EASEMENT

### SHEET INDEX

- SHEET 1 LOTING PLAN
- SHEET 2 UTILITY PLAN
- SHEET 3 GRADING & DRAINAGE PLAN
- SHEET 4 DETAILS
- SHEET 5 AERIAL PHOTO EXHIBIT



Packet Pg. 68

Agenda Item #7.a.

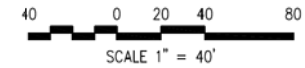
June 14, 2017  
**B BURRELL CONSULTING GROUP, INC.**  
1001 Enterprise Way, Suite 100 Roseville, CA 95678 (916) 783-8898

# TENTATIVE SUBDIVISION MAP STANFORD TERRACE

ROCKLIN, CALIFORNIA

AUGUST 2013  
REVISED FEBRUARY 2014  
REVISED APRIL 2014  
REVISED JULY 2014  
REVISED OCTOBER 2014

## UTILITY PLAN SHEET 2 OF 5

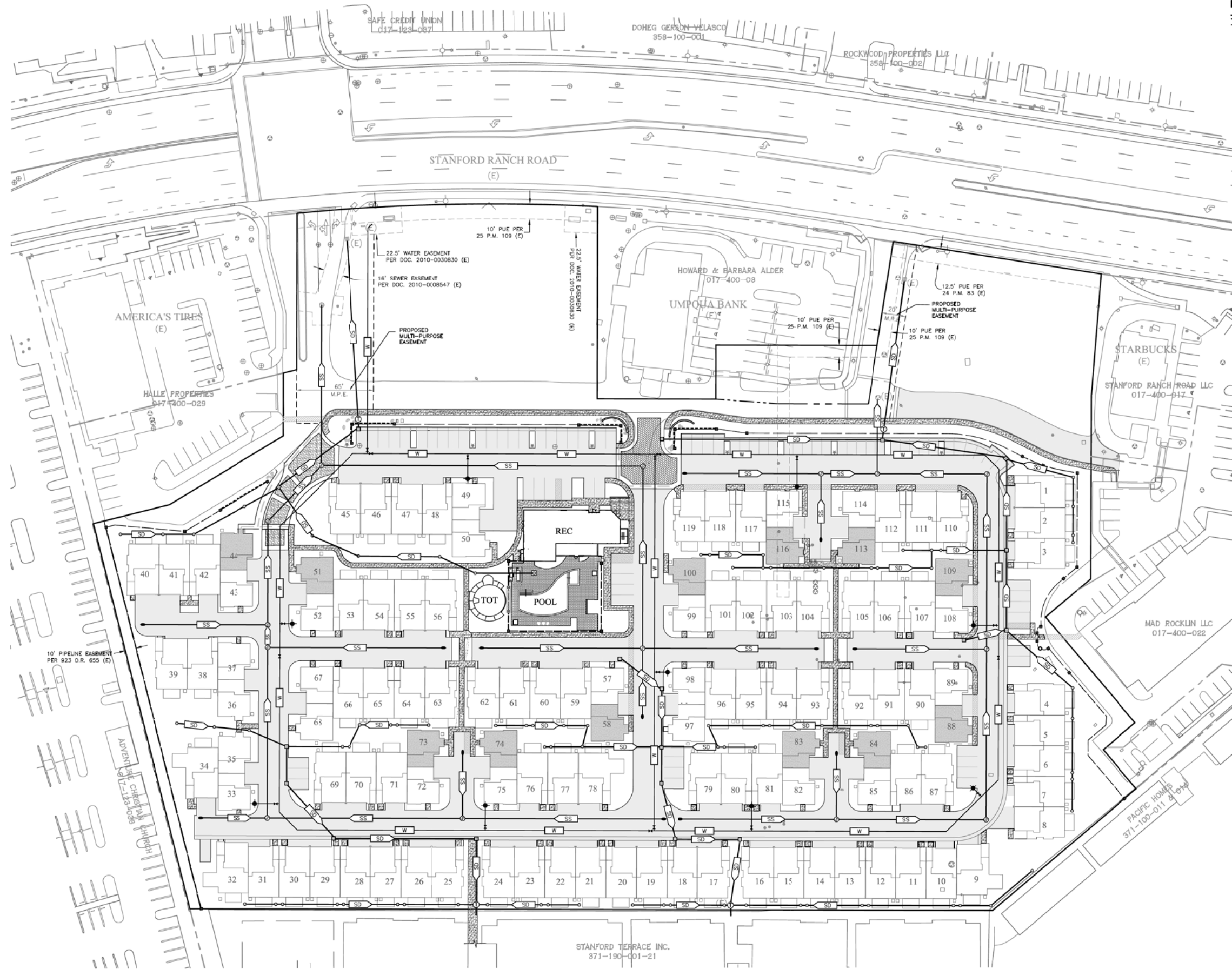


### LEGEND

- PROJECT BOUNDARY
- - - EXISTING EASEMENT
- 12" SD STORM DRAIN
- STORM DRAIN MANHOLE
- STORM DRAIN INLET
- YARD DRAIN INLET
- 18" SS SANITARY SEWER
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN-OUT
- W-W WATER LINE
- F-V FIRE VALVE
- F-HA FIRE HYDRANT ASSEMBLY
- (E) EXISTING
- PUE PUBLIC UTILITIES EASEMENT
- ⊛ PARKING LOT LIGHTING
- OIL/SAND SEPARATOR STRUCTURE

### NOTE

EXISTING UTILITIES LOCATED ON THE RESIDENTIAL SITE SHALL BE REMOVED OR APPROPRIATELY ABANDONED.

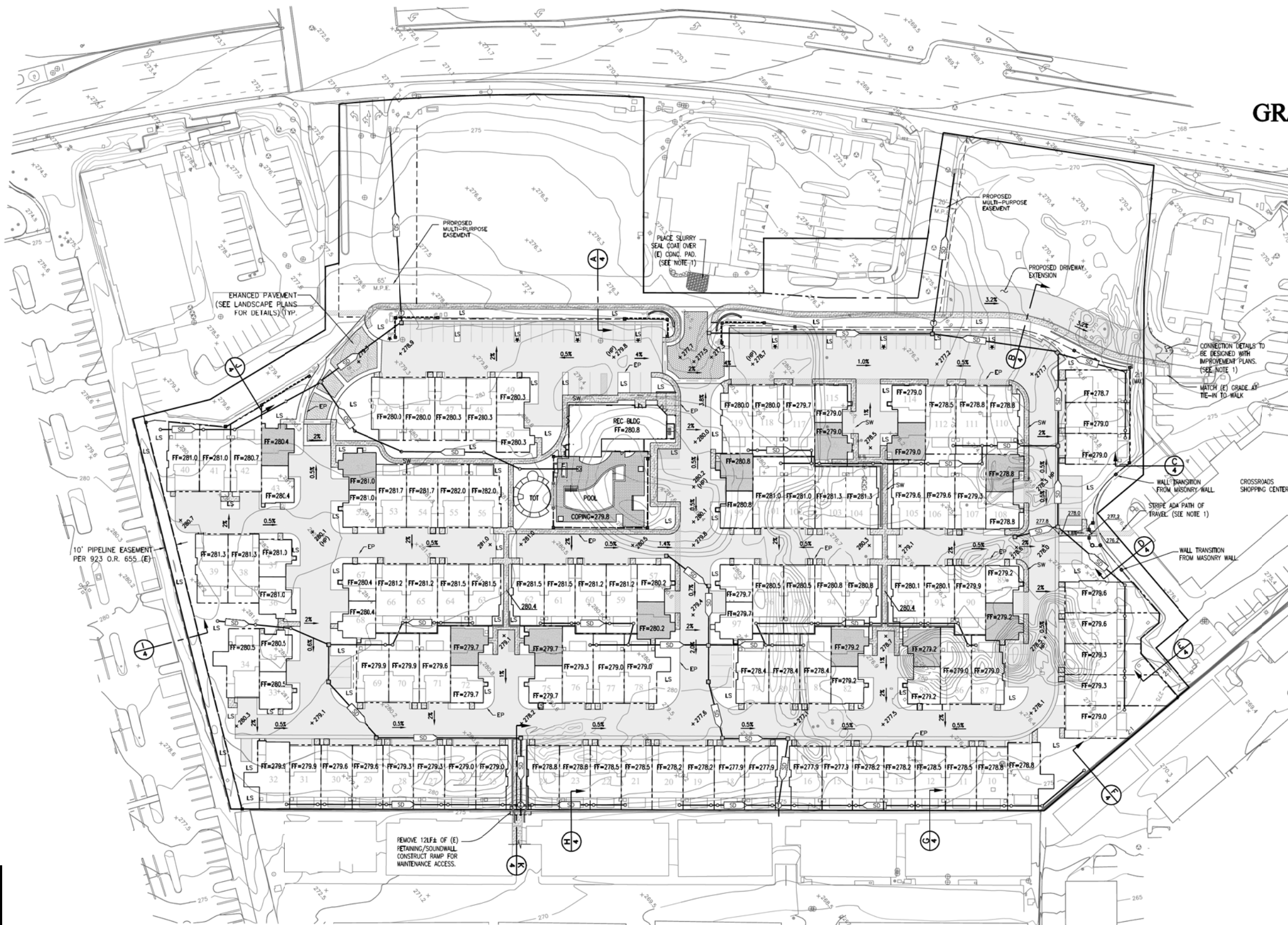


# TENTATIVE SUBDIVISION MAP STANFORD TERRACE

ROCKLIN, CALIFORNIA

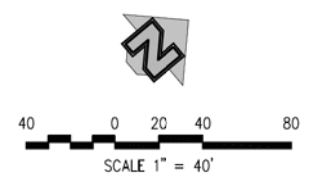
AUGUST 2013  
REVISED FEBRUARY 2014  
REVISED APRIL 2014  
REVISED JULY 2014  
REVISED OCTOBER 2014

## GRADING & DRAINAGE PLAN SHEET 3 OF 5



**LEGEND**

- ADA PATH OF TRAVEL
- PROJECT BOUNDARY
- PROPOSED PARCEL LINE
- PROPOSED MASONRY WALL/TUBULAR STEEL FENCE
- PROPOSED MASONRY WALL
- PROPOSED RETAINING WALL
- STORM DRAIN
- STORM DRAIN INLET
- YARD DRAIN INLET
- (E) EXISTING
- EP EDGE OF PAVEMENT
- LS LANDSCAPE
- SW SIDEWALK
- FF FINISH FLOOR ELEVATION
- (E) EXISTING
- PUE PUBLIC UTILITIES EASEMENT
- ⊙ EXISTING PARKING LOT LIGHTING
- ⊙ OIL/SAND SEPARATOR STRUCTURE
- ADA UNITS



**NOTES:**  
1. OFF-SITE IMPROVEMENTS SUBJECT TO PROPERTY OWNER COOPERATION.

**EARTHWORK**

CUT:	14,000 CY
FILL:	7,000 CY
NET:	7,000 CY EXPORT

Packet Pg. 70

Agenda Item #7.a.

# TENTATIVE SUBDIVISION MAP STANFORD TERRACE

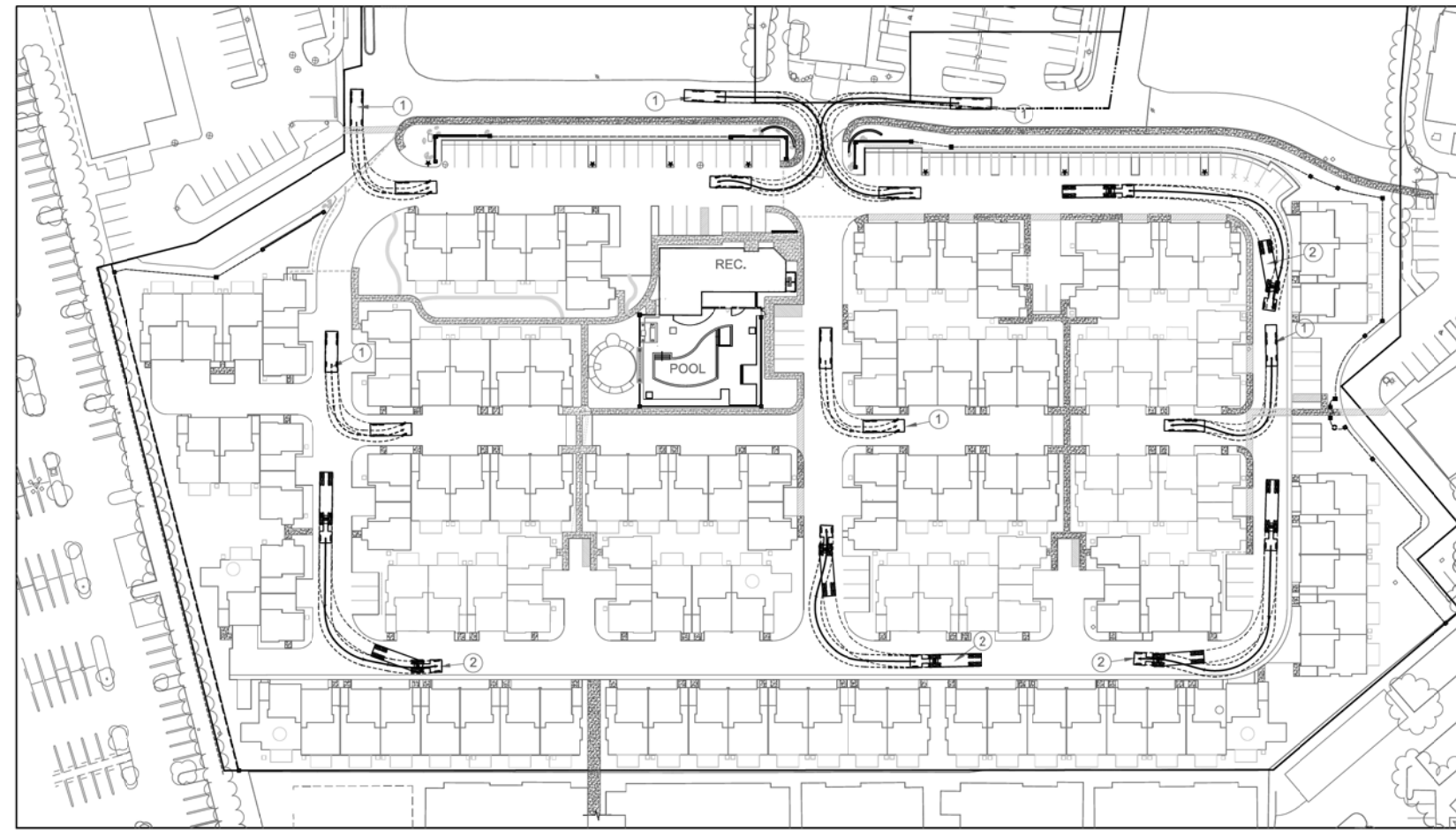
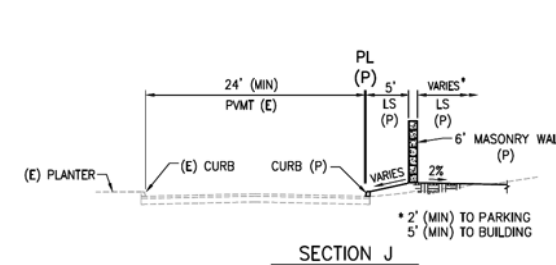
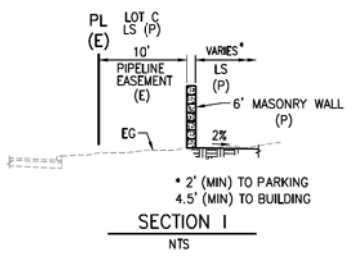
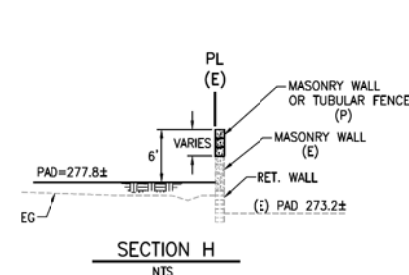
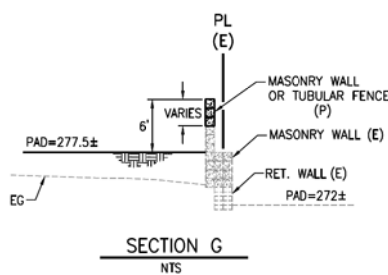
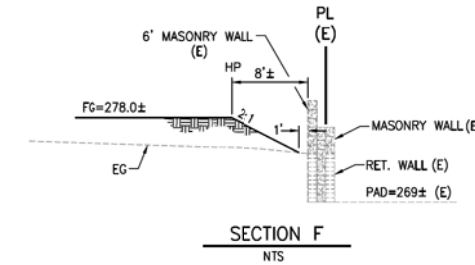
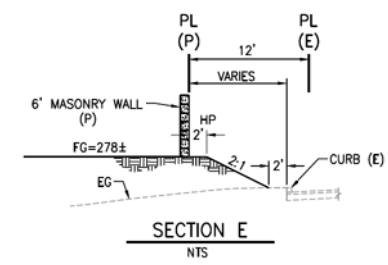
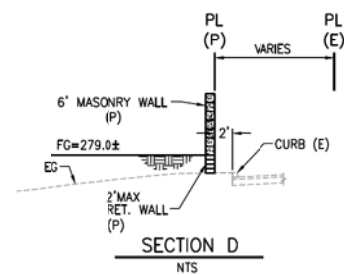
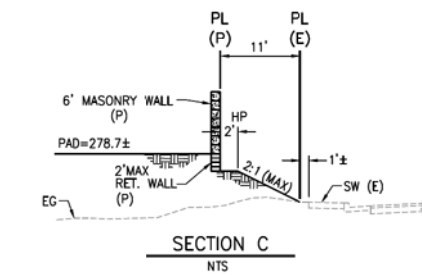
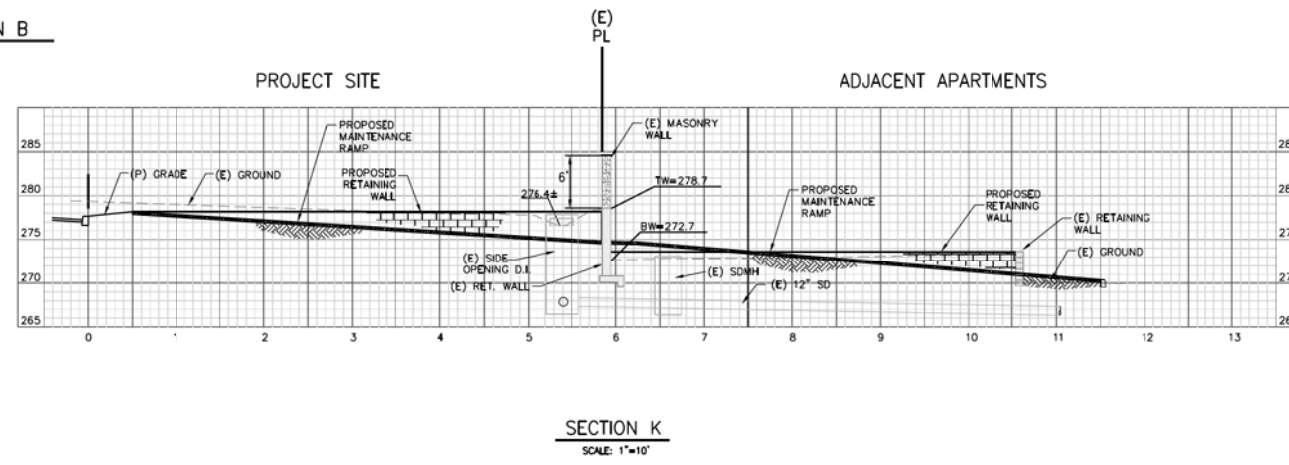
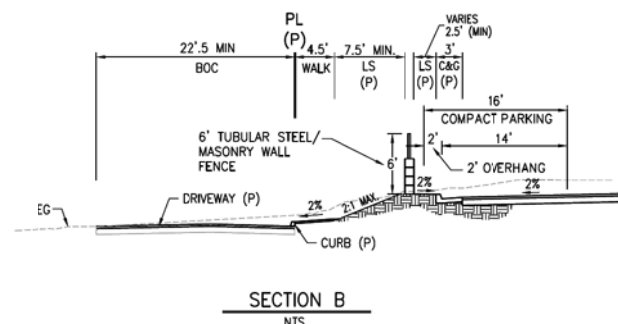
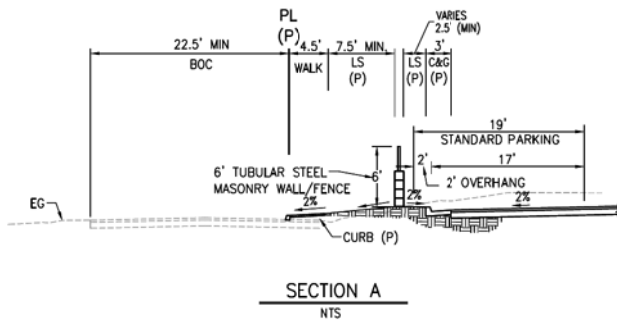
ROCKLIN, CALIFORNIA

AUGUST 2013  
REVISED FEBRUARY 2014  
REVISED APRIL 2014  
REVISED JULY 2014  
REVISED OCTOBER 2014

## DETAILS SHEET 4 OF 5

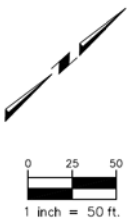
### ABBREVIATIONS

(E)	EXISTING	LS	LANDSCAPE
(P)	PROPOSED	RET	RETAINING
BOC	BACK OF CURB	PVMT	PAVEMENT
PUE	PUBLIC UTILITIES EASEMENT	PL	PROPERTY LINE
FG	FINISH GRADE	HP	HINGE POINT
EG	EXISTING GROUND	C&G	CURB & GUTTER
MAX	MAXIMUM	SW	SIDEWALK
MIN	MINIMUM	NTS	NOT TO SCALE



- LEGEND:
- ① FIRE TRUCK (26.57')
  - ② SEMI-TRAILER (45.5')

### STANFORD TERRACE TOWNHOMES FIRE TRUCK TURNING EXHIBIT



# TENTATIVE SUBDIVISION MAP STANFORD TERRACE

ROCKLIN, CALIFORNIA

AUGUST 2013  
REVISED FEBRUARY 2014  
REVISED APRIL 2014  
REVISED JULY 2014  
REVISED OCTOBER 2014

## AERIAL PHOTO EXHIBIT SHEET 5 OF 5



40 0 20 40 80  
SCALE 1" = 40'



PLANNING COMMISSION RESOLUTION PC-  
RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF A DESIGN REVIEW FOR  
MULTI-FAMILY RESIDENTIAL HOMES

(Stanford Terrace / DR-2013-12)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Design Review (DR-2013-12) re-approves site design, landscaping, architectural designs, colors and materials of a multi-family townhouse development on an approximately 7.2-acre site generally located at the southwest corner of Stanford Ranch Road and Sunset Boulevard (APN 017-460-002) consistent with the original City Council approval granted on October 28, 2014.

B. A Mitigated Negative Declaration has been recommended for approval for this project via Planning Commission Resolution No. PC-2014-47.

C. The design of the sites is compatible with surrounding development, natural features and constraints.

D. The height, bulk, area, color scheme and materials of the buildings and structures are compatible with surrounding development.

E. The buildings and structures have been oriented with consideration given to minimizing energy consumption and maximizing use of natural lighting.

F. Adverse light and glare impacts upon adjoining properties have been eliminated or reduced to a less than significant level by consideration and / or modification of the location and height of light standards, orientation of exterior lighting fixtures, and conditioning the project to use light fixtures that will direct light downward.

G. The landscaping design is compatible with surrounding development and has been designed with provisions for minimizing water usage and maintenance needs.

H. The design of the site and buildings or structures is consistent with the goal, policies and land use designation in the General Plan and with all zoning standards, regulations, and restrictions applicable to the property.

Section 2. The Design Review for the Stanford Terraces project (DR- 2013-12) as depicted in Exhibit A attached hereto and by this reference incorporated herein, are hereby recommended for approval subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition prior a final Building Permit Inspection or Issuance of a Certificate of Occupancy as applicable. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

B. Conditions

1. Screening of Mechanical Equipment

- a. The appearance of large utility features such as double detector check valves shall be minimized through the use of utility blankets or other acceptable screening methods. The developer shall also demonstrate that these facilities have been located as far as possible from the public right-of-way. (PLANNING)
- b. All mechanical equipment, whether ground- or roof-mounted shall be screened from view from all public vantage points, to the satisfaction of the Community Development Director. The design of the screening shall be in harmony with the architectural design of the building. (PLANNING)

2. Architecture

- a. For the townhouses and recreation building, the architecture, colors, and materials shall be as shown in Exhibit A, to the satisfaction of the Community Development Director, subject to including the addition of hardie-plank lap siding or other approved material enhancement to provide additional interest and variety to the facades of the buildings facing the visitor parking lot. (PLANNING, BUIDLING)
- b. Any maintenance or changes to the roofs and/or building exteriors must comply with the approved design review colors and materials unless modifications are approved by the City. (PLANNING, BUIDLING)

### 3. Landscaping

- a. Final landscape plans shall be provided by the developer and approved by the Director of Community Development. The landscape plans shall comply with the following requirements (PLANNING):
  - i) The landscaping plan shall be prepared by a landscape architect and shall include:
    - (1) A legend of the common and botanical names of specific plant materials to be used. The legend should indicate the size of plant materials:

Shrubs shall be a minimum five (5) gallon and trees a minimum of fifteen (15) gallon and meet the minimum height specified by the American Standards for Nursery Stock.
    - (2) A section diagram of proposed tree staking.
    - (3) An irrigation plan including an automatic irrigation system. The plan shall include drip irrigation wherever possible.
    - (4) Provision for the shading of the visitor parking spaces by shade trees planted at a minimum of one for every five parking spaces.
    - (5) Vines planted on the west side of the masonry wall on Lot B to grow on the wall, consistent with the plantings on the Rocklin Ridge Townhomes (DR-2002-30) pipeline landscape lot.
  - ii) The plan shall be certified by the landscape architect that the landscape plan meets the requirements of the water Conservation and Landscaping Act. Government Code §65591, et seq.
- b. The parking lot lighting plan shall be designed to accommodate the required shade trees and provide for illumination of the parking areas. Light standards and underground utilities shall be located such that required parking lot shade trees can still be planted. (ENGINEERING, BUILDING, PLANNING)

- c. All landscaping shall be installed and the landscape architect shall certify, in writing, that the landscaping and irrigation system have been installed in full compliance with the approved plans prior to issuance of a Certificate of Occupancy. (PLANNING)
4. Walls and Fencing
- a. Project walls and fencing shall be in substantial compliance with Exhibit A to the satisfaction of the Community Development Director. (PLANNING)
  - b. Tubular steel fences shall have flat top pickets (or have a smooth rail at the top), be powder-coated a dark color, and be constructed of medium gauge, or better, steel or aluminum, to the satisfaction of the Community Development Director. (PLANNING)
  - c. The wall on Lot B shall include a solid gate to provide access from Lot A for maintenance of Lot B. Said gate shall match the access gate for the pipeline landscape lot on the Rocklin Ridge Townhomes project (DR-2002-30).
5. Lighting
- a. Parking lot lighting shall match existing Crossroads Shopping Center lighting, to the satisfaction of the Community Development Director. (PLANNING)
  - b. All exterior lighting shall be designed and installed to avoid adverse glare on adjacent properties. Cut-off decorative lighting fixtures, or equivalent, shall be used and mounted such that all light is projected directly toward the ground. Light poles shall be a maximum of 20 feet in height as measured from grade to the top of the light. The lighting design plan shall be approved by the Director of Community Development for compliance with this condition. (PLANNING)
6. Signage
- a. All signs shall conform to the Sign Ordinance of the City of Rocklin and the sign design(s) and location(s) as shown on Exhibit A, and as modified herein. (PLANNING)
  - b. Project signage shall be substantially similar to Exhibit A, to the satisfaction of the Community Development Director. (PLANNING)

- c. If the project signs are to be illuminated, ground mounted lighting shall comply with the following, to the satisfaction of the Community Development Director: (PLANNING)
  - 1) The light source shall be designed and oriented so that it shines only on the sign itself and not into the sky or elsewhere, and
  - 2) The light source itself shall be screened, with a permanent physical barrier, such that it is not visible from the adjacent streets or driveways.
  - 3) If the light source is not in a landscape planter area, the lights shall be below grade, flush-mounted with the surrounding hardscape to prevent damage and/or vandalism.

7. Patio Covers

Only open, lattice-type, patio covers, made of non-flammable materials, shall be allowed in this development. All parts of the patio cover shall maintain a minimum setback of three feet from the property lines. (PLANNING, BUILDING)

8. Air Quality

- a. Electrical outlets shall be installed in the front and back exterior walls of the homes to promote the use of electrical landscaping equipment. (BUILDING, PLANNING)
- b. Natural gas lines shall be installed to the rear of each residential structure to encourage the use of natural-gas outdoor appliances. (BUILDING, PLANNING)
- c. Low nitrous oxide (NO<sub>x</sub>) natural gas hot water heaters shall be installed if gas hot water heaters are to be used in this project. (BUILDING, PLANNING)
- d. Prior to the issuance of any building permits, the applicant/developer shall either: (PLANNING, BUILDING, PCAPCD)
  - i) Pay the project's air quality fair share Off-site Mitigation Fee sufficient to reduce the project's NO<sub>x</sub> operational emissions to 10 pounds per day (estimated to be approximately, \$1,537.00). The applicant/developer must provide the City of Rocklin Planning

Division with a receipt from the Placer County Air Pollution Control District (PCAPCD) to demonstrate proof of payment.

OR

- ii) Develop and propose an off-site mitigation project (equivalent to the emission reductions required for the proposed project to meet PCAPCD thresholds of significance), subject to review and approval by the City of Rocklin Planning Division and the PCAPCD. The applicant/developer must provide proof that the off-site mitigation project would reduce emissions at an equivalent amount as would be required of the proposed project. (III.-1)

9. Noise

- a. All “self-powered” construction equipment and stationary noise sources (i.e. pumps, electrical generators, etc.) shall be equipped with noise control devices (e.g., mufflers). (ENGINEERING, BUILDING)
- b. Equipment “warm-up” areas, water storage tanks, equipment storage areas, and stationary noise-generating machinery (i.e. pumps, electrical generators, etc.) shall be located away from existing residences and other sensitive noise receptors to the extent feasible. (ENGINEERING, BUILDING)
- c. All phases of project development shall be subject to the City of Rocklin Construction Noise Guidelines, including restricting construction-related noise generating activities within or near residential areas to between 7:00 a.m. and 7:00 p.m. on weekdays, and between 8:00 a.m. and 7:00 p.m. on weekends. The Community Development Director may grant exceptions to the Construction Noise Guidelines if, in the opinion of the Community Development Director, special and unusual circumstances exist that make strict adherence to the Construction Noise Guidelines infeasible. (ENGINEERING, BUILDING)
- d. Air conditioning or mechanical ventilation shall be provided for all residences constructed within this development to allow occupants to keep doors and windows closed for acoustical isolation. All mechanical equipment shall be ground mounted. (PLANNING, BUILDING)

10. Schools

The following conditions shall be satisfied to mitigate the impact of the proposed development on school facilities (ROCKLIN UNIFIED SCHOOL DISTRICT, BUILDING):

- a. At the time of issuance of a building permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995, to the satisfaction of the Rocklin Unified School District.
- b. The above condition shall be waived by the City Council if the applicant and the District reach agreement to mitigate the impacts on the school facilities caused by the proposed development and jointly request in writing that the condition be waived.

11. Security

- a. Prior to building permit issuance the applicant shall prepare a security plan for review by the Rocklin Police Department and shall provide the Rocklin Police Department with the name(s) and telephone number(s) of a responsible party to contact / the president of the homeowners association. (POLICE)
- b. Prior to building / unit occupancy the property owner, or each tenant, shall obtain and maintain at all times, an Alarm System Permit for each security system installed and operated in the complex, if any, in accord with the requirements of Chapter 9.44 of the Rocklin Municipal Code. (POLICE)

12. Maintenance

- a. The property owner shall remove within 72 hours all graffiti placed on any fence, wall, existing building, paved area or structure on the property consistent with the provisions of Rocklin Municipal Code Section 9.32. Prior to removal of said graffiti, the property owner shall report the graffiti vandalism to the Rocklin Police Department. (PLANNING, POLICE)
- b. The project, including but not limited to paving, landscaping, structures, and improvements shall be maintained by the property owners, to the standard of similarly situated properties in equivalent use zones, to the satisfaction of the Community Development Director. (PLANNING)
- c. The homeowners association shall maintain in perpetuity the wall and landscaping on Lot B, to the satisfaction of the Community Development Director. (PLANNING)

13. Parks

Park fees shall be paid as required by Rocklin Municipal Code Chapter 17.71 and Chapter 16.28. The amount of the fee per multi-family unit is \$1,799. (BUILDING)

14. Phasing

If the project is to be phased, a phasing plan showing the sequence of site improvements shall be submitted for review and approval by the Community Development Director. The Community Development Director may condition the phasing to ensure each phase shall function independently. Landscaping along the entire street frontage may be required for design continuity and consistency of plant growth. (ENGINEERING, BUILDING, PLANNING)

15. Validity

- a. This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent re-approval of the Tentative Subdivision Map (SD-2013-05) has been approved. (PLANNING, ENGINEERING)

PASSED AND ADOPTED this 15<sup>th</sup> day of August, 2017, by the following roll call vote:

AYES: Commissioners:  
 NOES: Commissioners:  
 ABSENT: Commissioners:  
 ABSTAIN: Commissioners:

\_\_\_\_\_  
Chairman

ATTEST:

\_\_\_\_\_  
Secretary



EXHIBIT A

Stanford Terrace Design Review (DR-2013-12)

Available at the Economic & Community Development Department, Planning Division

# EXHIBIT A

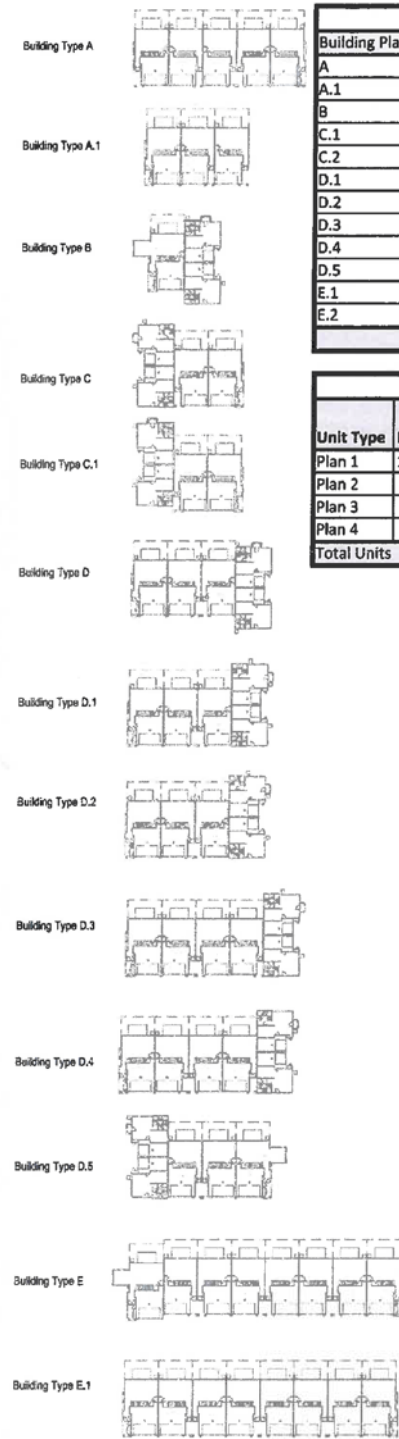
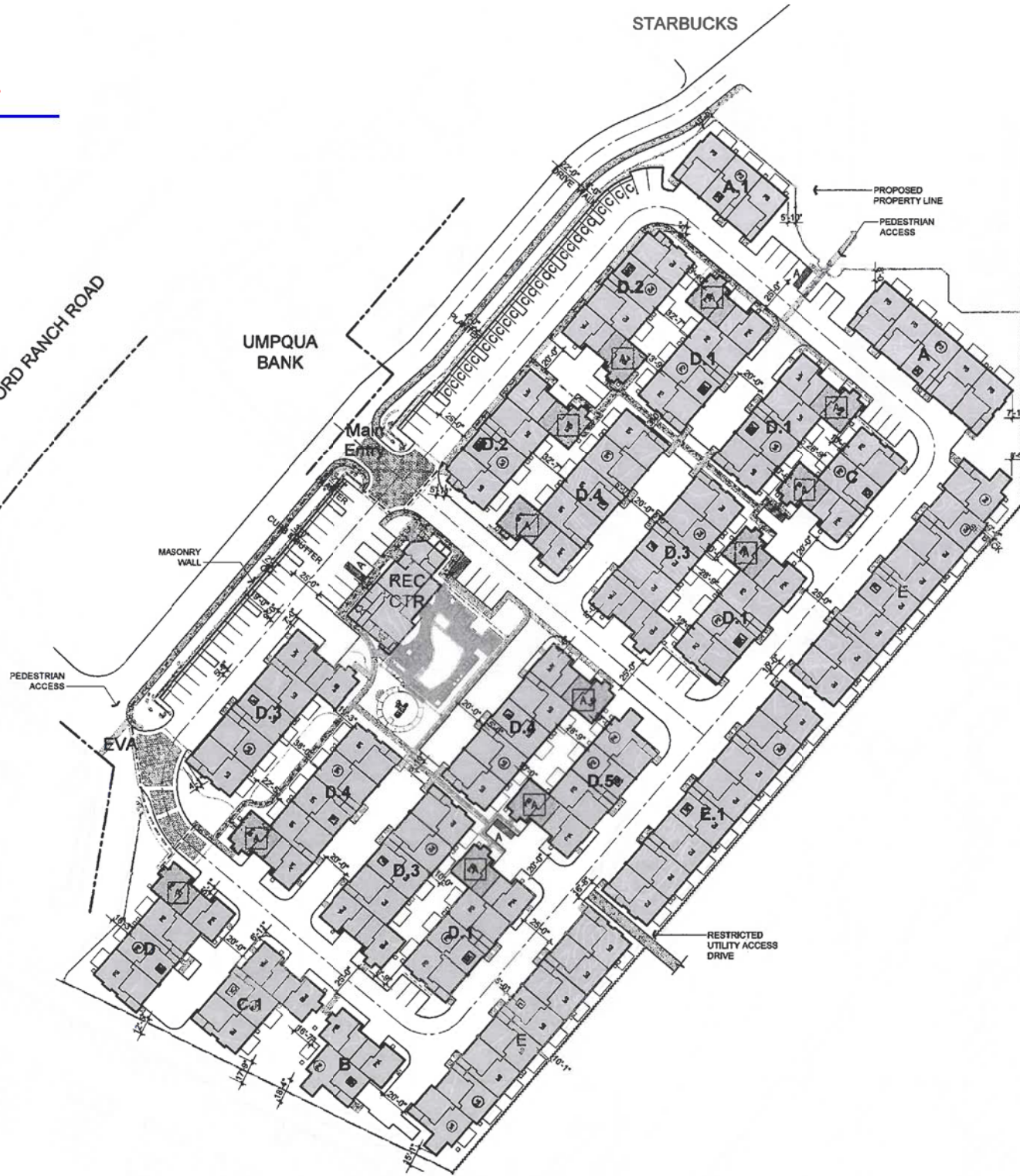
DR-2013-12

AMERICA'S TIRES

STANFORD RANCH ROAD

UMPQUA BANK

STARBUCKS



Building Type Summary

Building Plan Matrix					
Building Plan Number	# Occurrences	Gross Floor Area	Total GSF	# Units	Total Units
A	1	5526	5526	5	5
A.1	1	3323	3323	3	3
B	1	2097	2097	3	3
C.1	1	3848	3848	4	4
C.2	1	3847	3847	4	4
D.1	1	4942	4942	5	5
D.2	4	4942	19768	5	20
D.3	2	4907	9814	5	10
D.4	6	6036	36216	6	36
D.5	1	5094	5094	5	5
E.1	2	8976	17952	8	16
E.2	1	8826	8826	8	8
<b>TOTAL</b>	<b>11</b>	<b>22</b>	<b>121253</b>		<b>119</b>

Unit Plan Matrix					
Unit Type	No. Bedrms	No. Baths	Net Square Feet	Garage Area	Count
Plan 1	1+Den	1.5 + Ba 2 Opt	994	246	34
Plan 2	2	2.5	1469	434	21
Plan 3	3	2.5	1473	434	60
Plan 4	4	2.5	1791	434	4
<b>Total Units</b>					<b>119</b>

**Site Summary**

Acres: ±7.2 ac

Units: ±119 units  
 Plan 1: 34 units  
 Plan 2/3: 81 units  
 Plan 4: 4 units

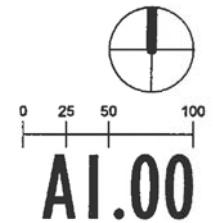
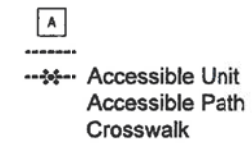
Accessible Units: 10% of 119 units = 12 accessible

Density: ±17.4 du/ac

Guest Parking: ±84 spaces (±0.67 sp/unit)  
 1 Bedrms 1.75 sp - 1 enc + .75 sp/guest  
 34 1 bedrms x .75 = 26 sp  
 2 + Bedrms 2.5 sp - 2 enc + .5 sp/guest  
 85 2+bedrms x .5 = 43 sp  
**69 guest spaces required**  
**84 provided**

Compact spaces at 30% total maximum:  
 25 allowed/ 24 provided

Accessible Parking: 5% minimum total guest spaces  
 84 spaces x .05 = 4 accessible spaces + 1 van  
 accessible = 5 total accessible spaces



AI.00

## THE TERRACES AT STANFORD RANCH II

Golden State Lumber  
 55 Lakeville Street, Suite 200-B  
 Petaluma, CA 94952  
 707.206.4040

## ARCHITECTURAL SITE PLAN

ROCKLIN, CALIFORNIA

KTGY # 2013-011

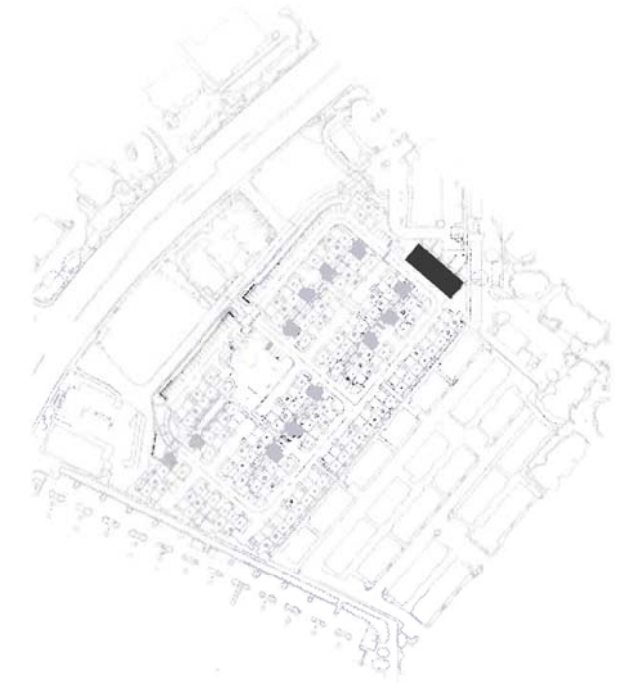
06.26.2014  
 04.03.2014 3rd SUBMITTAL  
 02.14.2014 2nd SUBMITTAL  
 08.15.2013 1st SUBMITTAL

KTGY Group, Inc.  
 Architecture+Planning  
 580 Second St., Suite 200  
 Oakland, CA 94607  
 510.272.2910  
 ktgy.com





Left



Key Map  
n.t.s.



Front

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**Color Legend**

Scheme 2

- Stucco Body 1
- Stucco Body 2
- Trim  
(Trim/Fascia/Eaves/Garage Doors)
- Front Doors
- Brick Veneer
- Roof Tile



**THE TERRACES AT STANFORD RANCH II**

Golden State Lumber  
855 Lakeville Street, Suite 200-B  
Petaluma, CA 94952  
707.206.4040

**BUILDING TYPE A ELEVATIONS**

ROCKLIN, CALIFORNIA

KTYG # 2013-0141

06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

**KTYG Group, Inc.**  
**Architecture+Planning**  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com





Right



Key Map  
n.t.s.



Rear

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**Color Legend**

Scheme 2

- Stucco Body 1
- Stucco Body 2
- Trim  
(Trim/Fascia/Eaves/Garage Doors)
- Front Doors
- Brick Veneer
- Roof Tile



**THE TERRACES AT STANFORD RANCH II**

Golden State Lumber  
855 Lakeville Street, Suite 200-B  
Petaluma, CA 94952  
707.206.4040

**BUILDING TYPE A ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141  
06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

KTGY Group, Inc.  
Architecture+Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
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Key Map  
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## THE TERRACES AT STANFORD RANCH II

Golden State Lumber  
855 Lakeville Street, Suite 200-B  
Petaluma, CA 94952  
707.206.4040

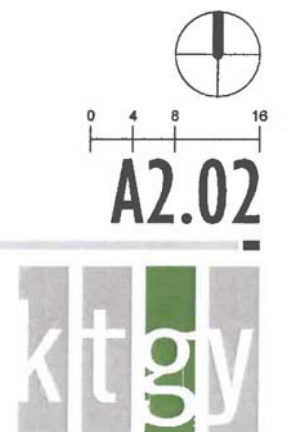
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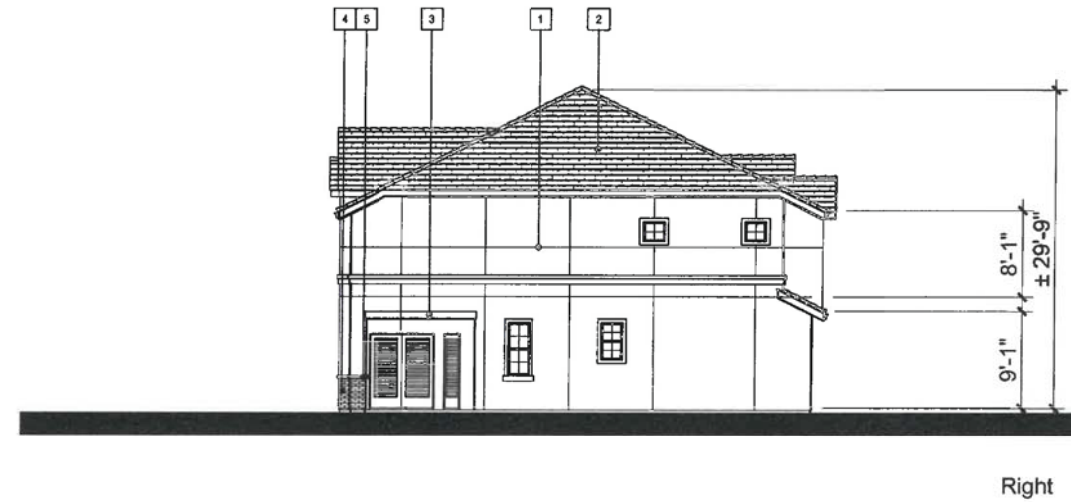
ROCKLIN, CALIFORNIA

KTGY # 2013-0141

04.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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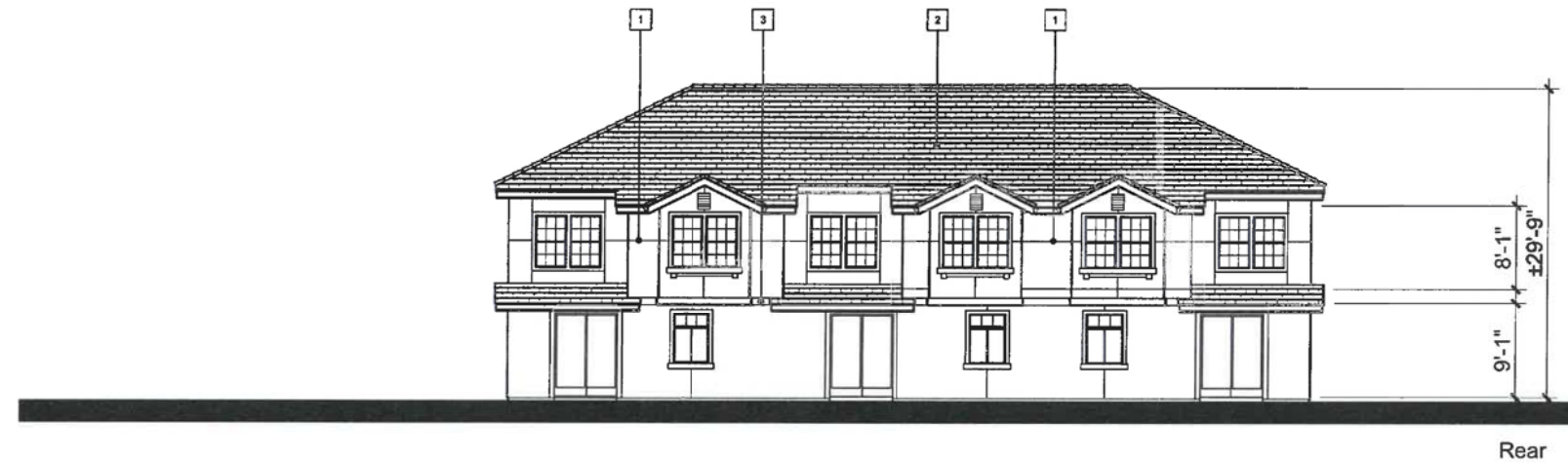




Key Map  
n.t.s.

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15



**THE TERRACES AT STANFORD RANCH II**

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Petaluma, CA 94952  
707.206.4040

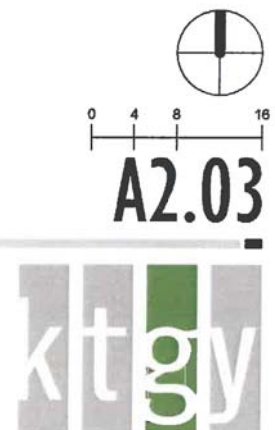
**BUILDING TYPE A.1 ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141

06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

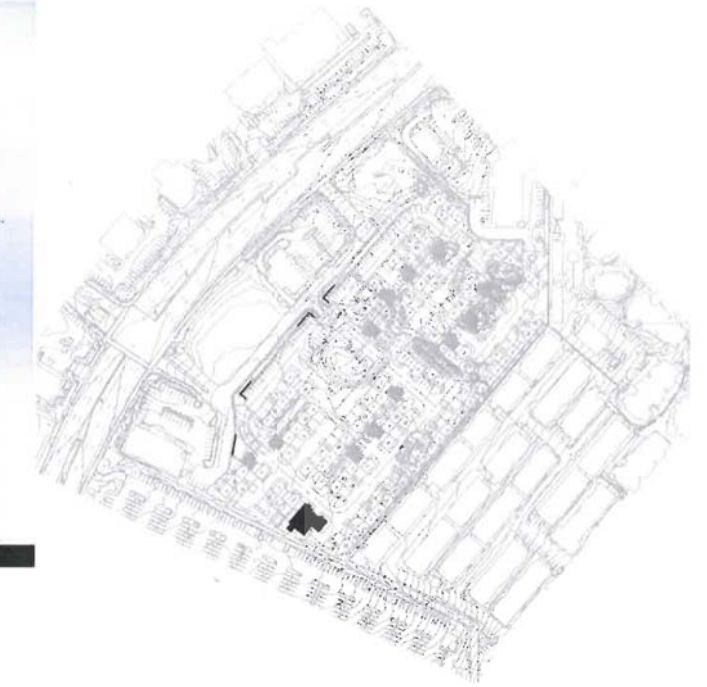
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Oakland, CA 94607  
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Right

Left



Key Map  
n.t.s.



Rear

Front

**Material Legend**

1. Stucco with Control Joints
2. Concrete Flat Tile Roof
3. Stucco Foam Trim
4. Brick Veneer
5. Stone Trim
6. Address Signs at Entry Doors
7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**Color Legend**

Scheme 2

- Stucco Body 1
- Stucco Body 2
- Trim  
(Trim/Fascia/Eaves/Garage Doors)
- Front Doors
- Brick Veneer
- Roof Tile



A2.10



**THE TERRACES AT STANFORD RANCH II**

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**BUILDING TYPE B ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141

06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Right

Left



Key Map  
n.t.s.



Rear

Front

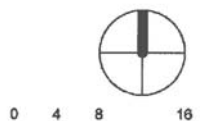
**Material Legend**

1. Stucco with Control Joints
2. Concrete Flat Tile Roof
3. Stucco Foam Trim
4. Brick Veneer
5. Stone Trim
6. Address Signs at Entry Doors
7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**Color Legend**

Scheme I

- Stucco Body 1
- Stucco Body 2
- Trim  
(Trim/Fascia/Eaves/Garage Doors)
- Front Doors
- Brick Veneer
- Roof Tile



0 4 8 16  
**A2.20**

**THE TERRACES AT STANFORD RANCH II**

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**BUILDING TYPE C ELEVATIONS**

ROCKLIN, CALIFORNIA

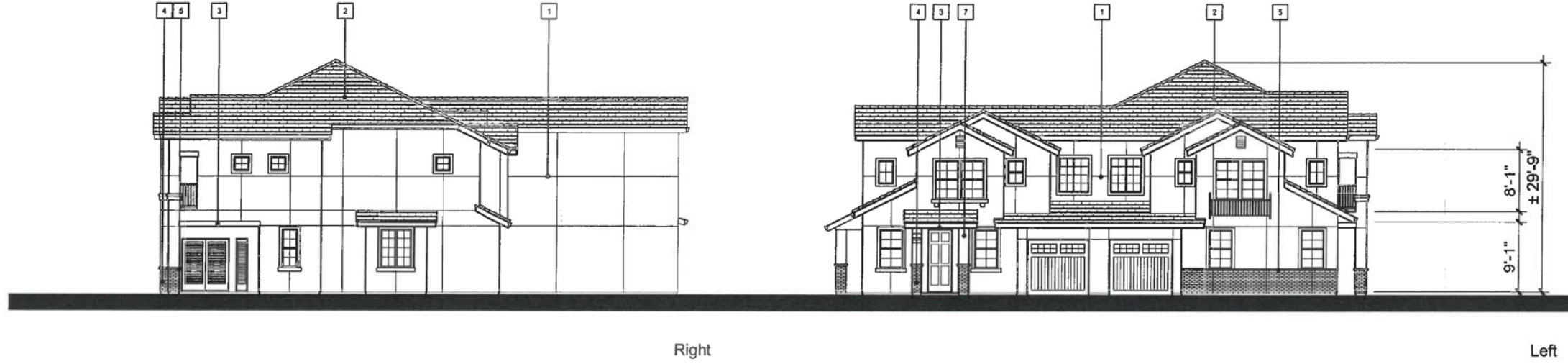
KTGY # 2013-0141

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02.14.2014 2nd SUBMITTAL  
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Key Map  
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- Material Legend**
1. Stucco with Control Joints
  2. Concrete Flat Tile Roof
  3. Stucco Foam Trim
  4. Brick Veneer
  5. Stone Trim
  6. Address Signs at Entry Doors
  7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

## THE TERRACES AT STANFORD RANCH II

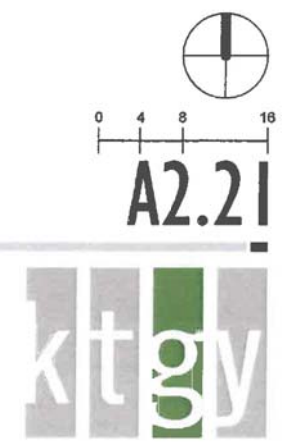
Golden State Lumber  
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Petaluma, CA 94952  
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## BUILDING TYPE C.1 ELEVATIONS

ROCKLIN, CALIFORNIA

KTGY # 2013-0141  
06.24.2014  
04.03.2014 3rd SUBMITTAL  
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Left



Key Map  
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Front

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**Color Legend**

Scheme 3

- Stucco Body 1
- Stucco Body 2
- Trim  
(Trim/Fascia/Eaves/Garage Doors)
- Front Doors
- Brick Veneer
- Roof Tile



**A2.30**



**THE TERRACES AT STANFORD RANCH II**

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**BUILDING TYPE D ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141

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Right



Key Map  
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Rear

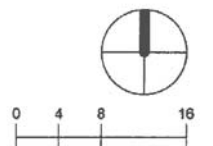
**Material Legend**

1. Stucco with Control Joints
2. Concrete Flat Tile Roof
3. Stucco Foam Trim
4. Brick Veneer
5. Stone Trim
6. Address Signs at Entry Doors
7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**Color Legend**

Scheme 3

- Stucco Body 1
- Stucco Body 2
- Trim  
(Trim/Fascia/Eaves/Garage Doors)
- Front Doors
- Brick Veneer
- Roof Tile



**A2.31**



**THE TERRACES AT STANFORD RANCH II**

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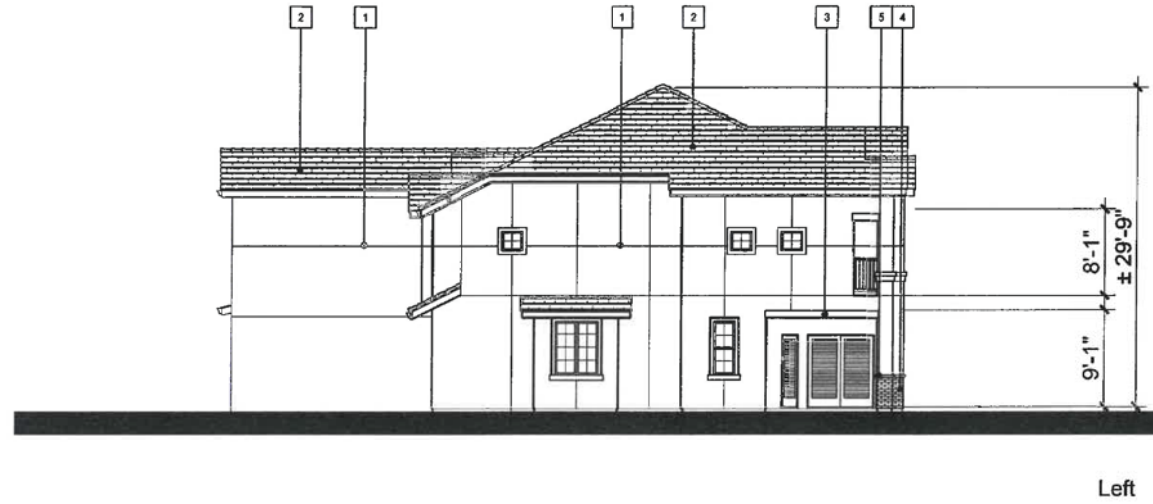
**BUILDING TYPE D ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141

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02.14.2014 2nd SUBMITTAL  
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Left



Key Map  
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Front

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**THE TERRACES AT STANFORD RANCH II**

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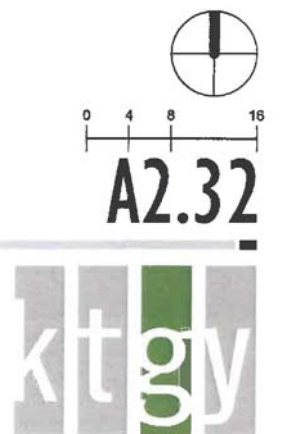
**BUILDING TYPE D.I ELEVATIONS**

ROCKLIN, CALIFORNIA

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**A2.32**



Right



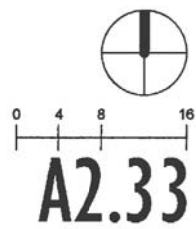
Key Map  
n.t.s.

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15



Rear



**A2.33**

**THE TERRACES AT STANFORD RANCH II**

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**BUILDING TYPE D.1 ELEVATIONS**

ROCKLIN, CALIFORNIA

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Left



Key Map  
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Front

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**THE TERRACES AT STANFORD RANCH II**

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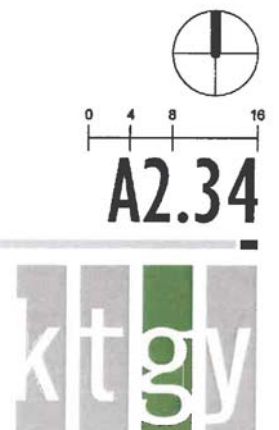
**BUILDING TYPE D.2 ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141

06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Right



Key Map  
n.t.s.

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15



Rear



A2.35



**THE TERRACES AT STANFORD RANCH II**

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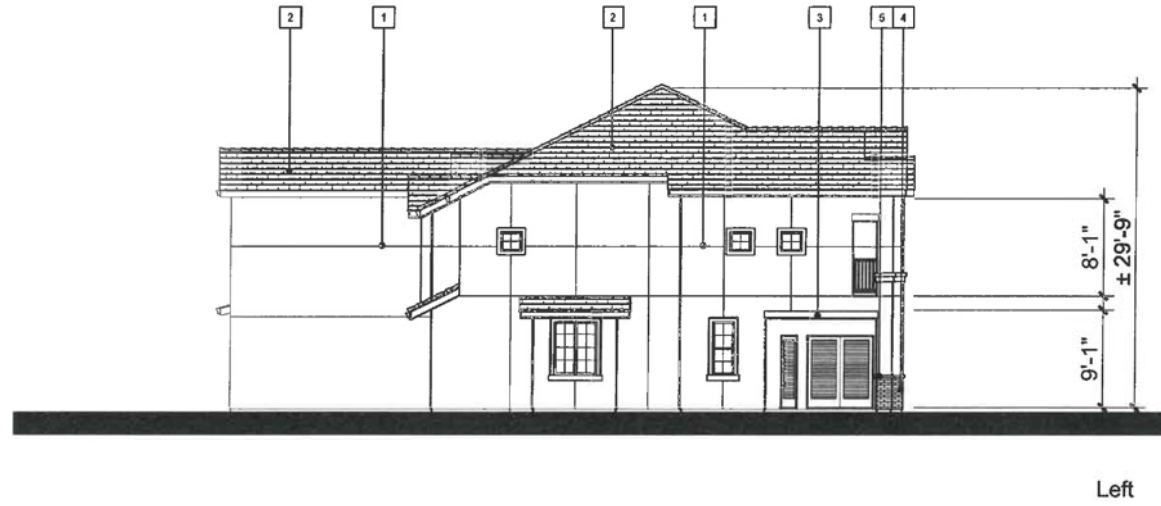
**BUILDING TYPE D.2 ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141

04.26.2014  
04.02.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
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Key Map  
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**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15



**THE TERRACES AT STANFORD RANCH II**

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**BUILDING TYPE D.3 & D.4 ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141  
06.26.2014  
04.02.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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**A2.36**





Right



Key Map  
n.t.s.

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15



Rear



**A2.37**

**THE TERRACES AT STANFORD RANCH II**

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Petaluma, CA 94952  
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**BUILDING TYPE D.3 & D.4 ELEVATIONS**

ROCKLIN, CALIFORNIA

KTG # 2013-0141

06.26.2014  
04.09.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Left



Key Map  
n.t.s.



Front

## THE TERRACES AT STANFORD RANCH II

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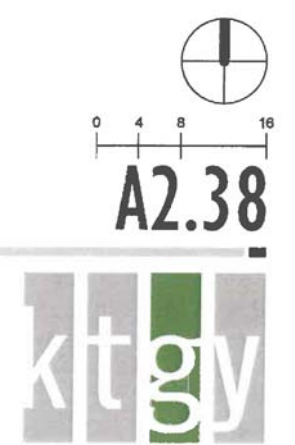
## BUILDING TYPE D.5 ELEVATIONS

ROCKLIN, CALIFORNIA

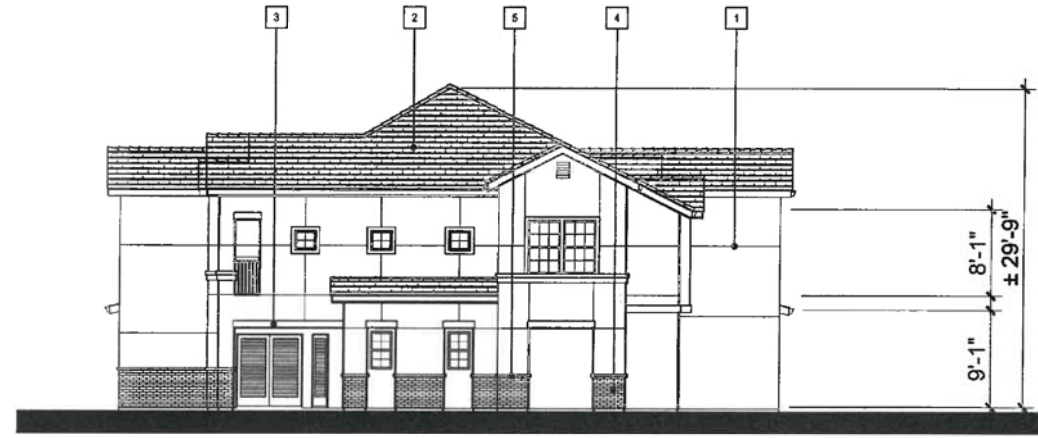
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02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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A2.38



Right



Key Map  
n.t.s.



Rear

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**THE TERRACES AT STANFORD RANCH II**

Golden State Lumber  
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Petaluma, CA 94952  
707.206.4040

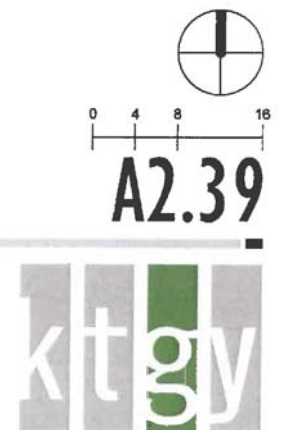
**BUILDING TYPE D.5 ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141

06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Left



Key Map  
n.t.s.

**Material Legend**

1. Stucco with Control Joints
2. Concrete Flat Tile Roof
3. Stucco Foam Trim
4. Brick Veneer
5. Stone Trim
6. Address Signs at Entry Doors
7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**Color Legend**

Scheme 3

- Stucco Body 1
- Stucco Body 2
- Trim (Trim/Fascia/Eaves/Garage Doors)
- Front Doors
- Brick Veneer
- Roof Tile



Front

**THE TERRACES AT STANFORD RANCH II**

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Petaluma, CA 94952  
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**BUILDING TYPE E ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141

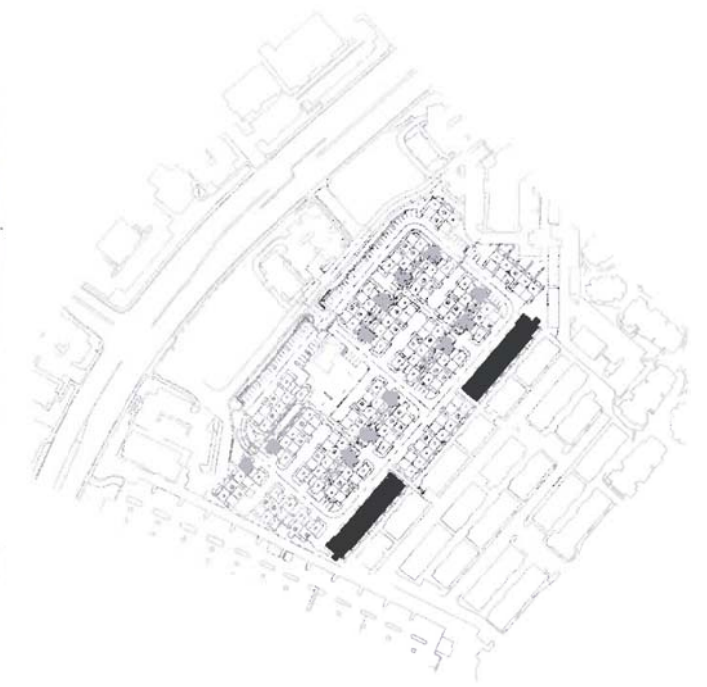
06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Right



Key Map  
n.t.s.

**Material Legend**

1. Stucco with Control Joints
2. Concrete Flat Tile Roof
3. Stucco Foam Trim
4. Brick Veneer
5. Stone Trim
6. Address Signs at Entry Doors
7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15

**Color Legend**

Scheme 3

- Stucco Body 1
- Stucco Body 2
- Trim (Trim/Fascia/Eaves/Garage Doors)
- Front Doors
- Brick Veneer
- Roof Tile



Rear

**THE TERRACES AT STANFORD RANCH II**

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**BUILDING TYPE E ELEVATIONS**

ROCKLIN, CALIFORNIA

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Left



Key Map  
n.t.s.

**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15



Front



**A2.42**

**THE TERRACES AT STANFORD RANCH II**

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Petaluma, CA 94952  
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**BUILDING TYPE E.I ELEVATIONS**

ROCKLIN, CALIFORNIA

KTGY # 2013-0141  
06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Oakland, CA 94607  
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Key Map  
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**Material Legend**

- 1. Stucco with Control Joints
- 2. Concrete Flat Tile Roof
- 3. Stucco Foam Trim
- 4. Brick Veneer
- 5. Stone Trim
- 6. Address Signs at Entry Doors
- 7. Porch Lights By Seagull Lighting, Model No. 8938DBL-15



**THE TERRACES AT STANFORD RANCH II**

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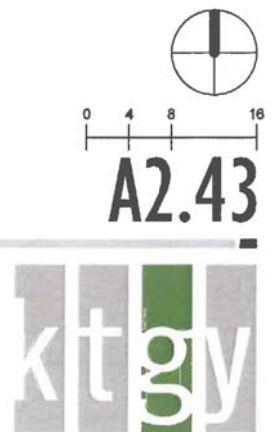
**BUILDING TYPE E.1 ELEVATIONS**

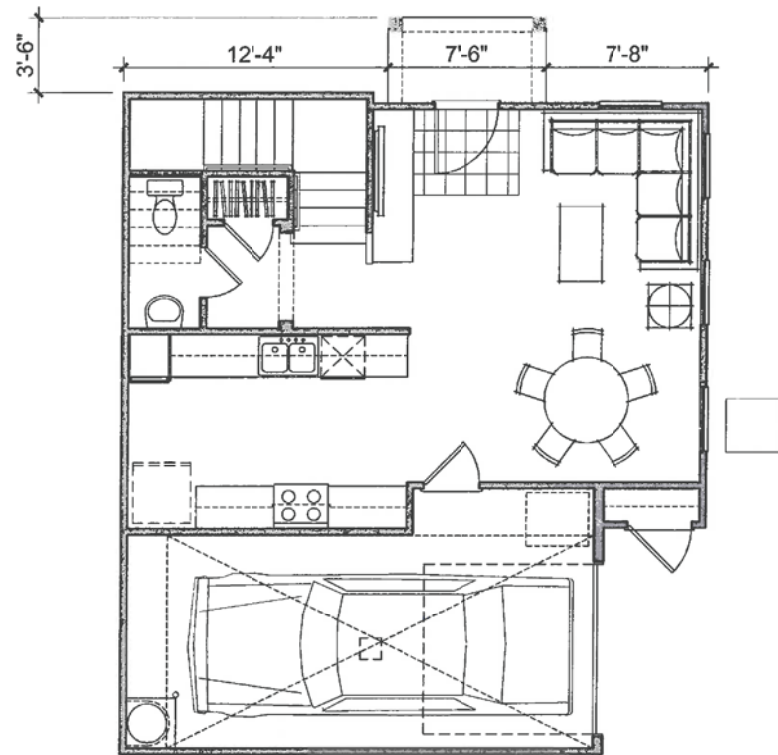
ROCKLIN, CALIFORNIA

KTGY # 2013-0141

06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

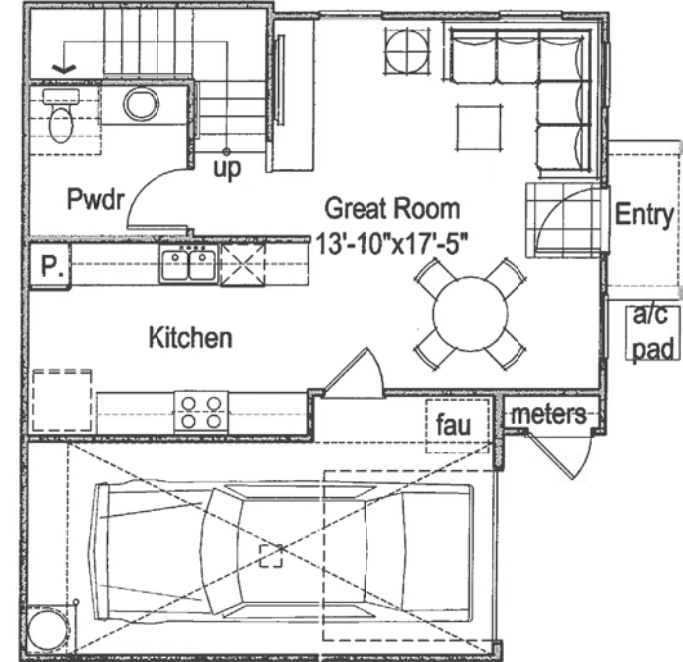
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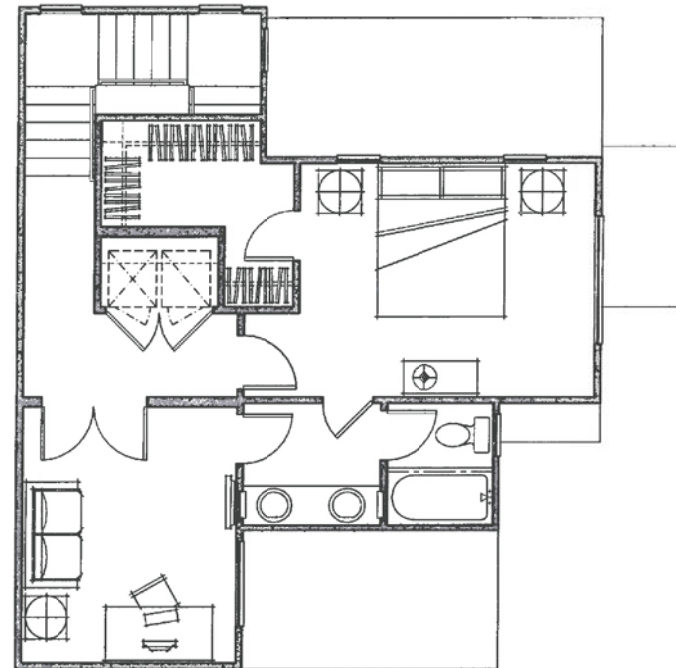
**Unit Plan 1.3 First Floor Plan**

Unit Plan 1.4 Similar as Accessible Unit  
Reference Plan 1.1 for Second Floor

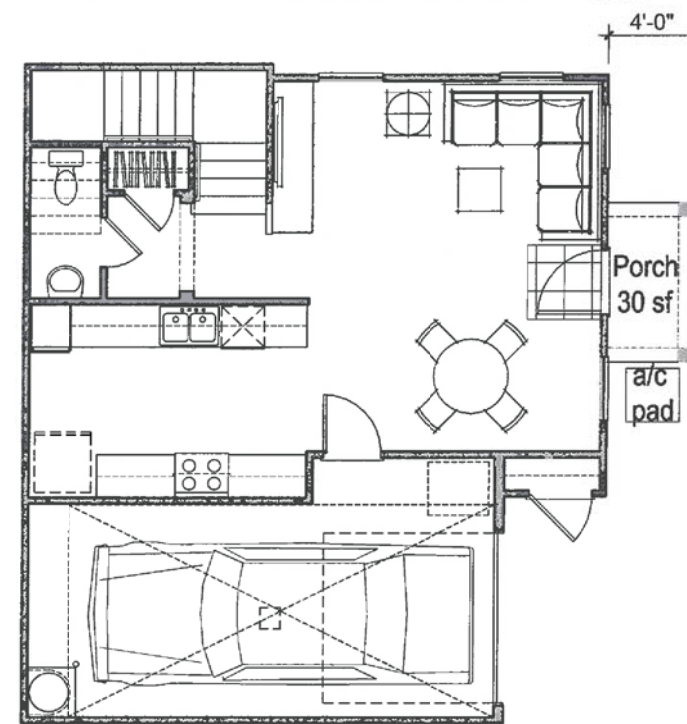


**Unit Plan 1.2 First Floor Plan**

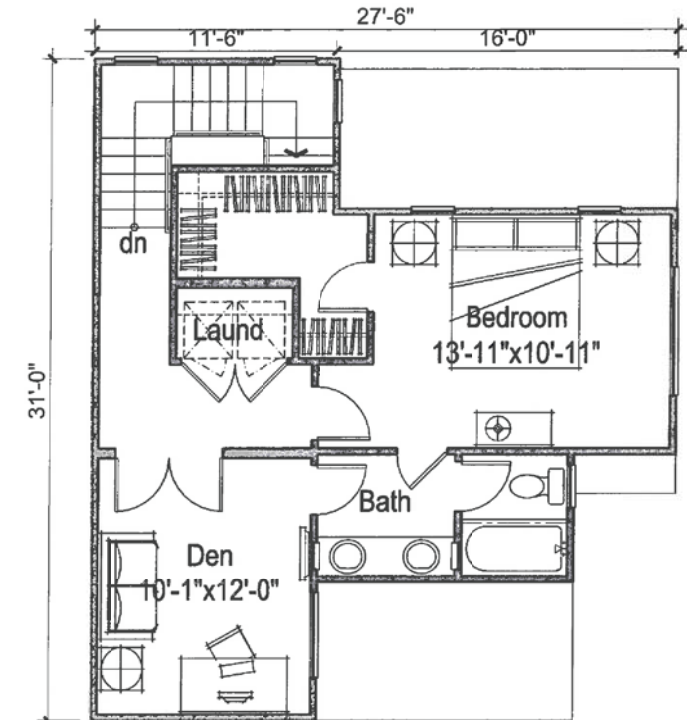
Accessible Unit  
Reference Plan 1.1 for Second Floor



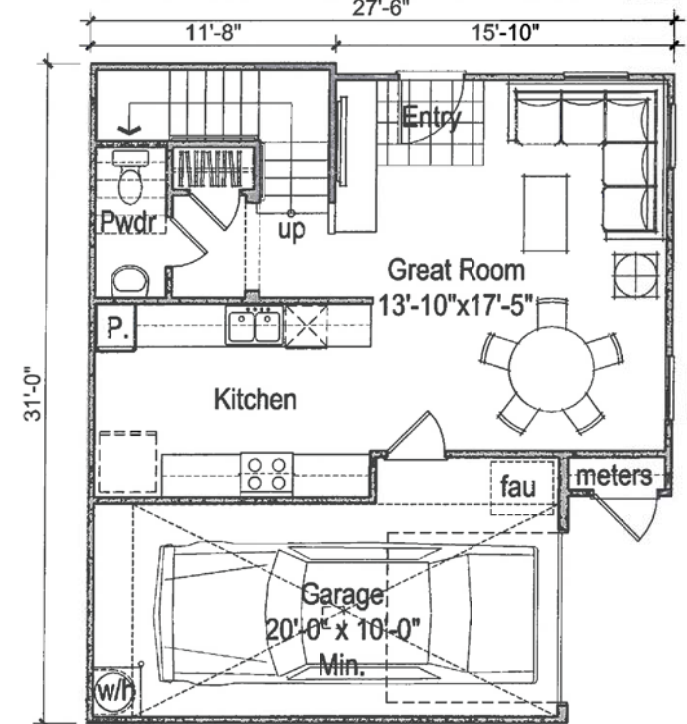
**Unit Plan 1.1 Second Floor Plan**



**Unit Plan 1.1 First Floor Plan**



**Unit Plan 1 Second Floor Plan**



**Unit Plan 1 First Floor Plan**

1 Bedroom + Den, 1.5 Bathrooms  
1,021 net square feet

0 2 4 8  
**A3.00**

**THE TERRACES AT STANFORD RANCH II**

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Petaluma, CA 94952  
707.206.4040

**UNIT PLAN I FLOOR PLANS**

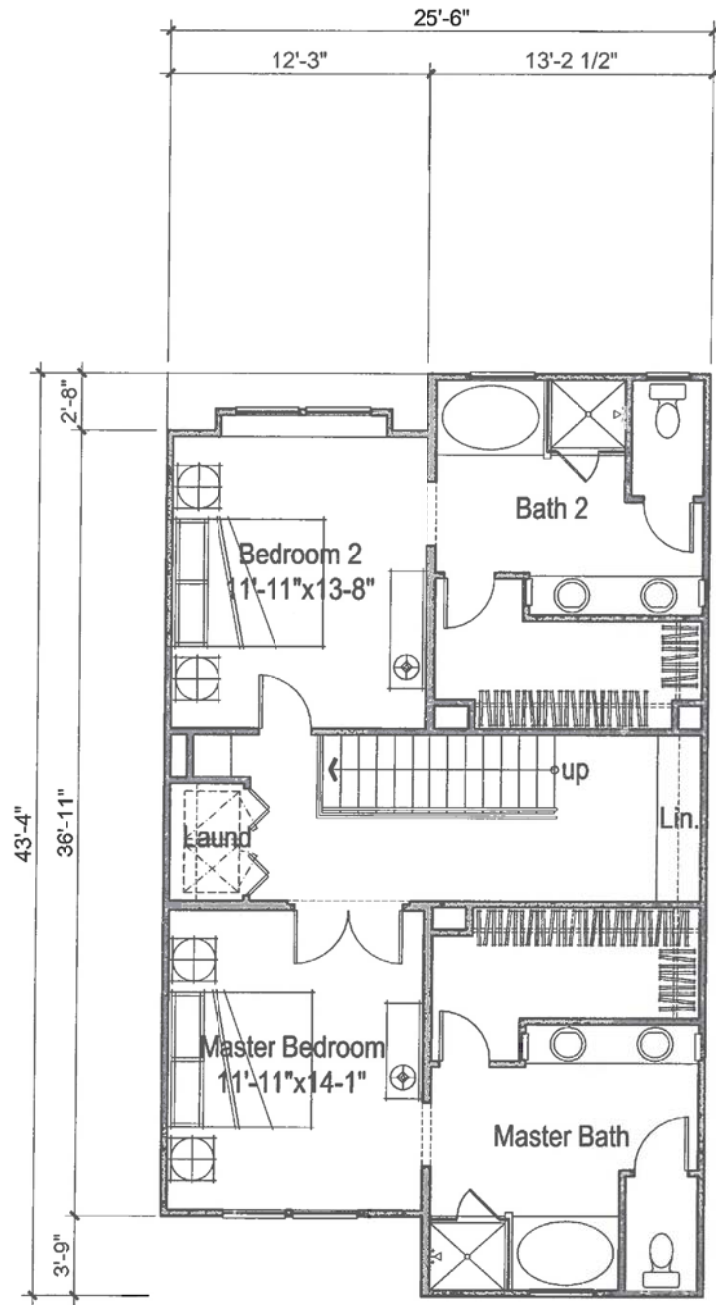
ROCKLIN, CALIFORNIA  
KTGF # 2013-0141

06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

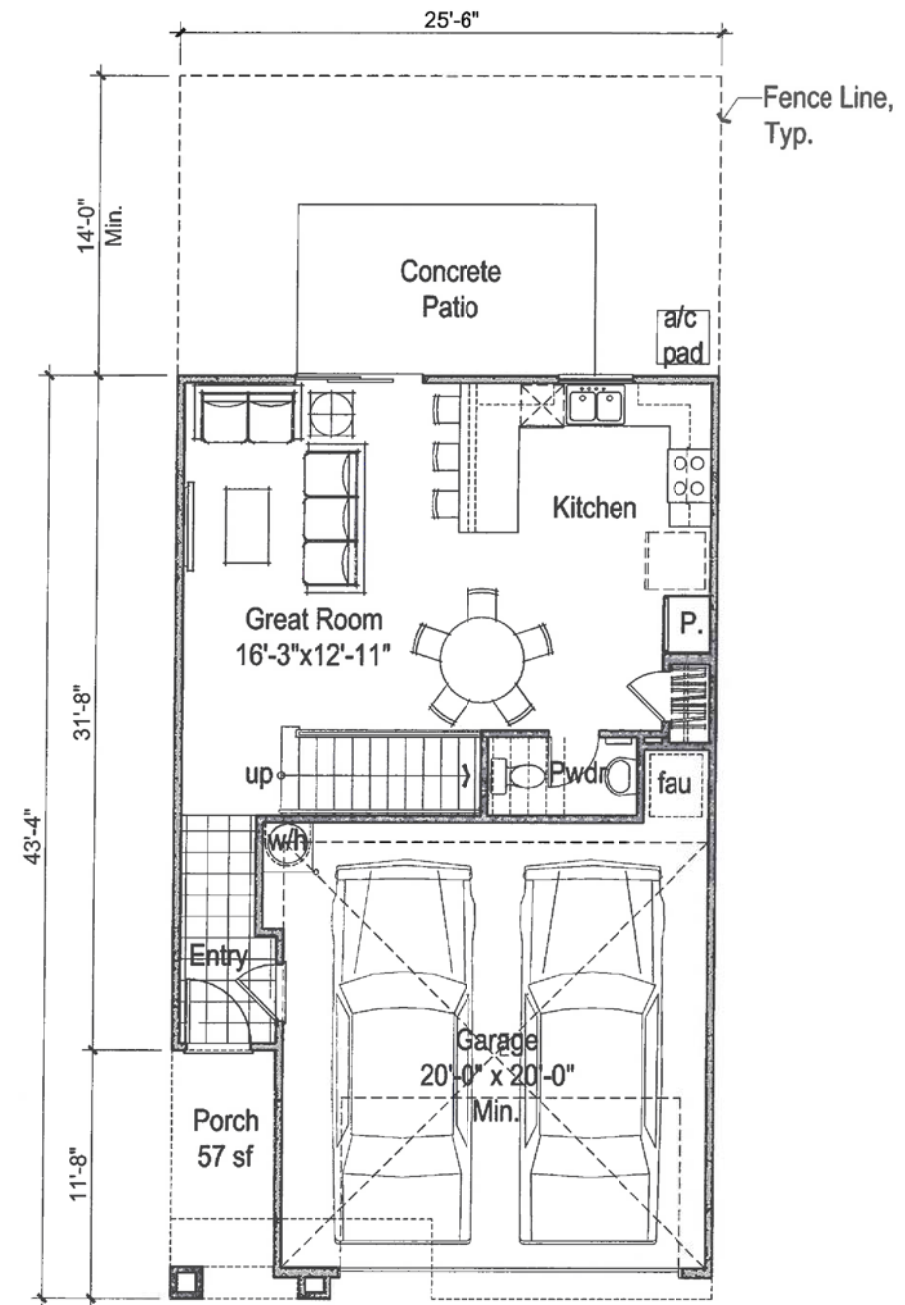
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Architecture+Planning  
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Oakland, CA 94607  
510.272.2910  
ktgy.com







Second Floor Plan



First Floor Plan

2 Bedrooms, 2.5 Bathrooms  
1,502 net square feet

0 2 4 8  
**A3.10**

**THE TERRACES AT STANFORD RANCH II**

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Petaluma, CA 94952  
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**UNIT PLAN 2 FLOOR PLANS**

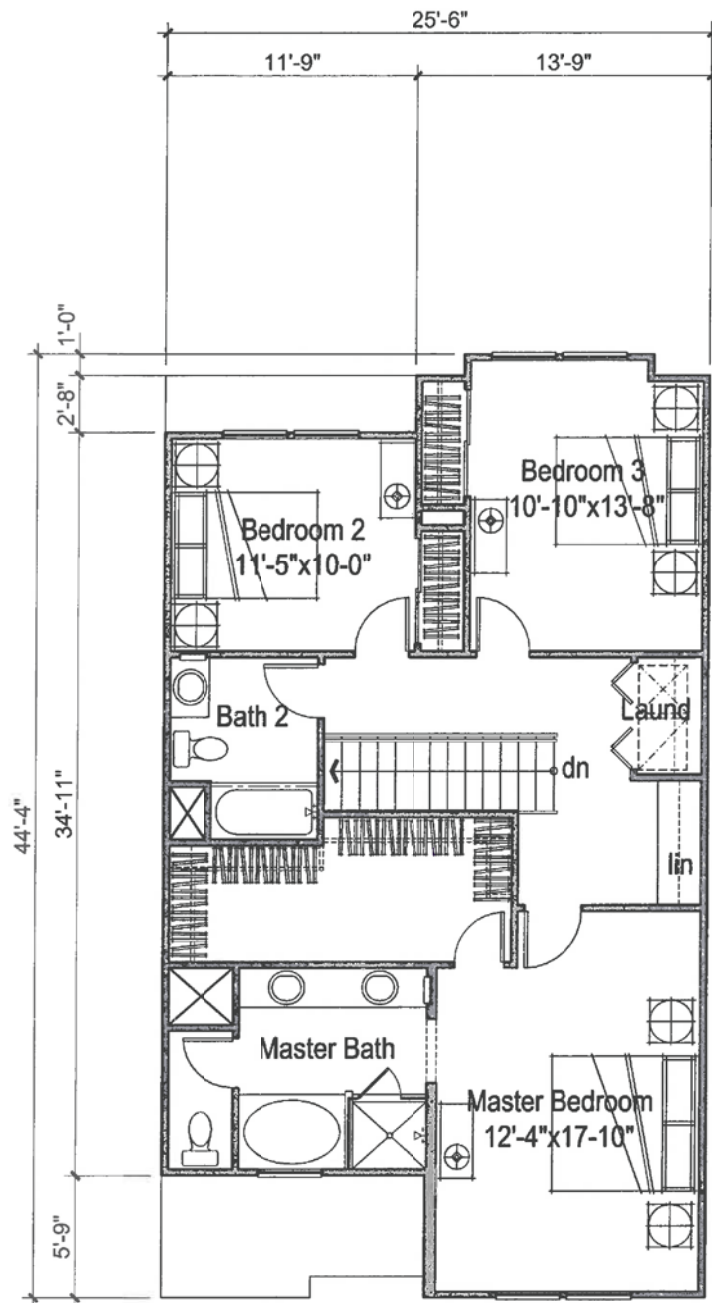
ROCKLIN, CALIFORNIA

KTGY # 2013-0141

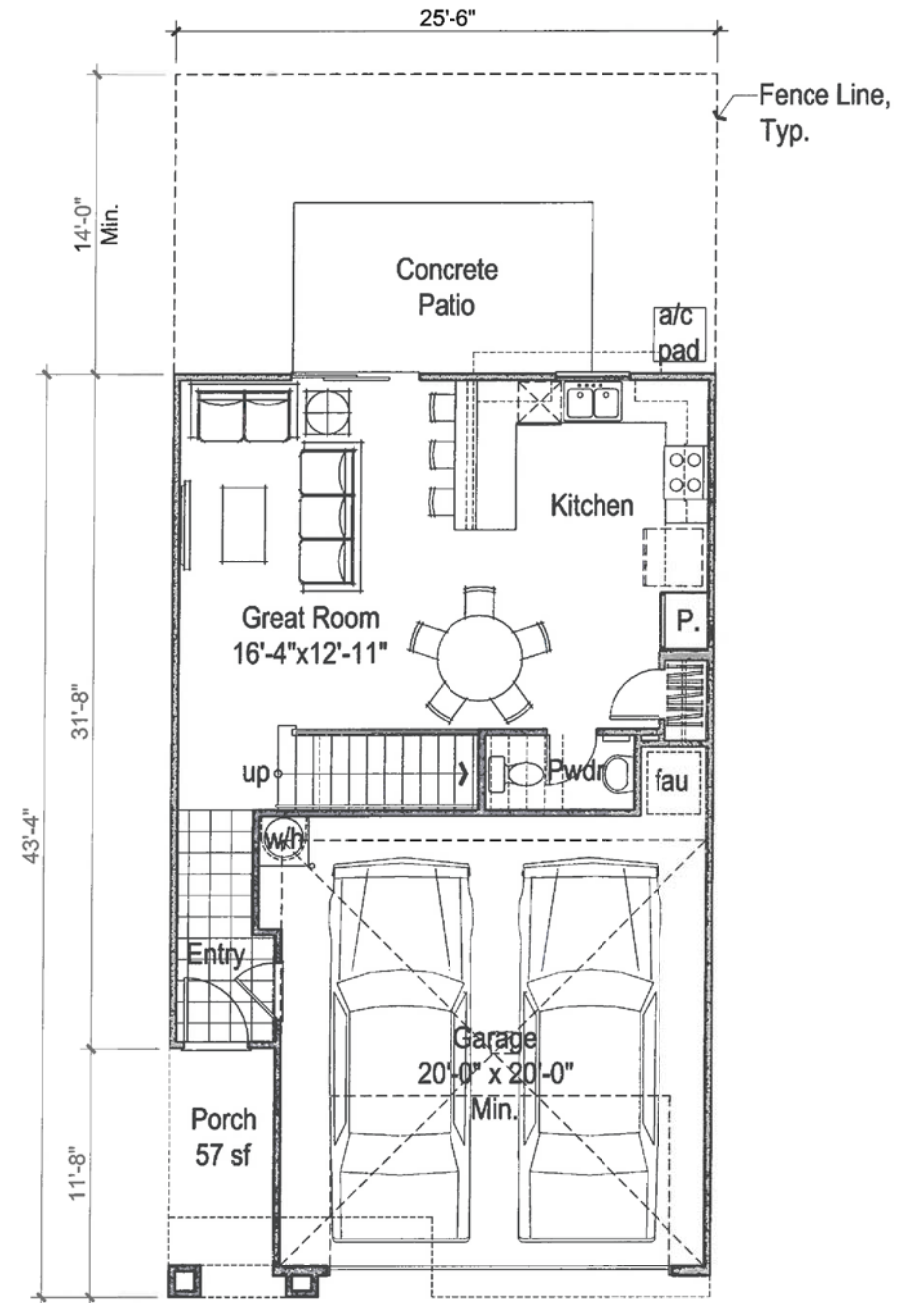
06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Second Floor Plan



First Floor Plan

3 Bedrooms, 2.5 Bathrooms  
1,502 net square feet

UNIT PLAN 3 FLOOR PLANS

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04.26.2014  
04.02.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

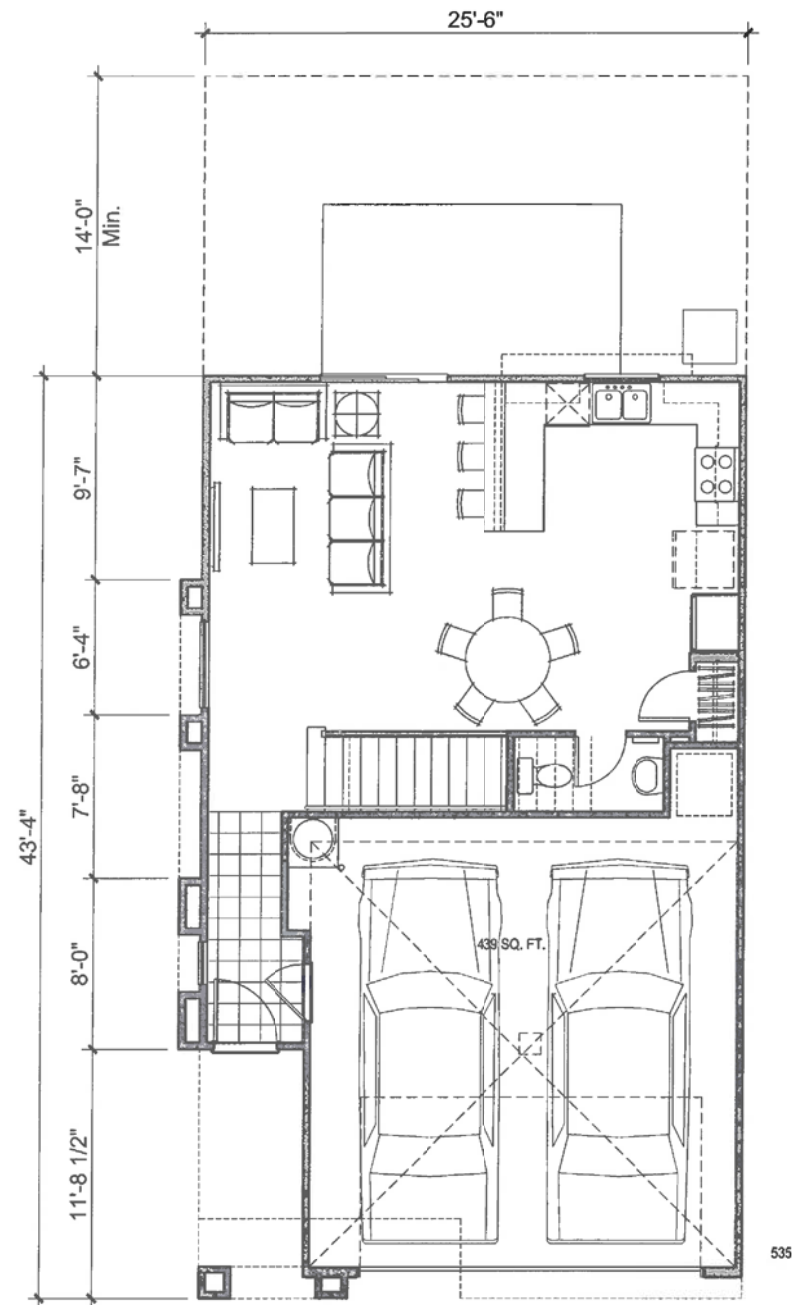
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0 2 4 8  
A3.20

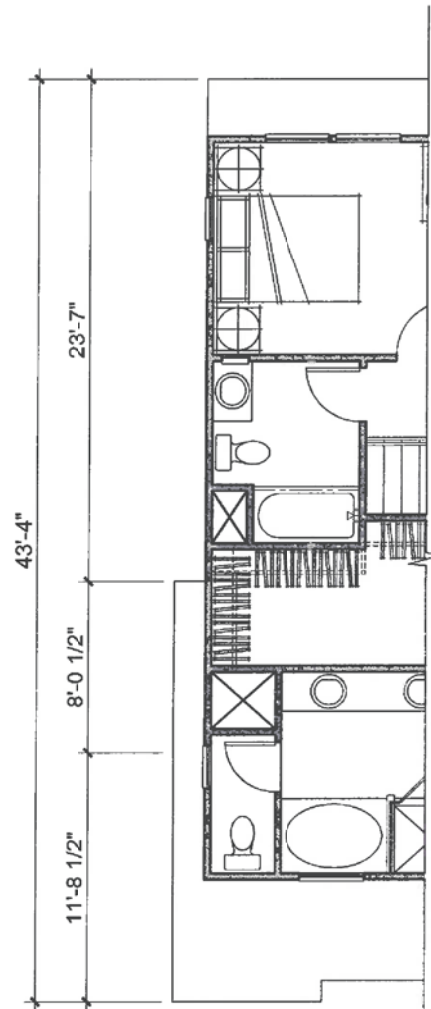


THE TERRACES AT STANFORD RANCH II

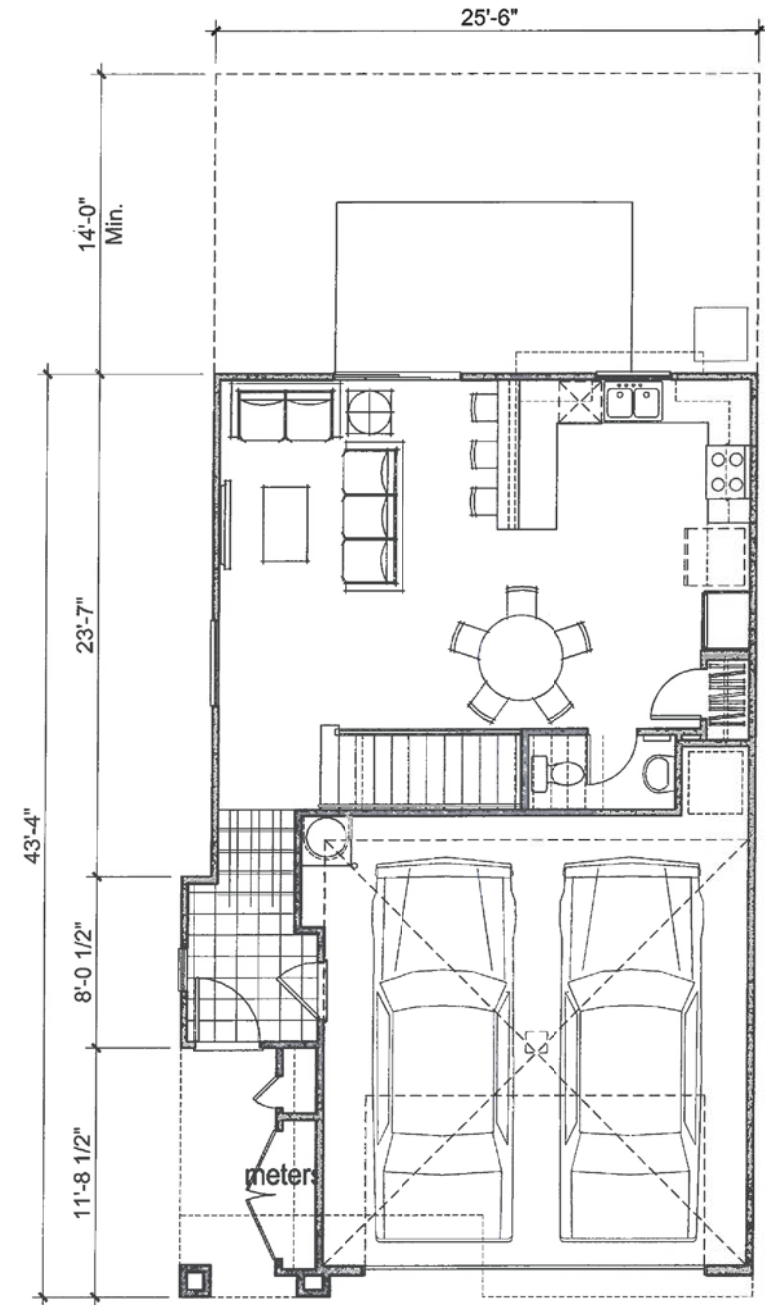
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Petaluma, CA 94952  
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Unit Plan 3.2  
For Second Floor Plan  
Reference Unit Plan 3.3



Unit Plan 3.1  
Second Floor Plan



Unit Plan 3.1 First Floor Plan

**THE TERRACES AT STANFORD RANCH II**

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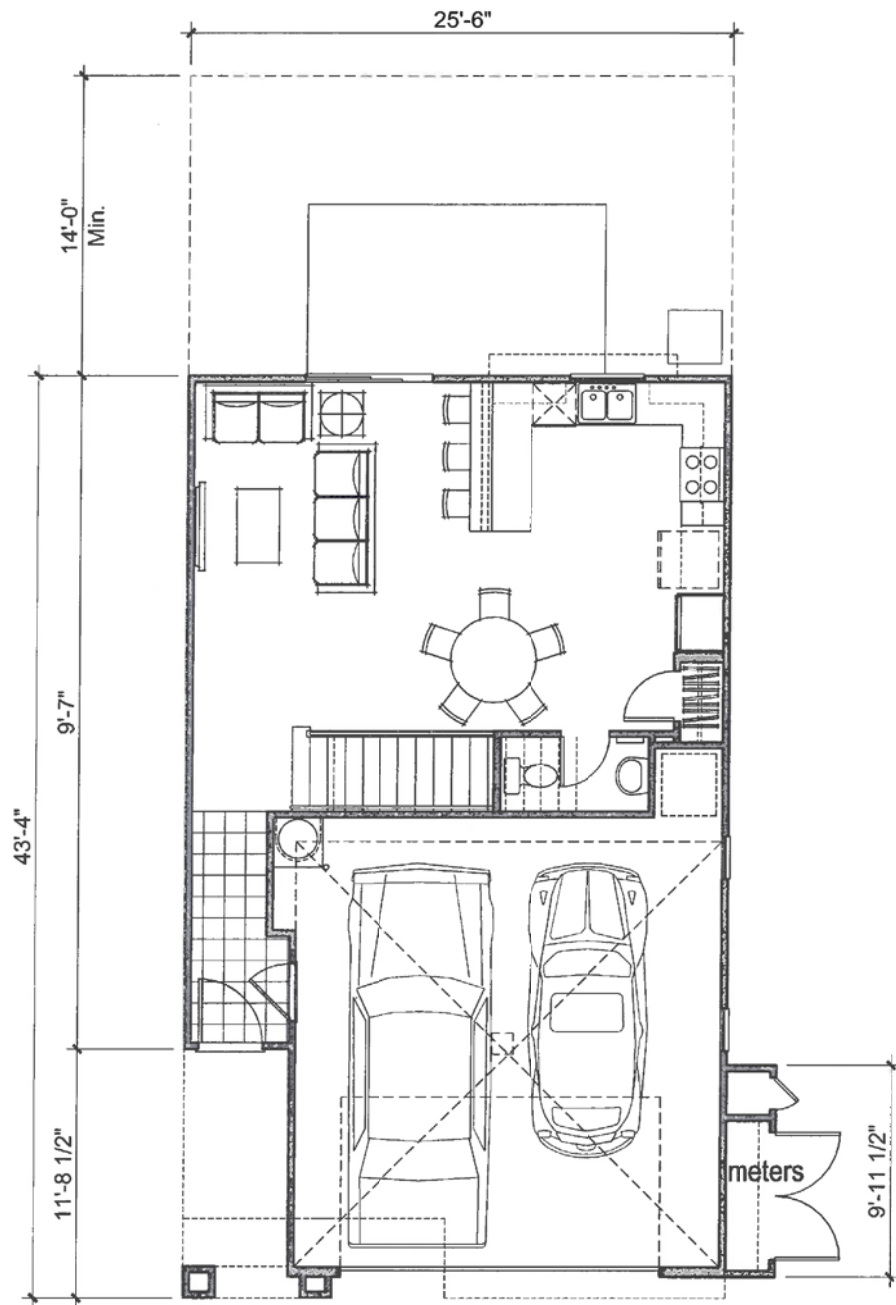
**UNIT PLAN 3.1 & 3.2 FLOOR PLANS**

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KTGY # 2013-0141

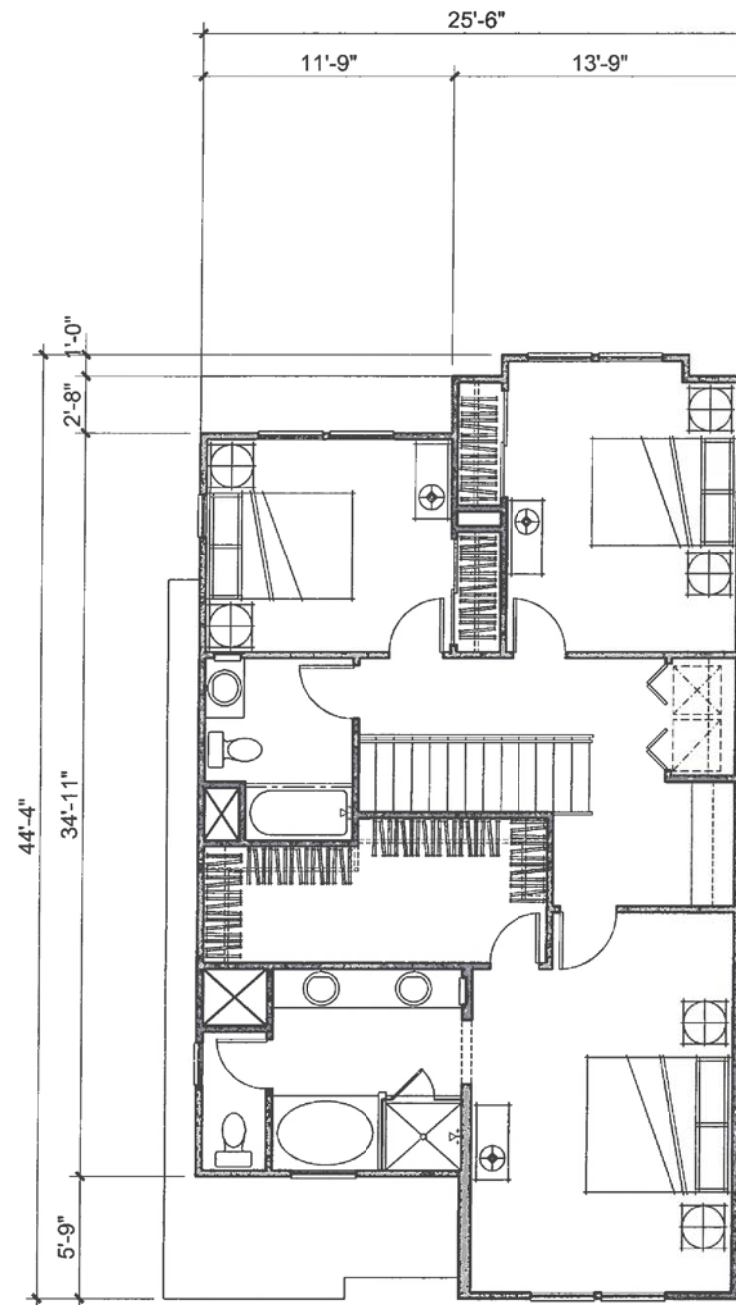
04.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
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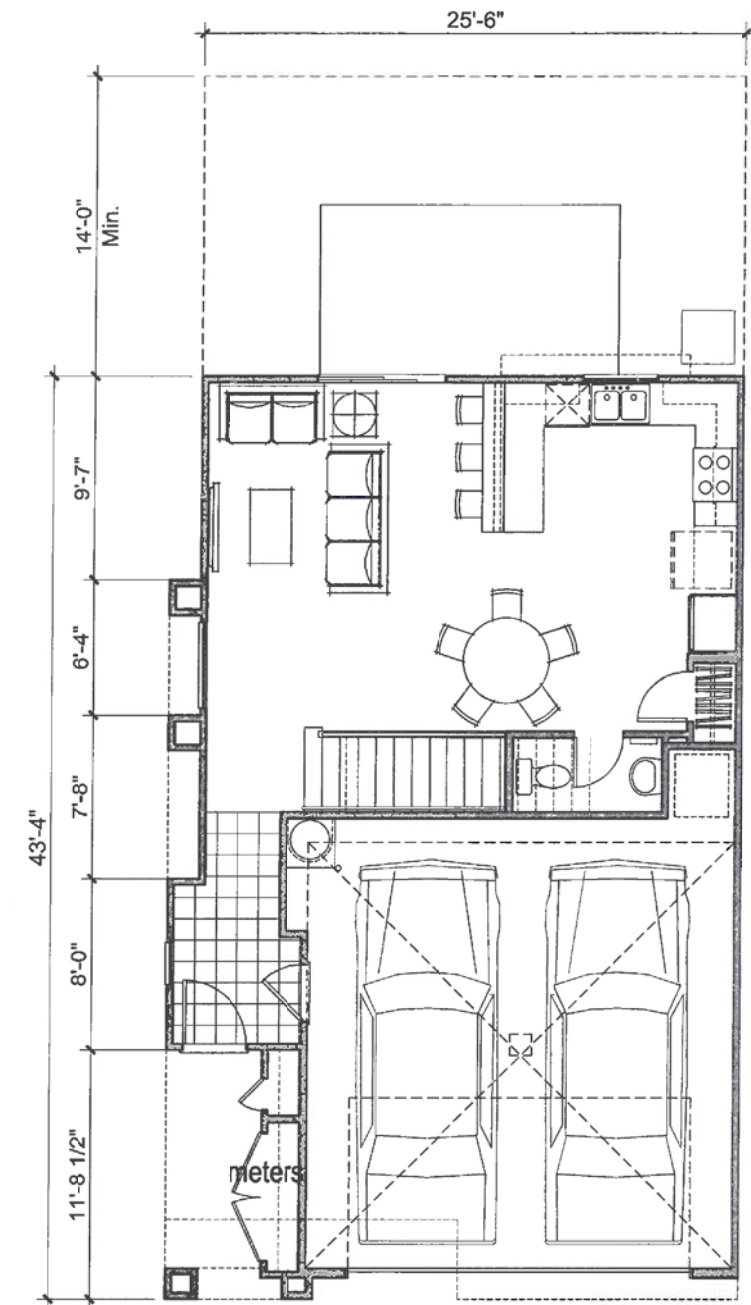




Unit Plan 3.4  
For Second Floor Plan  
Reference Unit Plan 3



Unit Plan 3.3  
Second Floor Plan



Unit Plan 3.3  
First Floor Plan

**THE TERRACES AT STANFORD RANCH II**

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**UNIT PLAN 3.3 & 3.4 FLOOR PLANS**

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## UNIT PLAN 3.5 FLOOR PLANS

ROCKLIN, CALIFORNIA

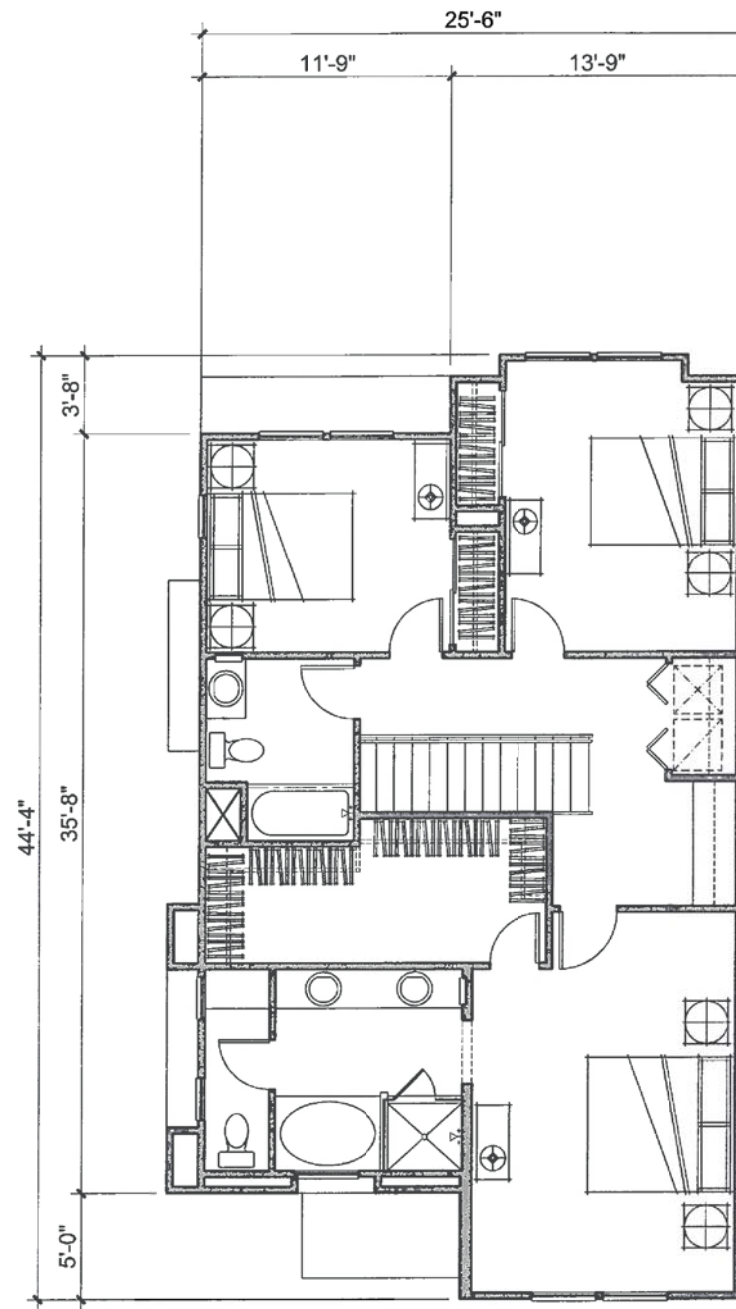
KTYG # 2013-0141

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04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

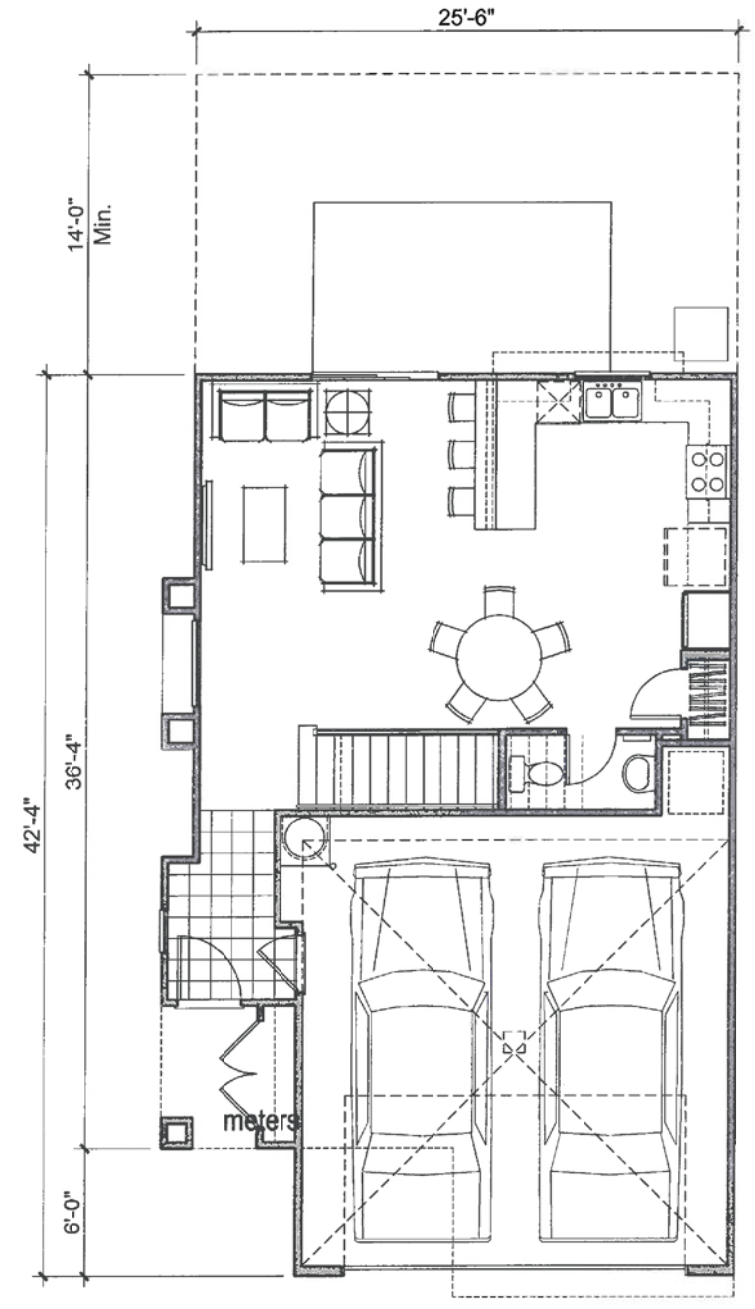
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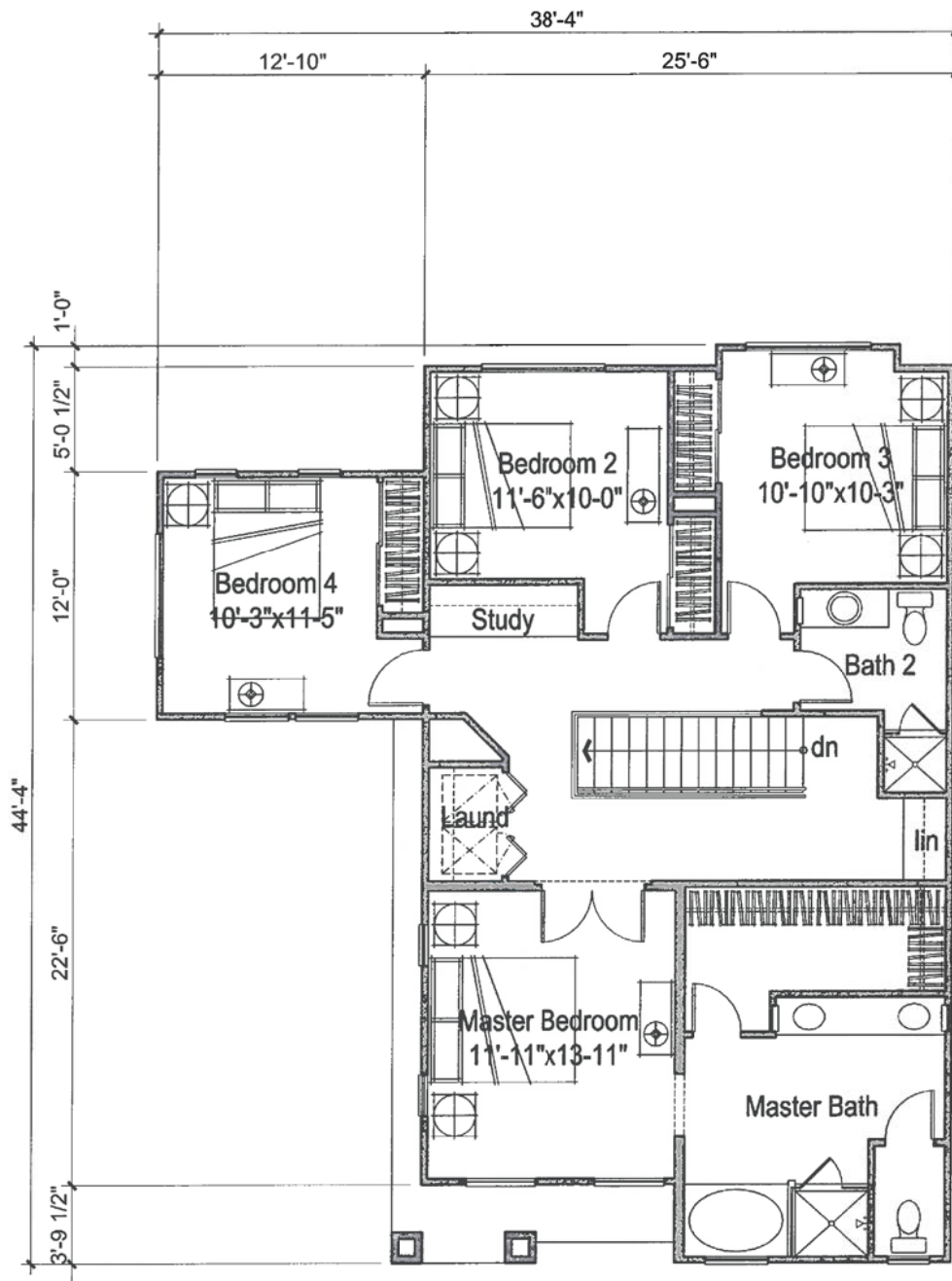
0 2 4 8  
A3.23



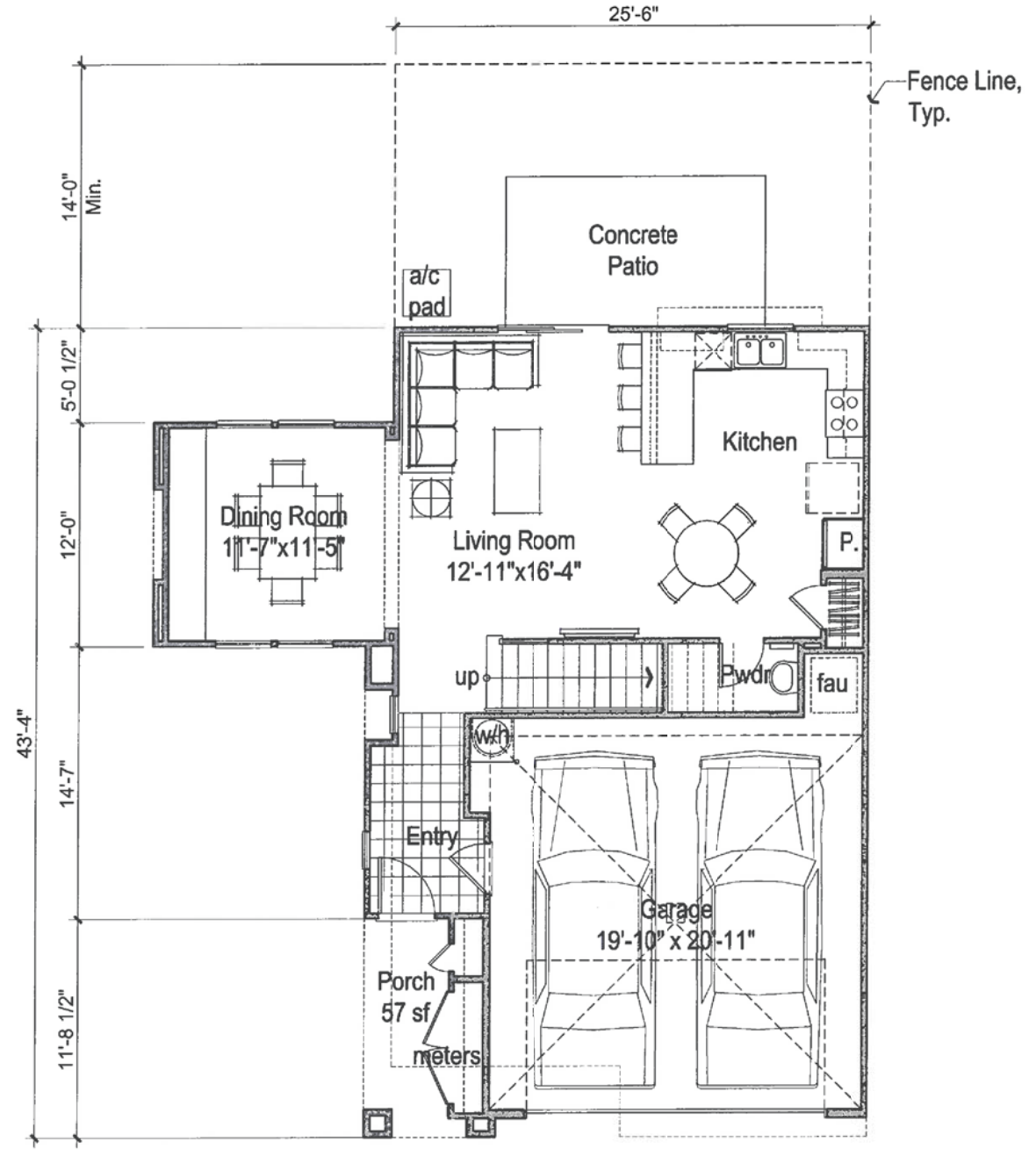
Second Floor Plan



First Floor Plan



Second Floor Plan



First Floor Plan

3 Bedrooms, 2.5 Bathrooms  
1,840 net square feet

**THE TERRACES AT STANFORD RANCH II**

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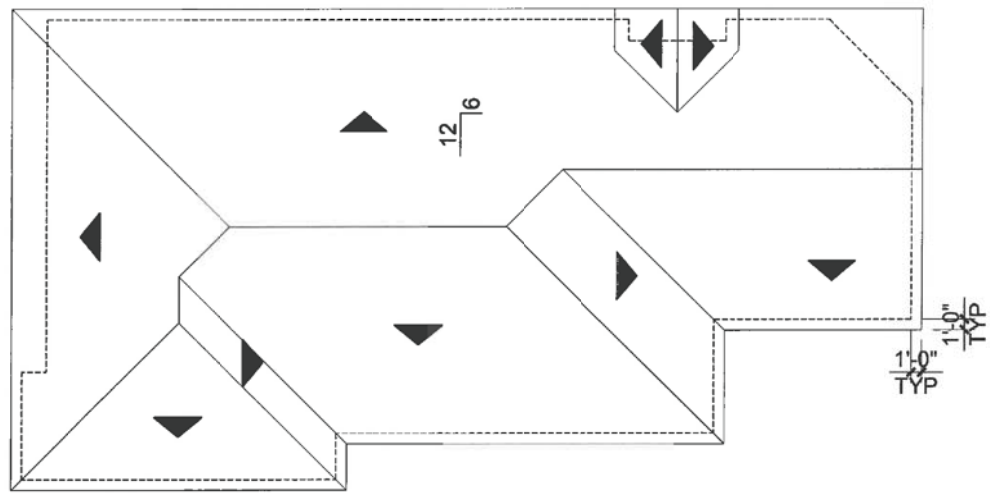
**UNIT PLAN 4 FLOOR PLANS**

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KTGY # 2013-0141

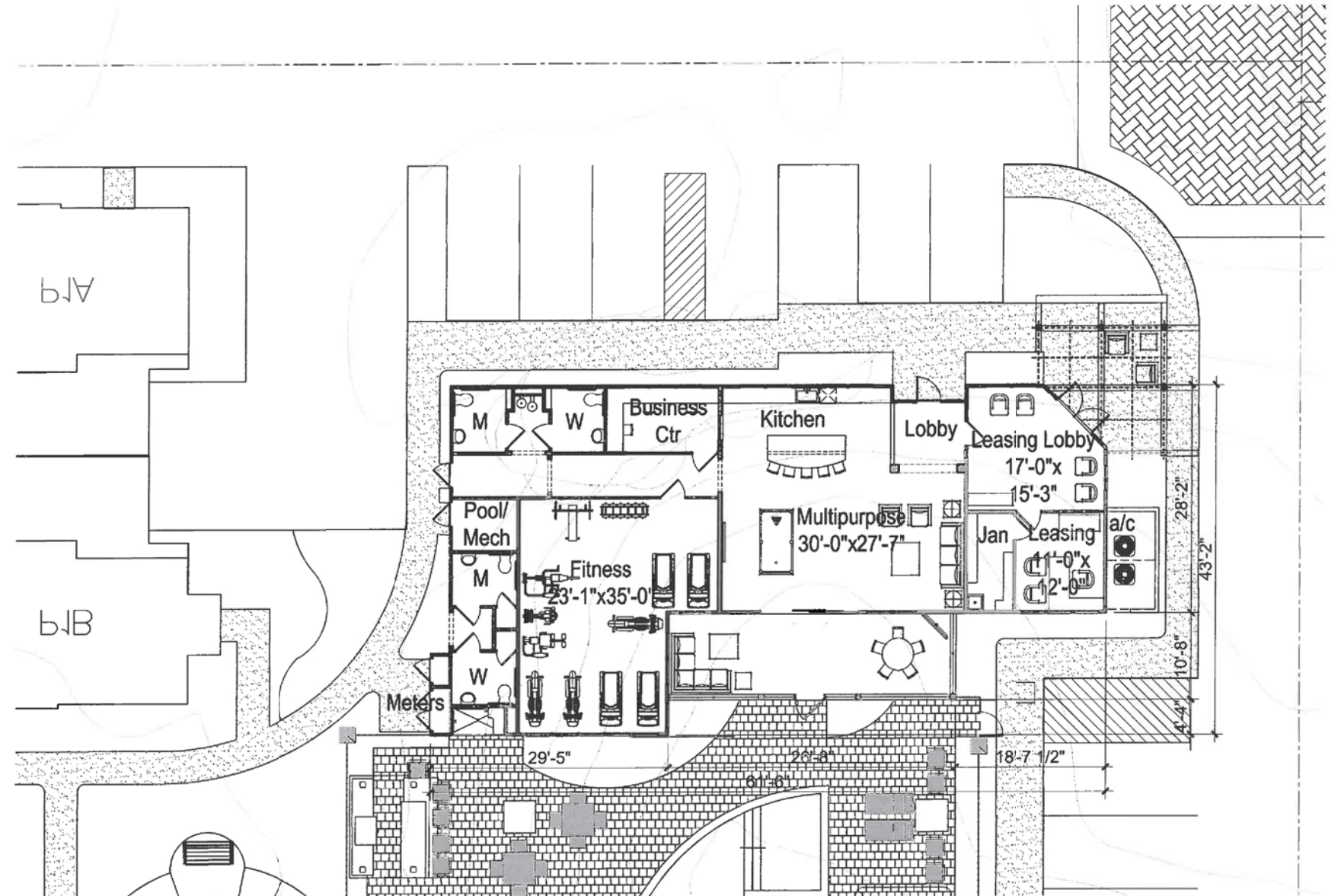
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02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Roof Plan



Floor Plan  
2,646 gross square feet

## THE TERRACES AT STANFORD RANCH II

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## RECREATION CENTER FLOOR PLANS

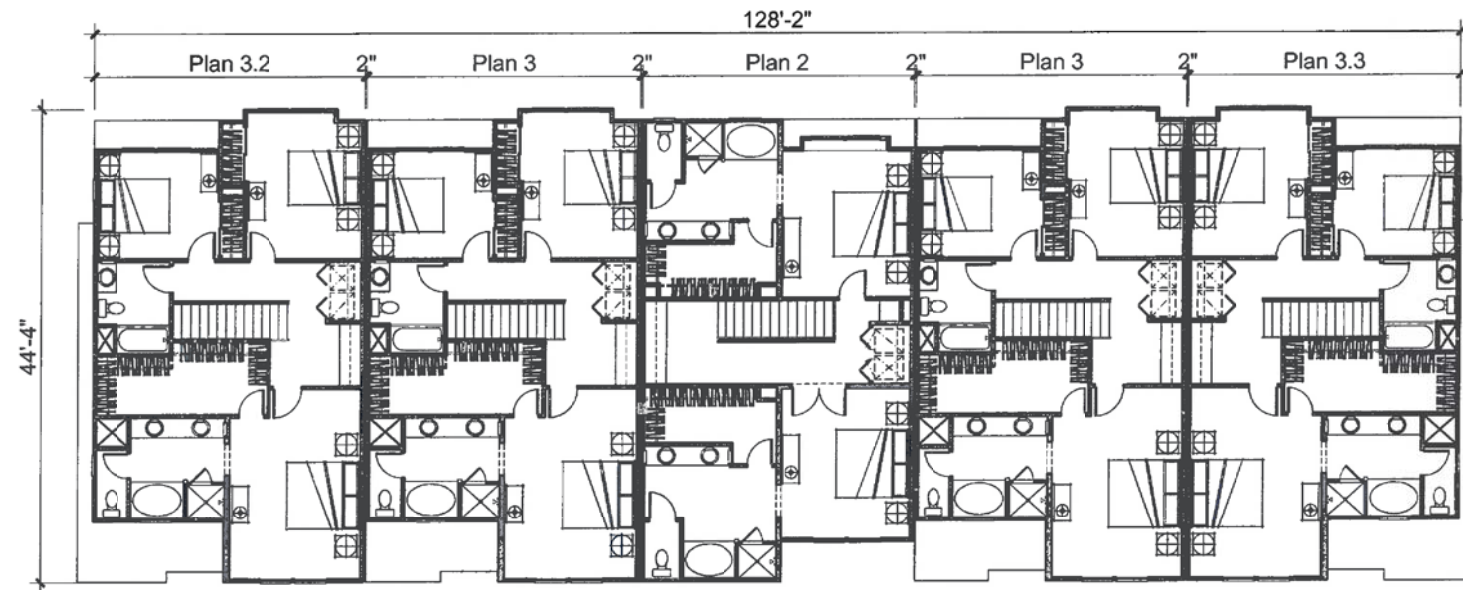
ROCKLIN, CALIFORNIA

KTGY # 2013-0141

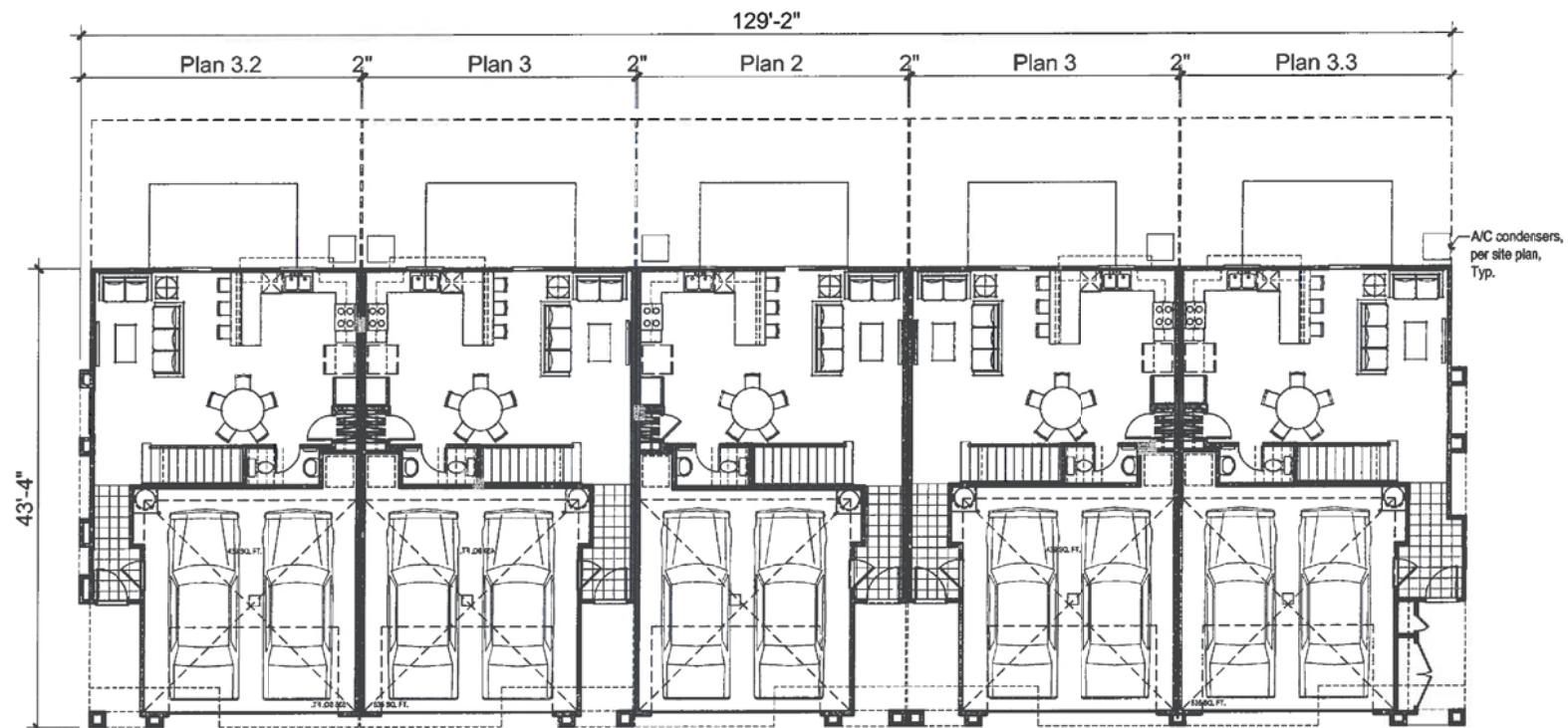
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08.15.2013 1st SUBMITTAL

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Second Floor Plan



First Floor Plan



Key Map  
n.t.s.



## THE TERRACES AT STANFORD RANCH II

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## BUILDING TYPE A FLOOR PLANS

ROCKLIN, CALIFORNIA

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02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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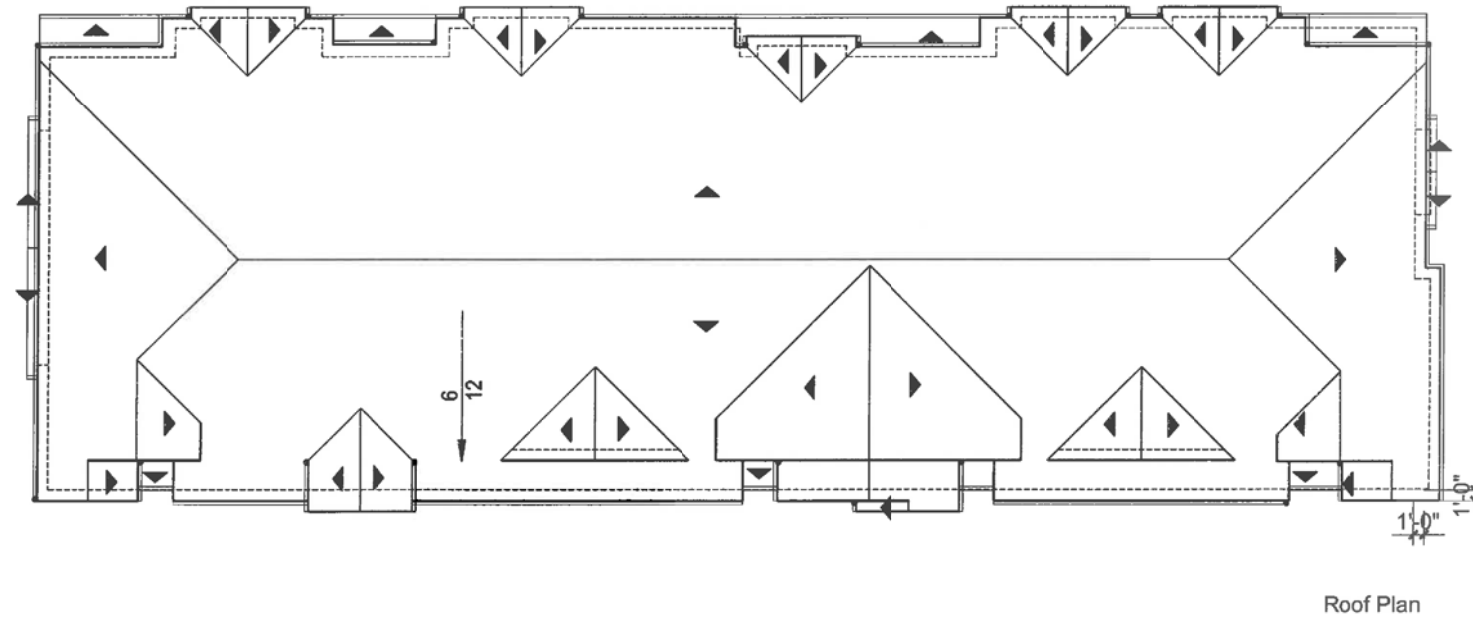
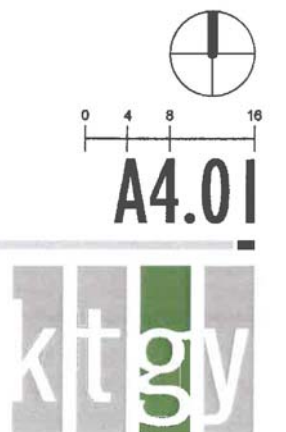
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ROCKLIN, CALIFORNIA

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02.14.2014 2nd SUBMITTAL  
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Key Map  
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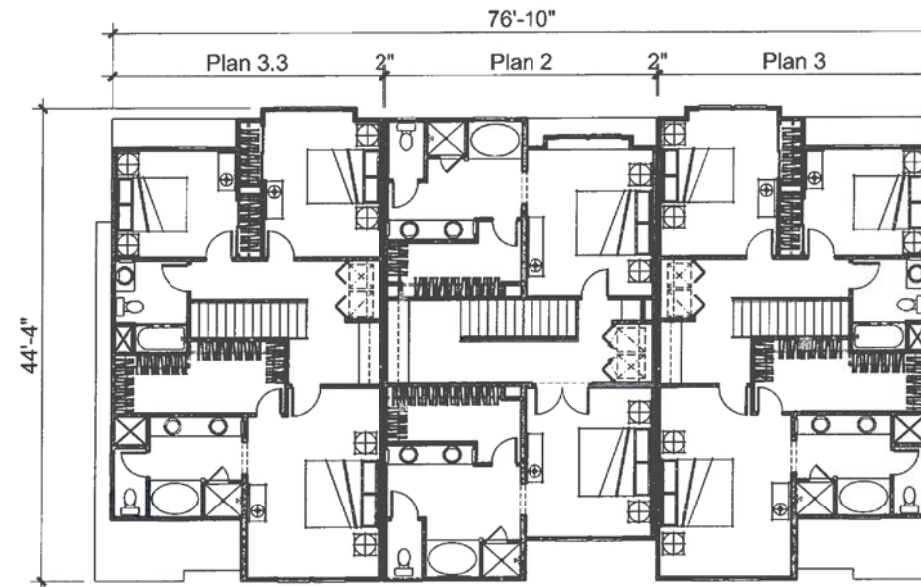
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ROCKLIN, CALIFORNIA

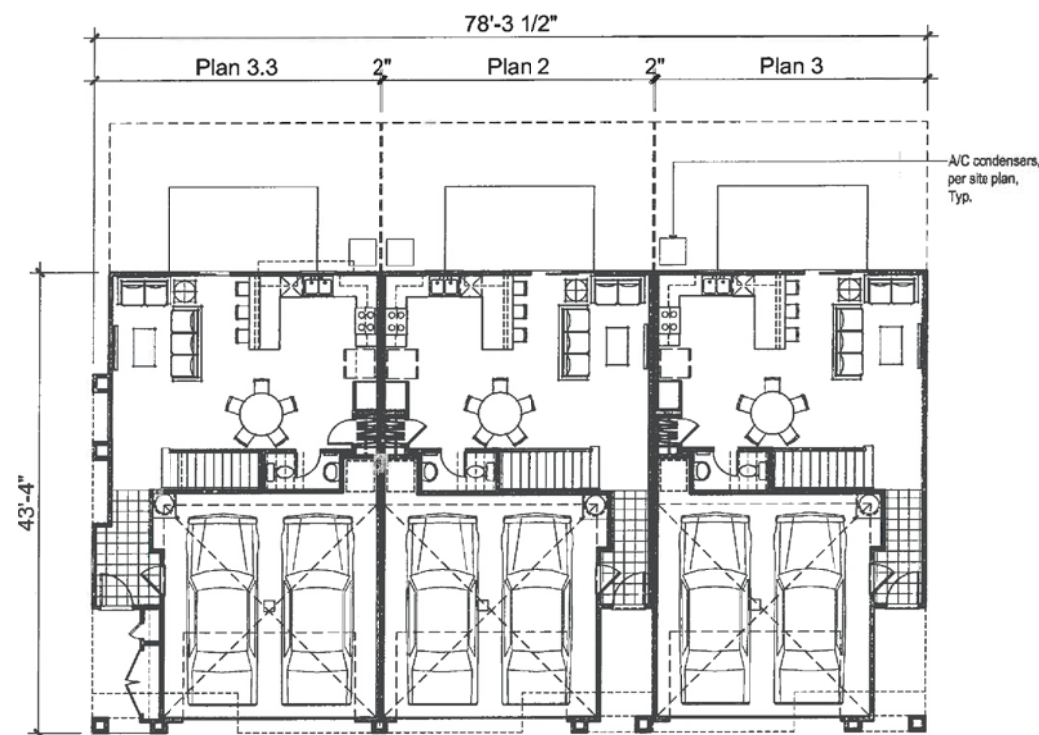
KTYG # 2013-0141

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04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

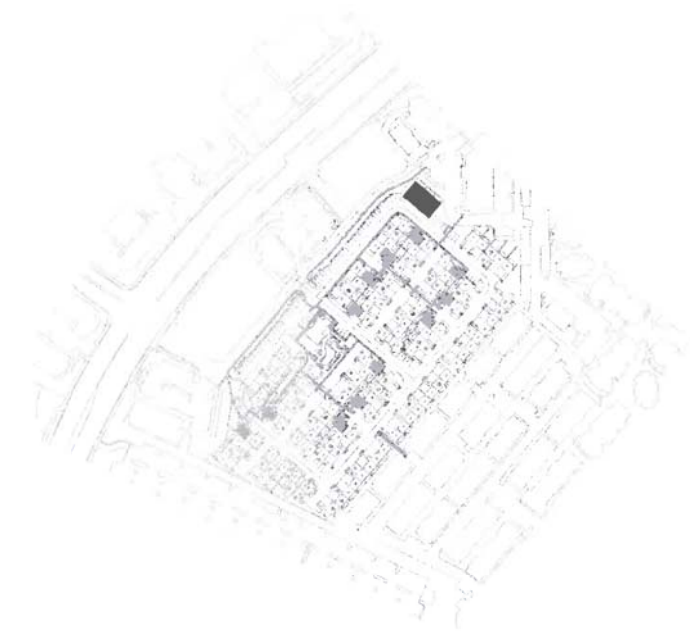
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Second Floor Plan



First Floor Plan



Key Map  
n.t.s.

# THE TERRACES AT STANFORD RANCH II

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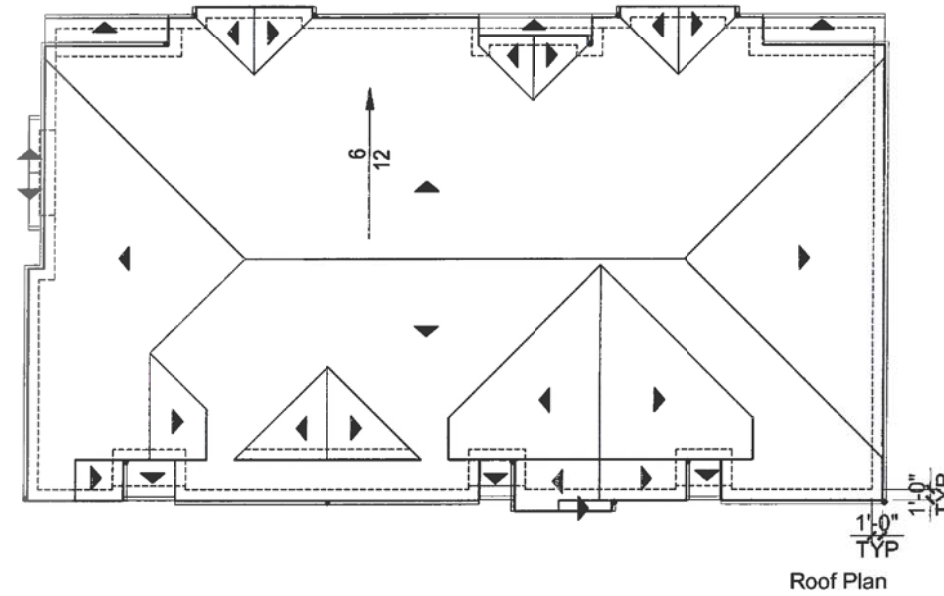
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ROCKLIN, CALIFORNIA

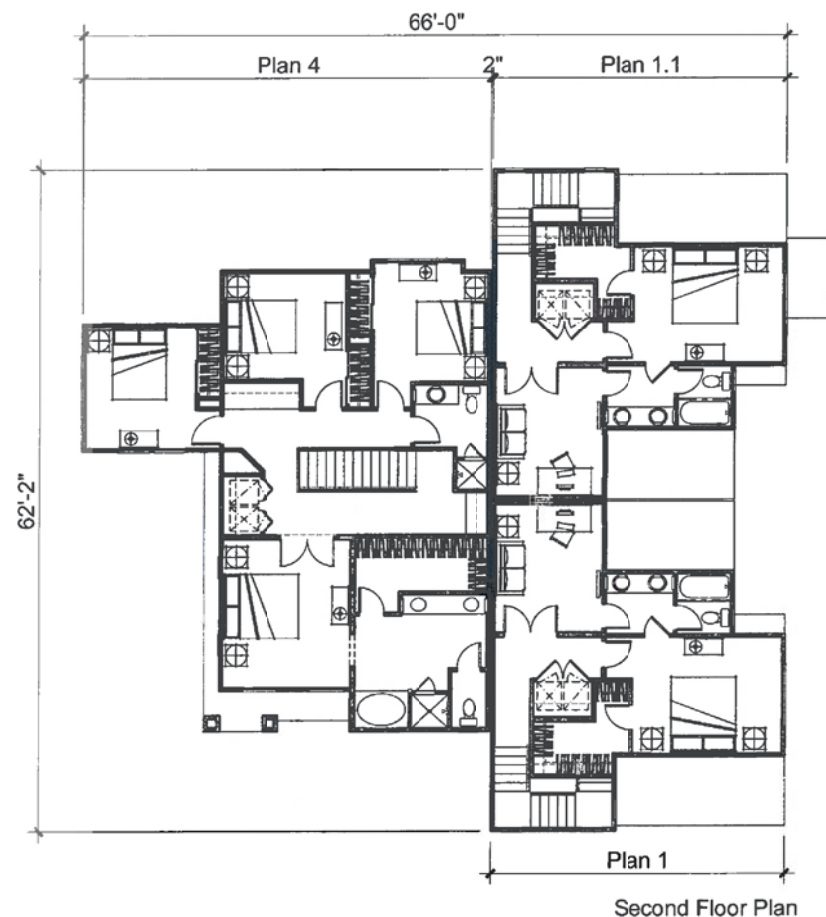
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04.03.2014 3rd SUBMITTAL  
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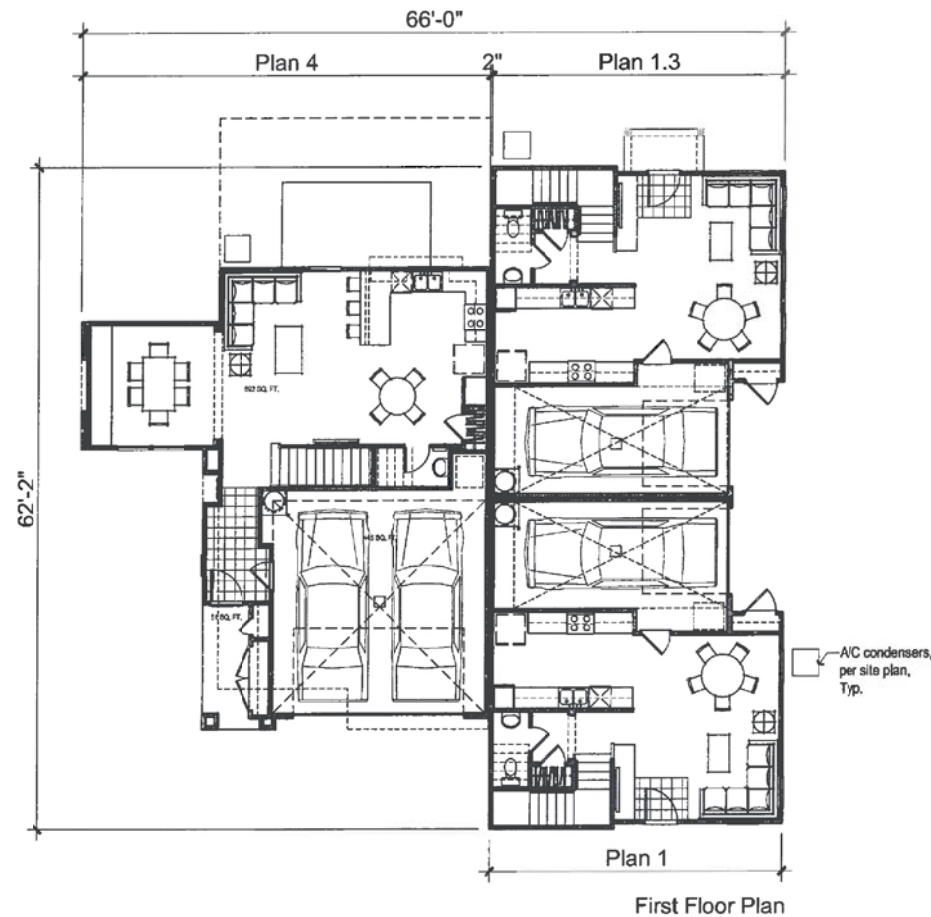
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Key Map  
n.t.s.



Second Floor Plan



First Floor Plan



Key Map  
n.t.s.

## THE TERRACES AT STANFORD RANCH II

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## BUILDING TYPE B FLOOR PLANS

ROCKLIN, CALIFORNIA

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A4.10

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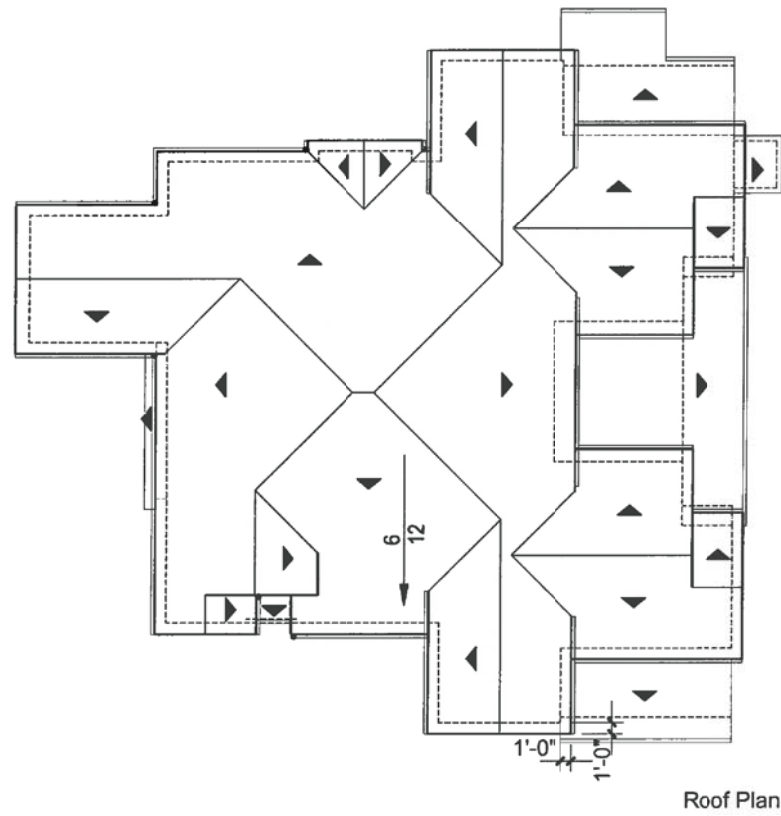
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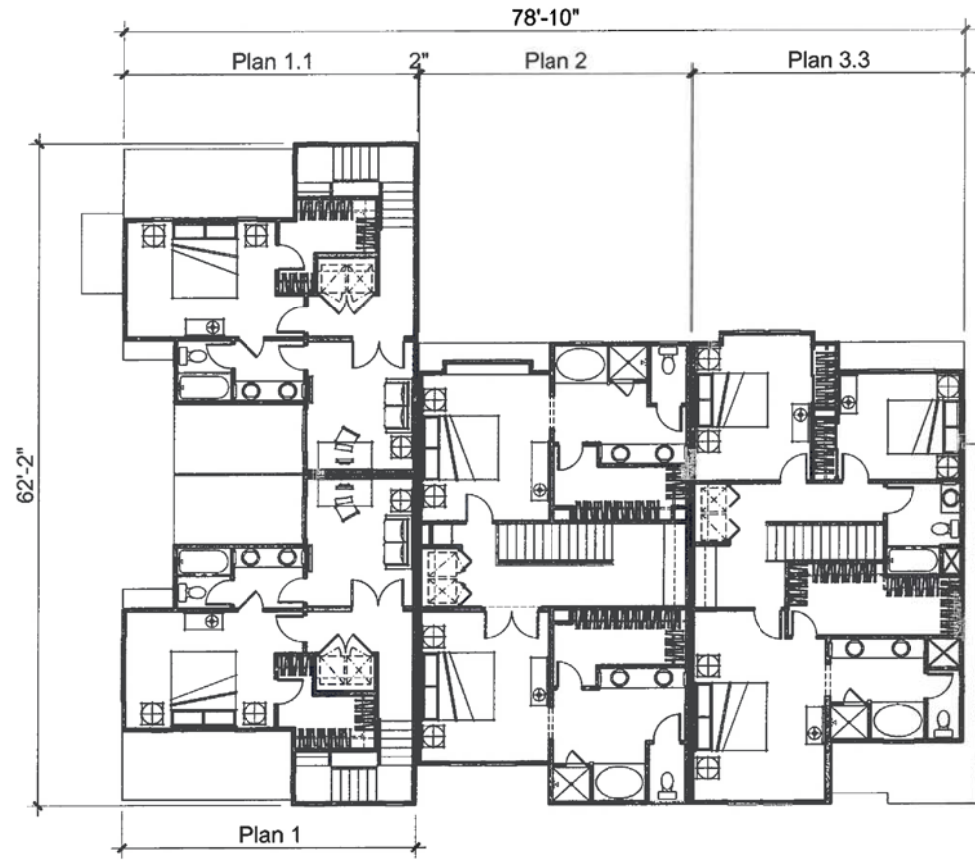
KTGY # 2013-0141

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02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

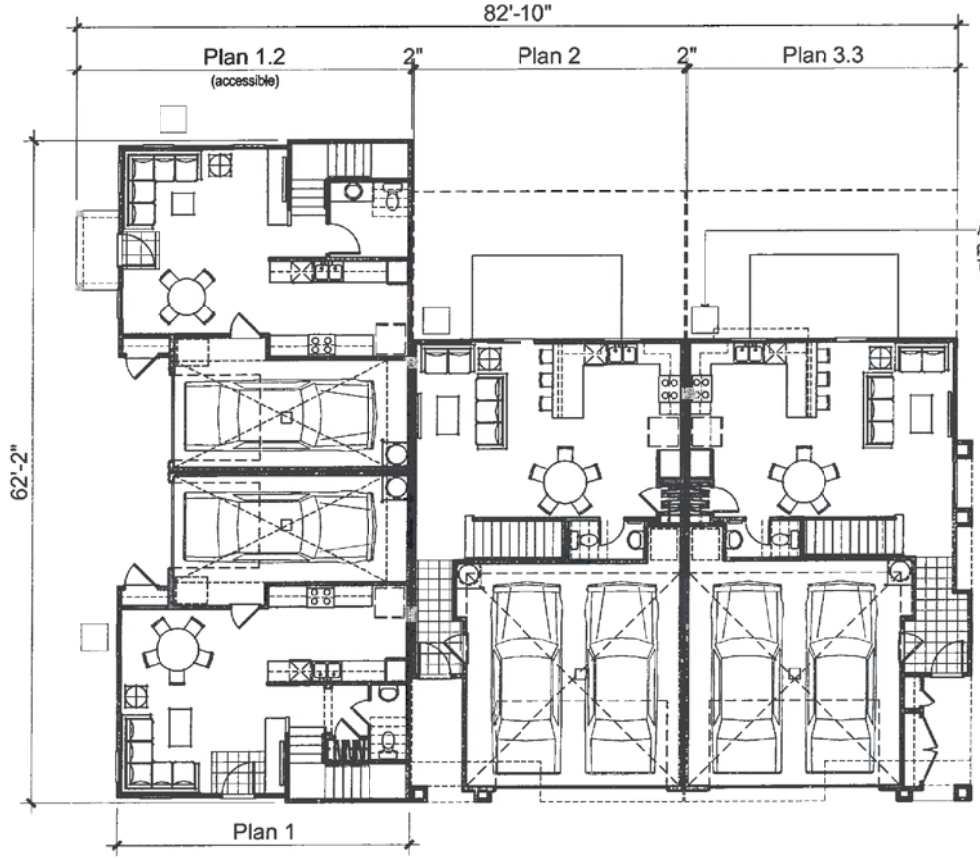
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Key Map  
n.t.s.



Second Floor Plan



First Floor Plan



Key Map  
n.t.s.



A4.20



**THE TERRACES AT STANFORD RANCH II**

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**BUILDING TYPE C FLOOR PLANS**

ROCKLIN, CALIFORNIA

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06.26.2014  
04.09.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
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# BUILDING TYPE C FLOOR PLANS

ROCKLIN, CALIFORNIA

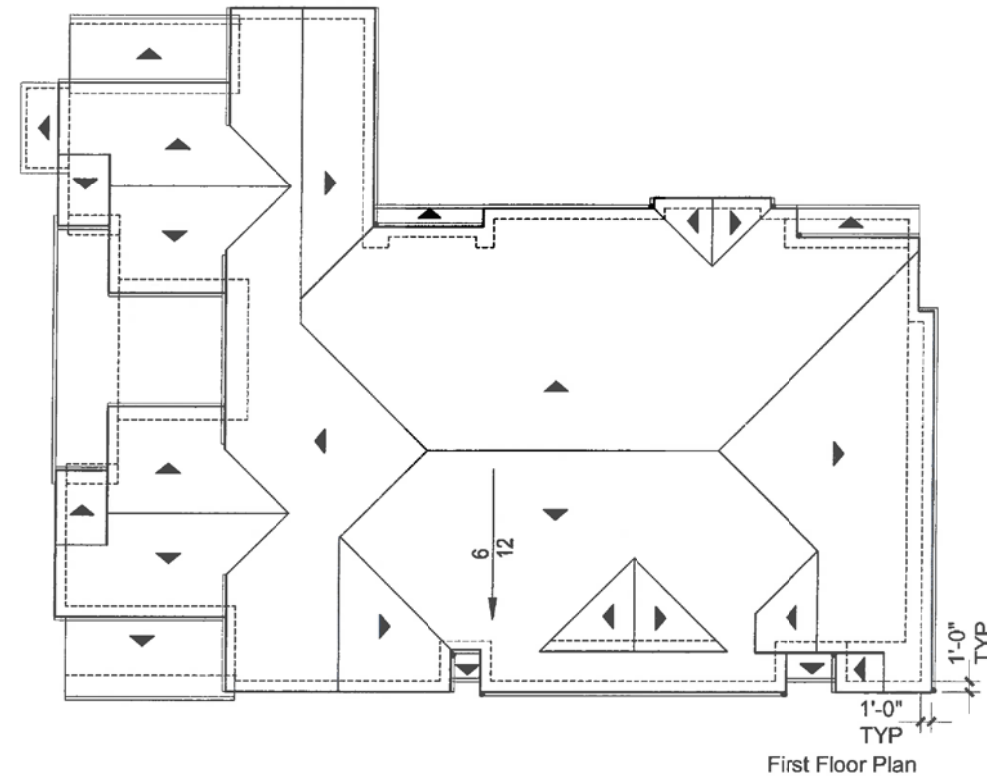
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06.26.2014  
04.02.2014 3rd SUBMITTAL  
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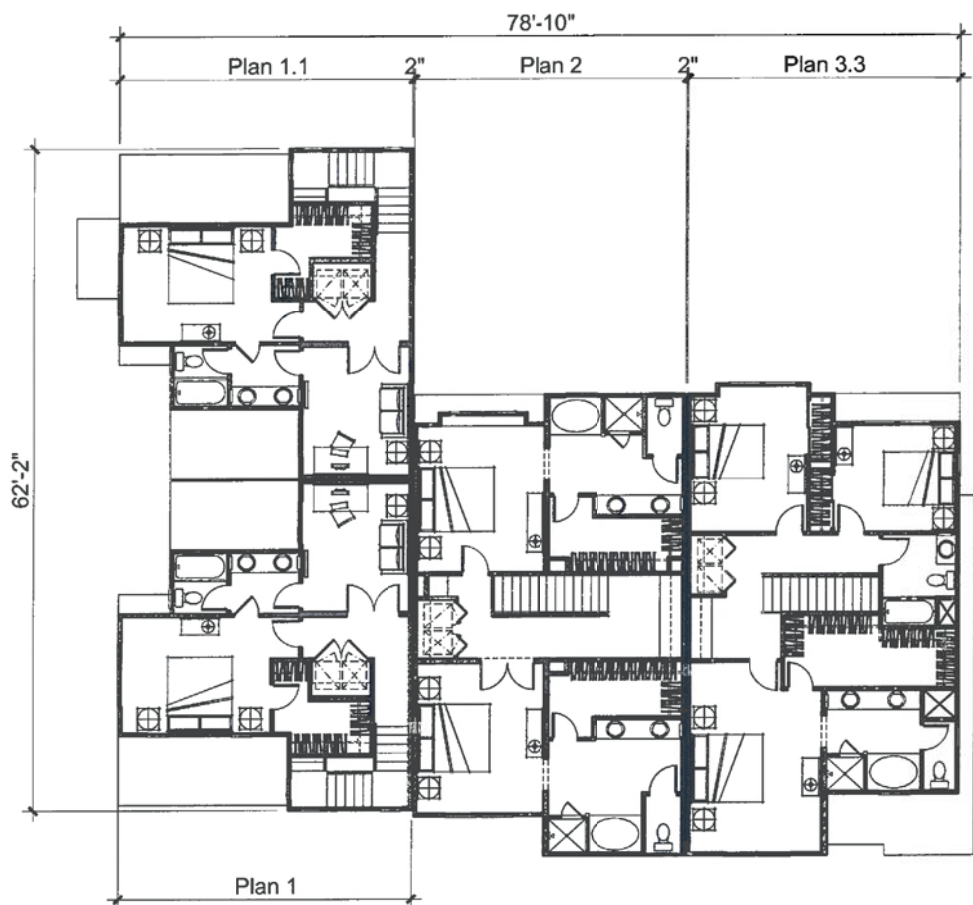
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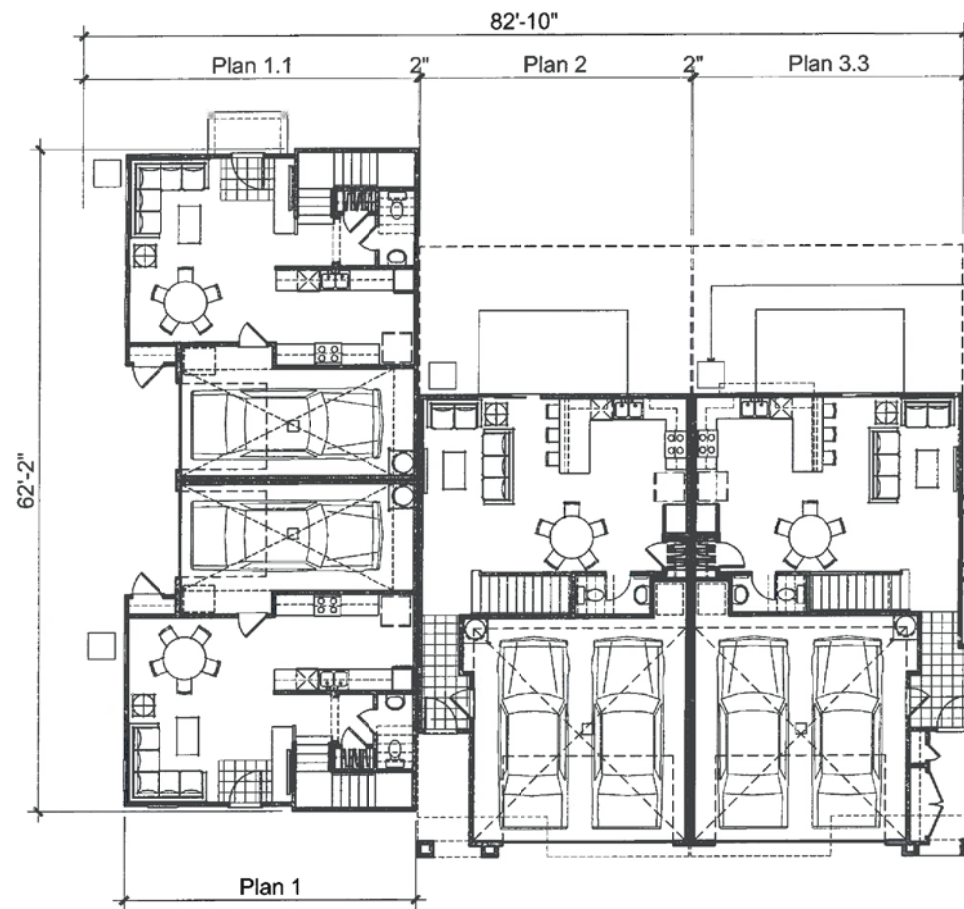
A4.21



Key Map  
n.t.s.



Second Floor Plan



First Floor Plan



Key Map  
n.t.s.

A/C condensers,  
per site plan,  
Typ.

# THE TERRACES AT STANFORD RANCH II

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# BUILDING TYPE C.I FLOOR PLANS

ROCKLIN, CALIFORNIA

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02.14.2014 2nd SUBMITTAL  
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**A4.22**



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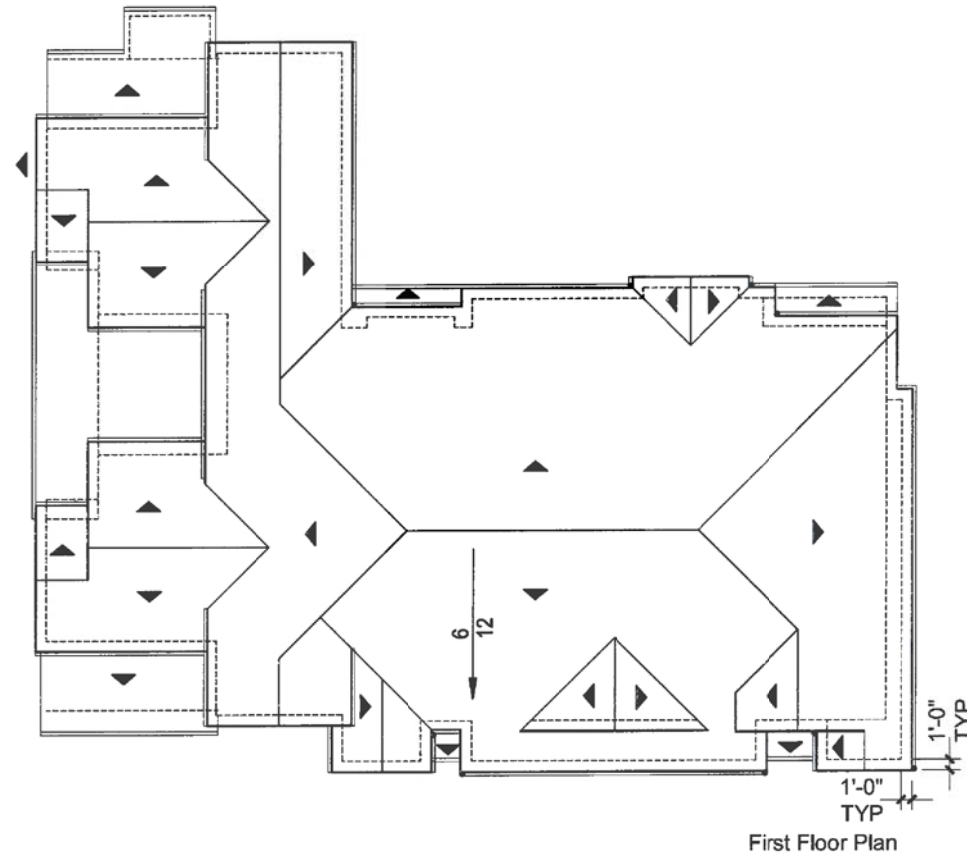
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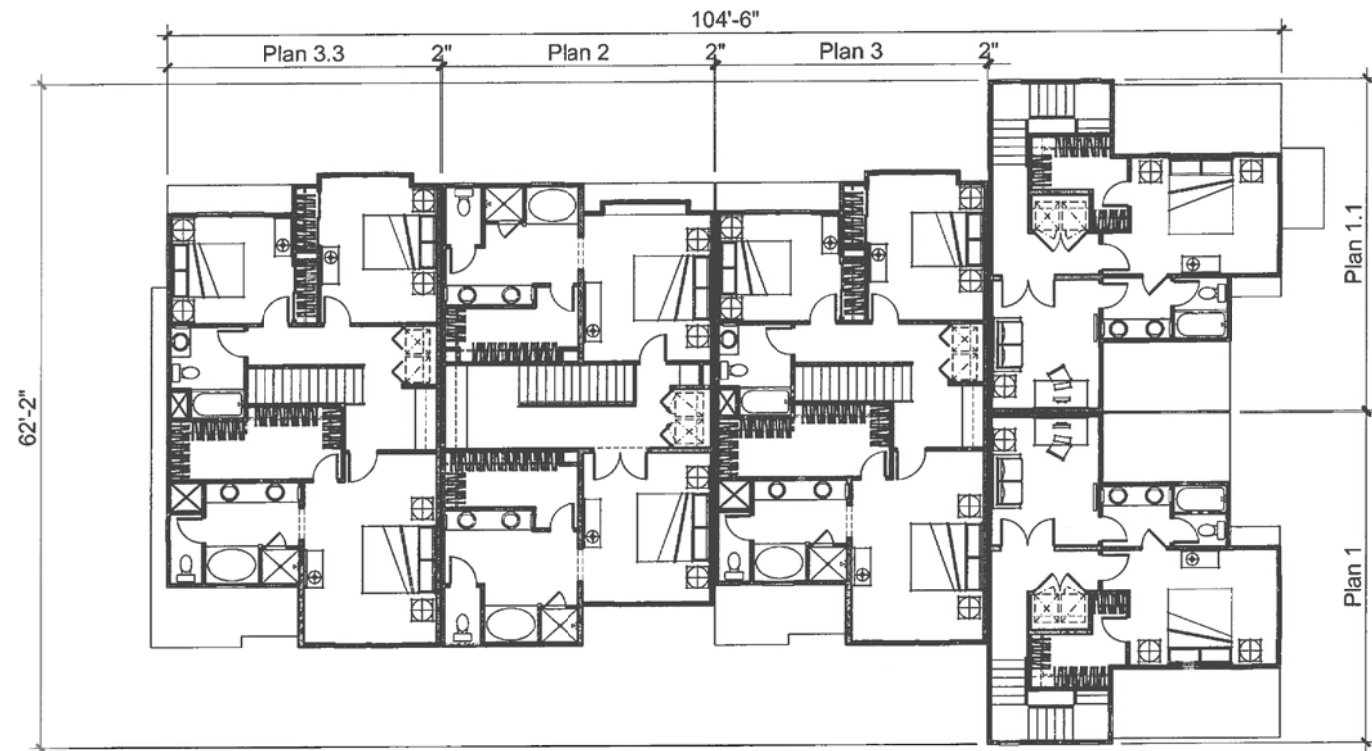
KTYG # 2013-0141

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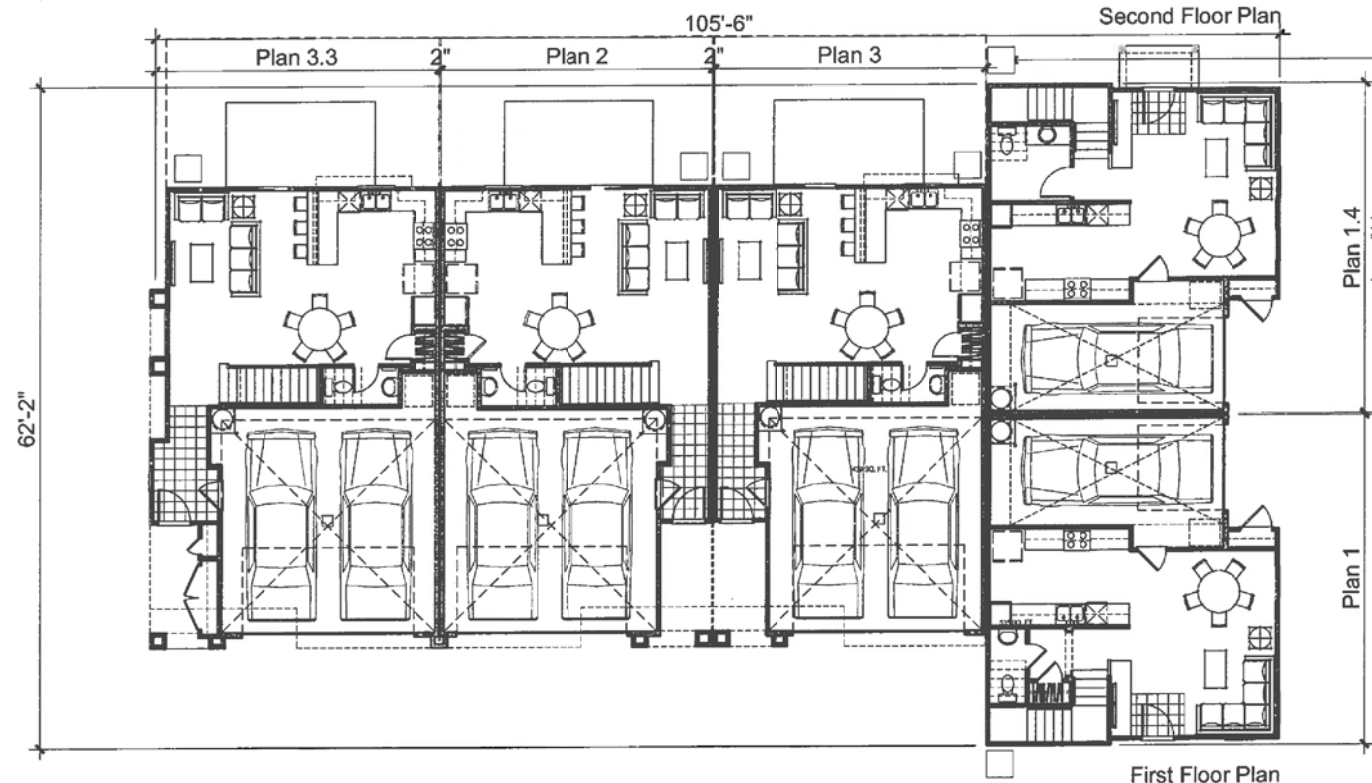
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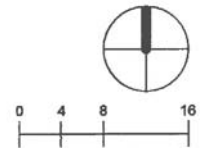
Key Map  
n.t.s.



Key Map  
n.t.s.



A/C condensers,  
per site plan,  
Typ.



A4.30



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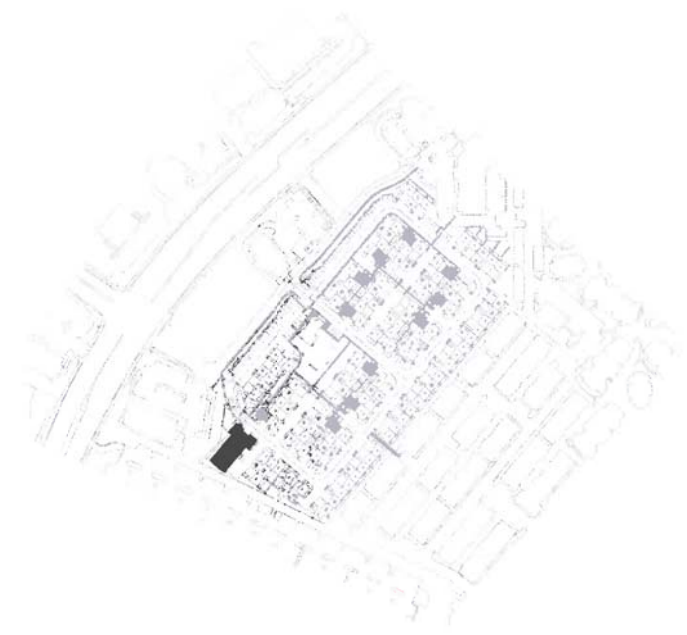
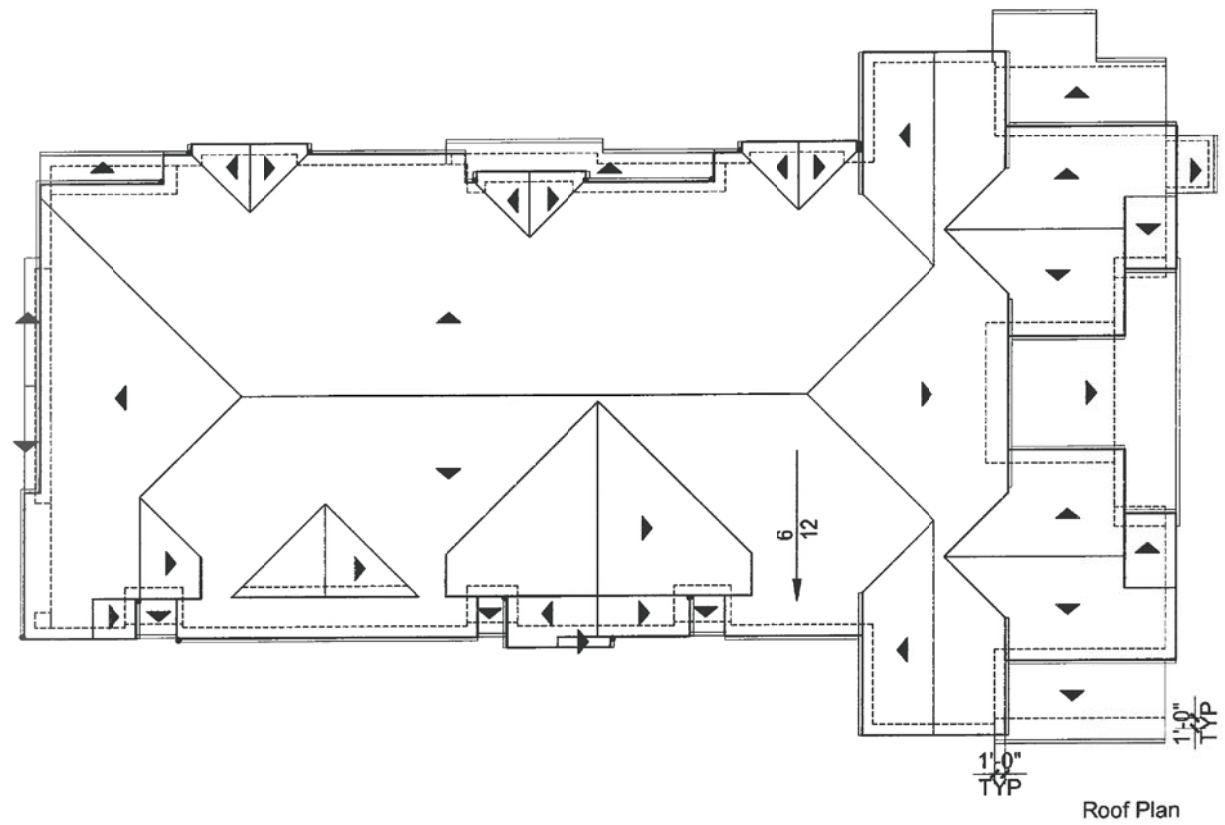
## BUILDING TYPE D FLOOR PLANS

ROCKLIN, CALIFORNIA

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Key Map  
n.t.s.

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# BUILDING TYPE D FLOOR PLANS

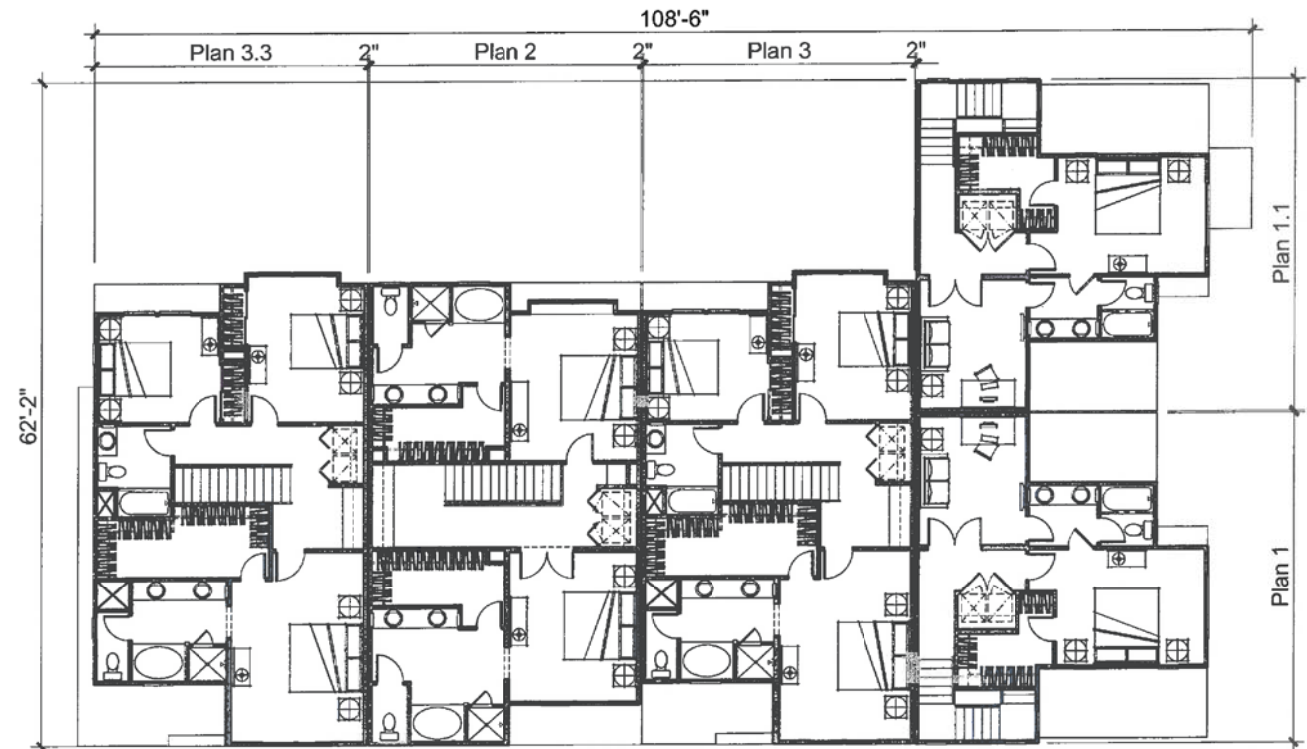
ROCKLIN, CALIFORNIA

KTGY # 2013-0141

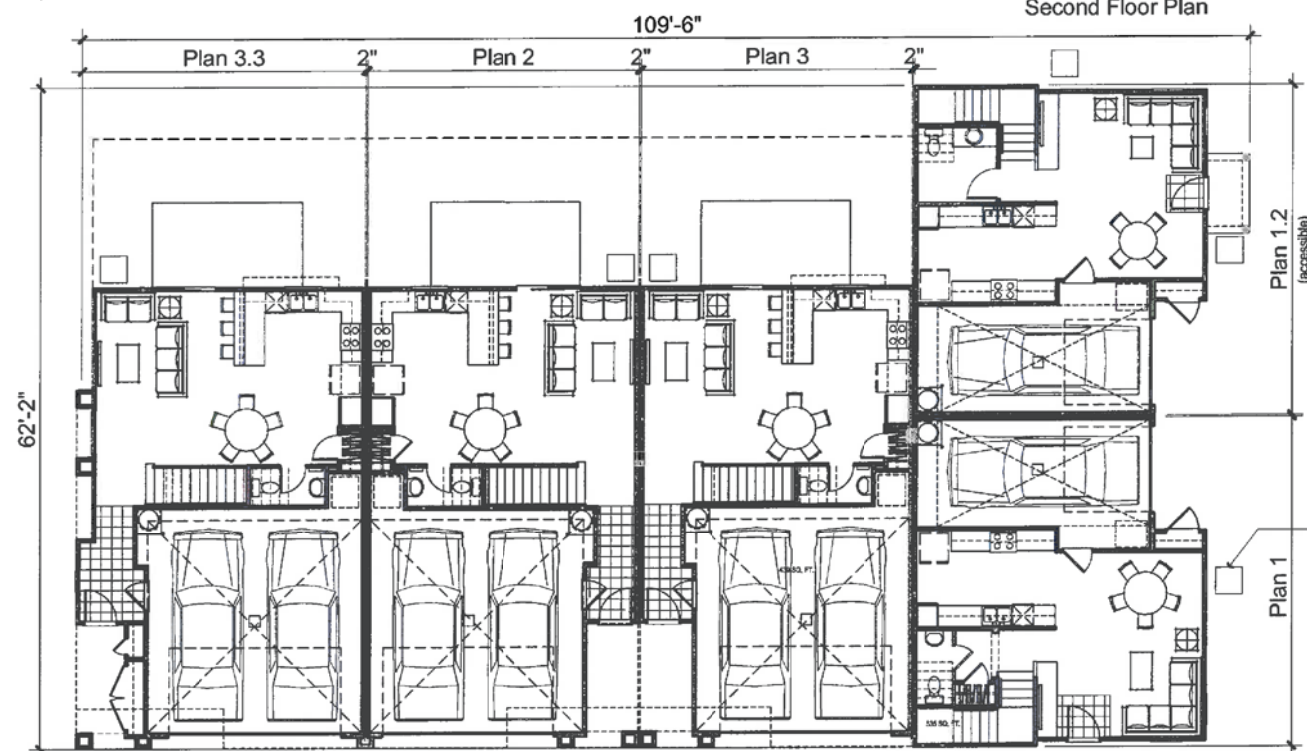
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Second Floor Plan



First Floor Plan



Key Map  
n.t.s.



A4.32

Packet Pg. 124

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## BUILDING TYPE D.I FLOOR PLANS

ROCKLIN, CALIFORNIA

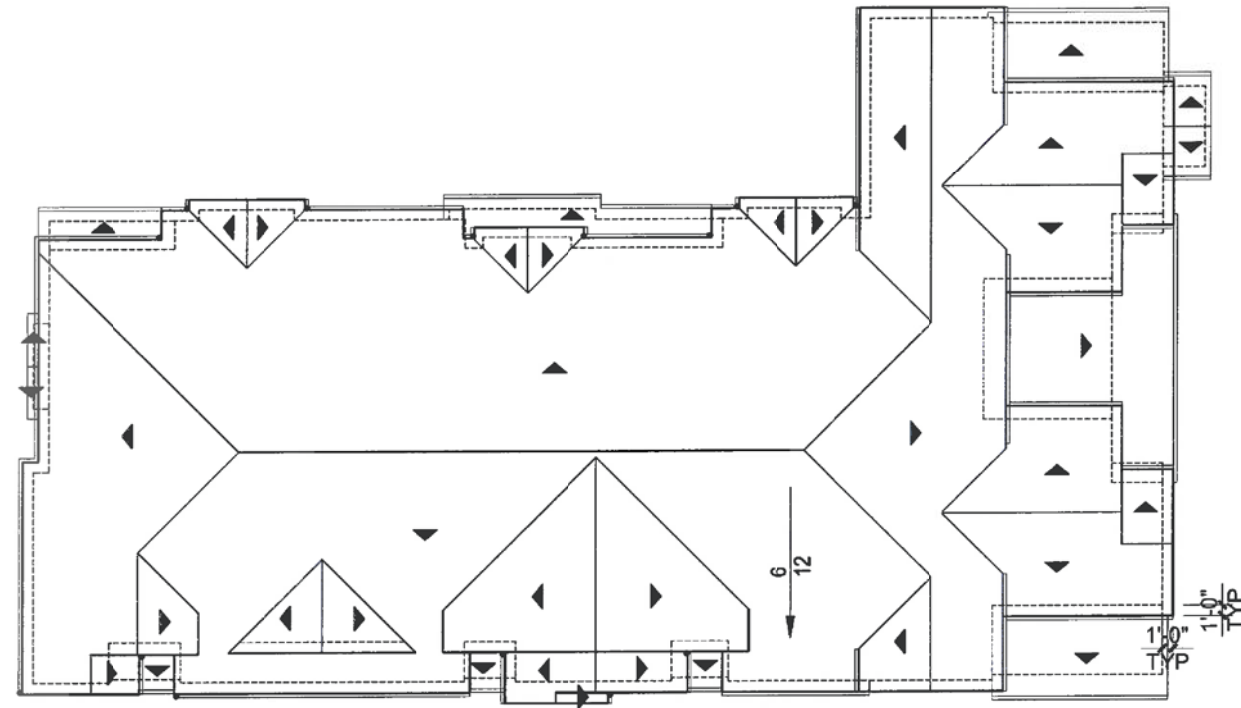
KTYG # 2013-0141

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04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Agenda Item #7.b.



Roof Plan



Key Map  
n.t.s.

## THE TERRACES AT STANFORD RANCH II

Golden State Lumber  
855 Lakeville Street, Suite 200-B  
Petaluma, CA 94952  
707.206.4040

## BUILDING TYPE D.1 FLOOR PLANS

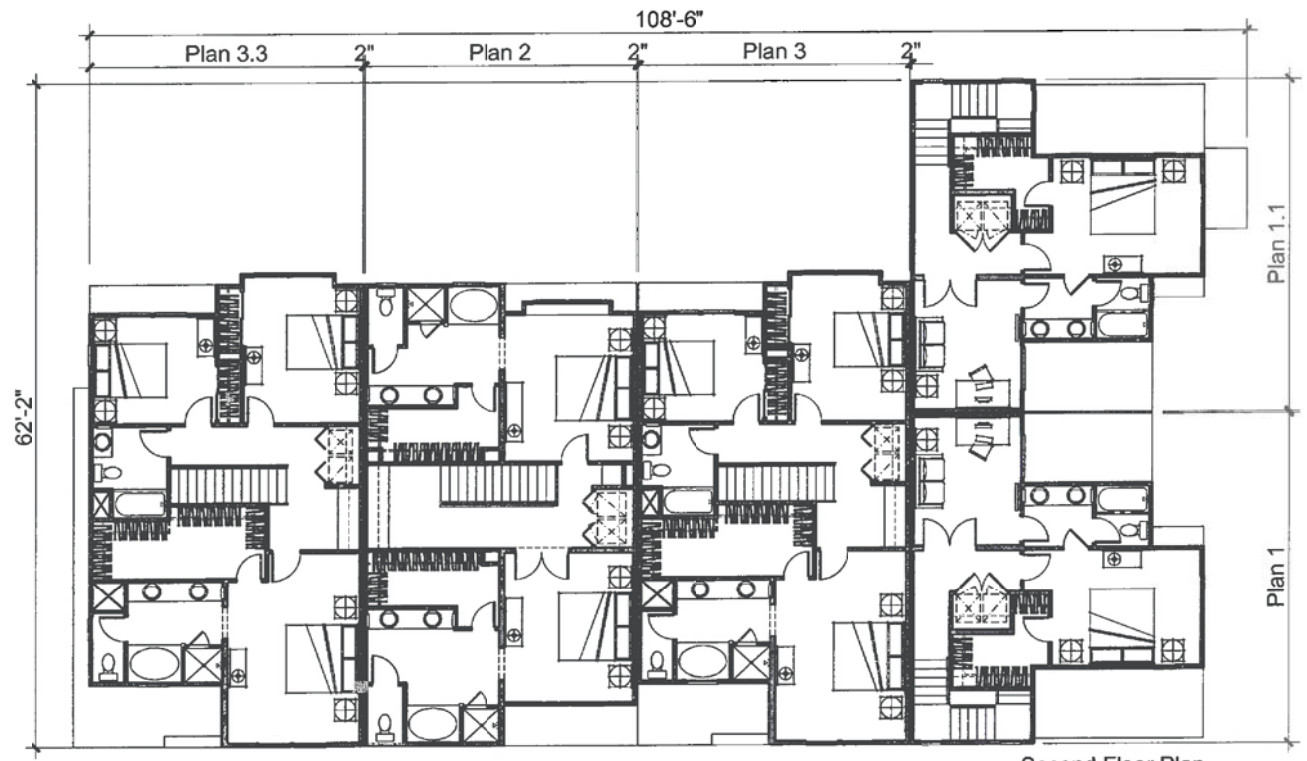
ROCKLIN, CALIFORNIA

KTYG # 2013-0141

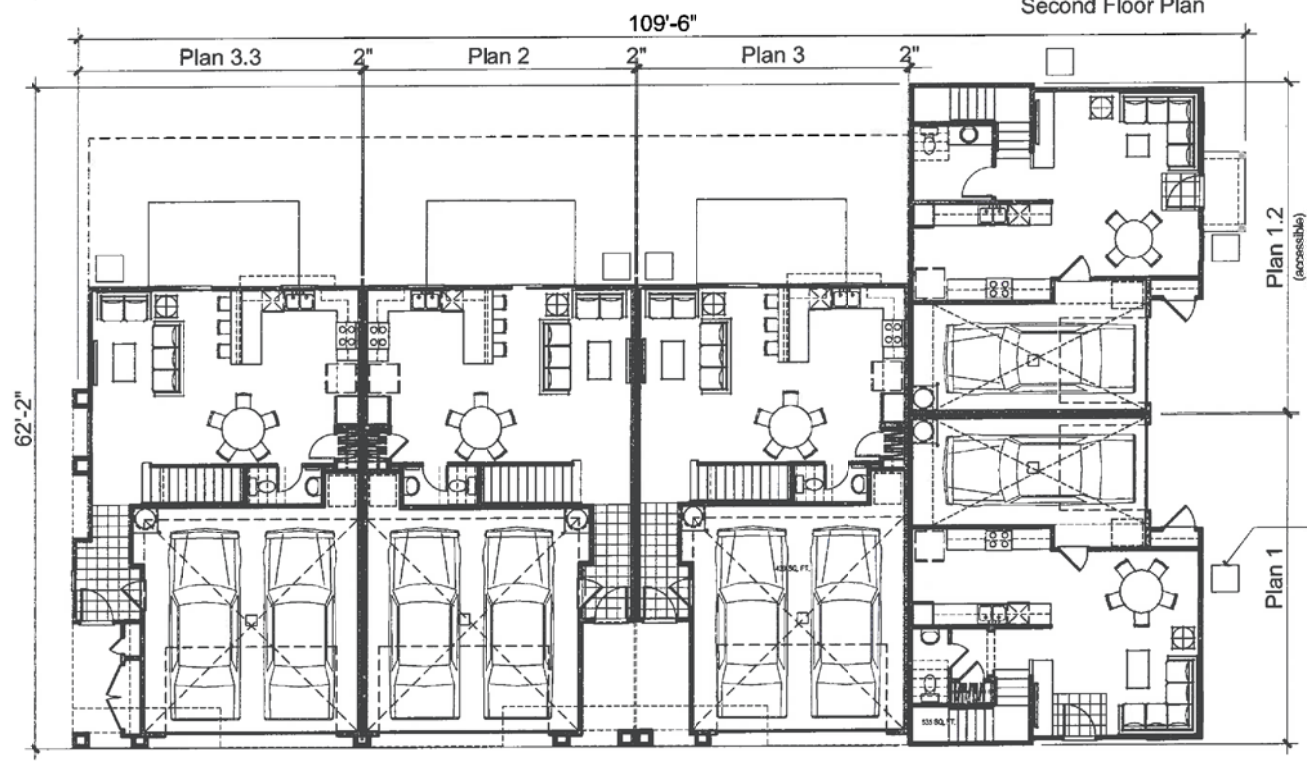
06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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ktgy.com

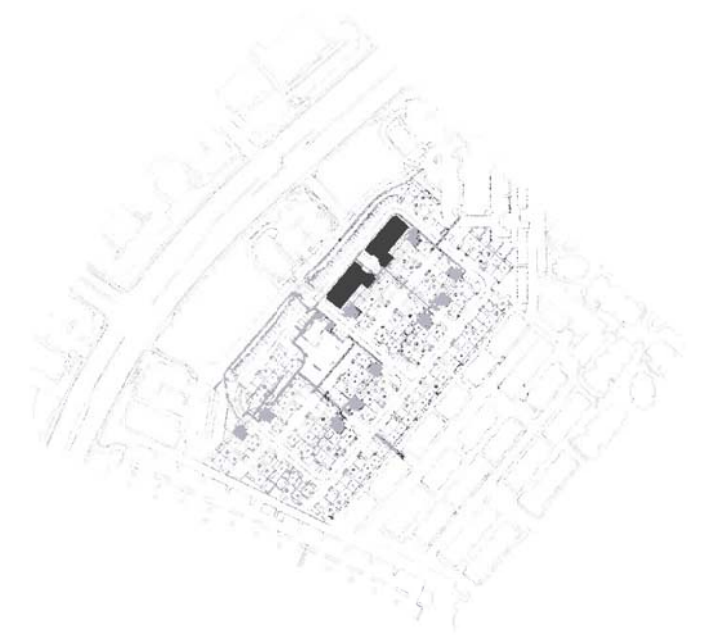




Second Floor Plan

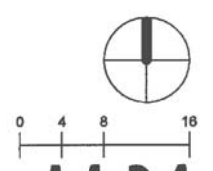


First Floor Plan



Key Map  
n.t.s.

A/C condensers,  
per site plan,  
Typ.



A4.34

Packet Pg. 126

# THE TERRACES AT STANFORD RANCH II

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Petaluma, CA 94952  
707.206.4040

## BUILDING TYPE D.2 FLOOR PLANS

ROCKLIN, CALIFORNIA

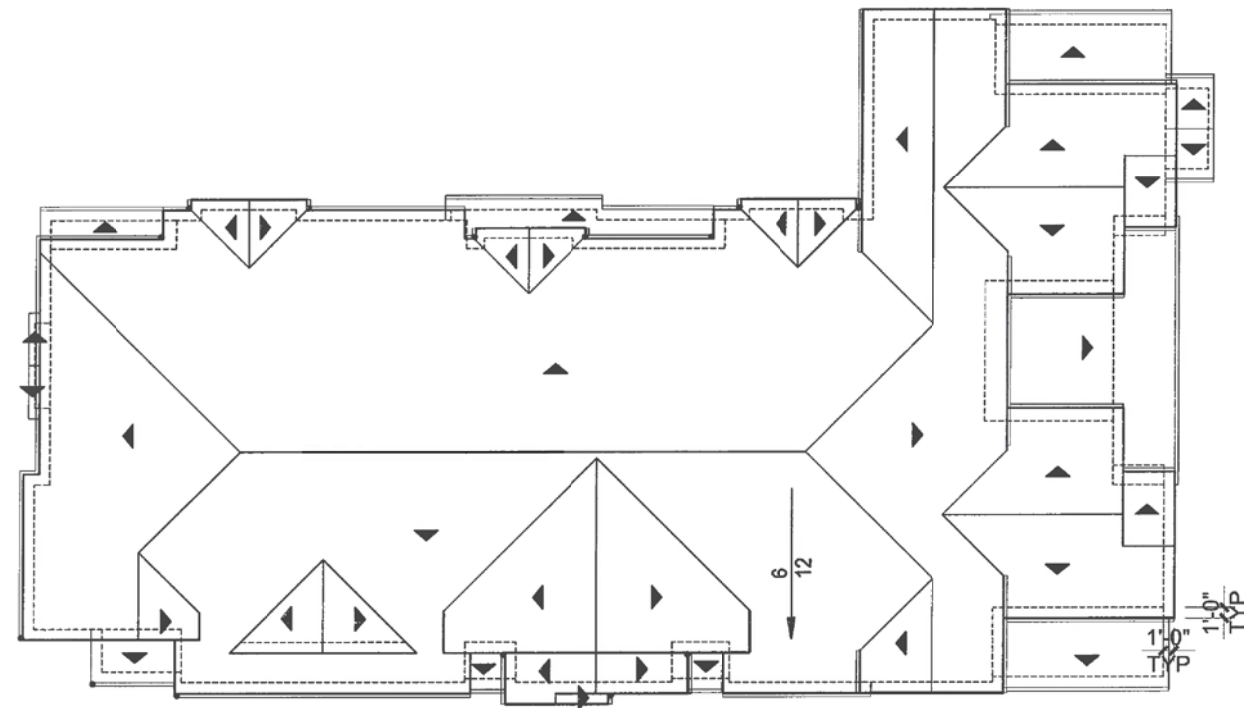
KTGY # 2013-0141

06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
09.15.2013 1st SUBMITTAL

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Agenda Item #7.b.



Roof Plan



Key Map  
n.t.s.

## THE TERRACES AT STANFORD RANCH II

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855 Lakeville Street, Suite 200-B  
Petaluma, CA 94952  
707.206.4040

## BUILDING TYPE D.2 FLOOR PLANS

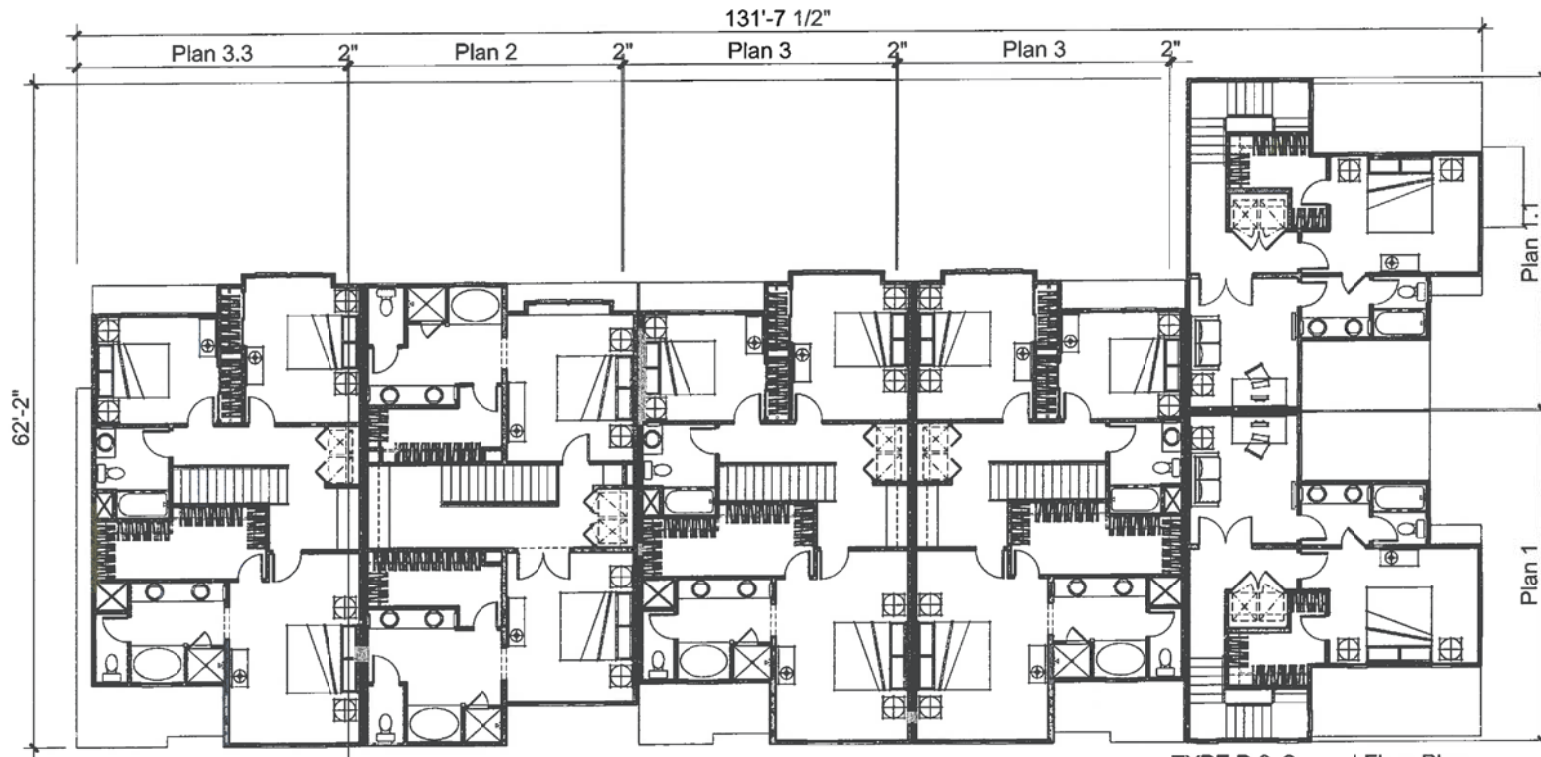
ROCKLIN, CALIFORNIA

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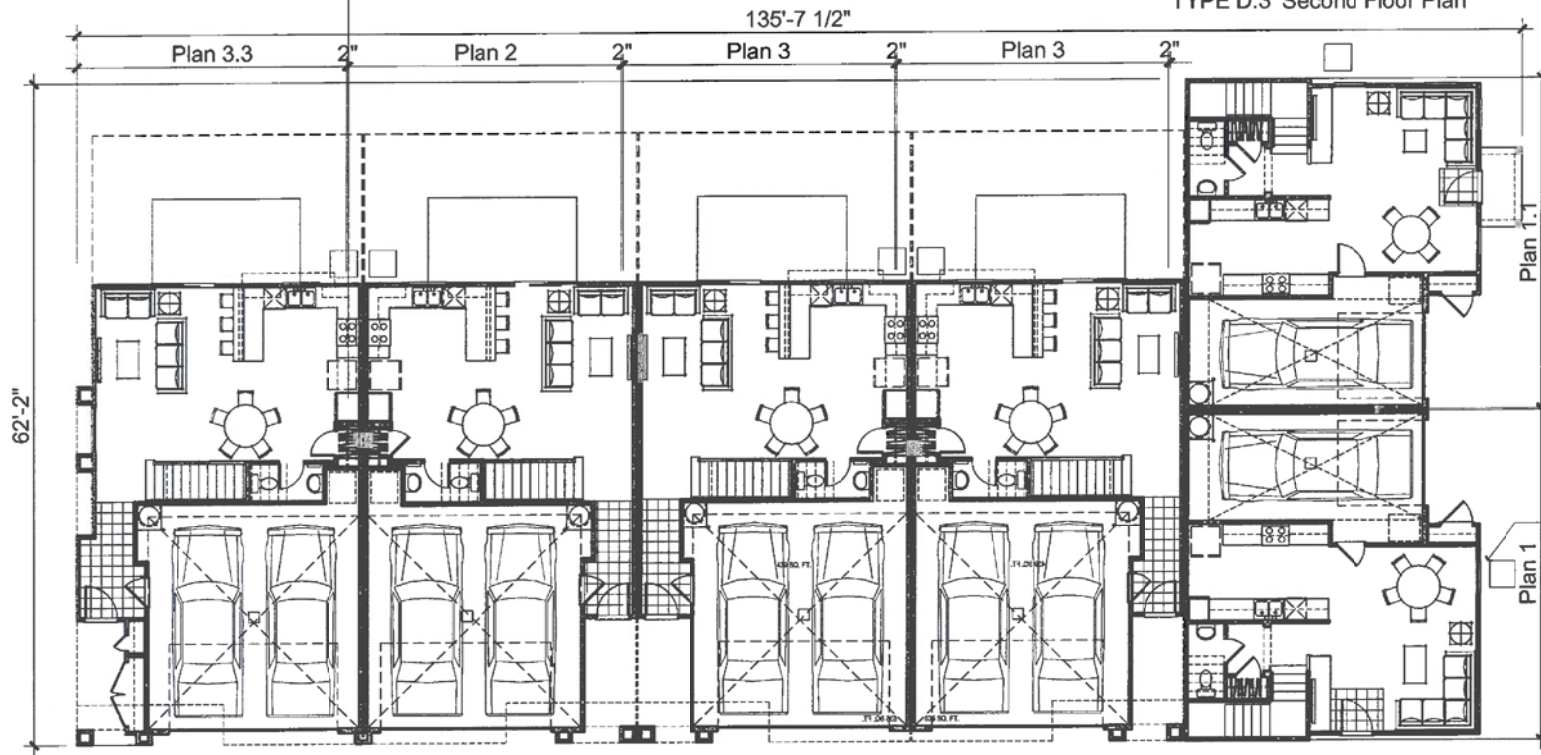
04.24.2014  
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08.15.2013 1st SUBMITTAL

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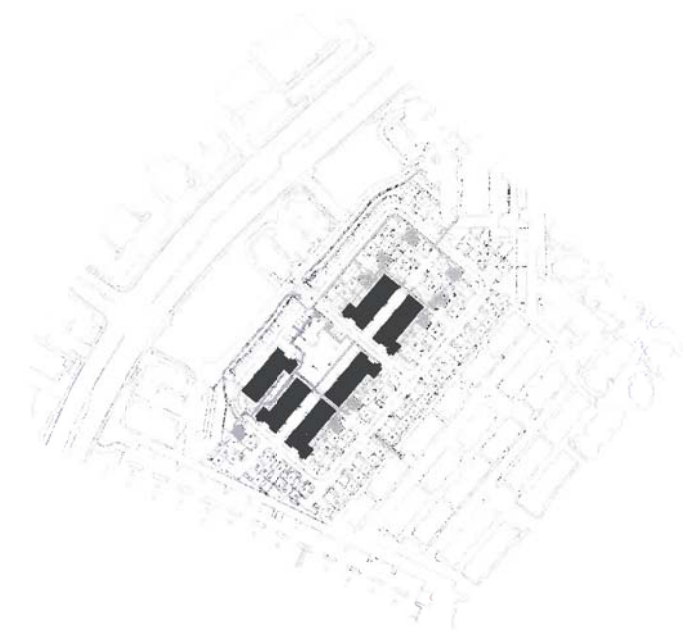




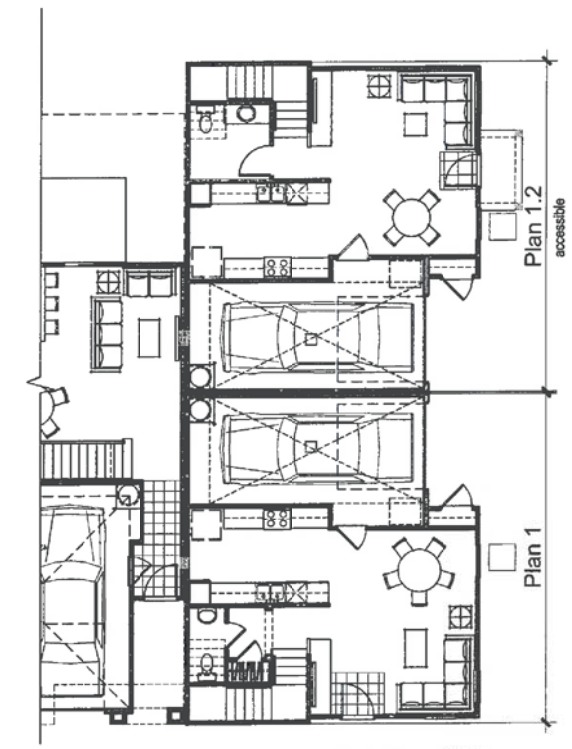
TYPE D.3 Second Floor Plan



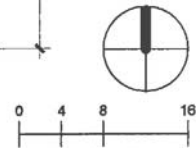
TYPE D.3 First Floor Plan



Key Map  
n.t.s.



TYPE D.4 First Floor Plan



A4.36

# THE TERRACES AT STANFORD RANCH II

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## BUILDING TYPE D.3 & D.4 FLOOR PLANS

ROCKLIN, CALIFORNIA  
KTGY # 2013-0141

04.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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# THE TERRACES AT STANFORD RANCH II

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707.206.4040

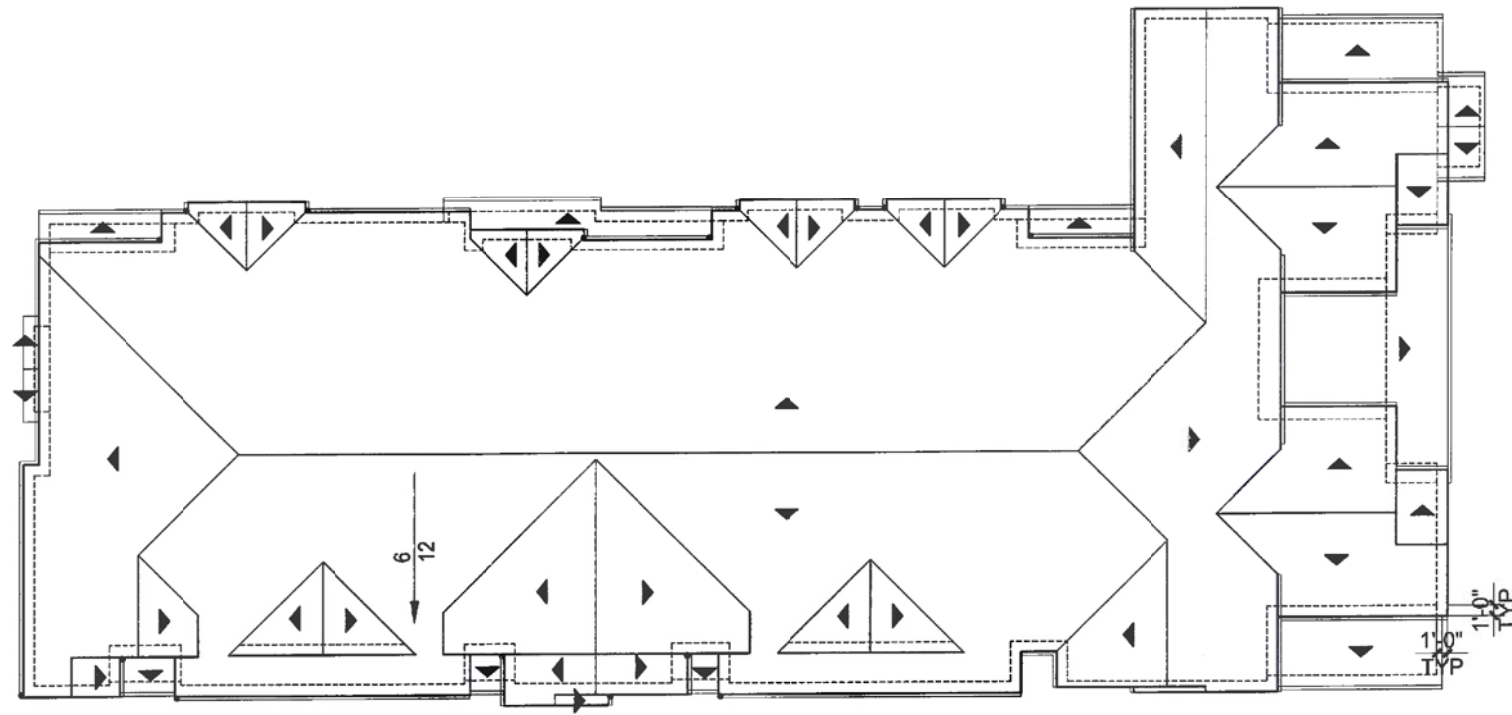
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ROCKLIN, CALIFORNIA

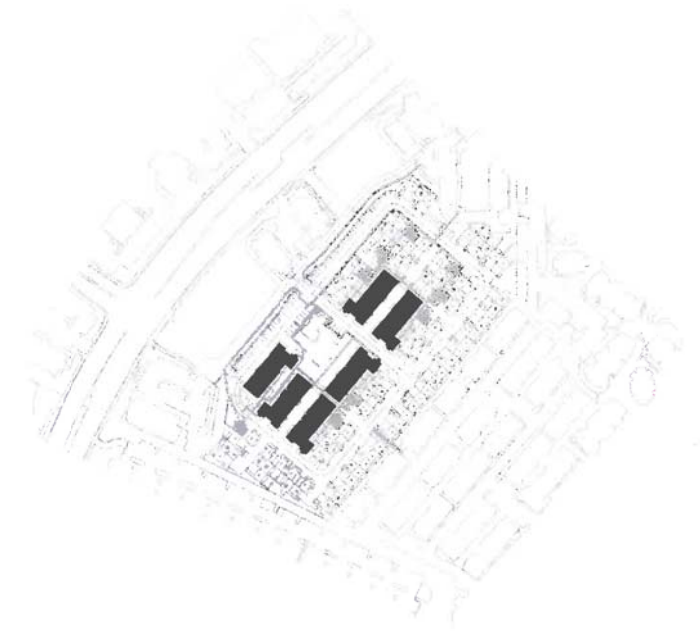
KTGY # 2013-0141

04.26.2014  
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02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

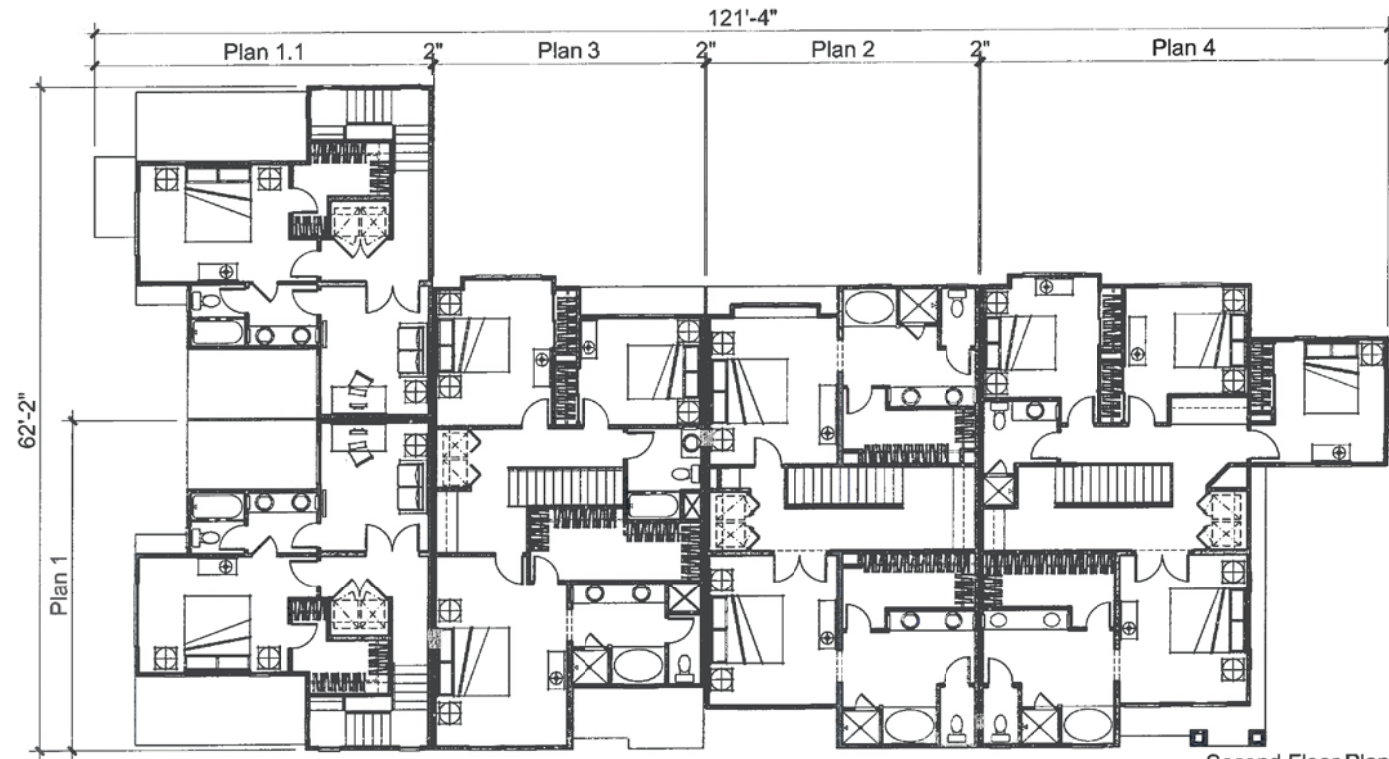
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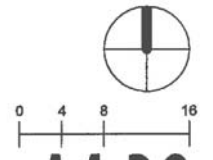
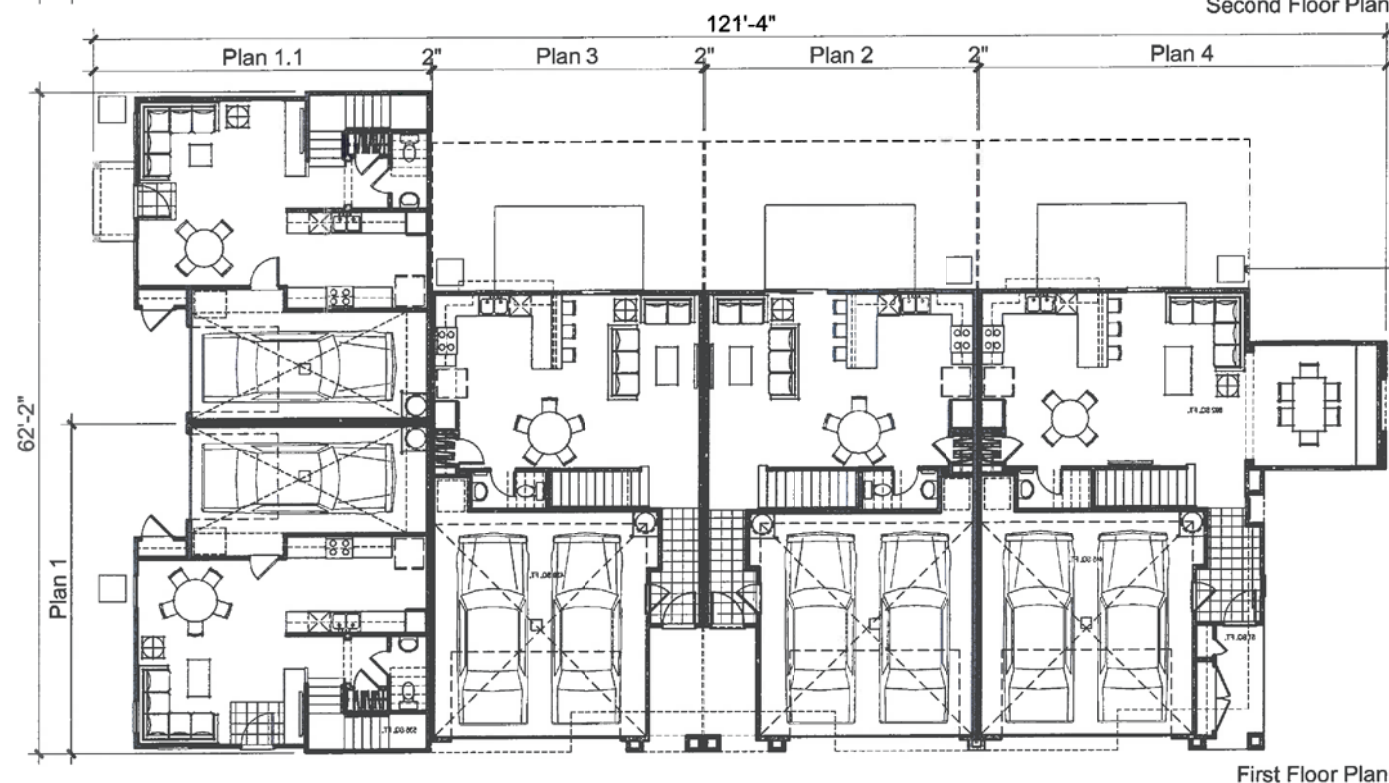
Roof Plan



Key Map  
n.t.s.



Key Map  
n.t.s.



A4.38

Packet Pg. 130

**THE TERRACES AT STANFORD RANCH II**

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**BUILDING TYPE D.5 FLOOR PLANS**

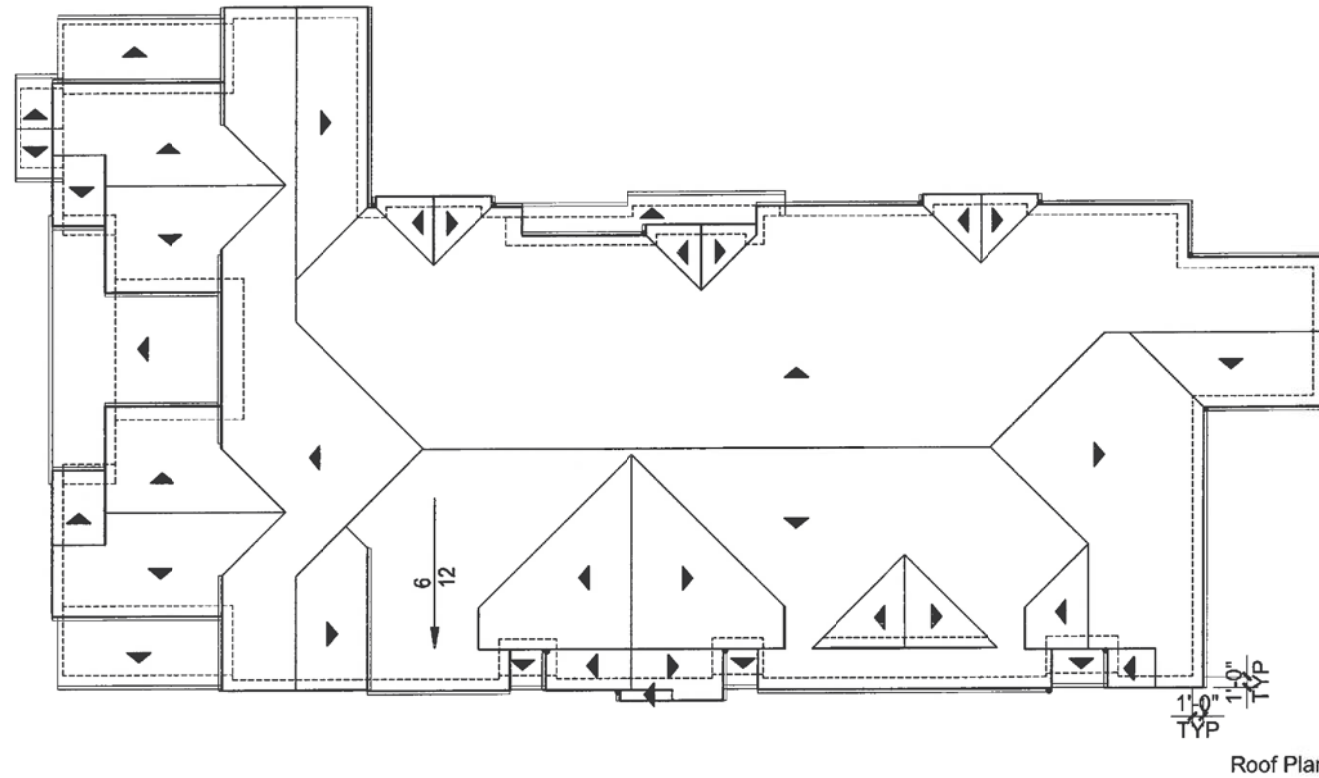
ROCKLIN, CALIFORNIA

KTGY # 2013-0141  
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04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

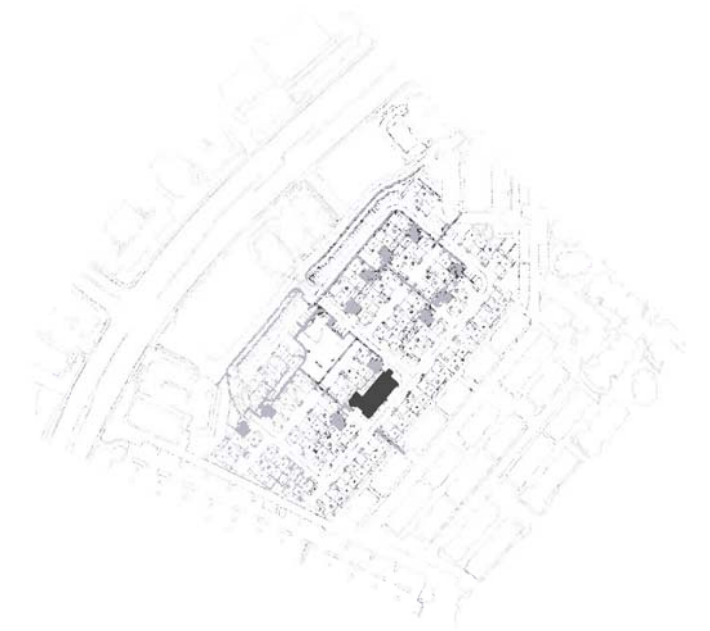
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Agenda Item #7.b.



Roof Plan



Key Map  
n.t.s.

## THE TERRACES AT STANFORD RANCH II

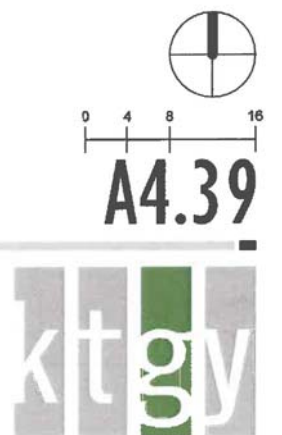
Golden State Lumber  
855 Lakeville Street, Suite 200-B  
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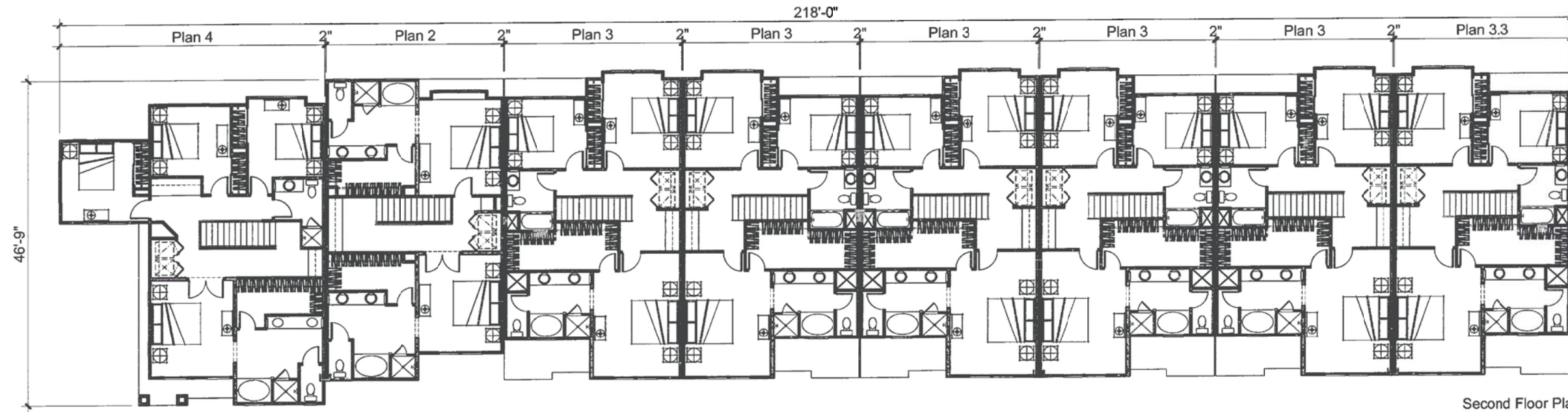
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ROCKLIN, CALIFORNIA  
KTGY # 2013-0141

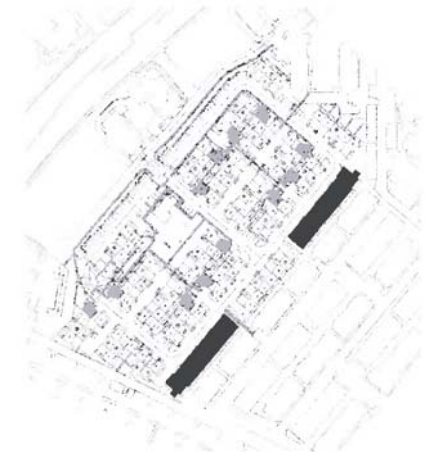
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02.14.2014 2nd SUBMITTAL  
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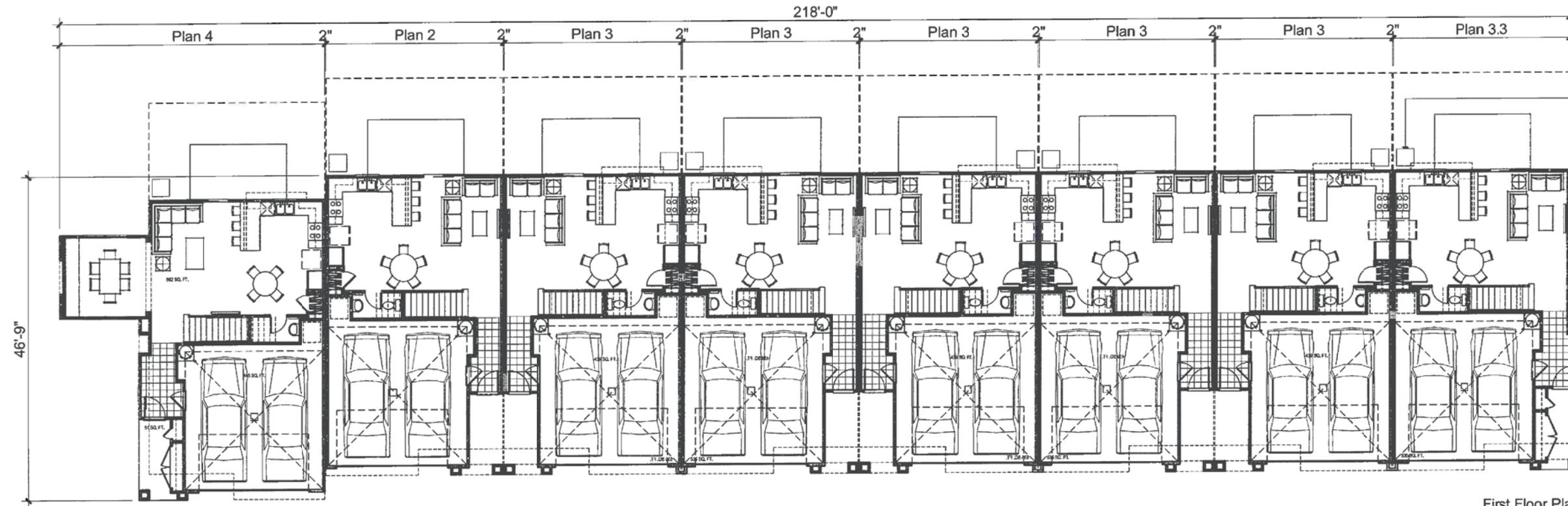




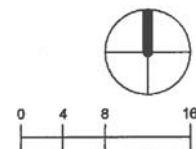
Second Floor Plan



Key Map  
n.t.s.



First Floor Plan



A4.40

## THE TERRACES AT STANFORD RANCH II

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## BUILDING TYPE E FLOOR PLANS

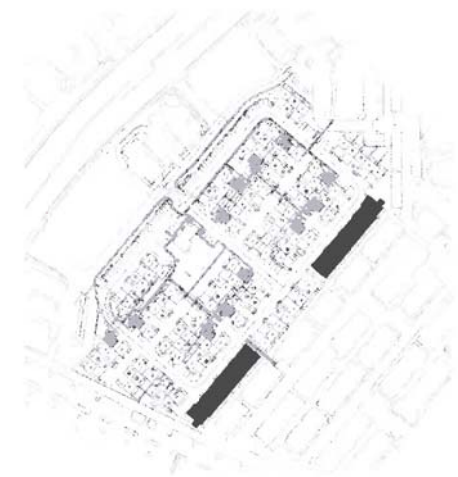
ROCKLIN, CALIFORNIA

KTGY # 2013-0141

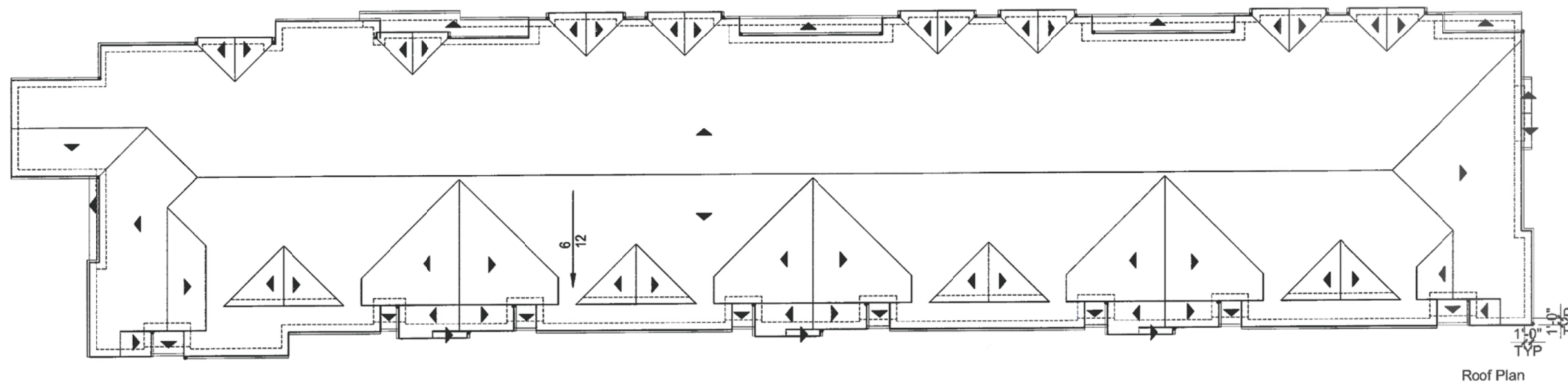
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04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Key Map  
n.t.s.



Roof Plan

# THE TERRACES AT STANFORD RANCH II

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# BUILDING TYPE E FLOOR PLANS

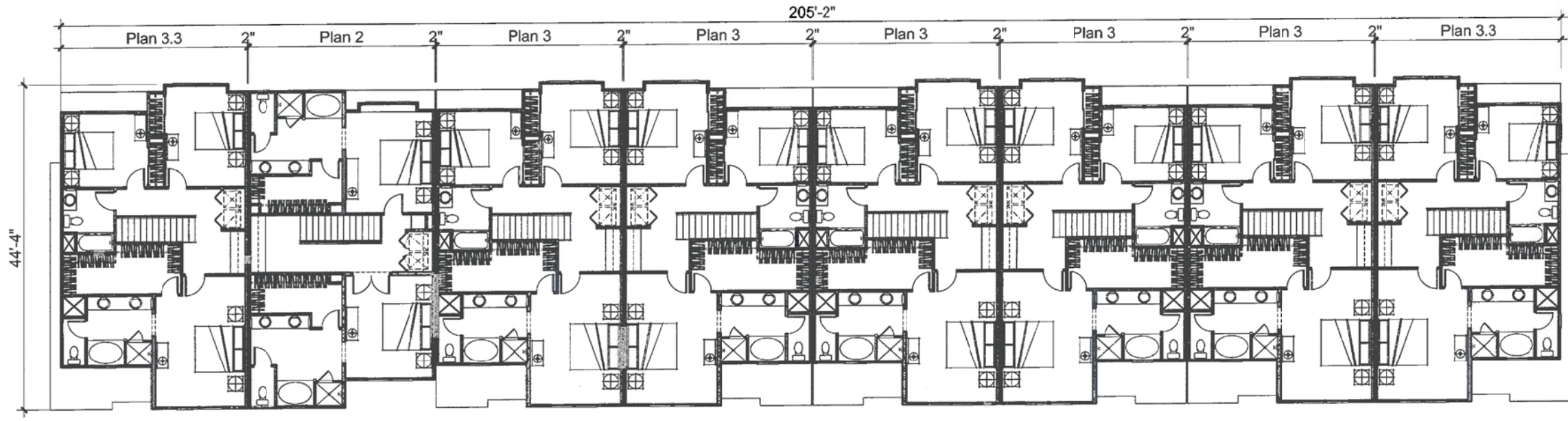
ROCKLIN, CALIFORNIA

KTCY # 2013-0141

06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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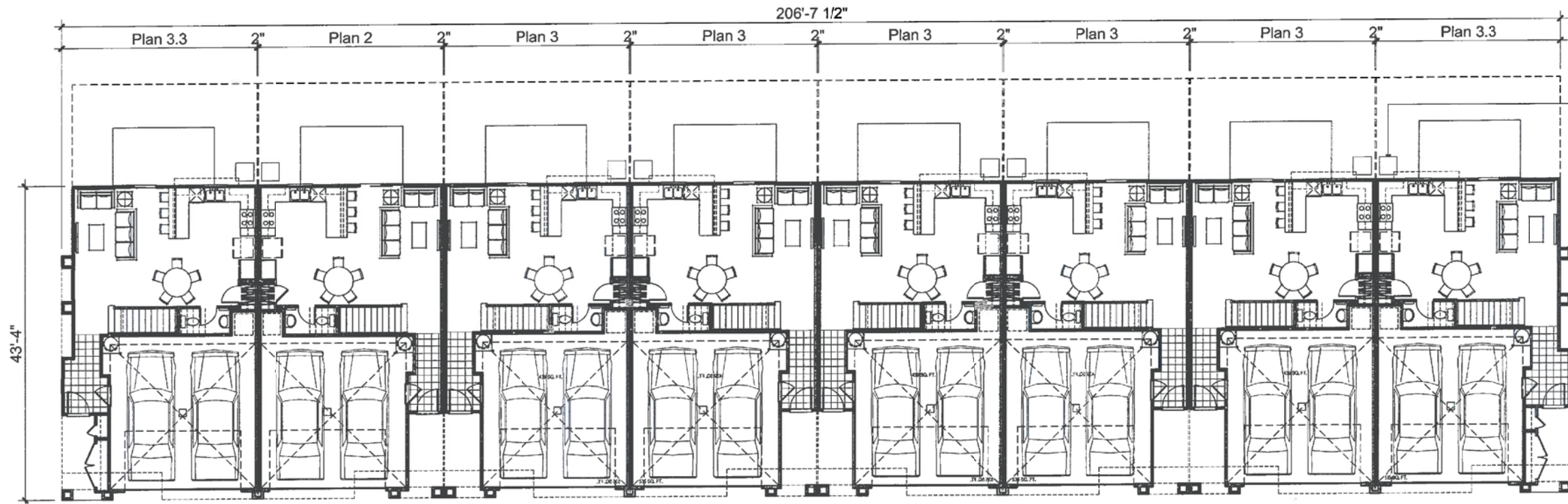




Second Floor Plan

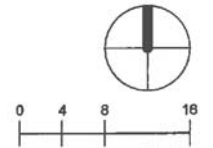


Key Map  
n.t.s.



First Floor Plan

A/C condensers,  
per site plan,  
Typ.



A4.42



Packet Pg. 134

**THE TERRACES AT STANFORD RANCH II**

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**BUILDING TYPE E.1 FLOOR PLANS**

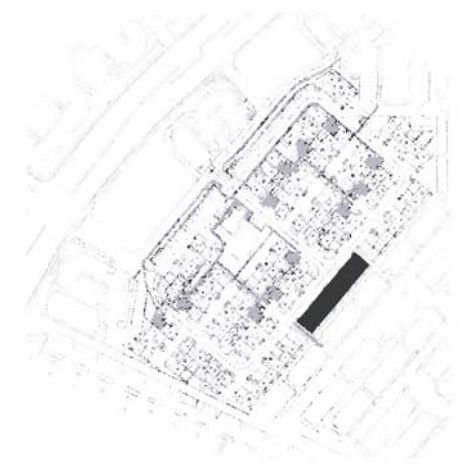
ROCKLIN, CALIFORNIA

KTGY # 2013-0141

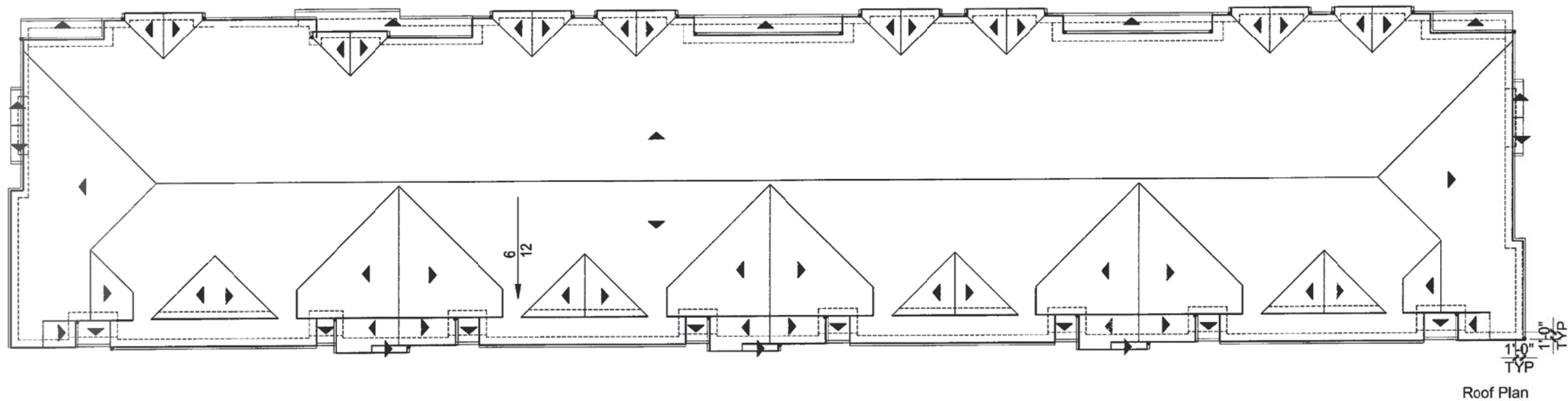
06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
08.15.2013 1st SUBMITTAL

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Key Map  
n.t.s.



Roof Plan

# THE TERRACES AT STANFORD RANCH II

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# BUILDING TYPE E.I FLOOR PLANS

ROCKLIN, CALIFORNIA


KTYG # 2013-0141

06.26.2014  
04.03.2014 3rd SUBMITTAL  
02.14.2014 2nd SUBMITTAL  
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Oakland, CA 94607  
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Manufacturers:  
 Sherwin Williams Paint  
 Boral Thin Brick Veneer  
 Boral Monier Lifestile Roof

	SCHEME 1	SCHEME 2	SCHEME 3
ROOF CONCRETE FLAT SHAKE PROFILE	 1 FBCF 3763 KOKOMO BLEND	 1 FBCF 3293 CEDAR BLEND	 1 FBCF 3233 BROWN BLEND
STUCCO BODY #1	 SW 6107 NOMADIC DESERT	 SW 6127 IVOIRE	 SW 6157 FAVORITE TAN
STUCCO BODY #2	 SW 6119 ANTIQUE WHITE	 SW 7539 CORK WEDGE	 SW 6155 RICE GRAIN
FASCIA/EAVES/ALL TRIM/GARAGE DOORS	 SW 7029 AGREEABLE GREY	 SW 6154 NACRE	 SW 7005 PURE WHITE
ACCENT COLOR	 SW 7595 SOMMELIER	 SW 6061 TANBARK	 SW 2848 ROYCROFT PEWTER
THIN BRICK VENEER	 HIGH DESERT USED BRICK	 HIGH DESERT USED BRICK	 HIGH DESERT USED BRICK

## THE TERRACES AT STANFORD RANCH II

Golden State Lumber  
 855 Lakeville Street, Suite 200-B  
 Petaluma, CA 94952  
 707.206.4040

## COLOR & MATERIALS

ROCKLIN, CALIFORNIA

KTGY # 2013-0141

06.26.2014

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A5.00



# STANFORD TERRACE

ROCKLIN, CALIFORNIA

JUNE 2014

## PRELIMINARY LANDSCAPE PLAN SHEET 1 OF 5

ENTRY INTENT:  
ENTRY WALLS, SIGNAGE AND  
COLORFUL SHRUBS USED TO  
DENOTE PROJECT ENTRY.  
  
BOTH ENTRIES WILL HAVE  
ENTRY WALLS AND SIGNAGE.  
SEE DETAIL A, SHEET 4



SCREENING INTENT:  
EVERGREEN TREES USED  
TO SCREEN ADJACENT  
COMMERCIAL PROJECTS.

MAINTENANCE ACCESS  
GATE



**FUHRMAN LEAMY  
LAND GROUP**  
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ROSEVILLE, CA 95661 (916) 780-2500  
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Packet Pg. 137

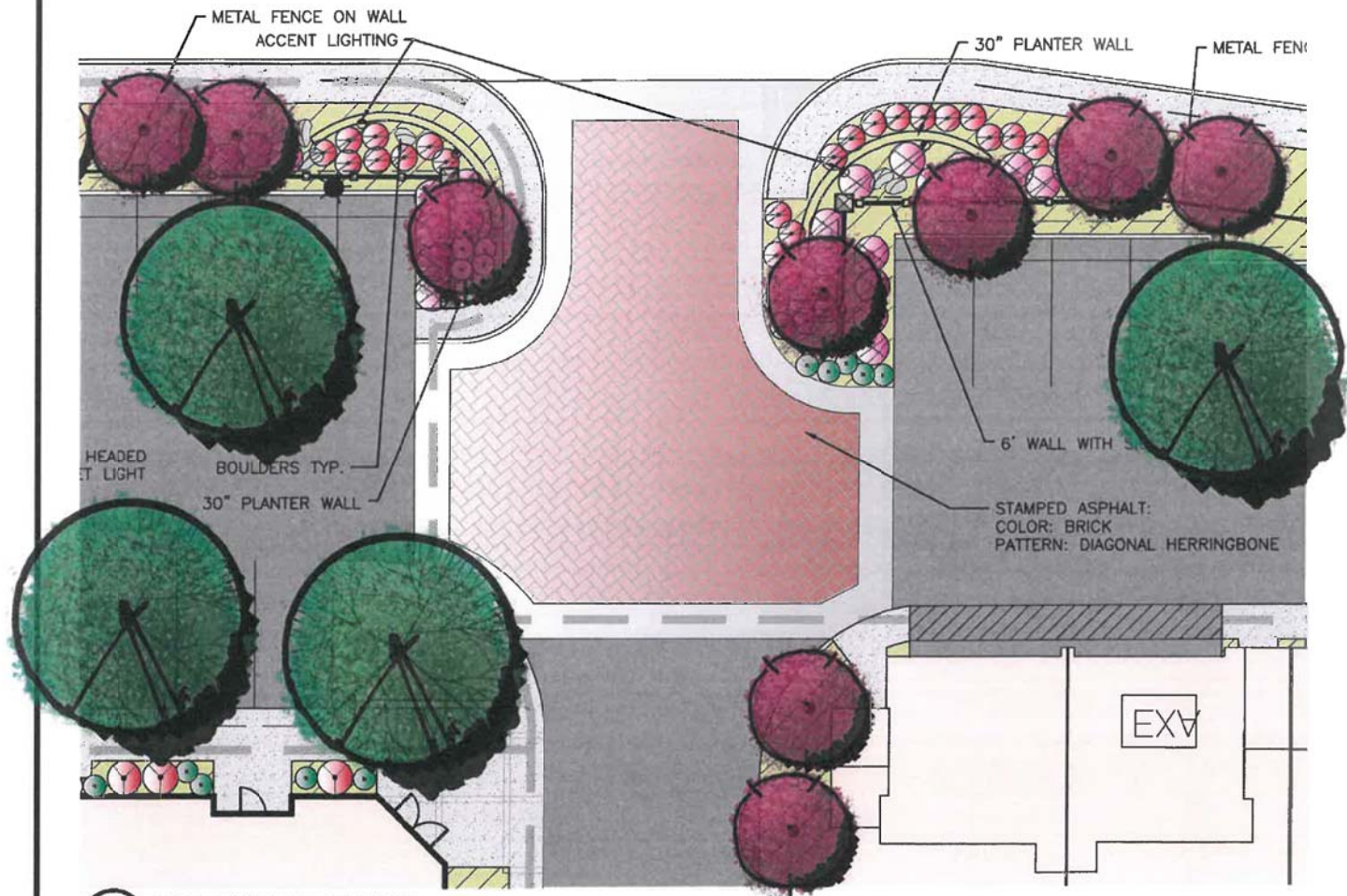
Agenda Item #7.b.

# STANFORD TERRACE

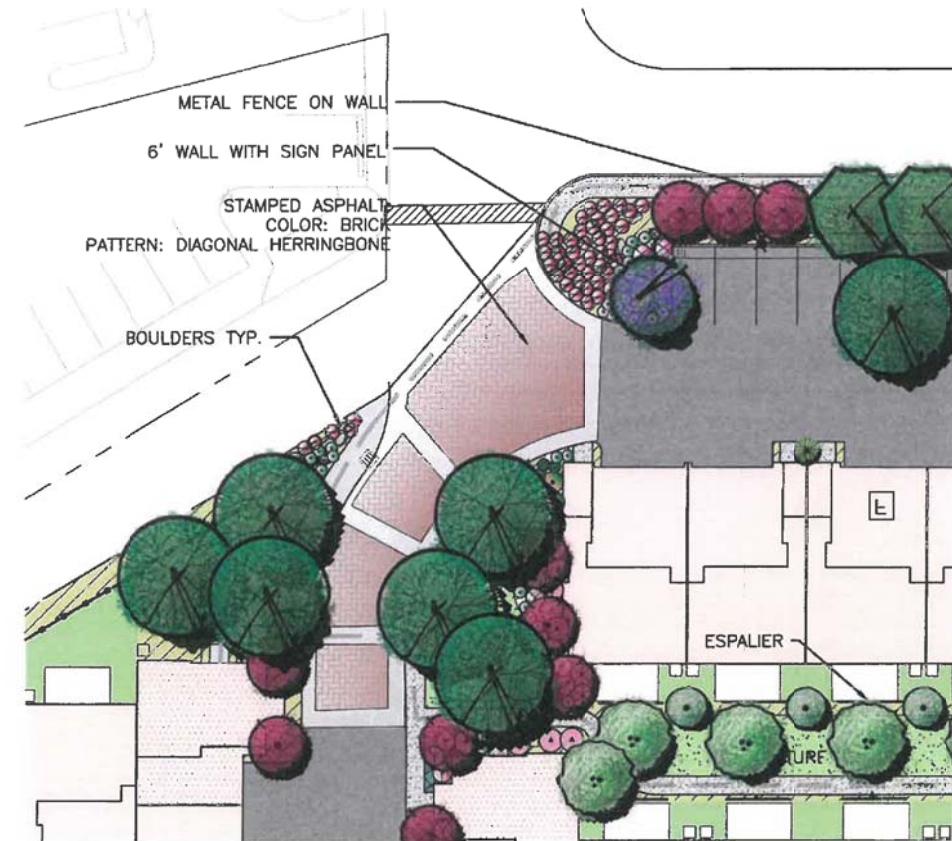
ROCKLIN, CALIFORNIA

JUNE 2014

## PRELIMINARY LANDSCAPE PLAN SHEET 2 OF 6



**A** NORTHWEST ENTRY  
1" = 10'-0"



**B** SOUTHWEST ENTRY  
1" = 20'-0"

### PRELIMINARY PLANT LIST AND LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	MIN. SIZE	WATER USE	DESIGN USE	SIZE WXH
	ACER P. 'CRIMSON SENTRY' CRIMSON SENTRY NORWAY MAPLE	15 GAL.	MED	STREET TREE	25'X15'
	COTINUS COGGYGRIA 'ROYAL PURPLE' SMOKE TREE	15 GAL.	LOW	PATIO/ACCENT	15'X10'
	LAGERSTROEMIA x. 'TUSCARORA' CRAPE MYRTLE	15 GAL.	LOW	PATIO/ACCENT	15'X12'
	LAURUS NOBILIS 'SARATOGA' (STD. FORM) SARATOGA SWEET BAY	15 GAL.	MED	EVERGREEN/SCREEN	25'X20'
	PODOCARPUS GRACILIOR FERN PODOCARPUS	15 GAL.	MED	EVERGREEN/SCREEN	40'X18'
	PODOCARPUS M. MAKI SHRUBBY YEW PINE	15 GAL.	MED	PATIO/SCREEN	8'X4'
	PYRUS C. 'CHANTICLEER' FLOWERING PEAR	15 GAL.	MED	ACCENT TREE	30'X15'
	RHAPHIOLEPIS INDICA MAJESTIC BEAUTY INDIAN HAWTHORN	15 GAL.	LOW	PATIO/ACCENT	20'X8'
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	15 GAL.	MED	STREET TREE	35'X25'

SHRUBS

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	DESIGN USE/QUANTITY	SIZE WXH
	ABELIA X. GRANDIFLORA SUNRISE VARIEGATED ABELIA	5 G	MED	BACKGROUND	5'X6'
	CISTUS PURPUREUS ORCHID SPOT ROCKROSE	5 G	LOW	FLOWERING FILLER	5'X5'
	CEANOTHUS G. 'DARK STAR' DARK STAR LILAC	5 G	LOW	BACKGROUND	5'X8'
	DIETES VEGETA FORTNIGHT LILY	1 G	LOW	ACCENT	2'X3'

### PLANT LIST AND LEGEND

SHRUBS

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	DESIGN USE/QUANTITY	SIZE WXH
	ELEAGNUS PUNGENS SERVICEBERRY	5 G	LOW	BACKGROUND	8'X10'
	FICUS PUMILA CREEPING FIG	1 G	MED	VINE	VINE
	ILEX C. SKY PENCIL SKY PENCIL HOLLY	5 G	MED	ACCENT	3'X5'
	KNIFOPHIA UVARIA RED HOT POKER	5 G	LOW	ACCENT	3'X4'
	LOROPETALUM CHINENSE 'ATROPURPUREA' CHINESE FRINGE FLOWER	15 G	MED	ESPALIER	6'X6'
	MAHONIA AQUIFOLIUM COMPACTA COMPACT OREGON GRAPE	5 G	LOW	FILLER	5'X3'
	MAHONIA LOMARIIFOLIA CHINESE HOLLY GRAPE	5 G	MED	ACCENT	6'X10'
	NANDINA D. 'UMPQUA CHIEF' HEAVENLY BAMBOO	5 G	MED	BACKGROUND	5'X8'
	CALLISTEMON VIMINALIS 'LITTLE JOHN' LITTLE JOHN BOTTLEBRUSH	5 G	LOW	BACKGROUND	5'X3'
	RHAPHIOLEPIS INDICA 'JACK EVANS' INDIA HAWTHORN	5 G	LOW	BACKGROUND	5'X6'
	ROSA X. FLOWER CARPET RED AND WHITE CARPET ROSE	2 G	MED	FLOWERING FILLER	3'X3'
	VIBURNUM DAVIDI DAVID VIBURNUM	5 G	MED	FLOWERING FILLER	3'X3'

### PLANT LIST AND LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	QUANTITY	SIZE WXH
	TEUCRIUM C. 'PROSTRATUM' CREEPING GERMANDER	1 G	LOW	24" O.C.	1'X2'
	BOLERO PLUS - TURF TYPE DWARF FESCUE	SOD	MED	---	---
	PROPOSED SHRUBS AND GROUND COVERS	---	---	---	---

#### NOTES:

- THIS LIST IS A GUIDE FOR PROJECT PLANT SELECTION. FINAL SELECTION TO BE MADE AT THE TIME OF REVIEW FOR BUILDING PERMIT. LANDSCAPE ARCHITECT RESERVES THE RIGHT, UPON CITY APPROVAL, TO SUBSTITUTE PLANT MATERIAL DUE TO INHERENT AVAILABILITY SHORTAGES OR ENVIRONMENTAL RESTRICTIONS.
- ALL TREES SHALL BE PLANTED AS MINIMUM 15 GALLON, SHRUBS AS MINIMUM 5 GALLON, AND GROUND COVER AS 1 GALLON.
- ALL GROUND MOUNTED UTILITY EQUIPMENT SHALL BE SCREENED USING PLANT MATERIAL.
- ALL PLANTED AREAS SHALL BE IRRIGATED USING AN AUTOMATIC IRRIGATION SYSTEM PER CITY AB 1881 REQUIREMENTS.
- ALL TREES IN THE BACKYARDS WILL BE IRRIGATED WITH BUBBLERS OFF OF THE HOA IRRIGATION SYSTEM.
- BACKYARDS TO GET 3" OF ROCK OVER WEED BARRIER.

FUHRMAN LEAMY  
LAND GROUP

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ROSELILLE, CA 95661 (916) 780-2500  
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FLG-ABS.13023

# STANFORD TERRACE

ROCKLIN, CALIFORNIA

JUNE 2014

## PRELIMINARY LANDSCAPE PLAN SHEET 3 OF 6



**A** RECREATION CENTER  
1" = 20'-0"



**B** SHRUB ESPALIER  
1" = 20'-0"

- NOTES:
1. ESPALIER IS USED TO PROVIDE A SHRUB IN THE NARROW AREA BETWEEN THE WALK AND PATIO.
  2. SHRUB IS GROWN ON THE ESPALIER FRAME AT THE NURSERY.
  3. ESPALIER FRAME IS 4 FT. X 4 FT. SQUARE.

**PRELIMINARY PLANT LIST AND LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	MIN. SIZE	WATER USE	DESIGN USE	SIZE WXH
	ACER P. 'CRIMSON SENTRY' CRIMSON SENTRY NORWAY MAPLE	15 GAL	MED	STREET TREE	25'X15'
	COTINUS COGGYGRIA 'ROYAL PURPLE' SMOKE TREE	15 GAL	LOW	PATIO/ACCENT	15'X10'
	LAGERSTROEMIA x. 'TUSCARORA' CRAPE MYRTLE	15 GAL	LOW	PATIO/ACCENT	15'X12'
	LAURUS NOBILIS 'SARATOGA' (STD. FORM) SARATOGA SWEET BAY	15 GAL	MED	EVERGREEN/SCREEN	25'X20'
	PODOCARPUS GRACILIOR FERN PODOCARPUS	15 GAL	MED	EVERGREEN/SCREEN	40'X18'
	PODOCARPUS M. MAKI SHRUBBY YEW PINE	15 GAL	MED	PATIO/SCREEN	8'X4'
	PYRUS C. 'CHANTICLEER' FLOWERING PEAR	15 GAL	MED	ACCENT TREE	30'X15'
	RHAMPHOLEPIS INDICA MAJESTIC BEAUTY INDIAN HAWTHORN	15 GAL	LOW	PATIO/ACCENT	20'X8'
	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	15 GAL	MED	STREET TREE	35'X25'

SHRUBS

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	DESIGN USE/QUANTITY	SIZE WXH
	ABELIA X. GRANDIFLORA SUNRISE VARIEGATED ABELIA	5 G	MED	BACKGROUND	5'X6'
	CISTUS PURPUREUS ORCHID SPOT ROCKROSE	5 G	LOW	FLOWERING FILLER	5'X5'
	CEANOTHUS G. 'DARK STAR' DARK STAR LILAC	5 G	LOW	BACKGROUND	5'X8'
	DIETES VEGATA FORTNIGHT LILY	1 G	LOW	ACCENT	2'X3'

**PLANT LIST AND LEGEND**

SHRUBS

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	DESIGN USE/QUANTITY	SIZE WXH
	ELEAGNUS PUNGENS SERVICEBERRY	5 G	LOW	BACKGROUND	8'X10'
	FICUS PUMILA CREEPING FIG	1 G	MED	VINE	VINE
	ILEX C. SKY PENCIL SKY PENCIL HOLLY	5 G	MED	ACCENT	3'X5'
	KNIFOPHIA UVARIA RED HOT POKER	5 G	LOW	ACCENT	3'X4'
	LOROPETALUM CHINENSE 'ATROPURPUREA' CHINESE FRINGE FLOWER	15 G	MED	ESPALIER	6'X6'
	MAHONIA AQUIFOLIUM COMPACTA COMPACT OREGON GRAPE	5 G	LOW	FILLER	5'X3'
	MAHONIA LOMARIIFOLIA CHINESE HOLLY GRAPE	5 G	MED	ACCENT	6'X10'
	NANDINA D. 'UMPQUA CHIEF' HEAVENLY BAMBOO	5 G	MED	BACKGROUND	5'X8'
	CALLISTEMON VIMINALIS 'LITTLE JOHN' LITTLE JOHN BOTTLEBRUSH	5 G	LOW	BACKGROUND	5'X3'
	RHAMPHOLEPIS INDICA 'JACK EVANS' INDIA HAWTHORN	5 G	LOW	BACKGROUND	5'X6'
	ROSA X. FLOWER CARPET RED AND WHITE CARPET ROSE	2 G	MED	FLOWERING FILLER	3'X3'
	VIBURNUM DAVIDII DAVID VIBURNUM	5 G	MED	FLOWERING FILLER	3'X3'

**PLANT LIST AND LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	WATER USE	QUANTITY	SIZE WXH
GROUND COVER					
	TEUCRIMUM C. 'PROSTRATUM' CREEPING GERMANDER	1 G	LOW	24" O.C.	1'X2'
	BOLERO PLUS - TURF TYPE DWARF FESCUE	SOD	MED	--	--
	PROPOSED SHRUBS AND GROUND COVERS	--	--	--	--

- NOTES:
1. THIS LIST IS A GUIDE FOR PROJECT PLANT SELECTION. FINAL SELECTION TO BE MADE AT THE TIME OF REVIEW FOR BUILDING PERMIT. LANDSCAPE ARCHITECT RESERVES THE RIGHT, UPON CITY APPROVAL, TO SUBSTITUTE PLANT MATERIAL DUE TO INHERENT AVAILABILITY SHORTAGES OR ENVIRONMENTAL RESTRICTIONS.
  2. ALL TREES SHALL BE PLANTED AS MINIMUM 15 GALLON, SHRUBS AS MINIMUM 5 GALLON, AND GROUND COVER AS 1 GALLON.
  3. ALL GROUND MOUNTED UTILITY EQUIPMENT SHALL BE SCREENED USING PLANT MATERIAL.
  4. ALL PLANTED AREAS SHALL BE IRRIGATED USING AN AUTOMATIC IRRIGATION SYSTEM PER CITY AB 1881 REQUIREMENTS.
  5. ALL TREES IN THE BACKYARDS WILL BE IRRIGATED WITH BUBBLERS OFF OF THE HOA IRRIGATION SYSTEM.
  6. BACKYARDS TO GET 3" OF ROCK OVER WEED BARRIER.

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Agenda Item #7.b.

**FUHRMAN LEAMY LAND GROUP**  
**UBORA ENGINEERING & PLANNING**  
"EXCELLENCE"  
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ROSEVILLE, CA 95661 | 916.280.2500  
www.uborainc.com

# STANFORD TERRACE

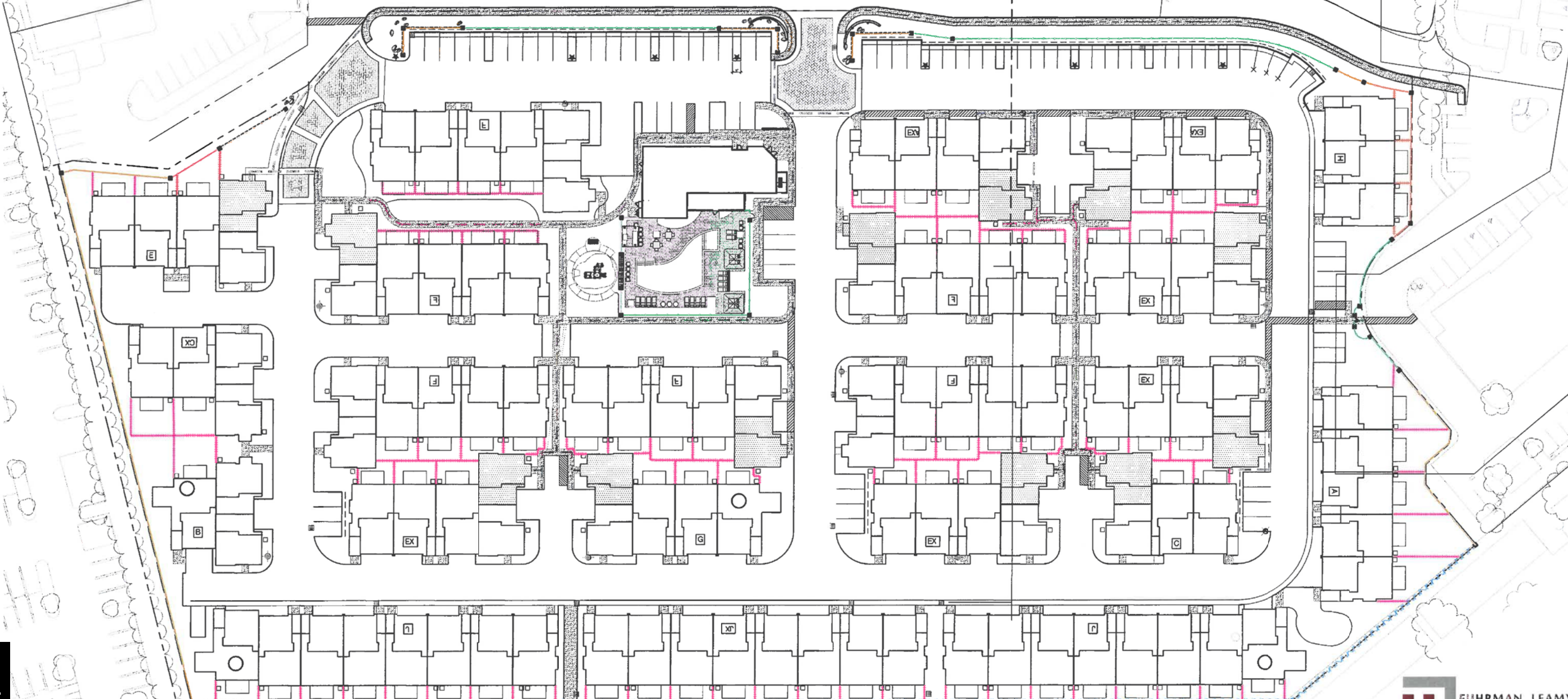
ROCKLIN, CALIFORNIA

JUNE 2014

## PRELIMINARY LANDSCAPE PLAN SHEET 4 OF 5

PERIMETER FENCE TYPES	
SYMBOL	FENCE
	6'0" MASONRY WALL
	36" METAL FENCE ON WALL
	6'0" WOOD FENCE
	EXISTING WALL

NOTES:  
 1. PLACE PILASTER AT ALL ENDS OF WALL AND CHANGES IN DIRECTION AND AS SHOWN ON PLANS.  
 2. ALL INTERNAL FENCING BETWEEN UNITS SHALL BE 6'0" "GOOD NEIGHBOR" FENCING



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Agenda Item #7.b.

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FLG:ABS.13023

# STANFORD TERRACE

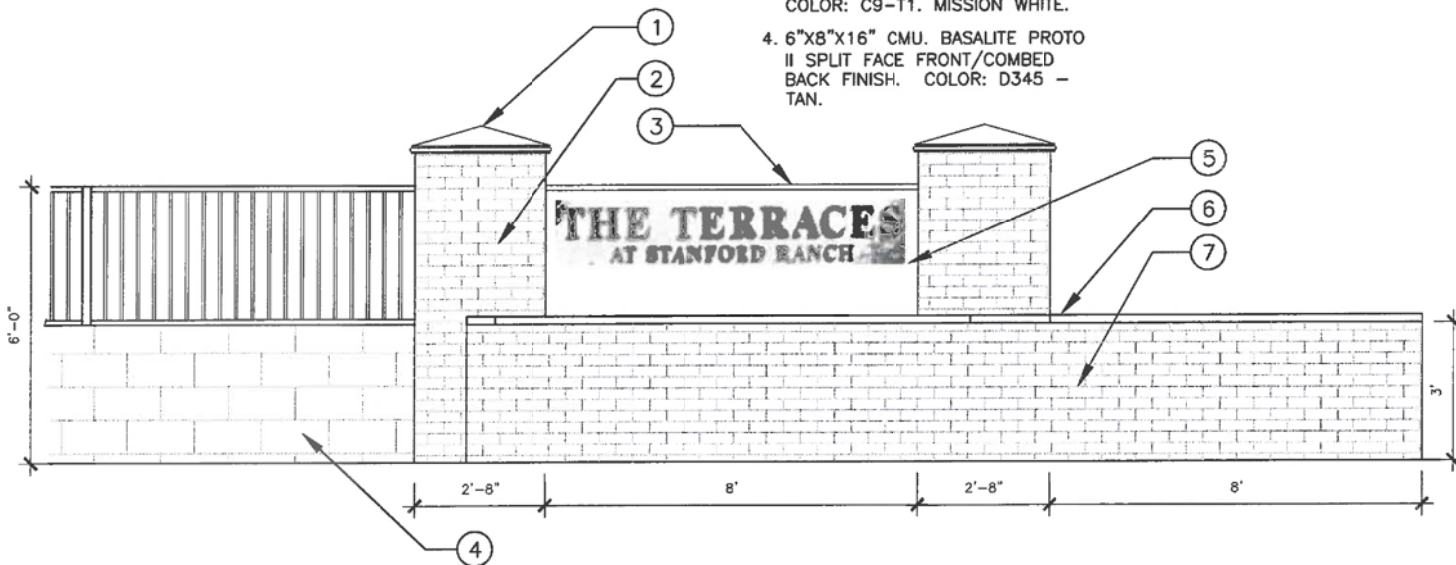
ROCKLIN, CALIFORNIA

JUNE 2014

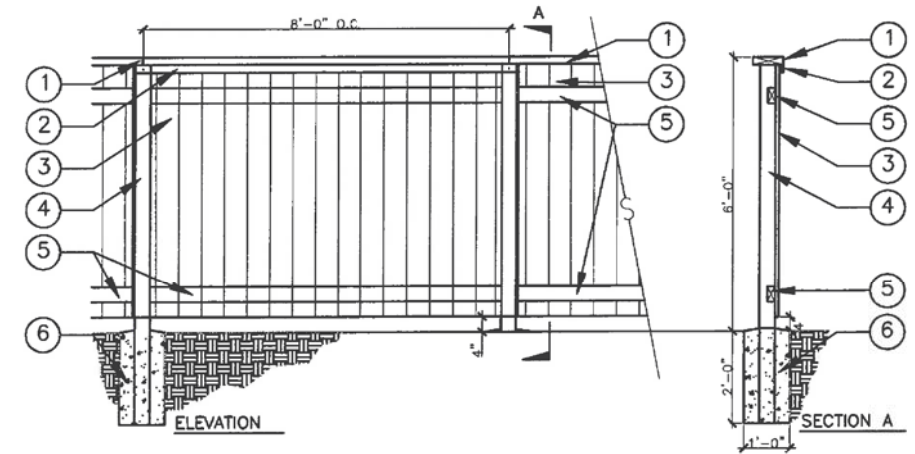
## PRELIMINARY LANDSCAPE PLAN SHEET 5 OF 5

**LEGEND**

- 1. PRECAST CONCRETE CAP BY QUICK CRETE. MODEL: Q-E36PC. COLOR: C9-T1. MISSION WHITE.
- 2. 2'-8" SQUARE STD. COLUMN WITH HC MUDDOX BRICK VENEER. COLOR: OLD TOWN RED SMOOTH.
- 3. PRECAST CONCRETE WALL CAP BY QUICK CRETE. MODEL: Q-Y10SWC. COLOR: C9-T1. MISSION WHITE.
- 4. 6"x8"x16" CMU. BASALITE PROTO II SPLIT FACE FRONT/COMBED BACK FINISH. COLOR: D345 - TAN.
- 5. STUCCO PANEL WITH METAL LETTERS. COLOR: WHITE.
- 6. PRECAST CONCRETE WALL CAP BY QUICK CRETE. MODEL: Q-Y10SWC. COLOR: C9-T1. MISSION WHITE.
- 7. 3/8" WALL WITH HC MUDDOX BRICK VENEER. COLOR: OLD TOWN RED SMOOTH.



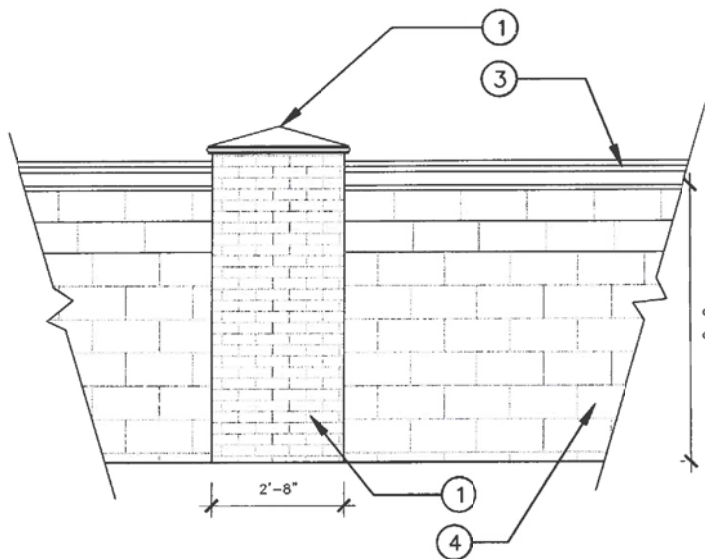
**A** ENTRY WALL  
SCALE: N.T.S.



**B** WOOD FENCE - GOOD NEIGHBOR  
SCALE: 1/2" = 1' - 0"

**LEGEND:**

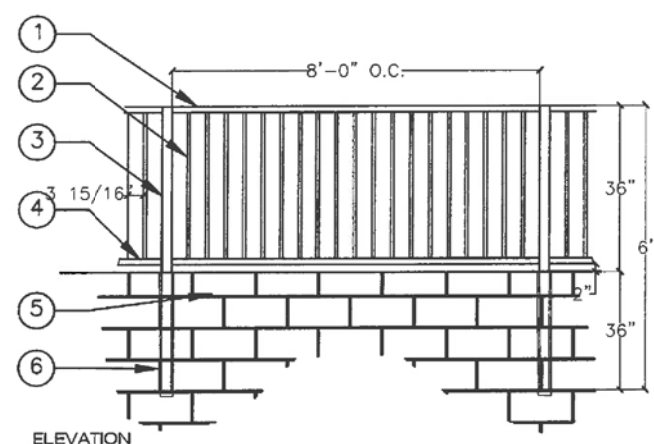
- 1. 2" x 6" CAP.
- 2. 1" x 2" PLANT-ON.
- 3. 1" x 6" FENCE BOARD, TYP.
- 4. 4" x 4" POST. PLACE POSTS 8'-0" O.C. MAXIMUM.
- 5. 2" x 4" STRINGER, TOP AND BOTTOM, TYP.
- 6. 12" x 24" CONCRETE FOOTING, TYP. SLOPE TOP AWAY FROM POST TO PREVENT STANDING WATER.



**LEGEND**

- 1. PRECAST CONCRETE CAP BY QUICK CRETE. MODEL Q-E36PC. COLOR: C9-T1. MISSION WHITE.
- 2. 2'-8" SQUARE STD. COLUMN WITH HC MUDDOX BRICK VENEER. COLOR: OLD TOWN RED SMOOTH.
- 3. BASALITE BEVELED CAP. COLOR: W1. WHITE.
- 4. 6"x8"x16" CMU. BASALITE PROTO II SPLIT FACE FRONT /COMBED BACK FINISH. COLOR: D345 - TAN.

**C** SCREEN WALL  
SCALE: N.T.S.



**D** METAL FENCE ON WALL  
SCALE: 1/2" = 1'0"

**LEGEND:**

- 1. 1-1/2" SQ. - 16 GAUGE TUBULAR STEEL TOP RAIL.
- 2. 3/4" SQ. - 19 GAUGE TUBULAR STEEL PICKETS @ 4-5/8" O.C. (TYP).
- 3. 2" O.D. TUBE STEEL POST.
- 4. 11-1/2" SQ. - 16 GAUGE TUBULAR STEEL BOTTOM RAIL.
- 5. 6"x8"x16" CMU. BASALITE PROTO II SPLIT FACE FRONT/COMBED BACK FINISH. COLOR: D345 - TAN.
- 6. PLACE SLEEVES IN CMU WALL. POR-ROK CEMENT POSTS IN PLACE.

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Agenda Item #7.b.

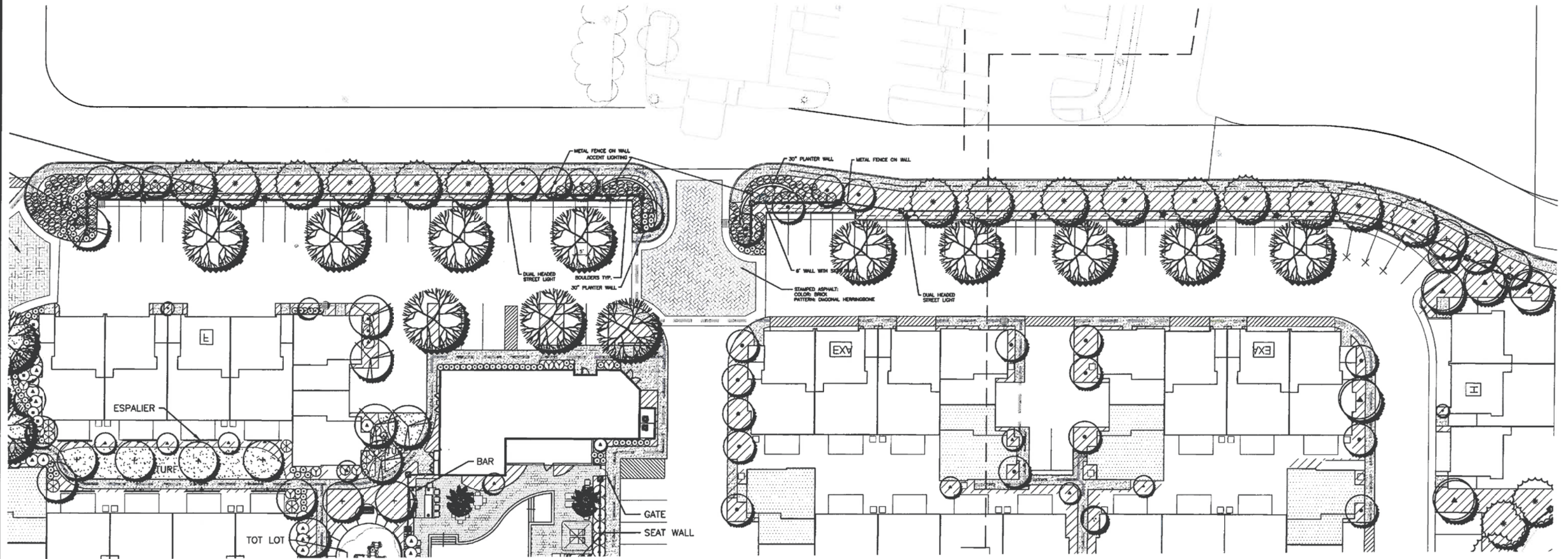
**FUHRMAN LEAMY LAND GROUP**  
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# STANFORD TERRACE

ROCKLIN, CALIFORNIA

JUNE 2014

PRELIMINARY LANDSCAPE PLAN SHEET 6 OF 6



**A** LIGHTING EXHIBIT  
1" = 20'-0"

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**FUHRMAN LEAMY  
LAND GROUP**

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FLGABS.13023

Agenda Item #7.b.



City of Rocklin Economic and Community Development Department

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**Planning Commission  
STAFF REPORT**

**Sierra Pine Subdivision**

**General Plan Amendment, GPA2016-0002  
General Development Plan, PDG2016-0004  
Rezone, Z2016-0002  
Tentative Subdivision Map, SD2016-0005  
Oak Tree Preservation Plan Permit, TRE2017-0006  
Design Review, DR2016-0009**

**August 15, 2017**

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**Recommendation**

Staff recommends the Planning Commission approve the following:

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF A MITIGATED NEGATIVE DECLARATION OF ENVIRONMENTAL IMPACTS (Sierra Pine Subdivision / GPA2016-0002, PDG2016-0004, Z2016-0002, SD2016-0005, DR2016-0009 and TRE2017-0006)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF AN ORDINANCE AMENDING THE GENERAL PLAN DESIGNATION OF AN AREA FROM HIGH DENSITY RESIDENTIAL (HDR) AND MIXED USE (MU) TO MEDIUM DENSITY RESIDENTIAL (MDR) (Sierra Pine Subdivision / GPA2016-0002)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF AN ORDINANCE ESTABLISHING THE SIERRA PINE GENERAL DEVELOPMENT PLAN AND REZONING AN AREA FROM HEAVY INDUSTRIAL (M-2) TO PLANNED DEVELOPMENT RESIDENTIAL – 8 DWELLING UNITS PER ACRE (PD-8) (Sierra Pine Subdivision / PDG2016-0004 and Z2016-0002)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF A TENTATIVE SUBDIVISION MAP AND AN OAK TREE PRESERVATION PLAN PERMIT (Sierra Pine Subdivision / SD2016-0009 and TRE2017-0006)

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF A DESIGN REVIEW (Sierra Pine Subdivision / DR2016-0009)

### **Proposal/Application Request**

This application is a request for approval of the following entitlements to allow the development of approximately 28.17 acres into 199 single-family residential lots:

- A General Plan Amendment to change the land use designation from a combination of Mixed Use (MU) and High Density Residential (HDR) to Medium Density Residential (MDR).
- A General Development Plan to establish the land uses and development standards for the proposed zone district.
- A Rezone to change the zoning applicable to the project site from Heavy Industrial (M-2) to Planned Development Residential - 8 dwelling units per acre (PD-8).
- A Tentative Subdivision Map to create a 199-unit single family small lot residential subdivision.
- A Design Review for the site design, landscaping, architectural designs, colors and materials of a proposed single-family small lot residential subdivision

### **Project Ownership and Applicant**

The applicant is Jerry Aplass with Burrell Consulting Group. The property owner is Sierra Pine, a California limited partnership.

### **Background and Site Characteristics**

The 28.17-acre project site consists of a single parcel, located approximately 400 feet south of the intersection of Pacific Street and Dominguez Road. The project address is 4300 Dominguez Road. The Assessor Parcel Number (APN) is 045-021-050. See **Figure 1**.

The parcel is the site of the former Sierra Pine fiberboard manufacturing facility, which operated from 1975 through December 2011. Throughout the past several years, most buildings associated with the facility have been removed. The site was re-designated High Density Residential as part of the 2012 General Plan Update.

In 2015, a Tentative Parcel Map was approved to allow the subdivision of the approximately 34-acre property into two lots. Resultant Parcel 1 is approximately 7 acres and Parcel 2 is approximately 27 acres. Parcel 1 contains the only building which is left of the Sierra Pine manufacturing facility and is not a part of this application. The proposed project is located entirely on Parcel 2.



**Figure 1. Project Location**



### **Surrounding Uses**

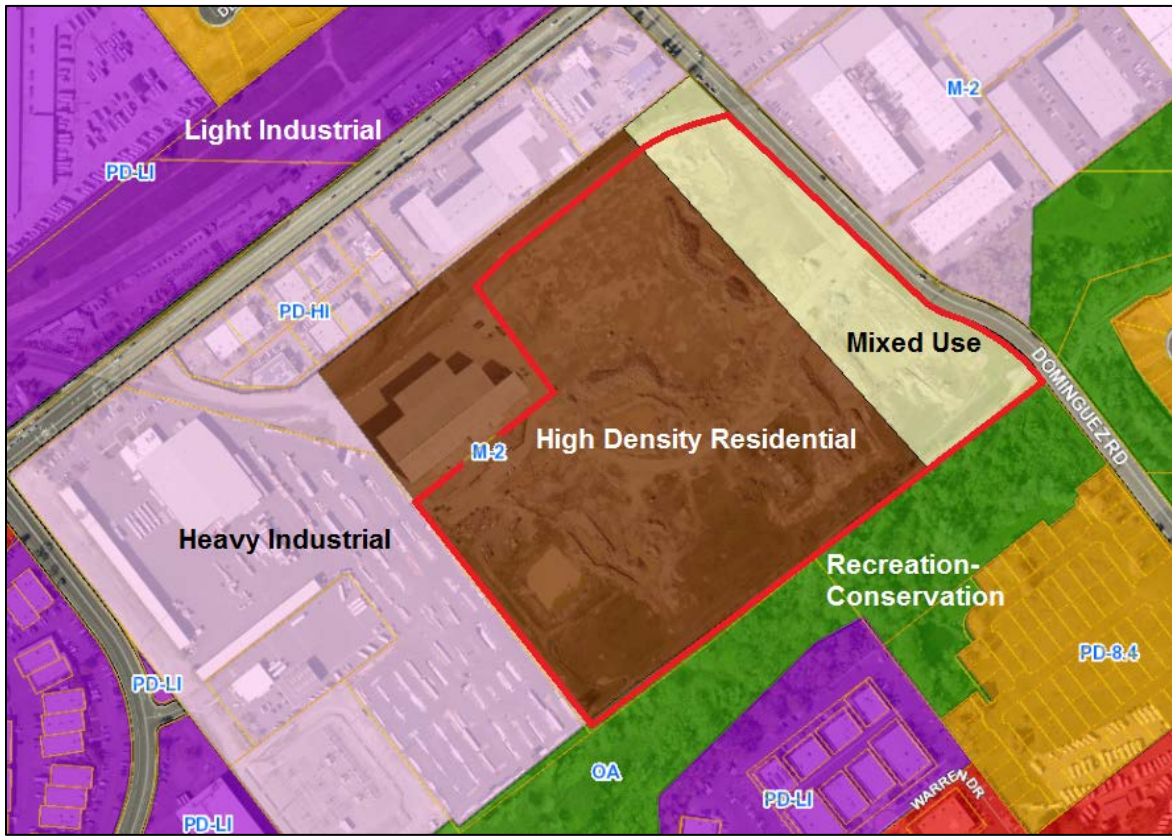
The project site is bound to the northeast by Dominguez Road and a railroad spur, a strip of several industrial businesses and then Pacific Street to the northwest. To the northeast of Dominguez Road are other commercial and industrial uses including Meeks Lumber and a Pacific MDF fiberboard manufacturing plant. To the south of the project site is Sucker Ravine Creek, a tributary of Secret Ravine Creek, and the newly developing Granite/Dominguez single family residential subdivision. To the southwest of the project site are other industrial uses including Taiga Forest Products, the Rocklin Unified School District school bus parking lot and a UPS distribution center.

See **Table 1** for surrounding uses and see **Figure 2** for the current General Plan and Zoning.

**Table 1. Surrounding Uses**

	Current Use	Current General Plan / Zoning
Project Site	Vacant Former Industrial facilities	High Density Residential (HDR) and Mixed Use (MU) / Heavy Industrial (M-2)
North	Various Industrial uses	Heavy Industrial (HI) / Planned Development Heavy Industrial (PD-HI)
South	Sucker Ravine	Recreation-Conservation (R-C) / Open Area (OA)
East	Dominguez Road Various Industrial uses	Heavy Industrial (HI) / Heavy Industrial (M-2)
West	Various Industrial uses	Heavy Industrial (HI) / Planned Development Heavy Industrial (PD-HI)

**Figure 2. Current General Plan/Zoning**



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 Sierra Pine Subdivision  
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### **General Plan Amendment**

The project proposes to amend the General Plan designation for this site from a combination of High Density Residential (HDR) and Mixed Use (MU) to Medium Density Residential (MDR), which allows a density range of 3.5 to 8.4 dwelling units per acre. The MDR designation is intended to provide areas for single family homes on urban lots; to allow for accessory uses and non-residential uses compatible with single family neighborhoods; and to discourage non-residential uses which are incompatible with single family neighborhoods.

**Figure 3. Granite Drive and Pacific Street Development Sites**



As indicated on the aerial map in Figure 3 above, the proposed Sierra Pine Subdivision is one of several residential developments that have been approved in the Granite Drive and Pacific Street areas in the last several years. The character of the area has substantially changed as the Rocklin Commons and Crossings commercial centers at Sierra College Boulevard and Interstate 80 are near completion and industrial and commercial land use designations in the area have changed to residential designations with the approval and construction of Parklands, Brighton, Granite and Dominguez, and Garnet Creek subdivisions.

Staff supports the land use designation change because the project will bring additional residents to the core of Rocklin to help support businesses in nearby commercial areas. The project site is within walking distance of the existing Rocklin Square, Sierra Meadows, Rocklin Commons, and several smaller commercial centers that it will help to support. More generally, the project brings

*Planning Commission Staff Report  
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additional residents that will help support businesses in other nearby commercial areas along Pacific Street, Rocklin Road, and Sierra College Boulevard.

The project site was identified in the City's 2013-2021 Housing Element at a density which could provide housing opportunities for households earning between 30 and 80 percent Area Median Income (AMI) (i.e., \$22,830 to \$60,900) for a family of four.

The citywide Regional Housing Needs Allocation (RHNA) in the 2013-2021 Housing Element for this income category is 1,769 units. The City's overall inventory of potential sites at densities which could create opportunities for such development provides more than the minimum number of units required, however, pursuant to the State Department of Housing and Community Development's (HCD's) policy at least 50% of the City's inventory of available sites needs to be "Hard Designated" as High Density Residential (HDR) (i.e., enough acreage to yield up to 885 units). The City's minimum default density negotiated with HCD as part of the 2013-2021 Housing Element is 22 dwelling units per acre (du/ac). A maximum of 50% of the available sites inventory may also consist of Mixed Use sites, however, only 50% of the potential yield of mixed use sites can be counted toward the City's RHNA allocation since there are other development options such as office and/or commercial that would be possible in that land use category.

Land use designations that were applied to the Sierra Pine site as part of the City's 2014 Housing Element implementation included approximately 27 acres as High Density Residential (HDR) and approximately 6.7 acres as Mixed Use (MU). With both designations combined (HDR and MU), the Sierra Pine site accounts for approximately 667 units within the City's available sites inventory (i.e., 594 designated as HDR and 73 as MU).

Although the median income for Placer County is relatively high, the density of the proposed Sierra Pine development project is not likely to result in homes that are affordable to residents who earn 80% or less of the Area Median Income.

Due to the amount of acreage involved and the fact that much of the site was "Hard Designated" as HDR, the City needs to make up for this loss of designated acreage in other locations in order to maintain an adequate inventory.

To compensate for the loss of the Sierra Pine HDR component in particular, the City is moving forward with processing applications from property owners and a Resolution of Intent to initiate zoning and/or land use changes for properties shown on the pages that follow that were not previously part of the Housing Element inventory for this income category.

These concepts, sites and/or the need to maintain a compliant available sites inventory have been described and discussed in public workshops where information regarding the City's Regional Housing Needs Allocation (RHNA) and Strategic Plans have been presented including the Council Strategic Plan Session conducted on January 24, 2015 and at the City Council RHNA Workshop conducted on November 13, 2015.

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These land use changes if approved would create the potential for 756 units. This would exceed the loss of the Sierra Pine site within the inventory by approximately 89 units.

Placer Creek Apartments – Current application for to rezone 9.86 acres to PD-22+ du/acre zoning = Minimum 216 units.



West Oaks Blvd/Atherton Road Near Lonetree – 11.58 acres Light Industrial (LI) to HDR and 22+ du/acre zoning = Minimum 254 units.



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WJU (West Side of University Avenue) – 13 acres +/- Light Industrial (LI) to HDR and 22+ du/acre zoning = 286 units.



There are also some recent housing proposals that are anticipated to result in the construction of affordable units which could assist the City in the accomplishment of having units constructed within this income category during the 2013-2021 Housing Element Cycle:

Rocklin Gateway/ZL Rocklin – 6.86 acres – Rezoned from PD-MU to PD-33 (Ord 1068) – Zoning allows for Multi Family Development at a maximum of 33 du/acre = maximum potential yield based on zoning = 226 units. While the potential yield at the upper end is quite high, the density range in the zoning allows for between 10 and 33 units per acre, so the entire potential yield of this site cannot be counted in the inventory of properties providing housing opportunities for households earning 30% to 80% AMI. However, as part of the entitlements that were recently processed for the Rocklin Gateway project the City required that at least 20% of the 204 units that were approved (i.e., 40 units) would be restricted to a rental rate that is affordable to families earning between 50% and 80% AMI. The actual percentage of AMI that will apply depends upon the type of financing that the project obtains.

Quarry Place/Pacific Pointe (Former K-Mart site) – 7.8 acres – Land Use Designation Rezoned from Retail Commercial (RC) to HDR and Rezoned from PD-C (Planned Development Commercial) to R-3 (Multifamily Residential) = 180 +/- units. The lower end of the High Density Residential land use category allows densities from 15.5 units per acre and the R-3 zoning designation does not restrict densities to 22 units per acre minimum, therefore, this site cannot be counted in the inventory of properties providing housing opportunities for households earning 30% to 80% AMI. However, there is a development proposal currently being processed that consists of approximately 180 units with rents that are intended to be restricted to 50% and 60% AMI.

The maintenance of the City’s available sites inventory is an ongoing effort that requires careful monitoring by staff and actions by the City Council. Staff will continue to work with housing developers and monitor the sale and rental prices of future homes as required on an annual basis to document the City’s accomplishments relative to achieving the goals of the Housing Element and ensure that our inventory of available sites remain in compliance with state requirements.

This request is one of several general plan amendments for which applications have been received recently. If the Planning Commission recommends approval of the project it will be considered by the City Council at the next available meeting as the first of four general plan amendment hearings that can be held in 2017.

**General Development Plan and Rezone**

Although the site was re-designated to HDR as part of the General Plan Update, the zoning was not modified from Heavy Industrial (M-2). In order to make the project consistent with the proposed MDR General Plan designation, the applicant proposes to establish a new General Development Plan (PDG). The PDG would create the zoning for the site, Planned Development Residential - 8 dwelling units per acre (PD-8), and would establish development standards.

The uses and development standards proposed are consistent with the proposed MDR General Plan designation. The primary use permitted by right in the PD-8 zone would be single-family homes. The district would also allow accessory residential uses consistent with the RMC R1-6 residential zone district (17.12.010) and accessory dwelling units subject to regulations in the RMC. **Tables 2, 3, and 4** below outline the development standards the applicant has proposed for each of the three minimum lots sizes within the proposed zone district. Staff has no objection to the proposed development standards.

**Table 2. 2,500 Square Foot (50x50) Lots – Development Standards**

<b>50x50 Lots</b>	
Minimum Lot Size	2,500 square feet
Minimum Lot Width-Interior	50 feet
Minimum Lot Width-Corner	55 feet
Setbacks	
Front-Living	5 feet
Front-Garage Face (Door)	5 feet or 18 feet
*Side-Interior	**4 feet
*Side-Street	10 feet
*Rear	5 feet
Lot Coverage	60%
Height-Primary	35 feet
Height-Accessory	14 feet

**Table 3. 2,900 Square Foot (45x65) Lots – Development Standards**

45x65 Lots	
Minimum Lot Size	2,900 square feet
Minimum Lot Width-Interior	45 feet
Minimum Lot Width-Corner	51 feet
Setbacks	
Front-Living	10 feet
Front-Garage Face	18 feet
*Side-Interior	**4 feet
*Side-Street	10 feet
Rear	10 feet
Rear-California Room	4 feet
Lot Coverage	60%
Height-Primary	35 feet
Height-Accessory	14 feet

**Table 4. 3,200 Square Foot (40x80) Lots – Development Standards**

<b>40x80 Lots</b>	
Minimum Lot Size	3,200 square feet
Minimum Lot Width-Interior	40 feet
Minimum Lot Width-Corner	46 feet
Setbacks	
Front-Living	10 feet
Front-Garage Face	18 feet
*Side-Interior	**4 feet
*Side-Street	10 feet
Rear	5 feet
Rear-California Room	4 feet
Lot Coverage	60%
Height-Primary	35 feet
Height-Accessory	14 feet

\* Including structures open on two or three sides.

\*\* No encroachments by structural or architectural elements, including fireplaces and chimneys.

**Tentative Subdivision Map**

*Subdivision Design - General*

The Tentative Subdivision Map will subdivide the approximately the approximately 28.17-acre site into 199 single family residential lots and nine landscape lots (see **Figure 4** below). Of the nine



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lettered lots (A, B, C, D, E, F, G, H and I), Lots A and B are for street frontage and entry landscaping that will be dedicated to the City. Lots C through G are internal landscape lots and paseos; Lot H is a private park with the project's detention / LID facility and SPMUD and other utility access easements; and Lot I is s landscape buffer area. Minimum lot size varies from 2,500 square feet to 3,200 square feet. Lot sizes range from the 2,500 square feet up to a maximum lot size of 4,581 square feet. The average lot size for interior and corner lots are 3,784 square feet and 4,075 square feet, respectively. Minimum lot widths are as shown in **Tables 2, 3, and 4** above.

The subdivision streets are designed to the City's 38 foot cul-de-sac standard with rolled curb, gutter, and a sidewalk on one side and a vertical curb on the other side. On-street parking will be limited to the vertical curb side only. The streets will be public. The project is obligated to construct all on-site streets and improvements and to install sewer, water, and other infrastructure as required by the City and the applicable utilities to provide service to the project.

The subdivision is designed with two points of entry off of Dominguez Road. The project is obligated to reconstruct a half section of the Dominguez Road paving along the project frontage. In lieu of actually rebuilding this portion of Dominguez Road, the applicant shall enter into an agreement, in a form to the satisfaction of the Public Services Director, to pay the project's fair-share costs of the reconstruction. The project is also conditioned to construct a sidewalk along the westerly side of Dominguez Road across the adjacent industrial parcel (APN 045-021-049) to complete the link for pedestrian path of travel.

Landscape Lot H includes a private park with recreation facilities and paths, the detention basin/LID facility, and an SPMUD access road that will also serve as a pubic trail along Sucker Ravine. Landscape Lot I includes seat walls and a community garden space in addition to being a buffer for the adjacent industrial uses.

#### *Grading, Retaining Walls, Stormwater Quality*

The project's grading is designed to balance on-site. Retaining walls are proposed to level the site. The tallest proposed retaining wall is along the western boundary with the existing industrial uses where it varies from 4 to 10.5 feet tall. A one to four foot tall retaining wall is located along the northern boundary with the railroad spur. Retaining walls are also used in Lot H to ensure that project grading does not encroach into the riparian habitat along Sucker Ravine or the SPMUD access easement. The site will be graded to create lots that drain to the streets and into the detention basin/LID facility within Lot H.

The project is conditioned to comply with the City's Post Construction Manual for Stormwater management. Air quality, sediment, and erosion control measures are required to be implemented and maintained during construction.

#### *Oak Tree Preservation Permit*

There are a total of thirty native oak trees on the project site eight oak trees are proposed to be removed, four are recommended for removal by the project arborist as being dead, dying, or a

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hazard, and four oak trees are proposed for removal to allow development of the Sierra Pine Subdivision project.

The project has been conditioned to mitigate for the removal of oak trees on the project site consistent with the requirements of the City's Oak Tree Preservation Ordinance (Rocklin Municipal Code Section 17.77.080.B).

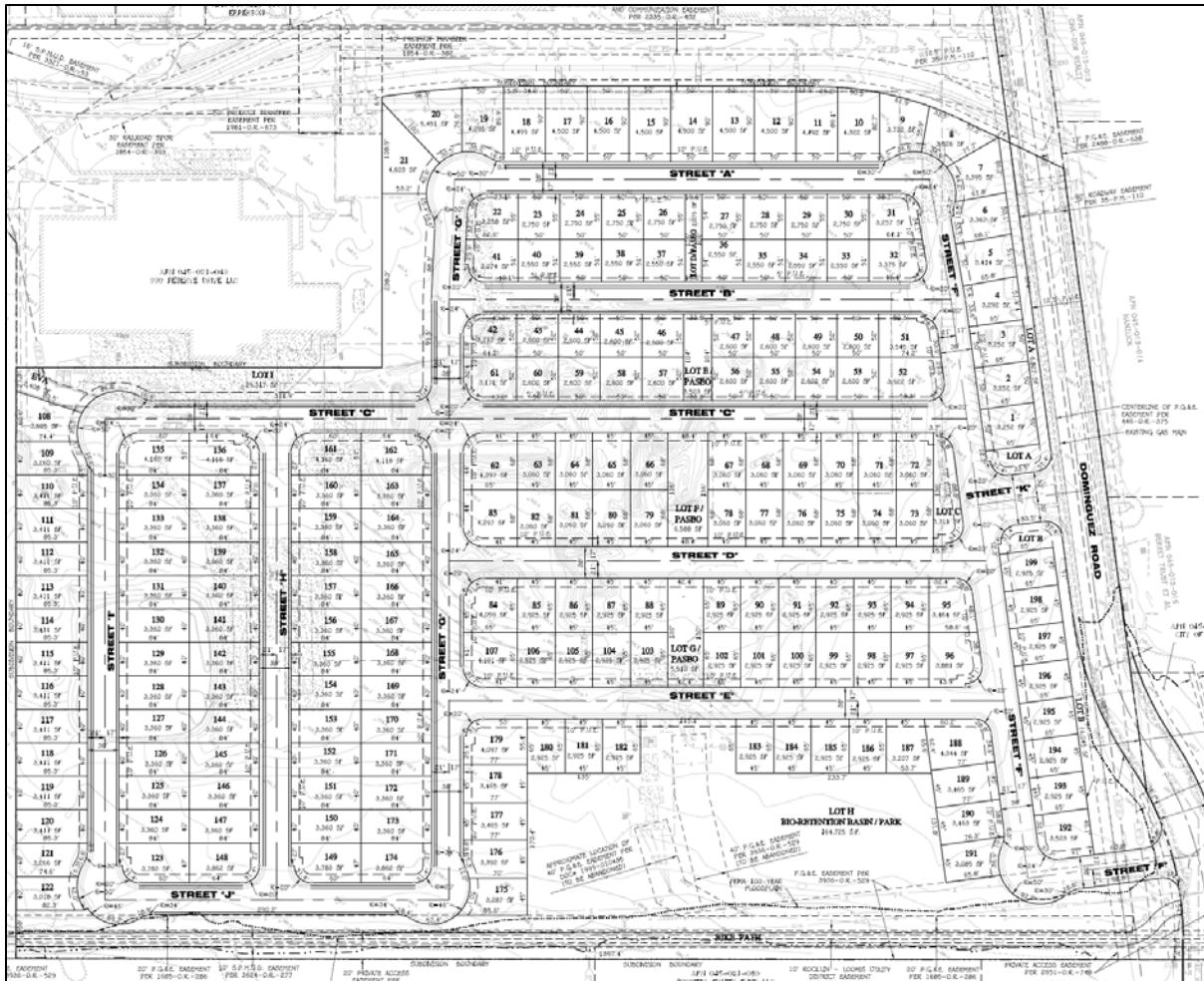
*Fencing, Walls and Noise Analysis*

The City of Rocklin General Plan goal for noise is: "To protect residents from health hazards and annoyance associated with excessive noise levels". To implement that goal, the City has adopted Noise Compatibility Guidelines prepared by the State Office of Noise Control. The objective of the Noise Compatibility Guidelines is to assure that consideration is given to the sensitivity to noise of a proposed land use in relation to the noise environment in which it is proposed to be located. For single-family residential uses, exterior noise levels up to 60 dB Ldn are Normally Acceptable, and exterior noise levels from 60-70dB Ldn are Conditionally Acceptable. The maximum allowable interior noise level is 45 dB Ldn.

A noise analysis was prepared for the proposed subdivision to analyze transportation noise, including noise from the adjacent railroad spur, to review compliance with City standards for acceptable noise levels in residential developments.

Based upon the findings of the noise study, the Mitigated Negative Declaration contains a mitigation measure, included in the recommended conditions of approval, requiring a six- to eight-foot tall sound wall be constructed along the project's west, north, and east boundaries. The barrier height is relative to the final building pad elevations and must be constructed of concrete or masonry, earthen berm, or a combination of types. Additional conditions of approval have been included to clarify the Fencing Plan (Sheet LP2) in Exhibit A and to ensure the project complies with the Citywide Design Review criteria.

Figure 4. Proposed Site Plan



**Design Review**

Architecture

The project includes a Design Review for the landscaping, architectural designs, colors and materials for the single-family to be built in the subdivision. The home designs have traditional Spanish Colonial, Craftsman, and American Gothic Revival style themes consistent with other single family architecture approved in recent years in Whitney Ranch, Sunset West, Stanford Ranch, as well as nearby Brighton and Granite and Dominguez subdivisions. Three models/floor plans are proposed with three architectural style variations for each model. A total of twelve color and materials schemes are provided of which a set of four schemes is designated for each of the three models' corresponding style variation. The colors are generally earth tones and materials include concrete tile roof, stone or brick veneers for most schemes, and four main paint colors per scheme.

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Sierra Pine Subdivision  
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Staff has compared the proposed subdivision's architectural designs with the provisions in the City's adopted Design Review Guidelines and determined that they are consistent with those criteria. This site is not within an Architectural Review District.

#### Individual Lot Landscaping

Front yard landscaping is provided for each lot. Each lot will have a tree in the front yard; corner lots will have two trees or more. Tree selections have accounted for the size of the yard, planter areas, driveway locations, as well as the need to accommodate utilities in the reduced (five to ten foot) PUE. Front yard landscaping also includes shrubs and turf consistent with the State's Water Efficiency Landscape Ordinance.

#### Environmental Determination

Consistent with the requirements of the California Environmental Quality Act an Initial Study was prepared to determine the Sierra Pine Subdivision project's potential impacts on the environment. The study found that the project could have significant impacts with regard to Air Quality, Biological Resources, Cultural Resources, Greenhouse Gas Emissions, Hazardous Materials, and Noise; however, it was also able to identify mitigation measures that would reduce each of these potential impacts to a less than significant level. Therefore, a Mitigated Negative Declaration (MND) of environmental impacts was prepared for the project.

#### Recommendation

Staff recommends that the Planning Commission recommend approval of the Sierra Pine Subdivision project as proposed and conditioned.

*Prepared by Dara Dungworth, Senior Planner*

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## RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY  
OF ROCKLIN RECOMMENDING APPROVAL OF A MITIGATED NEGATIVE  
DECLARATION OF ENVIRONMENTAL IMPACTS

Sierra Pine Subdivision

(GPA2016-0002, PDG2016-0004, Z2016-0002, SD2016-0005, DR2016-0009 and TRE2017-0006)

WHEREAS, the City of Rocklin's Environmental Coordinator prepared an Initial Study on the Sierra Pine Subdivision project (GPA2016-0002, PDG2016-0004, Z2016-0002, SD2016-0005, DR2016-0009 and TRE2017-0006) (the "Project") which identified potentially significant effects of the Project; and

WHEREAS, revisions to and/or conditions placed on the Project, were made or agreed to by the applicant before the mitigated negative declaration was released for public review, were determined by the environmental coordinator to avoid or reduce the potentially significant effects to a level that is clearly less than significant and that there was, therefore, no substantial evidence that the Project, as revised and conditioned, would have a significant effect on the environment; and

WHEREAS, the Initial Study and mitigated negative declaration of environmental impacts were then prepared, properly noticed, and circulated for public review.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Rocklin as follows:

Section 1. Based on the Initial Study, the revisions and conditions incorporated into the Project, the required mitigation measures, and information received during the public review process, the Planning Commission of the City of Rocklin finds that there is no substantial evidence that the Project, as revised and conditioned, may have a significant effect on the environment.

Section 2. The mitigated negative declaration reflects the independent judgment of the Planning Commission.

Section 3. All feasible mitigation measures identified in the City of Rocklin General Plan Environmental Impact Reports which are applicable to this Project have been adopted and undertaken by the City of Rocklin and all other public agencies with authority to mitigate the project impacts or will be undertaken as required by this project.

Section 4. The statements of overriding considerations adopted by the City Council when approving the City of Rocklin General Plan Update are hereby readopted for the purposes of this mitigated negative declaration and the significant identified impacts of this project

related to aesthetics, air quality, traffic circulation, noise, cultural and paleontological resources, biological resources, and climate change and greenhouse gases.

Section 5. A mitigated negative declaration of environmental impacts and Mitigation Monitoring Program prepared in connection with the Project, attached hereto as Attachment 1 and incorporated by this reference, are recommended for approval for the Project.

Section 6. The Project Initial Study is attached as Attachment 1 and is incorporated by reference. All other documents, studies, and other materials that constitute the record of proceedings upon which the Planning Commission has based its decision are located in the office of the Rocklin Economic and Community Development Director, 3970 Rocklin Road, Rocklin, California 95677. The custodian of these documents and other materials is the Rocklin Economic and Community Development Director.

Section 7. Upon approval of the Project by the City Council, the environmental coordinator shall file a Notice of Determination with the County Clerk of Placer County and, if the project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to the provisions of section 21152(a) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.

PASSED AND ADOPTED this \_\_\_ day of \_\_\_\_\_, 2017, by the following vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

\_\_\_\_\_  
Chairperson

ATTEST:

\_\_\_\_\_  
Secretary



ECONOMIC AND COMMUNITY DEVELOPMENT DEPARTMENT  
CITY OF ROCKLIN  
3970 Rocklin Road  
Rocklin, California 95677  
(916) 625-5160

**ATTACHMENT 1**

**INITIAL STUDY AND ENVIRONMENTAL CHECKLIST**

**Sierra Pine Subdivision**

**GPA2016-0002, PDG2016-0004, Z2016-0002, SD2016-0005, DR2016-0009 and  
TRE2017-0006**

**4300 Dominguez Road, southwest of Dominguez Road and southeast of Pacific  
Street, in the City of Rocklin  
APN 045-021-011**

**July 13, 2017**

***PREPARED BY:***

**David Mohlenbrok, Environmental Services Manager, (916) 625-5162**

***CONTACT INFORMATION:***

This Initial Study has been prepared by the City of Rocklin, as Lead Agency, under the California Environmental Quality Act (CEQA). Any questions regarding this document should be addressed to David Mohlenbrok at the City of Rocklin Economic and Community Development Department, Planning Division, 3970 Rocklin Road, Rocklin, California 95677 (916) 625-5160.

***APPLICANT/OWNER:***

**The applicant is Burrell Consulting Group, and the  
property owner is Sierra Pine, a California Limited Partnership.**

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## SECTION 1. INTRODUCTION

### A. Purpose of an Initial Study

The California Environmental Quality Act (CEQA) was enacted in 1970 for the purpose of providing decision-makers and the public with information regarding environmental effects of proposed projects; identifying means of avoiding environmental damage; and disclosing to the public the reasons behind a project’s approval even if it leads to environmental damage. The City of Rocklin has determined the proposed project is subject to CEQA and no exemptions apply. Therefore, preparation of an initial study is required.

An initial study is a preliminary analysis conducted by the lead agency, in consultation with other agencies (responsible or trustee agencies, as applicable), to determine whether there is substantial evidence that a project may have a significant effect on the environment. If the initial study concludes that the project, with mitigation, may have a significant effect on the environment, an environmental impact report should be prepared; otherwise the lead agency may adopt a negative declaration or mitigated negative declaration.

This Initial Study (IS) has been prepared in accordance with CEQA (Public Resources Code §21000 et seq.), the State CEQA Guidelines (Title 14, California Code of Regulations, §15000 et seq.), and the City of Rocklin CEQA Guidelines (1981, amended July 31, 2002).

This Initial Study has been prepared to identify and assess the anticipated environmental impacts of the Sierra Pine Subdivision project. The document relies on a combination of a previous environmental document and site-specific studies to address in detail the effects or impacts associated with the proposed project. In particular, this Initial Study assesses the extent to which the impacts of the proposed project have already been addressed in the certified Final Environmental Impact Report for the Rocklin General Plan, as adopted by the Rocklin City Council on October 9, 2012 (the “General Plan EIR”).

### B. Document Format

This Initial Study is organized into five sections as follows:

Section 1, Introduction: provides an overview of the project and the CEQA environmental documentation process.

Section 2, Summary Information and Determination: Required summary information, listing of environmental factors potentially affected, and lead agency determination.

Section 3, Project Description: provides a description of the project location, project background, and project components.

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Section 4, Evaluation of Environmental Impacts: provides a detailed discussion of the environmental factors that would be potentially affected by this project as indicated by the screening from the CEQA Guidelines Appendix G checklist.

Section 5, References: provides a list of reference materials used during the preparation of this Initial Study. The reference materials are available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and can also be found on the City’s website under Planning Department, Current Environmental Documents.

C. CEQA Process

To begin the CEQA process, the lead agency identifies a proposed project. The lead agency then prepares an initial study to identify the preliminary environmental impacts of the proposed project. This document has been prepared in accordance with the provisions of the California Environmental Quality Act (CEQA) to analyze the possible environmental impacts of the project so that the public and the City of Rocklin decision-making bodies (Planning Commission, and/or City Council) can take these impacts into account when considering action on the required entitlements.

During the project approval process, persons and/or agencies may address either the Environmental Services staff or the City Council regarding the project. Public notification of agenda items for the City Council is posted 72 hours prior to the public meeting. The Council agenda can be obtained by contacting the Office of the City Clerk at City Hall, 3970 Rocklin Road, Rocklin, CA 95667 or via the internet at <http://www.rocklin.ca.us>

Within five days of project approval, the City will file a Notice of Determination with the County Clerk. The Notice of Determination will be posted by the County Clerk within 24 hours of receipt. This begins a 30-day statute of limitations on legal challenges to the approval under CEQA. The ability to challenge the approval in court may be limited to those persons who objected to the approval of the project, and to issues that were presented to the lead agency by any person, either orally or in writing, during the public comment period.

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## SECTION 2. INITIAL STUDY SUMMARY AND DETERMINATION

### A. Summary Information

**Project Title:**

Sierra Pine Subdivision

**Lead Agency Name and Address:**

City of Rocklin, 3970 Rocklin Road, Rocklin, CA 95677

**Contact Person and Phone Number:**

David Mohlenbrok, Environmental Services Manager, 916-625-5162

**Project Location:**

The project site is specifically located at 4300 Dominguez Road and generally located southwest of Dominguez Road and southeast of Pacific Street, in the City of Rocklin. The Assessor’s Parcel Number is 045-021-011.

**Project Sponsor’s Name:**

The applicant is Burrell Consulting Group, and the property owner is Sierra Pine, a California Limited Partnership.

**Current General Plan Designation:** Mixed Use (MU) and High Density Residential (HDR)

**Proposed General Plan Designation:** Medium Density Residential (MDR)

**Current Zoning:** Heavy Industrial (M-2)

**Proposed Zoning:** Planned Development Residential, 8 dwelling units per acre (PD-8).

**Description of the Project:**

The Sierra Pine Subdivision project proposes the construction of a residential subdivision consisting of 199 single family residential units on an approximately 28.2 +/- acre site in the City of Rocklin. This project will require General Plan Amendment, General Development Plan, Rezone, Tentative Subdivision Map, Design Review and Oak Tree Preservation Permit entitlements. For more detail please refer to the Project Description set forth in Section 3 of this Initial Study.

**Surrounding Land Uses and Setting:**

The proposed project site is the former site of the Sierra Pine fiberboard plant that was closed in December 2011. The project site is bound to the northeast by Dominguez Road and a railroad

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spur, a strip of several industrial businesses and then Pacific Street to the northwest. To the northeast of Dominguez Road are other commercial and industrial uses including Meeks Lumber and a Pacific MDF fiberboard manufacturing plant. To the south of the project site is Sucker Ravine Creek and the newly developing Granite/Dominguez single family residential subdivision. To the southwest of the project site are other industrial uses including Taiga Forest Products, the Rocklin Unified School District school bus parking lot and a UPS distribution center.

**Other Public Agencies Whose Approval May Be Required (e.g., Permits, Financing Approval, or Participation Agreement):**

- Rocklin Engineering Division, approval of Improvement Plans
- Rocklin Building Inspections Division, issuance of Building Permits
- Placer County Water Agency, construction of water facilities
- South Placer Municipal Utility District, construction of sewer facilities
- Placer County Air Pollution Control District, dust control plan and off-road vehicle use calculations approval
- Placer County Environmental Health Department, site remediation
- California Department of Fish and Wildlife, Streambed Alteration Agreement

**B. Environmental Factors Potentially Affected:**

Those factors checked below involve impacts that are “Potentially Significant”:

<input type="checkbox"/>	Aesthetics	<input type="checkbox"/>	Agriculture Resources	<input type="checkbox"/>	Air Quality
<input type="checkbox"/>	Biological Resources	<input type="checkbox"/>	Cultural Resources	<input type="checkbox"/>	Geology/Soils
<input type="checkbox"/>	Greenhouse Gas Emissions	<input type="checkbox"/>	Hazards & Hazardous Materials	<input type="checkbox"/>	Hydrology/Water Quality
<input type="checkbox"/>	Land Use/Planning	<input type="checkbox"/>	Mineral Resources	<input type="checkbox"/>	Noise
<input type="checkbox"/>	Population/Housing	<input type="checkbox"/>	Public Services	<input type="checkbox"/>	Recreation
<input type="checkbox"/>	Transportation/Traffic	<input type="checkbox"/>	Tribal Cultural Resources	<input type="checkbox"/>	Utilities/Service Systems
<input type="checkbox"/>	Mandatory Findings of Sig.	<input checked="" type="checkbox"/>	None After Mitigation		

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C. Determination:

On the basis of this Initial Study:

- I find that the proposed project WILL NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that as originally submitted, the proposed project could have a significant effect on the environment; however, revisions in the project have been made by or agreed to by the project proponent which will avoid these effects or mitigate these effects to a point where clearly no significant effect will occur. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on the attached Environmental Checklist. An ENVIRONMENTAL IMPACT REPORT is required, to analyze the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or (MITIGATED) NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or (MITIGATED) NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Marc Mondell  
Director of Economic and Community Development

Date

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### SECTION 3. PROJECT DESCRIPTION

#### A. Project Location

The project site is specifically located at 4300 Dominguez Road and generally located southwest of Dominguez Road and southeast of Pacific Street, in the City of Rocklin. The Assessor’s Parcel Number is 045-021-011 (Please see Attachment A, Vicinity Map).

The City of Rocklin is located approximately 25 miles northeast of Sacramento, and is within the County of Placer. Surrounding jurisdictions include: unincorporated Placer County to the north and northeast, the City of Lincoln to the northwest, the Town of Loomis to the east and southeast, and the City of Roseville to the south and southwest.

#### B. Description

The Sierra Pine Subdivision project proposes the construction of a medium density residential development consisting of 199 single family units, landscape lots and a detention basin/park lot on a 28.2 +/- acre site in the City of Rocklin. This project will require the following entitlements from the City of Rocklin: a General Plan Amendment to change the land use designation from Mixed Use (MU) and High Density Residential (HDR) to Medium Density Residential (MDR); a General Development Plan to establish the land uses and development standards for the proposed zone district; a Rezone to change the zoning applicable to the project site from Heavy Industrial (M-2) to Planned Development Residential, 8 dwelling units per acre (PD-8); a Tentative Subdivision Map to subdivide the one existing parcel into 199 single-family lots and associated roadways, landscape lots and a detention basin/park lot; a Design Review for the site design, landscaping, architectural designs, colors and materials of the proposed single family small lot subdivision, and an Oak Tree Preservation Plan to address the preservation, removal and mitigation of oak trees on the project site.

Access to the project would be from two access points on Dominguez Road. It is anticipated that site development will involve clearing and grading of the site, trenching and digging for underground utilities and infrastructure, and ultimately the construction of new roadways, driveways, buildings, and landscaping.

### SECTION 4. EVALUATION OF ENVIRONMENTAL IMPACTS

#### A. Explanation of CEQA Streamlining and Tiering Utilized in this Initial Study

This Initial Study will evaluate this project in light of the previously approved General Plan EIR, which is hereby incorporated by reference. This document is available for review during normal

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business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and can also be found on the City’s website under Planning Department, Publications and Maps.

CEQA Guidelines Section 15183 provides a means of streamlining analysis for qualifying projects. Under Section 15183, effects are not considered “peculiar to the project or the parcel” if they are addressed and mitigated by uniformly applied development policies and standards adopted by the City to substantially mitigate that effect (unless new information shows that the policy or standard will not mitigate the effect). Policies and standards have been adopted by the City to address and mitigate certain impacts of development that lend themselves to uniform mitigation measures. These policies and standards include those found in the Oak Tree Ordinance (Rocklin Municipal Code, Chapter 17.77), the Flood Ordinance (Rocklin Municipal Code, Chapter 15.16), the Grading and Erosion and Sedimentation Control Ordinance (Rocklin Municipal Code, Chapter 15.28), the Stormwater Runoff Pollution Control Ordinance (Rocklin Municipal Code, Chapter 8.30), and the Goals and Policies of the Rocklin General Plan. Where applicable, the Initial Study will state how these policies and standards apply to the project. Where the policies and standards will substantially mitigate the effects of the proposed project, the Initial Study concludes that these effects are “not peculiar to the project or the parcel” and thus need not be revisited in the text of the environmental document for the proposed project.

This Initial Study has also been prepared pursuant to CEQA Guidelines sections 15063 and 15168. Section 15063 sets forth the general rules for preparing Initial Studies. One of the identified functions of an Initial Study is for a lead agency to “[d]etermine, pursuant to a program EIR, tiering, or another appropriate process, which of a project’s effects were adequately examined by an earlier EIR or negative declaration... The lead agency shall then ascertain which effects, if any, should be analyzed in a later EIR or negative declaration.” (CEQA Guidelines, section 15063, subd. (b)(1)(C).). Here, the City has used this initial study to determine the extent to which the General Plan EIR has “adequately examined” the effects of the proposed project.

Section 15168 sets forth the legal requirements for preparing “program EIRs” and for reliance upon program EIRs in connection with “[s]ubsequent activities” within the approved program. (See *Citizens for Responsible Equitable Environmental Development v. City of San Diego Redevelopment Agency* (2005) 134 Cal.App.4<sup>th</sup> 598, 614-617.) The General Plan EIR was a program EIR with respect to its analysis of impacts associated with eventual buildout of future anticipated development identified by the General Plan. Subdivision (c) of section 15168 provides as follows:

- (c) Use with Later Activities. Subsequent activities in the program must be examined in light of the program EIR to determine whether an additional environmental document must be prepared.

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- (1) If a later activity would have effects that were not examined in the program EIR, a new Initial Study would need to be prepared leading to either an EIR or a Negative Declaration.
- (2) If the agency finds that pursuant to Section 15162, no new effects could occur or no new mitigation measures would be required, the agency can approve the activity as being within the scope of the project covered by the program EIR, and no new environmental document would be required.
- (3) An agency shall incorporate feasible mitigation measures and alternatives developed in the program EIR into subsequent actions on the project.
- (4) Where the subsequent activities involve site specific operations, the agency should use a written checklist or similar device to document the evaluation of the site and the activity to determine whether the environmental effects of the operation were covered in the program EIR.

Consistent with these principles, this Initial Study serves the function of a “written checklist or similar device” documenting the extent to which the environmental effects of the proposed project “were covered in the program EIR” for the General Plan. As stated below, the City has concluded that the impacts of the proposed project are “within the scope” of the analysis in the General Plan EIR. Stated another way, these “environmental effects of the [site-specific project] were covered in the program EIR.” Where particular impacts were not thoroughly analyzed in prior documents, site-specific studies were prepared for the project with respect to impacts that were not “adequately examined” in the General Plan EIR, or were not “within the scope” of the prior analysis. These studies are hereby incorporated by reference and are available for review during normal business hours at the Rocklin Economic and Community Development Department, 3970 Rocklin Road, Rocklin, CA 95677 and can also be found on the City’s website under Planning Department, Current Environmental Documents. The specific studies are listed in Section 5, References.

The Initial Study is a public document to be used by the City decision-makers to determine whether a project may have a significant effect on the environment. If the City as lead agency, finds substantial evidence that any effects of the project were not “adequately examined” in the General Plan EIR or were not “within the scope” of the analysis in that document AND that these effects may have a significant effect on the environment if not mitigated, the City would be required to prepare an EIR with respect to such potentially significant effects. On the other hand, if the City finds that these unaddressed project impacts are not significant, a negative declaration would be appropriate. If in the course of analysis, the City identified potentially significant impacts that could be reduced to less than significant levels through mitigation measures to which the applicant agrees, the impact would be considered to be reduced to a

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less than significant level, and adoption of a mitigated negative declaration would be appropriate.

**B. Significant Cumulative Impacts; Statement of Overriding Considerations**

The Rocklin City Council has previously identified the following cumulative significant impacts as unavoidable consequences of urbanization contemplated in the Rocklin General Plan, despite the implementation of all available and feasible mitigation measures, and on that basis has adopted a statement of overriding considerations for each cumulative impact:

1. Air Quality:

Development in the City and the Sacramento Valley Air Basin as a whole will result in the following: violations of air quality standards as a result of short-term emissions from construction projects, increases in criteria air pollutants from operational air pollutants and exposure to toxic air contaminants, the generation of odors and a cumulative contribution to regional air quality impacts.

2. Aesthetics/Light and Glare:

Development in the City and the South Placer region as a whole will result in substantial degradation of the existing visual character, the creation of new sources of substantial light and glare and cumulative impacts to scenic vistas, scenic resources, existing visual character and creation of light and glare.

3. Traffic and Circulation:

Development in the City and the South Placer region as a whole will result in impacts to segments and intersections of the state/interstate highway system.

4. Noise

Development in the City and the South Placer region as a whole will result in impacts associated with exposure to surface transportation and stationary noise sources, and cumulative transportation noise impacts within the Planning area.

5. Cultural and Paleontological Resources

Development in the City and the South Placer region as a whole will result in cumulative impacts to historic character.

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6. Biological Resources

Development in the City and the South Placer region as a whole will result in the loss of native oak and heritage trees, the loss of oak woodland habitat, and cumulative impacts to biological resources.

7. Climate Change and Greenhouse Gases

Development in the City and the South Placer region as a whole will result in the generation of greenhouse gas emissions.

C. Mitigation Measures Required and Considered

It is the policy and a requirement of the City of Rocklin that all public agencies with authority to mitigate significant effects shall undertake or require the undertaking of all feasible mitigation measures specified in the prior environmental impact reports relevant to a significant effect which the project will have on the environment. Project review is limited to effects upon the environment which are peculiar to the parcel or to the project which were not addressed as significant effects in the General Plan EIR or which substantial new information shows will be more significant than described in the General Plan EIR. This Initial Study anticipates that feasible mitigation measures previously identified in the General Plan has been, or will be, implemented as set forth in that document, and evaluates this Project accordingly.

D. Evaluation of Environmental Checklist:

- 1) A brief explanation is provided for all answers except “No Impact” answers that are adequately supported by the information sources cited in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer is explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers take account of the whole action involved, including off-site as well as on-site elements, cumulative as well as project-level impacts, indirect as well as direct impacts, and construction as well as operational impacts.
- 3) If a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant.

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- 4) Answers of “Less than Significant with Mitigation Incorporated” describe the mitigation measures agreed to by the applicant and briefly explain how they reduce the effect to a less than significant level. Mitigation measures and supporting explanation from earlier EIRs or Negative Declaration may be cross-referenced and incorporated by reference.
  
- 5) Earlier analyses may be used where an effect has been adequately analyzed in an earlier EIR or negative declaration, and the City intends to use tiering. All prior EIRs and Negative Declarations and certifying resolutions are available for review at the Rocklin Economic and Community Development Department. In this case, a brief discussion will identify the following:
  - a) Which effects are within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and whether such effects are addressed by mitigation measures based on the earlier analysis; and
  
  - b) For effects that are “Less than Significant with Mitigation Measures Incorporated,” the mitigation measures which are incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.

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E. Environmental Checklist

I. <u>AESTHETICS</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Have a substantial adverse effect on a scenic vista?				<b>X</b>	
b) Substantially degrade the existing visual character or quality of the site and its surroundings?			<b>X</b>		
c) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway.				<b>X</b>	
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?			<b>X</b>		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The development of a 199 unit single family subdivision on a 28.2 +/- acre site will change the existing visual nature or character of the project site and area. The development of the project site would create new sources of light and glare typical of urban development. As discussed below, impacts to scenic vistas or viewsheds would not be anticipated.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur to the visual character of the Planning Area as a result of the future urban development that was contemplated by the General Plan. When previously undeveloped land becomes developed, aesthetic impacts include changes to scenic character and new sources of light and glare (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.3-1 through 4.3-18). Mitigation measures to address these impacts are incorporated into the

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General Plan in the Land Use and the Open Space, Conservation, and Recreation Elements, and include policies that encourage the use of design standards for unique areas and the protection of natural resources, including open space areas, natural resource areas, hilltops, waterways and oak trees, from the encroachment of incompatible land use.

The General Plan EIR concluded that, despite the goals and policies addressing visual character, views, and light and glare, significant aesthetic impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will change and degrade the existing visual character, will create new sources of light and glare and will contribute to cumulative impacts to scenic vistas, scenic resources, existing visual character and creation of light and glare. Findings of fact and a statement of overriding consideration were adopted by the Rocklin City Council in regard to these cumulative impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for aesthetic/visual impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a. Scenic Vista - *No Impact.*** While vacant or mostly vacant areas have a natural aesthetic quality, there are no designated scenic vistas within the City of Rocklin or Planning Area. Alteration of the vacant and undeveloped areas of the project site through the construction of 199 single family residential units would change the visual quality of the project site and surrounding area. However, since there are no designated scenic vistas, no impact would occur in this regard.

**b. Visual Quality – *Less than Significant.*** The construction of 199 single family residential units is consistent with the urbanization of this site as contemplated and analyzed for this area of Rocklin within the Rocklin General Plan EIR and the 2013-2021 Housing Element Negative Declaration. The General Plan EIR analysis included the development of this site with what were then existing industrial uses and the Housing Element Negative Declaration included the development of this site with high density residential housing and mixed land uses. The building structures that are anticipated are of consistent height and scale with surrounding development including the nearby and newly developing Parklands, Brighton and Granite/Dominguez single family subdivisions and anticipated future development, and there are no unusual development characteristics of this project which would introduce incompatible

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elements or create aesthetic impacts not considered in the prior EIR or Negative Declaration. Existing buildings in the area include one and multi-story commercial and industrial buildings and one and two-story single-family residential buildings. These buildings and the anticipated future development of buildings within the nearby and adjacent industrial and residential land use designations are collectively all of similar size and scale to the proposed project. All development in the Rocklin Planning Area is subject to existing City development standards set forth in the City’s Zoning Ordinance which helps to ensure that development form, character, height, and massing are consistent with the City’s vision for the character of the community.

The change in the aesthetics of the visual nature or character of the site and the surroundings is consistent with the surrounding development and the future development that is anticipated by the City’s General Plan and Housing Element Negative Declaration. As noted above, the General Plan EIR concluded that development under the General Plan will result in significant unavoidable aesthetic impacts and a Statement of Overriding Consideration was adopted by the Rocklin City Council in regard to these cumulative impacts. The project does not result in a change to the finding because the site would be developed with typical urban uses that are consistent and compatible with surrounding existing and anticipated future development.

**c. Scenic Highway – No Impact.** The proposed project is not located adjacent to or within the proximity of a state listed scenic highway (Interstate 80 is located nearby but is not a state listed scenic highway). Therefore, the proposed project would not substantially damage scenic resources, including, but not limited to trees, rock outcroppings, and historic buildings within a state scenic highway.

**d. Light and Glare – Less than Significant.** There are no specific features within the proposed project that would create unusual light and glare. New and/or increased sources of light and glare would be introduced to the project area. However, implementation of the General Plan policies addressing light and glare would also ensure that no unusual daytime glare or nighttime lighting is produced. The General Plan EIR acknowledged that impacts associated with increased light and glare would not be eliminated entirely, and the overall level of light and glare in the Planning Area would increase in general as urban development occurs and that increase cannot be fully mitigated. As noted above, the General Plan EIR concluded that development under the General Plan will result in significant unavoidable aesthetic impacts and a Statement of Overriding Consideration was adopted by the Rocklin City Council in regard to these cumulative impacts. The project does not result in a change to the finding because the site would be developed with typical urban uses that are consistent and compatible with surrounding existing and anticipated future development.

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II.

AGRICULTURAL RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X	
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?				X	
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220 (g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104 (g))?				X	
d) Result in the loss of forest land or conversion of forest land to non-forest use?				X	
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?				X	

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

There are no agricultural or forestry impacts for the project or project site due to a lack of these resources on the project site, as further discussed below.

**Significance Conclusions:**

**a., b., and c. Farmland, Williamson Act, Cumulative Loss of Farmland - *No Impact.*** The Farmland Mapping and Monitoring Program (FMMP) land classifications system monitors and documents land use changes that specifically affect California’s agricultural land and is administered by the California Department of Conservation (CDC). The FMMP land classification system is cited by the State CEQA Guidelines as the preferred information source for determining the agricultural significance of a property (CEQA Guidelines, Appendix G). The CDC, Division of Land Resource Protection, Placer County Important Farmland Map of 2014 designates the project site as urban and built up land. This category is not considered Important Farmland under the definition in CEQA of “Agricultural Land” that is afforded consideration as to its potential significance (See CEQA Section 21060.1[a]), nor is it considered prime farmland, unique farmland, or farmland of statewide importance; therefore the proposed project would not convert farmland to a non-agricultural use. Also, the project site contains no parcels that are under a Williamson Act contract. Therefore, because the project would not convert important farmland to non-agricultural uses, would not conflict with existing agricultural or forestry use zoning or Williamson Act contracts, or involve other changes that could result in the conversion of important farmlands to non-agricultural uses, there would be no agricultural use impacts.

**d. and e. Conversion of Forest Land – *No Impact.*** The project site contains no parcels that are considered forestry lands or timberland. Therefore, because the project would not conflict with existing forestry use zoning or involve other changes that could result in the conversion of forest lands to non-forest uses, there would be no forestry use impacts.

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<p>III. <u>AIR QUALITY</u>  <b>Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determination. Would the project:</b></p>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Conflict with or obstruct implementation of applicable air quality plan?			<b>X</b>		
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?		<b>X</b>			
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			<b>X</b>		
d) Expose sensitive receptors to substantial pollutant concentrations?			<b>X</b>		
e) Create objectionable odors affecting a substantial number of people?			<b>X</b>		

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

In the short-term, air quality impacts from the proposed project will result from construction related activities associated with grading and excavation to prepare the site for the installation of utilities and above ground structures and improvements. These air quality impacts will primarily be related to the generation of airborne dust (Particulate Matter of 10 microns in size or less (PM<sub>10</sub>)).

In the long term, air quality impacts from the proposed project will result from vehicle trip generation to and from the project site and the resultant mobile source emissions of air pollutants (primarily carbon monoxide and ozone precursor emissions).

As discussed below, a single family residential development of this type would not be expected to create objectionable odors.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur to regional air quality as a result of the future urban development that was contemplated by the General Plan. These impacts included 8-hour ozone attainment, short-term construction emissions, operational air pollutants, increases in criteria pollutants, odors, and regional air quality impacts. (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.2-1 through 4.2-43). Mitigation measures to address these impacts are incorporated into the General Plan in the Land Use, the Open Space, Conservation, and Recreation, and the Circulation Elements, and include policies that encourage a mixture of land uses, provisions for non-automotive modes of transportation, consultation with the Placer County Air Pollution Control District (PCAPCD), and the incorporation of stationary and mobile source control measures.

The General Plan EIR concluded that, despite these goals and policies, significant air quality impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan and other development within the Sacramento Valley Air Basin (SVAB) as a whole will result in the following: violations of air quality standards as a result of short-term emissions from construction projects, increases in criteria air pollutants from operational air pollutants and exposure to toxic air contaminants, the generation of odors and a cumulative contribution to regional air quality impacts. Findings of fact and a statement of overriding consideration were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

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**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for air quality impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Project Level Environmental Analysis:**

The firm of Ascent Environmental, a California consulting firm with recognized expertise in air quality, prepared an Air Quality and Greenhouse Gas Technical Study report for the proposed project. The report, dated May 31, 2017, is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that Ascent Environmental has a professional reputation that makes its conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the Ascent Environmental report, which is summarized below.

The analysis was prepared to estimate the criteria pollutant emissions from project construction and operation. The proposed Sierra Pine Residential Subdivision project’s short-term construction-related and long-term operational emissions were estimated using the CalEEMod modeling program. CalEEMod estimates the emissions that result from various land uses, and includes considerations for trip generation rates, vehicle mix, average trip length by trip type, and average speed. Where project-specific data was available, that data was input into the CalEEMod model (i.e., construction phases and timing).

**Construction Emissions**

During construction of the project, various types of equipment and vehicles would temporarily operate on the project site. Construction exhaust emissions would be generated from construction equipment, vegetation clearing and earth movement activities, construction workers’ commute, and construction material hauling for the entire construction period. The aforementioned activities would involve the use of diesel- and gasoline-powered equipment that would generate emissions of criteria air pollutants. Project construction activities also represent a source of fugitive dust, which includes particulate matter (PM) emissions. As construction of the proposed project would generate air pollutant emissions intermittently within the site and the vicinity of the site, until all construction has been completed, construction is a potential concern because the proposed project is in a non-attainment area for ozone and PM.

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The project is required to comply with all PCAPCD rules and regulations for construction, including, but not limited to, the following, which would be noted with City-approved construction plans:

- Rule 202 related to visible emissions; Rule 218 related to architectural coatings; Rule 228 related to fugitive dust, and Regulation 3 related to open burning.

The analysis found that the overall project’s maximum daily emissions from construction operations would be as follows:

<b>MAXIMUM CONSTRUCTION EMISSIONS (lbs/day)</b>			
	<b>Reactive Organic Gases (ROG)</b>	<b>Nitrous Oxides (NOx)</b>	<b>Inhalable Particulate Matter (PM<sub>10</sub>)</b>
<b>Maximum Daily Emissions</b>	13.8	107.8	32.5
<b>Placer County Air Pollution Control District (PCAPCD) Significance Thresholds</b>	82	82	82
<b>Exceedance of PCAPCD Threshold</b>	NO	YES	NO

As shown, the project’s short-term construction-related emissions are not anticipated to exceed the PCAPCD’s significance thresholds for emissions of ROG and PM<sub>10</sub> and CO, but the PCAPCD’s significance threshold for NOx would be exceeded and mitigation measures would be required for this exceedance.

Operational Emissions

Operational emissions of ROG, NOx and PM<sub>10</sub> would be generated by the proposed project from both mobile and stationary sources. Day-to-day activities such as vehicle trips to and from the project site would make up the majority of the mobile emissions. Emissions would occur from stationary sources such as natural gas combustion from heating mechanisms, landscape maintenance equipment exhaust, and consumer products (e.g., deodorants, cleaning products, spray paint, etc.). The modeling performed for the project takes these factors into consideration.

The project is required to comply with all PCAPCD rules and regulations, such as those listed previously for construction, as well as the following for operations:

- Rule 225 related to wood-burning appliances, and Rule 246 related to water heaters.

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The analysis found that the overall project’s maximum operational emissions on a daily basis would be as follows:

<b>OPERATIONAL EMISSIONS (lbs/day)</b>			
	<b>Reactive Organic Gases (ROG)</b>	<b>Nitrous Oxides (NOx)</b>	<b>Inhalable Particulate Matter (PM<sub>10</sub>)</b>
<b>Maximum Daily Emissions</b>	14.2	29.0	11.2
<b>Placer County Air Pollution Control District (PCAPCD) Significance Thresholds</b>	55	55	82
<b>Exceedance of PCAPCD Threshold</b>	NO	NO	NO

As shown, the project’s operational emissions of ROG, NOx and PM<sub>10</sub> would be below the applicable PCAPCD thresholds of significance. Accordingly, the project’s operational emissions would not contribute to the PCAPCD’s nonattainment status of ozone and PM, operations of the project would not violate an air quality standard or contribute to an existing or projected air quality violation and operationally-related impacts would be considered less than significant.

Cumulative Air Quality

Due to the dispersive nature and regional sourcing of air pollutants, air pollution is largely a cumulative impact. The nonattainment status of regional pollutants, including ozone and PM, is a result of past and present development, and, thus, cumulative impacts related to these pollutants could be considered cumulatively significant.

The project is part of a pattern of urbanization occurring in the greater Sacramento ozone nonattainment area. The growth and combined vehicle usage, and business activity within the nonattainment area from the project, in combination with other past, present, and reasonably foreseeable projects within Rocklin and surrounding areas, could either delay attainment of the standards or require the adoption of additional controls on existing and future air pollution sources to offset emission increases. Thus, the project could cumulatively contribute to regional air quality health effects through emissions of criteria and mobile source air pollutants.

The PCAPCD recommends using the region’s existing attainment plans as a basis for analysis of cumulative emissions. If a project would interfere with an adopted attainment plan, the project would inhibit the future attainment of AAQS, and thus result in a cumulative impact. As discussed above, the PCAPCD’s recommended thresholds of significance for ozone precursors and PM<sub>10</sub> are based on attainment plans for the region. Thus, the PCAPCD concluded that if a project’s ozone precursor and PM<sub>10</sub> emissions would be greater than the PCAPCD’s operational-

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level thresholds, the project could be expected to conflict with relevant attainment plans, and could result in a cumulatively considerable contribution to a significant cumulative impact.

As shown in the Operational Emissions table above, the proposed project would result in the generation of ROG, NOx and PM<sub>10</sub> emissions that would be below the applicable operational-level thresholds. It is also important to note that future cumulative (2030) operational emissions would likely go down as compared to existing plus project emissions. Based on the project’s traffic study, cumulative Vehicle Miles Traveled (VMT) showed a 27.8 reduction over the existing plus project scenario, and therefore, this reduction would correlate directly to a reduction in mobile source emissions in the future.

The General Plan EIR identified a cumulative contribution to regional air quality impacts as a significant and unavoidable impact, and the City of Rocklin adopted Findings of Fact and a Statement of Overriding Considerations in recognition of this impact. The project does not result in a change to this finding because the site is being developed with a medium density residential land use that generates fewer operational emissions as compared to the operational emissions that were generated by the Sierra Pine fiberboard plant that previously operated on the project site.

**Significance Conclusions:**

**a., b. and c. Conflict with or obstruct implementation of the applicable air quality plan, Violate any air quality standard or contribute substantially to an existing or projected air quality violation, and Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is nonattainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors) – *Less Than Significant with Mitigation.*** The proposed project area is located within the Sacramento Valley Air Basin (SVAB) and is under the jurisdiction of the Placer County Air Pollution Control District (PCAPCD). The SVAB is designated nonattainment for the federal particulate matter 2.5 microns in diameter (PM<sub>2.5</sub>) and the State particulate matter 10 microns in diameter (PM<sub>10</sub>) standards, as well as for both the federal and State ozone standards. The federal Clean Air Act requires areas designated as federal nonattainment to prepare an air quality control plan referred to as the State Implementation Plan (SIP). The SIP contains the strategies and control measures for states to use to attain the national ambient air quality standards (NAAQS). The SIP is periodically modified to reflect the latest emissions inventories, planning documents, rules, and regulations of air basins as reported by the agencies with jurisdiction over them. In compliance with regulations, the PCAPCD periodically prepares and updates air quality plans that provide emission reduction strategies to achieve attainment of the NAAQS, including control strategies to reduce air pollutant emissions via regulations, incentive programs, public education, and partnerships with other agencies.

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The current applicable air quality plan for the proposed project area is the *Sacramento Regional 8-Hour Ozone Attainment and Reasonable Further Progress Plan* (Ozone Attainment Plan), adopted September 26, 2013. The U.S. Environmental Protection Agency (USEPA) determined the Plan to be adequate and made such findings effective August 25, 2014. On January 9, 2015, the USEPA approved the 2013 Ozone Attainment Plan.

The 2013 Ozone Attainment Plan demonstrates how existing and new control strategies would provide the necessary future emission reductions to meet the CAA requirements, including the NAAQS. It should be noted that in addition to strengthening the 8-hour ozone NAAQS, the USEPA also strengthened the secondary 8-hour ozone NAAQS, making the secondary standard identical to the primary standard. The SVAB remains classified as a severe nonattainment area with an attainment deadline of 2027. On October 26, 2015 the USEPA released a final implementation rule for the revised NAAQS for ozone to address the requirements for reasonable further progress, modeling and attainment demonstrations, and reasonably available control measures (RACM) and reasonably available control technology (RACT). With the publication of the new NAAQS ozone rules, areas in nonattainment must update their ozone attainment plans and submit new plans by 2020/2021.

General conformity requirements of the regional air quality plan include whether a project would cause or contribute to new violations of any NAAQS, increase the frequency or severity of an existing violation of any NAAQS, or delay timely attainment of any NAAQS. In order to evaluate ozone and other criteria air pollutant emissions and support attainment goals for those pollutants that the area is designated nonattainment, the PCAPCD has recently proposed updates to the District’s recommended significance thresholds for emissions of PM<sub>10</sub>, and ozone precursors – reactive organic gases (ROG) and oxides of nitrogen (NO<sub>x</sub>).

The significance thresholds, expressed in pounds per day (lbs/day), listed in the table above are the PCAPCD’s updated recommended thresholds of significance for use in the evaluation of air quality impacts associated with proposed development projects. The City of Rocklin, as lead agency, is considering a phased in approach of the newly proposed thresholds but for this analysis is utilizing the PCAPCD’s recommended thresholds of significance for CEQA evaluation purposes. Thus, if a project’s emissions exceed the PCAPCD’s pollutant thresholds presented above, the project could have a significant effect on air quality, the attainment of federal and State AAQS, and could conflict with or obstruct implementation of the applicable air quality plan.

Through the combustion of fossil fuels, motor vehicle use produces significant amounts of pollution. In fact, the PCAPCD cites motor vehicles as a primary source of pollution for residential, commercial, and industrial development. Because motor vehicles emit air quality pollutants during their operations, changing the amount of motor vehicle operations in an area would change the amount of air pollutants being emitted in that area.

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As shown in the Construction Emissions table above, the project’s construction emissions of ROG and PM<sub>10</sub> would be below the applicable PCAPCD thresholds of significance, however NOx construction emissions would exceed the applicable PCAPCD threshold of significance. As shown in the Operational Emissions table above, the project’s operational emissions of ROG, NOx and PM<sub>10</sub> would not exceed the applicable PCAPCD thresholds of significance.

The air quality modeling performed for construction emissions took into account the application of the City of Rocklin’s standard conditions of approval that address construction emissions and despite the application of those conditions, an exceedance of NOx emissions during construction activities was still projected.

To address the project’s impact of construction emissions of NOx exceeding the applicable PCAPCD threshold of significance, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*III.-1 Prior to approval of grading or Improvement Plans, whichever occurs first, the applicant shall provide a written calculation to the Placer County Air Pollution Control District (PCAPCD) for approval demonstrating that the heavy-duty (>50 horsepower) off-road vehicles to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project wide fleet average of at least 25% of NOx and 45% of diesel PM reduction as compared to CARB statewide fleet average emissions. Acceptable options for reducing emissions may include use of late model engines, low emission diesel products (e.g., CARB approved High Performance Renewable Diesel), alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available. The Construction Emissions Mitigation Tool developed by the Sacramento Air Quality Management District may be used to calculate compliance with this condition and shall be submitted to the PCAPCD as described above.*

The applicant is agreeable to the above mitigation measure; implementation of the above mitigation measure will reduce the project’s impact of construction emissions of NOx exceeding the applicable PCAPCD threshold of significance to a less than significant level.

Accordingly, the project’s construction and operational emissions would not contribute to the PCAPCD’s nonattainment status of ozone and PM, operations of the project would not violate an air quality standard or contribute to an existing or projected air quality violation and construction-related and operationally-related impacts would be considered less than significant.

**d. Sensitive Receptors – Less than Significant Impact.** The proposed project involves the development of residential uses; thus, the project would introduce sensitive receptors to the area. The nearest existing sensitive receptors to the project site include the Mosaic Christian Church 1,000 feet to the south of the site, the Angels in Action Learning Center, a preschool, 1,700 feet to the east of the site, and newly developing residential units 690 feet to the northwest (Parklands Subdivision), 220 feet to the east (Brighton Subdivision), and 300 feet to

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the south (Granite-Dominguez Subdivision) of the project site. Emissions of CO would result from the incomplete combustion of carbon-containing fuels such as gasoline or wood and are particularly related to traffic levels. Local mobile-source CO emissions near roadways are a direct function of traffic volume, speed and delay. Transport of CO is extremely limited because it disperses rapidly with distance from the source under normal meteorological conditions. However, under specific meteorological conditions, CO concentrations near roadways and/or intersections may reach unhealthy levels at nearby sensitive land uses, such as residential units, hospitals, schools, and childcare facilities. Thus, high local CO concentrations are considered to have a direct influence on the receptors they affect. It should be noted that as older, more polluting vehicles are retired and replaced with newer, cleaner vehicles, the overall rate of emissions of CO for vehicle fleet throughout the State has been, and is expected to continue, decreasing. Therefore, emissions of CO would likely decrease from current levels over the lifetime of the project.

Per PCAPCD guidance, if a project will degrade an intersection in the project vicinity from an acceptable peak-hour Level of Service (LOS) (e.g., LOS A, B, C, or D) to an unacceptable peak-hour LOS (e.g., LOS E or F), or if the project will substantially worsen an already existing unacceptable peak-hour LOS on one or more streets or at one or more intersections in the project vicinity, then the project has the potential to cause a potential a CO intersection hotspot. Based on the traffic study conducted for the proposed project (Fehr and Peers, Transportation Impact Study for Sierra Pine Residential Project, July 12, 2017), the proposed development of 199 single family residences would not result in peak-hour traffic levels that would degrade any study intersection from LOS A, B, C or D to an unacceptable LOS E or F, nor would the project substantially worsen an already existing unacceptable peak-hour LOS; therefore the project would not generate localized concentrations of CO that would exceed State CO standards or result in substantial CO concentrations.

In addition to the CO emissions discussed above, Toxic Air Contaminants (TACs) are also a category of environmental concern. The California Air Resources Board (CARB) *Air Quality and Land Use Handbook: A Community Health Perspective* (Handbook) provides recommendations for siting new sensitive land uses near sources typically associated with significant levels of TAC emissions, including, but not limited to, freeways and high traffic roads, distribution centers, and rail yards. CARB has identified diesel particulate matter (DPM) from diesel-fueled engines as a TAC. High volume freeways/roadways, stationary diesel engines, and facilities attracting heavy and constant diesel traffic were identified as having the highest associated health risks from DPM. Health risks from TACs are a function of both the concentration of emissions and the duration of exposure. Health-related risks associated with DPM in particular are primarily associated with long-term exposure and associated risk of contracting cancer.

Due to the residential nature of the project, relatively few vehicle trips associated with the proposed project would be expected to be composed of heavy-duty diesel-fueled trucks and their associated emissions. The project does not involve long-term operation of any stationary

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diesel engine or other on-site stationary source of TACs. In addition, emissions of DPM resulting from construction equipment and vehicles are minimal and temporary, affecting a specific receptor for a period of weeks or perhaps months, and would be regulated through compliance with PCAPCD’s rules and regulations.

For freeways and roads with high traffic volumes, Table 4-1 of the CARB Handbook recommends “Avoid siting new sensitive land uses within 500 feet of a freeway, urban roads with 100,000 vehicles/day, or rural roads with 50,000 vehicles/day.” Based on 2015 Caltrans data, annual average vehicle volumes on I-80 are high as 98,600 vehicles/day, and therefore could result in substantial risk levels near the freeway. However, the shortest distance between the project and Interstate 80 (I-80) is approximately 1,800 feet, well beyond the CARB-recommended distance of 500 feet. As such, risk levels from I-80 would not expose new receptors to substantial health risk.

The Pacific MDF facility to the northeast of the project site manufactures various construction materials from MDF board products, which can result in particulate matter emissions as well as other gaseous emissions. Based on a public record search, this facility currently has a permit to operate from the PCAPCD, which requires bag filters with 99.95 percent capture efficiency on saws used on site, limits the volatile organic compound (VOC) content of paints used, and imposes emission limits for all sources emitted at the site. Considering the control technology and emissions limits in place, this facility would not expose new receptors to substantial health risk.

Taiga Forest Products to the southwest of the project site is a wholesale distributor of lumber products and does not manufacture products on site that may result in TAC emissions. The use of small equipment such as loaders or lifts may result in minimal exhaust emissions, but would not expose new receptors to substantial health risk.

Dawson’s Oil to the north of the project site is a commercial gasoline dispensing facility. Gasoline dispensing facilities result in evaporative emissions, primarily benzene, from spills during fueling at the pumps and from vent valves located on storage tanks. Based on PCAPCD records, this facility pumped 668,739 gallons of gasoline in 2015 and 994,584 gallons in 2006. Consistent with CARB recommendations, a 50-foot separation distance between new receptors and this typical gasoline dispensing facility (defined as having a throughput of less than 3.6 million gallons per year) would be adequate to minimize TAC exposure. However, due to the close proximity of this source and the potential for health risks associated with diesel fuel, a screening level health risk assessment was conducted for the facility. Based on an annual throughput of 1,000,000 gallons and worst-case meteorological conditions, air dispersion modeling was conducted using default values and modeling parameters recommended by the Office of Environmental Health Hazard Assessment (OEHHA). Based on the modeling conducted, existing operations at Dawson’s Oil would expose new sensitive receptors to a

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cancer risk of 3.4 chances in 1 million, which would not exceed PCAPCD’s threshold of 10 in 1 million.

In summary, the project would not result in any new stationary sources and would not result in a substantial increase in TAC emissions associated with mobile source such that the existing health risk in the project area would worsen.

**e. Odors – Less Than Significant Impact.** Odors are generally regarded as an annoyance rather than a health hazard. Due to the subjective nature of odor impacts, the number of variables that can influence the potential for an odor impact, and the variety of odor sources, quantitative methodologies to determine the presence of a significant odor impact do not exist. Certain land uses such as wastewater treatment facilities, landfills, confined animal facilities, composting operations, food manufacturing plants, refineries, and chemical plants have the potential to generate considerable odors. The proposed project does not involve such land uses nor is it located near any such land uses. Although less common, emissions of DPM from heavy-duty diesel truck traffic could result in objectionable odors. While the proposed project would increase the total amount of vehicle trips in the area, the increase in area vehicle activity would not necessarily create an increase in heavy-duty diesel truck traffic, because the traffic increase would be a result of increased residential land uses. Residential land uses are not typically associated with heavy-duty diesel truck traffic, and thus the increase in daily trips attributable to residential land uses would mainly involve single passenger vehicles that are not typically considered to be sources of objectionable odors.

In addition, PCAPCD Rule 205, Nuisance, addresses the exposure of “nuisance or annoyance” air contaminant discharges, including odors, and provides enforcement of odor control. Rule 205 is complaint-based, where if public complaints are sufficient to cause the odor source to be a public nuisance, then the PCAPCD is required to investigate the identified source as well as determine an acceptable solution for the source of the complaint, which could include operational modifications to correct the nuisance condition. Thus, although not anticipated, if odor or air quality complaints are made upon the future development under the proposed project, the PCAPCD would be required to ensure that such complaints are addressed and mitigated, as necessary.

Because the proposed project does not include the development of odor-generating land uses or development in proximity to odor-generating land uses, and because the increase in project area traffic would be largely through increased use of single passenger vehicles rather than heavy-duty diesel trucks, the proposed project would not be anticipated to result in the exposure of residences or other sensitive receptors to objectionable odors. Therefore, the proposed project would result in a less than significant impact related to objectionable odors.

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<b>IV.</b> <u><b>BIOLOGICAL RESOURCES</b></u> <b>Would the project:</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant With Mitigation</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>	<b>Impact for which General Plan EIR is Sufficient</b>
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?		<b>X</b>			
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?		<b>X</b>			
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?			<b>X</b>		
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?			<b>X</b>		
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?		<b>X</b>			
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?				<b>X</b>	

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project will modify habitats through the removal of native and other plant material; the project site does contain oak trees, some of which will be removed with implementation of the project. Impacts to riparian areas may occur due to their presence on the project site, impacts to wetlands/waters of the U.S. are not anticipated to occur due to their lack of presence on the project site, and impacts to special status animal and plant species are not anticipated to occur due to their lack of presence or potential presence on the project site.

**Prior Environmental Analysis**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur to the biological resources of the Planning Area as a result of the future urban development that was contemplated by the General Plan. These impacts included special-status species, species of concern, non-listed species, biological communities and migratory wildlife corridors (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.10-1 through 4.10-47). Mitigation measures to address these impacts are incorporated into the General Plan in the Open Space, Conservation and Recreation Element, and include policies that encourage the protection and conservation of biological resources and require compliance with rules and regulations protecting biological resources, including the City of Rocklin Oak Tree Preservation Ordinance.

The General Plan EIR concluded that, despite these goals, policies and rules and regulations protecting biological resources, significant biological resources impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically the General Plan EIR found that buildout of the Rocklin General Plan will impact sensitive biological communities, will result in the loss of native oak and heritage trees, will result in the loss of oak woodland habitat and will contribute to cumulative impacts to biological resources. Findings of fact and a statement of overriding considerations were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for biological resources impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

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**Project-Level Environmental Analysis:**

The firm of WRA, Inc., a California consulting firm with recognized expertise in biological resources, prepared a biological resources assessment for the Sierra Pine project. Their report, dated May 2017 is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that WRA, Inc. has a professional reputation that makes their conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the WRA Inc. report, which is summarized below.

The firm of Sierra Nevada Arborists, a Sacramento area consulting firm with recognized expertise in arboriculture, prepared an arborist report and supplemental memo for the Sierra Pine Project. Their reports, dated December 18, 2016 and May 11, 2017 are available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and are incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that Sierra Nevada Arborists has a professional reputation that makes their conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the Sierra Nevada Arborists reports, which are summarized below.

**Project Site Description**

The 28 +/- acre project site (study area) had previously been developed by Sierra Pine for the production of medium density fiberboard. The site was fully used for industrial purposes and, at present, the Sierra Pine buildings and facilities have been demolished. As a result of these uses, the potential for significant biological resources is minimal because the site is best described as developed/disturbed. Nonetheless a full examination of the study area was undertaken as well as an investigation of any sensitive resources adjacent to the study area. The study area is bordered to the north, east and west by industrial and commercial development, and to the south by a riparian corridor associated with a perennial drainage called Sucker Ravine. Vegetative cover is sparse and is generally dominated by non-native grasses and forbs, and some scattered native trees and shrubs along the southern portion of the study area adjacent to Sucker Ravine.

**Biological Assessment Overview**

As part of the assessment of the project site’s biological resources, queries of the California Natural Diversity Database (CNDDDB), United States Fish and Wildlife (USFWS) species lists and California Native Plant Society (CNPS) Inventory and other literature reviews were conducted to provide updated information on special-status plant and wildlife species within the project

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region. A biological site visit was made on September 16, 2016 to determine: 1) plant communities present in the study area; 2) if existing conditions provided suitable habitat for any special-status plant or wildlife species, and 3) if sensitive habitats are present. Existing biological resources of the project site are summarized below, focusing on the potential for occurrence of special-status species and other sensitive resources.

A. Biological Communities

No sensitive biological communities exist within the study area with the exception of riparian habitat associated with Sucker Ravine which occurs in the southern portion of the study area; the majority of the project site is separated from the riparian habitat by a South Placer Municipal Utility District (SPMUD) sewer access gravel path.

B. Special-Status Plant and Animal Species

Special-status plant and animal species are those that have been afforded special recognition by federal, State, or local resources or organizations. Listed and special-status species are of relatively limited distribution and may require specialized habitat conditions.

The California Natural Diversity Database (CNDDDB), USFWS species lists, the California Native Plant Society (CNPS) database and other literature resources were consulted regarding special-status species that have been identified within the Rocklin USGS quadrangle which includes the project area and the eight surrounding quadrangles including Auburn, Citrus Heights, Clarksville, Folsom, Gold Hill, Lincoln, Pilot Hill, and Roseville.

Plants

Based on a review of the resources databased noted above, there are 31 special-status plant species that have been documented in the vicinity of the study area, of which 6 occur within a 5-mile radius of the study area. No special-status plant species have a moderate or high potential to occur in the study area. Species documented to occur in the vicinity of the study area are unlikely or have no potential to occur due to one or more of the following factors: the species has a very limited range and has never been observed near the study area; plant species commonly associated with the special-status species, and which indicate presence of suitable, intact habitat, are absent from the study area; specific characteristics, such as soil derived from serpentine or volcanic, are absent from the study area; specific hydrologic characteristics are absent from the study area, and the study area is highly disturbed and lacks native habitat types.

In summary, no special-status plant species have moderate to high potential for occurrence in the study area and no project related impacts to special-status plant species or habitats that

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could support special-status plant species are anticipated. Consequently, no further actions are recommended for special-status plant species.

Wildlife

Based upon a review of resource databases, 49 special-status wildlife species have been recorded in the vicinity of the study area, and 11 have been documented in the CNDDDB. Three (3) special-status species have a moderate or high potential to occur within the study area, but have not been observed on the site. These three species include the Nuttall’s woodpecker, the loggerhead shrike and the white-tailed kite. The remaining 46 species are unlikely or have no potential to occur in the study area due to one or more of the following factors: the study area is outside of the known or historical range of the species; the study area lacks suitable burrows or breeding habitat; grassland and wetland habitats are not present in the study area, and there are barriers to dispersal that make it unlikely for the species to occur on site.

In summary, there are three special-status bird species that have the potential to occur within the study area. Nuttall’s woodpecker, loggerhead shrike and white-tailed kite may use the trees within the study area or in immediately adjacent habitats for nesting, and mitigation to avoid impacting the nesting activities of these species and other non-special-status bird species is necessary.

C. Hydrology and Jurisdictional Waters of the U.S.

A wetland assessment was conducted in the study area in conjunction with the site visit, and no potentially jurisdictional wetlands or non-wetland waters were identified within the study area. Therefore, no impacts to wetlands or non-wetland waters are anticipated as a part of this project. No permits would be required and no mitigation measures would be necessary.

D. Riparian Vegetation

An assessment of areas potentially subject to California Department of Fish and Wildlife (CDFW) jurisdiction under Section 1602 of the California Fish and Game Code was conducted in the study area in conjunction with the site visit, and no jurisdictional riparian habitats were identified within the majority of the study area. However, there is riparian habitat on the southern portion of the study area in the vicinity of a South Placer Municipal Utility District (SPMUD) sewer access gravel path which is just south of the project boundaries. The project’s development footprint avoids the riparian habitat, but potential SPMUD sewer line and access path upgrades and bicycle/pedestrian path improvements may be implemented by the project that could impact the riparian vegetation, in which case the need to obtain proper permits from the CDFW would be necessary.

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**Significance Conclusions:**

**a. Effect on Protected Species – *Less Than Significant With Mitigation.*** The site is located in a partly developed, suburban environment and it has been heavily disturbed. As such, it provides limited habitat to rodents, small mammals, birds and bats, typical of a suburban area. No special-status plant or animal species were observed on the project site during biological surveys. Tree-nesting raptor species forage and nest in a variety of habitats throughout Placer County and the trees on and adjacent to the project site do provide suitable nesting habitat.

To address the project’s potential impacts to nesting raptors and migratory birds, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV.-1 The applicant/developer shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February - August).*

*If tree and vegetation removal and/or project grading or construction activities would occur during the nesting season for raptors and migratory birds (February-August), the developer and/or contractor shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than 14 days prior to initiation of tree and vegetation removal activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of tree and vegetation removal activities, documentation of the survey shall be provided to the City of Rocklin Public Services Department and if the survey results are negative, no further mitigation is required and necessary structure removal may proceed. If there is a break in construction activities of more than 14 days, then subsequent surveys shall be conducted.*

*If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the size of an appropriate buffer area (CDFW guidelines recommend implementation of 500-foot buffers). Monitoring of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.*

*If construction activities are scheduled to occur during the non-breeding season (September-January), a survey is not required and no further studies are necessary.*

The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce impacts to nesting raptors and migratory birds to a less than significant level.

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**b. and c. Riparian Habitat and Wetlands – Less than Significant with Mitigation.** The project site contains no wetlands that are subject to U.S. Army Corps of Engineers jurisdiction but does contain riparian habitat that may be subject to CDFW jurisdiction.

To address the project’s potential impacts to riparian habitat, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV.-2 Prior to any grading or construction activities, the appropriate California Department of Fish and Wildlife (CDFW) Section 1602 (Streambed Alteration Agreement) permit will need to be acquired for any project-related impacts to riparian habitat. Any riparian habitat that would be lost or disturbed should be replaced or rehabilitated on a “no-net-loss” basis in accordance with the CDFW’s mitigation guidelines. Habitat restoration, rehabilitation, and/or replacement should be at a location and by methods agreeable to the CDFW.*

*Prior to any grading or construction activities, the applicant shall submit documentation to the Public Services Department that they have obtained a CDFW permit or demonstrate that they have applied for such and the CDFW determined that a permit is not necessary. The applicant shall also demonstrate to the Public Services Department that they have implemented habitat restoration, rehabilitation, and/or replacement as stipulated in their CDFW permit.*

The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce impacts to waters of the U.S. to a less than significant level.

**d. Fish and Wildlife Movement – Less than Significant.** The majority of the surrounding area is developed in an urban fashion, including industrial and commercial uses on the northwest and southwest sides of the project and Dominguez Road and industrial development on the northeast side of the project. The project’s southern border is adjacent to Sucker Ravine and an associated open space corridor that may provide fish and wildlife movement opportunities, however project development is not impacting Sucker Ravine and the associated open space corridor other than through project site drainage being directed towards the creek and potential SPMUD sewer line and access road upgrades and bicycle/pedestrian path improvements. Due to the proximity of local roadways to the site (Pacific Street and Dominguez Road), the amount of surrounding development, the lack of established wildlife corridors and perennial water courses on the project site and the preservation of the adjacent Sucker Ravine open space corridor, the proposed project is not anticipated to interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors or wildlife nursery sites.

**e. Local Policies/Ordinances – Less than Significant with Mitigation.** The City of Rocklin regulates the removal of and construction within the dripline of native oak trees with a trunk diameter of 6 inches or more at 4.5 feet above ground level under the Oak Tree Preservation Ordinance and the Oak Tree Preservation Guidelines. Seven oak species and five hybrids

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between these species are defined as “native oaks” by the City. Per the City’s oak tree ordinance, the diameter at breast height (DBH) of a multiple trunk tree is the measurement of the largest trunk only, and heritage trees are defined as native oak trees with a trunk diameter of 24 inches or more.

The City of Rocklin commissioned the firm of Phytosphere Research to evaluate, characterize, and make recommendations on the City’s urban forest, and from that effort, a 2006 report titled “Planning for the Future of Rocklin’s Urban Forest” was produced. One of the findings of this report was that the City’s overall tree canopy cover has increased from 11% in 1952 to 18% in 2003 (a 63% increase) due to the protection of existing oaks and growth of both new and existing trees. This finding supports the City’s on-going practice of requiring mitigation for oak tree removal through its Oak Tree Preservation Ordinance as being an effective way to maintain or even increase urban forest canopy.

The project site includes a total of 30 native oak trees within the boundaries of the project site. Composition of the 30 native oak trees includes 6 Interior Live Oak and 24 Valley Oaks. Three (3) of the native oak trees are recommended for removal by the project arborist as being dead, dying, or a hazard; Seventeen (17) of the native oak trees are proposed for removal as a part of the development of the Sierra Pine Subdivision project.

To ensure compliance with the City’s Oak Tree Preservation Ordinance and to compensate for the removal of the oak trees on the project site, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV.-3 Prior to the issuance of improvement plans or grading permits, the applicant shall:*

*a) Clearly indicate on the construction documents that oak trees not scheduled for removal will be protected from construction activities in compliance with the pertinent sections of the City of Rocklin Oak Tree Preservation Ordinance.*

*b) Mitigate for the removal of oak trees on the project site consistent with the requirements of the City’s Oak Tree Preservation Ordinance for residentially-zoned properties (Rocklin Municipal Code Section 17.77.080.B). The required mitigation shall be calculated using the formula provided in the Oak Tree Preservation Ordinance and to that end the project arborist shall provide the following information:*

- The total number of surveyed oak trees;*
- The total number of oak trees to be removed;*
- The total number of oak trees to be removed that are to be removed because they are sick or dying, and*

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- *The total, in inches, of the trunk diameters at breast height (TDBH) of all surveyed oak trees on the site in each of these categories.*

The applicant is agreeable to the above mitigation measure; implementation of the above measure will comply with the City’s Oak Tree Preservation Ordinance and reduce impacts related to oak tree removal to a less than significant level.

There are no facts or circumstances presented by the proposed project which create conflicts with other local policies or ordinances protecting biological resources.

**f. Habitat Conservation Plan/Natural Communities Conservation Plan – No Impact** The project would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state Habitat Conservation Plan because the site is not subject to any such plan; therefore there is no impact related to a conflict with a habitat conservation plan or natural communities conservation plan.

V. <u>CULTURAL RESOURCES</u> Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?				<b>X</b>	
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?		<b>X</b>			
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?		<b>X</b>			
d) Disturb any human remains, including those interred outside of dedicated cemeteries?		<b>X</b>			

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project could affect known or unknown/undiscovered historical, archaeological, and/or paleontological resources or sites as development occurs.

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**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur to historical, cultural and paleontological resources within the Planning area as a result of the future urban development that was contemplated by the General Plan. These impacts included potential destruction or damage to any historical, cultural, and paleontological resources (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.8-1 through 4.8-21). Mitigation measures to address these impacts are incorporated into the General Plan in the Land Use and Open Space, Recreation and Conservation Elements, and include goals and policies that encourage the preservation and protection of historical, cultural and paleontological resources and the proper treatment and handling of such resources when they are discovered.

The General Plan EIR concluded that despite these goals and policies, significant cultural resources impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will contribute to cumulative impacts to historic character. Findings of fact and a statement of overriding considerations were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

Historically significant structures and sites as well as the potential for the discovery of unknown archaeological or paleontological resources as a result of development activities are discussed in the Rocklin General Plan. Policies and mitigation measures have been included in the General Plan to encourage the preservation of historically significant known and unknown areas.

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for cultural resources impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Project-Level Environmental Analysis:**

The firm of Basin Research Associates, a California consulting firm with recognized expertise in cultural resources, prepared a cultural resource report for the Sierra Pine Residential Development project. The report, dated May 30, 2017, is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that Basin Research Associates has a

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professional reputation that makes their conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the Basin Research Associates report, which is summarized below.

Basin Research Associates report included records searches of the North Central Information Center (NCIC), literature review, a request to the Native American Heritage Commission (NAHC) for a search of the Sacred Lands File Inventory, and notification of Native American contacts recommended by the NAHC. A field inventory was not undertaken as the project site, a former industrial facility, was subject to demolition and remediation in 2015. The records searches revealed that no prehistoric, combined prehistoric/historic or historic sites have been recorded or reported in or adjacent to the project. Four cultural resources compliance reports on file at the NCIC are adjacent to the project site, but all are negative for significant resources within and/or adjacent to the project based on field reviews. It is the considered opinion of Basin Research Associates, based on a review of pertinent records, maps and other documents that the project can proceed as planned in regard to prehistoric and historic archaeological resources. No subsurface testing for buried archaeological resources appears necessary at this time as development over the past 50-80 years has significantly reduced the potential for subsurface cultural resources. However, the project site may contain unknown cultural resources that could potentially be discovered during construction activities.

Per Senate Bill 18 (SB-18, Burton 2004), local governments are required to consult with Native American tribes during the adoption or amendment of local general plans or specific plans for the purpose of aiding in the protection of tribal cultural places. Because the Sierra Pine Subdivision requires a General Plan Amendment, the City of Rocklin initiated the SB-18 process on September 16, 2016 by contacting the Native American Heritage Commission (NAHC) requesting a list of tribes with whom to consult with. The NAHC provided a list of tribes with whom to consult with on September 16, 2016; the identified tribes included Shingle Springs Band of Miwok Indians (Nicholas Fonseca, Chairperson), United Auburn Indian Community (Gene Whitehouse, Chairperson), Washoe Tribe of Nevada and California (Darrel Cruz, Cultural Resources Department and Neil Mortimer, Chairperson), and Tsi Akim Maidu (Don Ryberg, Chairperson). The City of Rocklin provided formal notification of the Sierra Pine subdivision project in certified mail letters received by those organizations on October 4, 2016, October 3, 2016 and October 3, 2016, respectively. The letter to Tsi Akim Maidu (Don Ryberg, Chairperson) was not delivered and returned to the City of Rocklin by the U.S. Postal Service. The tribes of the United Auburn Indian Community and Washoe Tribe of Nevada and California had 90 days to request consultation on the project pursuant to SB-18 and they did not respond prior to January 2, 2017 and January 1, 2017, respectively, the end of the 90-day periods. The Shingle Springs Band of Miwok Indians replied in a letter dated November 4, 2016 that they were not aware of any known cultural resources on this site, but they would like to have continued consultation through updates. As summarized above, the City of Rocklin has complied with the SB-18 process.

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**Significance Conclusions:**

**a. Historic Resources – No Impact.** CEQA Statutes Section 21084.1 identifies historic resources as those listed in or eligible for listing in the California Register of Historic Resources, based on a range of criteria, including association with events or patterns of events that have made significant contributions to broad patterns of historical development in the United States or California, including local, regional, or specific cultural patterns (California Register Criterion 1), structures which are directly associated with important persons in the history of the state or country (Criterion 2), which embody the distinctive characteristics of type, period, or other aesthetic importance (Criterion 3), or which have the potential to reveal important information about the prehistory or history of the state or the nation (such as archaeological sites) (Criterion 4).

In addition to meeting at least one of the above criteria, the structure must typically be over 50 years old (a state guideline rather than a statutory requirement) and have retained historic integrity sufficient to be clearly evident as a historic resource through a combination of location, design, setting, materials, workmanship, feeling and association with historic patterns. The definition of “integrity” in this context is based on criteria established by the National Register of Historic Places.

The project site does not contain any historic resources as defined in §15064.5 (the project archaeologist concluded that there are no identified cultural resources on the project site that are considered eligible for the National or State Register of Historic Places/Resources); therefore no impacts to historic resources are anticipated.

**b. and c. Archaeological Resources and Paleontological Resources – Less Than Significant With Mitigation.** As noted above, the project site may contain unknown/undiscovered cultural resources.

To address the project’s potential impact of the discovery of unknown cultural resources, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*V.-1 If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation*

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*of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.*

*In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City’s Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006).*

The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce impacts to known and unknown/ undiscovered cultural resources to a less than significant level.

**d. Human Remains – Less Than Significant With Mitigation.** No evidence of human remains is known to exist at the project site. However, in the event that during construction activities, human remains of Native American origin are discovered on the site during project demolition, it would be necessary to comply with state laws relating to the disposition of Native American burials, which fall under the jurisdiction of the Native American Heritage Commission (NAHC) (Public Resources Code Section 5097). In addition, State law (CEQA Guidelines Section 15064.5 and the Health and Safety Code Section 7050.5) requires that the Mitigation Measure V.-1 be implemented should human remains be discovered; implementation of Mitigation Measure V.-1 will reduce impacts regarding the discovery of human remains to a less than significant level.

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<b>VI.</b> <u><b>GEOLOGY AND SOILS</b></u> <b>Would the project:</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant With Mitigation</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>	<b>Impact for which General Plan EIR is Sufficient</b>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:  i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zone Map issued by the state Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.			<b>X</b>		
ii) Strong seismic ground shaking?			<b>X</b>		
iii) Seismic-related ground failure, including liquefaction?			<b>X</b>		
iv) Landslides?			<b>X</b>		
b) Result in substantial soil erosion or the loss of topsoil?			<b>X</b>		
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on-or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?					<b>X</b>
d) Be located on expansive soil, as defined in Table I8-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?			<b>X</b>		
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?				<b>X</b>	

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

Branches of the Foothill Fault system, which are not included on the Alquist-Priolo maps, pass through or near the City of Rocklin and could pose a seismic hazard to the area including ground shaking, seismic ground failure, and landslides. Construction of the proposed project will involve clearing and grading of the site, which could render the site susceptible to a temporary increase in erosion from the grading and construction activities.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts of local soils and geology on development that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included seismic hazards such as groundshaking and liquefaction, erosion, soil stability, and wastewater conflicts (City of Rocklin General Plan Update Draft EIR, 2011 pages 4.6-1 through 4.6-27). The analysis found that while development and buildout of the General Plan can result in geological impacts, these impacts would be reduced to a less than significant level through the application of development standards contained in the City’s Improvement Standards and Standard Specifications and in the Rocklin Municipal Code, the application of General Plan goals and policies that would assist in minimizing or avoiding geologic hazards and compliance with local, state and federal standards related to geologic conditions.

These goals, policies and standards include, but are not limited to, erosion control measures in the City’s Improvement Standards and Standard Specifications, the City’s Grading and Erosion and Sediment Control Ordinance, the City’s Stormwater Runoff Pollution Control Ordinance, and goals and policies in the General Plan Community Safety Element requiring soils and geotechnical reports for all new development, enforcement of the building code, and limiting development of severe slopes.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for geology and soils impacts incorporated as goals and policies in the Rocklin General Plan will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City ordinances, rules and regulations.

In addition, the project would be subject to the provisions of the City’s Grading and Erosion and Sediment Control Ordinance. Chapter 15.28 of the Rocklin Municipal Code, Grading and Erosion Sediment Control, regulates grading activity on all property within the City of Rocklin to

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safeguard life, limb, health, property, and public welfare; to avoid pollution of watercourses with nutrients, sediments, or other earthen materials generated or caused by surface runoff on or across the permit area; to comply with the City’s National Pollutant Discharge Elimination System permit issued by the California Regional Water Quality Control Board; and to ensure that the intended use of a graded site is consistent with the City of Rocklin General Plan, provisions of the California Building Standards Code as adopted by the City relating to grading activities, City of Rocklin improvement standards, and any applicable specific plans or other land use entitlements. This chapter (15.28) also establishes rules and regulations to control grading and erosion control activities, including fills and embankments; establishes the administrative procedure for issuance of permits; and provides for approval of plans and inspection of grading construction and erosion control plans for all graded sites.

Also, a geotechnical report, prepared by a qualified engineer, will be required with the submittal of project improvement plans. The report will provide site-specific recommendations for the construction of all features of the building foundations and structures to ensure that their design is compatible with the soils and geology of the project site.

**Significance Conclusions:**

**a., i. and ii. Fault Rupture, Ground Shaking – *Less than Significant Impact.*** The City of Rocklin is located in an area known to be subject to seismic hazards, but it is not near any designated Alquist-Priolo active earthquake faults. The Foothill Fault System has been identified in previous environmental studies as potentially posing a seismic hazard to the area; however, the Foothill Fault system is located near Folsom Lake, and not within the boundaries of the City of Rocklin. There are, however, two known and five inferred inactive faults within the City of Rocklin. Existing building code requirements are considered adequate to reduce potential seismic hazards related to the construction and operation of the proposed project to a less than significant level.

**a., iii. and iv. Liquefaction, Landslides – *Less than Significant Impact.*** The site does not contain significant grade differences and therefore, does not possess the slope/geological conditions that involve landslide hazards. The potential for liquefaction due to earthquakes and groundshaking is considered minimal due to the site specific characteristics that exist in Rocklin; Rocklin is located over a stable granite bedrock formation and much of the area is covered by volcanic mud (not unconsolidated soils which have liquefaction tendencies). Application of development standards contained in the City’s Improvement Standards and Standard Specifications and in the Rocklin Municipal Code, the application of General Plan goals and policies that would assist in minimizing or avoiding geologic hazards, and compliance with local, state and federal standards related to geologic conditions would reduce the potential impact from liquefaction to a less than significant level.

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**b. Soil Erosion – *Less Than Significant Impact.*** Standard erosion control measures are required of all projects, including revegetation and slope standards. The project proponent will be required to prepare an erosion and sediment control plan through the application of the City’s Improvement Standards and Standard Specifications as a part of the City’s development review process. The erosion and sediment control plan are reviewed against the Placer County Stormwater Management Manual and the Regional Water Quality Control Board’s Erosion and Sediment Control Field Manual. The erosion and sediment control plan includes the implementation of Best Management Practices/Best Available Technology (BMPs/BATs) to control construction site runoff. The project will also be required to comply with the City’s Grading and Erosion and Sedimentation Control Ordinance (Rocklin Municipal Code, Chapter 15.28), and the Stormwater Runoff Pollution Control Ordinance (Rocklin Municipal Code, Chapter 8.30). The application of standard erosion control measures to the proposed project, as well as compliance with the above noted Ordinances, would reduce potential erosion-related impacts to a less than significant level for on-site grading.

**c. and d. Unstable and Expansive Soil – *Less Than Significant Impact.*** A geotechnical report, prepared by a qualified engineer, will be required with the submittal of the project improvement plans. The report will be required to provide site-specific recommendations for the construction of all features of the building foundations and structures to ensure that their design is compatible with the soils and geology of the project site. Through the preparation of such a report and implementation of its recommendations as required by City policy during the development review process, impacts associated with unstable soil or geologic conditions would be reduced to a less than significant level.

**e. Inadequate Soils for Disposal - *No Impact.*** Sewer service is available to the project site and the proposed project will be served by public sewer. Septic tanks or alternative wastewater disposal systems would not be necessary; therefore there are no impacts associated with the disposal of wastewater.

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<b>VII.</b> <u>GREENHOUSE GAS EMISSIONS</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?		<b>X</b>			
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?		<b>X</b>			

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

An individual project, even a very large project, does not in itself generate enough greenhouse gas emissions to measurably influence global climate change. Global climate change is therefore by definition a cumulative impact. A project contributes to this potential cumulative impact through its cumulative incremental contribution combined with the emissions of all other sources of greenhouse gases (GHG).

Area- and mobile-source emissions of greenhouse gases would be generated by the construction and operation of the proposed project. Individual projects can contribute to greenhouse gas emission reductions by incorporating features that reduce vehicle emissions and maximize energy-efficiency.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur related to climate change and greenhouse gas emissions as a result of the future urban development that was contemplated by the General Plan. These impacts included consistency with greenhouse gas reduction measure, climate change environmental effects on the City and generation of greenhouse gas emissions (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.15-1 through 4.15-25). Mitigation measures to address these impacts are incorporated into the General Plan in the Land Use and Circulation Elements, and include goals and policies that encourage the use of alternative modes of transportation and promote mixed use and infill development.

The General Plan EIR concluded that despite these goals and policies, significant greenhouse gas emission impacts will occur as a result of development under the General Plan and further,

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that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will result in the generation of greenhouse gas emissions which are cumulatively considerable. Findings of fact and a statement of overriding considerations were adopted by the Rocklin City Council in regard to this impact, which was found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

Generation of greenhouse gas emissions as a result of development activities are discussed in the Rocklin General Plan. Policies and mitigation measures have been included in the General Plan that encourage the use of alternative modes of transportation and promote mixed use and infill development.

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for greenhouse gas emissions impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Project Level Environmental Analysis:**

The firm of Ascent Environmental, a California consulting firm with recognized expertise in air quality, prepared an Air Quality and Greenhouse Gas Technical Study report for the proposed project. The report, dated May 31, 2017, is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that Ascent Environmental has a professional reputation that makes its conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the Ascent Environmental report, which is summarized below.

**Greenhouse Gas Setting**

Gases that trap heat in the atmosphere are referred to as greenhouse gas (GHG) emissions because they capture heat radiated from the sun as it is reflected back into the atmosphere, similar to a greenhouse. The accumulation of GHG emissions has been implicated as a driving force for Global Climate change. Definitions of climate change vary between and across regulatory authorities and the scientific community, but in general can be described as the changing of the earth’s climate caused by natural fluctuations and the impact of human activities that alter the composition of the global atmosphere.

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Emissions of greenhouse gases (GHGs) contributing to global climate change are attributable in large part to human activities associated with the industrial/manufacturing, utility, transportation, residential and agricultural sectors. Therefore, the cumulative global emission of GHGs contributing to global climate change can be attributed to every nation, region, city and virtually every individual on Earth. A project’s GHG emissions are at a micro-scale relative to global emissions, but could result in a cumulatively considerable incremental contribution to a significant cumulative macro-scale impact

The major concern is that increases in GHG emissions are causing Global Climate Change. Global Climate Change is a change in the average weather on earth that can be measured by wind patterns, storms, precipitation, and temperature. Although there is disagreement as to the speed of global warming and the extent of the impacts attributable to human activities, the vast majority of the scientific community now agrees that there is a direct link between increased GHG emissions and long term global temperature increases. Potential global warming impacts in California may include, but are not limited to, loss in snow pack, sea level rise, more extreme heat days per year, more high ozone days, more large forest fires, more drought years, impacts to agriculture, changes in disease vectors, and changes in habitat and biodiversity. In California, GHGs are defined to include carbon dioxide (CO<sub>2</sub>), methane (CH<sub>4</sub>), nitrous oxide (N<sub>2</sub>O), sulfur hexafluoride (SF<sub>6</sub>), perfluorocarbons (PFCs), nitrogen trifluoride (NF<sub>3</sub>), and hydrofluorocarbons. To account for the warming potential of GHGs, GHG emissions are quantified and reported as CO<sub>2</sub> equivalents (CO<sub>2</sub>e).

An individual project, even a very large project, does not in itself generate enough greenhouse gas emissions to measurably influence global climate change. Global climate change is therefore by definition a cumulative impact. A project contributes to this potential cumulative impact through its cumulative incremental contribution combined with the emissions of all other sources of greenhouse gases (GHG). In assessing cumulative impacts, it must be determined if a project’s incremental effect is “cumulatively considerable” (CEQA Guidelines Sections 15064 (h)(1) and 15130). To make this determination, the incremental impacts of the project must be compared to with the effects of past, current and probable future projects. To gather sufficient information on a global scale of all past, current, and probable future projects to make this determination is a difficult, if not impossible, task.

Regulatory Framework

In September 2006, then Governor Arnold Schwarzenegger signed AB 32, the California Climate Solutions Act of 2006. AB 32 requires that statewide GHG emissions be reduced to 1990 levels by the year 2020. AB 32 delegated the authority for its implementation to the California Air Resources Board (CARB) and directs CARB to enforce the statewide cap. In accordance with AB 32, CARB prepared the *Climate Change Scoping Plan* (Scoping Plan) for California, which was approved in 2008. The Scoping Plan provides the outline for actions to reduce California’s GHG emissions. Based on the reduction goals called for in the 2008 Scoping Plan, a 29 percent

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reduction in GHG levels relative to a Business As Usual (BAU) scenario would be required to meet 1990 levels by 2020. The BAU condition is project and site specific and varies. The BAU scenario is based on what could or would occur on a particular site in the year 2020 without implementation of a proposed project or consideration of any State regulation emission reductions or voluntary GHG reduction measures. The CARB, per the 2008 Scoping Plan, explicitly recommends that local governments utilize a 15 percent GHG reduction below “today’s” levels by 2020 to ensure that community emissions match the State’s reduction target, where today’s levels would be considered 2010 BAU levels.

In 2011, the baseline or BAU level for the Scoping Plan was revised to account for the economic downturn and State regulation emission reductions (i.e., Pavley, Low Carbon Fuel Standard [LCFS], and Renewable Portfolio Standard [RPS]). Accordingly, the Scoping Plan emission reduction target from BAU levels required to meet 1990 levels by 2020 was modified from 29 percent to 21.7 percent where the BAU level is based on 2010 levels singularly, or 16 percent where the BAU level is based on 2010 levels and includes State regulation emission reductions noted above. The amended Scoping Plan was re-approved August 24, 2011.

The Scoping Plan must be updated every five years. The *First Update to the Climate Change Scoping Plan* (Scoping Plan Update) was approved by CARB on May 22, 2014 and builds upon the initial Scoping Plan with new strategies and recommendations. The Scoping Plan Update highlights the State’s progress towards the 2020 GHG emission reduction goals defined in the original Scoping Plan and evaluates how to align the State’s longer-term GHG reduction strategies with other State policy priorities for water, waste, natural resources, clean energy, transportation and land use. According to the Scoping Plan Update, the State is on track to meet the 2020 GHG goal and has created a framework for ongoing climate action that could be built upon to maintain and continue economic sector-specific reductions beyond 2020, on the path to 80 percent below 1990 levels by 2050, as required by AB 32.

**Significance Conclusions:**

**a. and b.) Generate Greenhouse Gas and Conflict with Greenhouse Gas Plan – *Less Than Significant with Mitigation.*** Implementation of the proposed project would cumulatively contribute to increases of GHG emissions. Estimated GHG emissions attributable to future development would be primarily associated with increases of carbon dioxide (CO<sub>2</sub>) and, to a lesser extent, other GHG pollutants, such as methane (CH<sub>4</sub>) and nitrous oxide (N<sub>2</sub>O) associated with mobile sources or vehicles, utilities (electricity and natural gas), water usage, wastewater generation, and the generation of solid waste. Because the proposed project involves increased vehicle use in the area, the GHG emissions related to increased vehicle use in the area must be analyzed. The common unit of measurement for GHG is expressed in terms of annual metric tons of CO<sub>2</sub> equivalents (MT CO<sub>2</sub>e), based on the global warming potential of the individual pollutants.

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Previously, the City of Rocklin relied on methodology included in the California Air Resources Board’s original *Climate Change Scoping Plan* for the analysis of potential impacts related to GHG emissions. The original Scoping Plan recommended an analysis methodology based on project-specific reductions in GHG emissions compared to a Business-As-Usual (BAU) scenario. The BAU scenarios were based off of GHG emissions projections for anticipated growth without the inclusion of measures that would reduce GHG emissions, such as improvements in vehicle fuel efficiency, energy efficiency, and the increased use of renewable energy sources for energy supply. However, on November 30, 2015, the California Supreme Court issued a decision in the *Center for Biological Diversity v. California Department of Fish and Wildlife* (Newhall Ranch) case, in which the court ruled that analysis based on BAU scenarios was insufficient to support conclusions that proposed projects would have less-than-significant impacts. In response to the Newhall Ranch Ruling, the City of Rocklin is relying on the proposed new guidance from the PCAPCD to determine the significance of proposed projects in regards to GHG emissions.

The proposed thresholds begin with a screening emission level of 1,100 MT CO<sub>2</sub>e/yr. Any project below the 1,100 MT CO<sub>2</sub>e/yr threshold is judged by the PCAPCD as having a less than significant impact on GHG emissions within the District and thus would not conflict with any state or regional GHG emissions reduction goals. Projects that would result in emissions above the 1,100 MT CO<sub>2</sub>e/yr threshold would not necessarily result in substantial impacts, if certain efficiency thresholds are met. The efficiency thresholds, which are based on service populations and square footage, are presented in the PCAPCD GHG Operational Thresholds of Significance table below.

PCAPCD GHG OPERATIONAL THRESHOLDS OF SIGNIFICANCE			
Efficiency Thresholds			
Residential (MT CO <sub>2</sub> e/capita)		Non-Residential (MT CO <sub>2</sub> e/1,000 sf)	
Urban	Rural	Urban	Rural
4.5	5.5	26.5	27.3
<i>Source: Placer County Air Pollution Control District. CEQA Thresholds. Accessible at <a href="http://www.placer.ca.gov/departments/air/landuseceqa/ceqathresholds">http://www.placer.ca.gov/departments/air/landuseceqa/ceqathresholds</a>.</i>			

Projects that fall below the 1,100 MT CO<sub>2</sub>e/yr threshold or meet the efficiency thresholds are considered to be in keeping with statewide GHG emissions reduction targets, which would ensure that the proposed project would not inhibit the State’s achievement of GHG emissions reductions. Thus, projects which involve emissions below the 1,100 MT CO<sub>2</sub>e/yr threshold or below the efficiency thresholds presented in the PCAPCD GHG Operational Thresholds of Significance table above are considered to result in less-than-significant impacts in regards GHG emissions within the District and would not conflict with any state or regional GHG emissions reduction goals. Finally, the PCAPCD has also established a Bright Line Cap, which shall be the maximum limit for any proposed project. The Bright Line Cap is 10,000 MT CO<sub>2</sub>e/yr for all types of projects.

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Short-term emissions of GHG associated with construction of the proposed project are estimated at the highest to be 510 MTCO<sub>2</sub>e/year and the average over two years of construction is 446 MTCO<sub>2</sub>e/year, which are both below the 1,100 MTCO<sub>2</sub>e/year threshold. Construction GHG emissions are a one-time release and are, therefore, not typically expected to generate a significant contribution to global climate change. Due to the size of the proposed project, the project’s estimated construction-related GHG contribution to global climate change would be considered negligible on the overall global emissions scale.

The long-term operational GHG emissions estimate for the proposed project incorporates the project’s potential area source and vehicle emissions, emissions associated with utility and water usage, and the generation of wastewater and solid waste. The annual GHG emissions associated with the proposed project by year 2020 would be 2,951 MTCO<sub>2</sub>e/year and 5.2 MTCO<sub>2</sub>e/capita. Because the level of emissions are above the 1,100 MTCO<sub>2</sub>e/year and 4.5 MTCO<sub>2</sub>e/capita significance thresholds, the proposed project could hinder the State’s ability to reach the GHG reduction target and conflict with any applicable plan, policy, or regulation related to GHG reduction and the impact of the proposed project on global climate change is considered significant with mitigation measures are required. Annual GHG emissions would need to be reduced by a total of 375 MTCO<sub>2</sub>e/year to comply with the PCAPCD’s applicable thresholds of significance.

To the degree a project relies on GHG mitigation measures, PCAPCD and CARB recommend that lead agencies prioritize on-site design features and direct investments in GHG reductions in the vicinity of the project, to help provide potential air quality and economic co-benefits locally. For example, direct investment in a local building retrofit program can pay for cool roofs, solar panels, solar water heaters, smart meters, energy efficient lighting, energy efficient appliances, energy efficient windows, insulation, and water conservation measures for homes within the geographic area of the project. Other examples of local direct investments include financing installation of regional electric vehicle (EV) charging stations, paying for electrification of public school buses, and investing in local urban forests. However, it is critical that any such investments in actions to reduce GHG emissions are real and quantifiable. Where further project design or regional investments are infeasible or not proven to be effective, it may be appropriate and feasible to mitigate project emissions through purchasing and retiring carbon credits issued by a recognized and reputable accredited carbon registry.

The following onsite GHG reduction measures are examples that could be incorporated into the project design:

1. Exceed 2016 Title 24 Energy Standards by five percent;
2. No woodstoves or natural gas fireplaces shall be installed in any of the units (this measure would result in a 5.3 percent reduction in total GHG emissions);
3. Install High Efficiency Lighting (i.e., light emitting diodes);

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4. Install EPA-Certified Energy Star Rated Home Appliances (fans, refrigerators, clothes washers, dishwashers);
5. Install low-flow bathroom and kitchen faucets (above current State and Federal requirements);
6. Install low-flow toilet and shower heads (above current State and Federal requirements);
7. Reduce turf area and use water-efficient irrigation systems (i.e., smart sprinkler meters) and landscaping techniques/design;
8. Provide on-site solar to the extent technically feasible. For rooftop solar systems to be considered feasible the following criteria shall be evaluated when determining which dwelling units would be good candidates for installing solar systems:
  - Rooftop solar system sizing would need to be adequate to supply all or portions of each buildings energy needs;
  - Available roof size and slope shall be evaluated for appropriate system size and type;
  - Building orientation (e.g., south, north, west, east) shall be considered to maximize solar system efficiency, and
  - Sun exposure must be adequate and not overly shaded to maximize solar system efficiency

Implementation of the on-site measures identified above would reduce GHG emissions, but may not reduce all GHG emissions necessary to meet the efficiency metric; therefore, additional mitigation through the purchase of carbon offsets may be necessary.

The CEQA Guidelines recommend several options for mitigating GHG emissions. Section 15126.4(C)(3) of the Guidelines states that measures to mitigate the significant effects of GHG emissions may include “off-site measures, including offsets that are not otherwise required...” Through the purchase of GHG credits or through voluntary participation in the Cap-and-Trade program or an approved registry, GHG emissions may be reduced at the project level. GHG reductions must meet the following criteria:

- Real—represent reductions actually achieved (not based on maximum permit levels);
- Additional/Surplus—not already planned or required by regulation or policy (i.e., not double counted);
- Quantifiable—readily accounted for through process information and other reliable data;
- Enforceable—acquired through legally binding commitments/agreements;
- Validated—verified through accurate means by a reliable third party, and
- Permanent—will remain as GHG reductions in perpetuity.

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CARB has established a Cap-and-Trade registry that identifies qualified providers and AB 32 projects. Potential offset programs could include the following:

- The California Air Pollution Control Officers Association GHG Reduction Exchange (CAPCOA GHG Rx);
- Climate Action Reserve (CAR);
- American Carbon Registry (ACR); or
- The “Voluntary” Carbon Market

CAR is an approved Offset Project Registry (OPR), North American-based offsets program that provides high quality standards for quantifying GHG emissions offsets and registers credits for GHG emissions reduction or removals. One offset credit, or a Climate Reserve Tonne (CRT), is measured as 1 MT CO<sub>2</sub>e. The “Voluntary” carbon market is composed of various international companies (e.g., Terrapass, Carbonfund) that oversee certified programs that use approved protocols to verify the legitimacy of the carbon offsets they provide. According to a 2015 report conducted by Forest Trends, the cost per 1 MT CO<sub>2</sub>e averaged \$3.80 in 2014, compared to the historical average price of approximately \$5.80 per MT CO<sub>2</sub>e. By comparison, the price per 1 MT CO<sub>2</sub>e offset through the California Cap-and-Trade Program averaged \$12.70 in 2015.

Purchases of offsets would occur once and remain effective throughout the lifetime of the project (i.e., 20 years per PCAPCD guidance). In order for an offset to be considered viable, it must exhibit “permanence.” To adequately reduce emissions of GHGs, carbon offsets must be able to demonstrate the ability to counterbalance GHG emissions over the lifespan of a project or “in perpetuity.” For example, the purchase of a carbon offset generated by a reforestation project would entail the replanting or maintenance of carbon sequestering trees, which would continue to sequester carbon over several years, decades, or centuries (Forest Trends 2015). It is important to note that the offsets purchased must offer an equivalent GHG reduction benefit annually, i.e., 375 MT CO<sub>2</sub>e or more GHGs reduced annually as opposed to a one-time reduction.

To address the project’s impact of greenhouse gas emissions exceeding the applicable PCAPCD threshold of significance, the following mitigation measure is being applied to the project:

*VII.1 Prior to the issuance of any building permits, the applicant shall:*

*a) Hire a qualified energy consultant to verify the total achieved GHG emissions reductions based firstly on the application of on-site measures to the extent feasible, and secondarily on the purchase of offsets/carbon credits. For purposes of calculating GHG emission reductions, the mitigation requirement of 375 MTCO<sub>2</sub>e/year is equivalent to 1,646, MWh/year of electricity for a project with no hearths and 2,830 MWh/year of electricity for a project with hearths;*

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*b) If the purchase of offsets/carbon credits is determined to be necessary after implementation of all feasible on-site measures, the applicant shall provide evidence to the City of Rocklin Environmental Services Division that they have obtained, or entered into an agreement to obtain, carbon credits in the amount necessary to achieve a total GHG emissions reduction of 375 MTCO<sub>2</sub>e/year through the use of on-site measures and purchase of carbon credits. Evidence shall consist of documentation from a PCAPCD-approved, third-party verifier that the carbon credits have been obtained and meet CARB and PCAPD’s requirements, and*

*c) A report of the selected on-site measures and their total achieved GHG emissions reductions as well as documentation of any necessary purchase of offsets/carbon credits shall be submitted to the City of Rocklin Environmental Services Division as a part of the Title 24 Compliance Report process to document a GHG emissions reduction of 375 MTCO<sub>2</sub>e/year. All building/site plans submitted during the Title 24 compliance process shall incorporate the selected on-site measures as appropriate.*

The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce the project’s impact of greenhouse gas emissions exceeding the applicable PCAPCD threshold of significance to a less than significant level.

This Initial Study evaluates a “subsequent activity” that was already evaluated by the General Plan EIR. The General Plan EIR identified the generation of greenhouse gas emissions as a significant and unavoidable impact, and the City of Rocklin adopted Findings of Fact and a Statement of Overriding Considerations in recognition of this impact. The project does not result in a change to this finding because the development and operation of the proposed project will generate greenhouse gas emissions. While the proposed project would cumulatively contribute to the significant and unavoidable impact of generation of greenhouse gas emissions as recognized in the General Plan EIR, the proposed project itself will not generate enough greenhouse gas emissions to measurably influence global climate change because project-specific impacts related to GHG emission and global climate change would be less than significant as a result of the application of the project-specific GHG emission reduction mitigation measure identified above and General Plan policies and mitigation measures that encourage the use of alternative modes of transportation and promote mixed use and infill development.

Implementation of the above mitigation measure will achieve the necessary project-GHG emissions reduction (i.e., 12.7 percent total project reduction in annual GHG emissions) bringing total project emissions to 2,576 MT CO<sub>2</sub>e/year or 4.5 MT CO<sub>2</sub>e/year per capita. The project would not exceed applicable PCAPCD thresholds of significance established for purposes of meeting California GHG reduction targets set for 2020; therefore, the project would not result in substantial GHG emissions or conflict with an applicable plan (i.e., State Scoping Plan) or policy in place for the purpose of reducing GHG emissions and the impact would be less than significant.

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<b>VIII.</b> <u>HAZARDS AND HAZARDOUS MATERIALS</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?		<b>X</b>			
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.		<b>X</b>			
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				<b>X</b>	
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?		<b>X</b>			
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?				<b>X</b>	
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?				<b>X</b>	
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?			<b>X</b>		
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?			<b>X</b>		

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

As discussed below, compliance with the mitigation measures incorporated into the General Plan goals and policies and applicable City Code and compliance with applicable Federal, State and local laws and regulations would reduce impacts related to hazards and hazardous materials to a less-than-significant level.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated human health and hazards impacts that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included wildland fire hazards, transportation, use and disposal of hazardous materials, and emergency response and evacuation plans (City of Rocklin General Plan Update Draft EIR, 2011 pages 4.7-1 through 4.7-30). The analysis found that while development and buildout of the Rocklin General Plan can introduce a variety of human health and hazards impacts, these impacts would be reduced to a less than significant level through the application of development standards in the Rocklin Municipal Code, the application of General Plan goals and policies that would assist in minimizing or avoiding hazardous conditions, and compliance with local, state and federal standards related to hazards and hazardous materials.

These goals, policies and standards include, but are not limited to, Chapter 2.32 of the Rocklin Municipal Code which requires the preparation and maintenance of an emergency operations plan, preventative measures in the City’s Improvement Standards and Standard Specifications, compliance with local, state and federal standards related to hazards and hazardous materials and goals and policies in the General Plan Community Safety and Open Space, Conservation and Recreation Elements requiring coordination with emergency management agencies, annexation into fee districts for fire prevention/suppression and medical response, incorporation of fuel modification/fire hazard reduction planning, and requirements for site-specific hazard investigations and risk analysis.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for human health and hazards impacts incorporated as goals and policies in the General Plan and the City’s Improvement Standards, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with the Rocklin Municipal Code and other City rules and regulations.

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In addition, Chapter 2.32 of the Rocklin Municipal Code requires the development of emergency procedures in the City through the Emergency Operations Plan. The Emergency Operations Plan provides a framework to guide the City’s efforts to mitigate and prepare for, respond to, and recover from major emergencies or disasters. To implement the Emergency Operations Plan, the City has established a Disaster Council, which is responsible for reviewing and recommending emergency operations plans for adoption by the City Council. The Disaster Council plans for the protection of persons and property in the event of fires, floods, storms, epidemic, riot, earthquake and other disasters.

**Significance Conclusion:**

**a. and b. Transport, Use or Disposal of Hazardous Materials, Release of Hazardous Materials – *Less than Significant With Mitigation.*** Construction, operation and maintenance activities would use hazardous materials, including fuels (gasoline and diesel), oils and lubricants; paints and paint thinners; glues; cleaners (which could include solvents and corrosives in addition to soaps and detergents), and fertilizers, pesticides, herbicides and yard/landscaping equipment. While these products noted above may contain known hazardous materials, the volume of material would not create a significant hazard to the public through routine transport, use, or disposal and would not result in a reasonably foreseeable upset and accident condition involving the release of hazardous materials. Compliance with various Federal, State, and local laws and regulations (including but not limited to Titles 8 and 22 of the Code of California Regulations, Uniform Fire Code, and Chapter 6.95 of the California Health and Safety Code) addressing hazardous materials management and environmental protection would be required to ensure that there is not a significant hazardous materials impact associated with the construction, operation and maintenance of the proposed project.

Due to the project site’s former use as an industrial facility and project’s proposal to develop a single family residential subdivision, the project site was evaluated by a geotechnical consulting firm to assess whether the project site contained any Recognized Environmental Conditions (RECs). The Placer County Environmental Health Department (PCEH) reviewed the evaluation and approved a work plan that was developed to address the RECs that were found as a result of the site investigations. A Site Investigation Report of Findings for the Sierra Pine Rocklin Facility was prepared by Wallace-Kuhl & Associates (October 21, 2016) which identified the necessary steps that must be taken to address the RECs and to demonstrate that the site is suitable for the change in land use from industrial/commercial use to a residential subdivision. The implementation of those steps has begun and is currently an on-going process.

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To address potential impacts from the presence of Recognized Environmental Conditions and to allow the use of the project site as a residential subdivision, the following mitigation measure, agreed to by the applicant, is being applied to the project.

*VIII.-1 Prior to the issuance of improvement plans or grading permits, the applicant shall demonstrate that they have implemented a work plan and have completed the necessary steps identified in the Site Investigation Report of Findings for the Sierra Pine Rocklin Facility was prepared by Wallace-Kuhl & Associates (October 21, 2016) to address the Recognized Environmental Conditions to the satisfaction of the Placer County Environmental Health Department. Documentation from the Placer County Environmental Health Department that the work plan has been satisfactorily implemented and that No Further Action is necessary shall be provided from the Placer County Environmental Health Department prior to the issuance of improvement plans or grading permits.*

The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce hazardous materials impacts related to Recognized Environmental Conditions on the project site to a less than significant level.

**c. Hazardous Emissions Near Schools – No Impact.** There are no schools within one-quarter mile (1,320 feet) of the project site. The closest school to the project site is Sierra College on Rocklin Road which is approximately 1,750 feet away to the campus boundaries and 3,000 feet away to campus buildings. Although residential projects of this nature would not typically emit any significant amounts of hazardous materials, substances, or waste or be involved in the transportation of hazardous materials, substances, or waste, there are existing rules and regulations, as indicated above, that address hazardous materials management and environmental protection. Therefore, there is no impact related to hazardous emissions or hazardous materials within one quarter mile of a school.

**d. Hazardous Site List – Less Than Significant with Mitigation.** The project site is on the list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. Government Code 65962.5 is known as the Cortese List. The Cortese database identifies public drinking water wells with detectable levels of contamination, hazardous substance sites selected for remedial action, sites with known toxic material identified through the abandoned site assessment program, sites with Underground Storage Tanks (USTs) having a reportable release and all solid waste disposal facilities from which there is known migration. The Department of Toxic Substances Control (DTSC) EnviroStor database and State Water Resources Control Board GeoTracker database were searched on June 8, 2017 and site-specific results regarding the previous operations of the Sierra Pine facility were identified:

The DTSC EnviroStor database noted the following, starting with the most recent entry: 3/26/93 - Preliminary Endangerment Assessment required low priority. The manufacturing of fiberboard at the facility has led to elevated level of tannins and lignins in the area ground water up to 4.2

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milligrams per liter (mg/L) and in the area surface water up to .9 mg/L. These contaminants are considered non-hazardous. The RWQCB has inspected the ponds on-site. Placer County is involved in the ground water and surface water monitoring. The Air Resources Board and local air pollution control district are monitoring formaldehyde releases into the air from the facility; 9/15/89 – Preliminary Assessment done. Medium priority site inspection recommended for Department of Health Services and Environmental Protection Agency; 2/3/87 – Site screening done. File incomplete, no cleanup documented, and 9/18/81 – Facility identified Chamber of Commerce directory questionnaire sent.

In addition to the same database entries for EnviroStor noted above, the GeoTracker database noted the following: 10/30/92 - According to a 1992 report prepared by US EPA, the facility makes medium density fiberboard from sawdust, wood chips, urea formaldehyde resin and wax emulsion. Two 400-gallon waste oil tanks and drums of oily sawdust and absorbent pads are staged on concrete pads. Process wastewater is contained in a concrete lined pond and Waste Discharge Requirements had been issued by the Regional Water Board. Potential for formaldehyde releases to air are being handled by the California Air Resources Board and the Placer County Air Pollution Control District. The US EPA prepared the report in accordance with the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLA). The evaluation concluded that while potential exists for a release of waste oil to the environment, no remedial action was planned under CERCLA; 9/15/89 - . Also noted in the database were two items from 3/1/17 and 5/4/17 that were related to the on-going clean-up and remediation efforts of the site as discussed under items a) and b) above.

Since the above-noted database concerns were all related to the project site’s former use as an industrial facility, the implementation of mitigation measure VIII.-1 as required above is considered to address hazardous concerns/sites that were identified on the project site. Therefore upon implementation of mitigation measure VIII.-1, there is no impact related to a hazardous materials site on the project site.

**e. and f. Public Airport Hazards and Private Airport Hazards – No Impact.** The project is not located within an airport land use plan, or within two miles of a public airport or public use airport; therefore there is no public or private airport hazard impact.

**g. Emergency Response Plan – Less than Significant Impact.** The City’s existing street system, particularly arterial and collector streets, function as emergency evacuation routes. The project’s design and layout will not impair or physically interfere with the street system emergency evacuation route or impede an emergency evacuation plan; therefore a less than significant impact on emergency routes/plans would be anticipated.

**h. Wildland Fires – Less Than Significant Impact.** The project site is located in a mostly developed Heavy Industrial, Retail Commercial and Medium Density Residential area, surrounded by suburban development including other structures and roadways. Additionally,

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the proposed project has been reviewed by the Rocklin Fire Department and has been designed with adequate emergency access for use by the Rocklin Fire Department to reduce the risk of loss, injury or death involving wildland fires to a less than significant level.

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IX. <u>HYDROLOGY AND WATER QUALITY</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Violate any water quality standards or waste discharge requirements?			<b>X</b>		
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?			<b>X</b>		
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?			<b>X</b>		
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?			<b>X</b>		
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?			<b>X</b>		
f) Otherwise substantially degrade water quality?			<b>X</b>		
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary of Flood Insurance Rate Map or other flood hazard delineation map?			<b>X</b>		
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?			<b>X</b>		

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IX. HYDROLOGY AND WATER QUALITY (cont'd.) Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?			X		
j) Inundation by seiche, tsunami, or mudflow?			X		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project would involve grading activities that would remove vegetation and expose soil to wind and water erosion and potentially impact water quality. Waterways in the Rocklin area have the potential to flood and expose people or structures to flooding. Additional impervious surfaces would be created with the development of the proposed project.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated hydrology and water quality impacts that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included water quality, ground water quality and supply, drainage, flooding, risks of seiche, tsunami and mudflow (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.9-1 through 4.9-37). The analysis found that while development and buildout of the General Plan can result in hydrology and water quality impacts, these impacts would be reduced to a less than significant level through the application of development standards contained in the City’s Improvement Standards and Standard Specifications and in the Rocklin Municipal Code, the application of General Plan goals and policies related to hydrology, flooding and water quality, and compliance with local, state, and federal water quality standards and floodplain development requirements.

These goals, policies and standards include, but are not limited to, flood prevention and drainage requirements in the City’s Improvement Standards and Standard Specifications, the City’s Grading and Erosion and Sediment Control Ordinance, the Stormwater Runoff Pollution Control Ordinance, the State Water Resources Control Board General Construction Activity Storm Water Permit requirements, and goals and policies in the General Plan Open Space, Conservation and Recreation and Safety Elements requiring the protection of new and existing development from flood and drainage hazards, the prevention of storm drainage run-off in

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excess of pre-development levels, the development and application of erosion control plans and best management practices, the annexation of new development into existing drainage maintenance districts where warranted, and consultation with the Placer County Flood Control and Water Conservation District and other appropriate entities.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR as well as relevant standards from the City’s Improvement Standards for hydrology and water quality impacts will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with the Rocklin Municipal Code and other City rules and regulations.

The project would be subject to the provisions of the City’s Grading and Erosion and Sediment Control Ordinance. Chapter 15.28 of the Rocklin Municipal Code, Grading and Erosion Sediment Control, regulates grading activity on all property within the City of Rocklin to safeguard life, limb, health, property, and public welfare; to avoid pollution of watercourses with nutrients, sediments, or other earthen materials generated or caused by surface runoff on or across the permit area; to comply with the City’s National Pollutant Discharge Elimination System permit issued by the California Regional Water Quality Control Board; and to ensure that the intended use of a graded site is consistent with the City of Rocklin General Plan, provisions of the California Building Standards Code as adopted by the City relating to grading activities, City of Rocklin improvement standards, and any applicable specific plans or other land use entitlements. This chapter (15.28) also establishes rules and regulations to control grading and erosion control activities, including fills and embankments; establishes the administrative procedure for issuance of permits; and provides for approval of plans and inspection of grading construction and erosion control plans for all graded sites. Chapter 8.30 of the Rocklin Municipal Code, Stormwater Runoff Pollution Control Ordinance, prohibits the discharge of any materials or pollutants that cause or contribute to a violation of applicable water quality standards, other than stormwater, into the municipal storm drain system or watercourse. Discharges from specified activities that do not cause or contribute to the violation of plan standards, such as landscape irrigation, lawn watering, and flows from fire suppression activities, are exempt from this prohibition.

In addition, the project would be required to prepare an erosion and sediment control plan through the application of the City’s Improvement Standards and Standard Specifications that are a part of the City’s development review process.

**Significance Conclusions:**

**a., c., d., e. and f. Water Quality Standards and Drainage – *Less than Significant Impact.*** Storm water runoff from the project site will be collected in stormwater drainage pipes and then

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directed through water quality treatment devices/areas as Best Management Practices (BMP) and/or Low Impact Development (LID) features and then into the City’s storm drain system. The purpose of the BMP/LID features is to ensure that potential pollutants are filtered out before they enter the storm drain system. The City’s storm drain system maintains the necessary capacity to support development on the proposed project site. Therefore, violations of water quality standards or waste discharge requirements are not anticipated.

To address the potential for polluted water runoff during project construction, the project would be required to prepare an erosion and sediment control plan through the application of the City’s Improvement Standards and Standard Specifications as a part of the City’s development review process. The erosion and sediment control plan are reviewed against the Placer County Stormwater Management Manual and the Regional Water Quality Control Board’s Erosion and Sediment Control Field Manual. The erosion and sediment control plan includes the implementation of Best Management Practices/Best Available Technology (BMPs/BATs) to control construction site runoff. The project will also be required to comply with the City’s Grading and Erosion and Sedimentation Control Ordinance (Rocklin Municipal Code, Chapter 15.28), and the Stormwater Runoff Pollution Control Ordinance (Rocklin Municipal Code, Chapter 8.30), which includes the preparation of a Stormwater Pollution Prevention Plan (SWPPP).The proposed project would not alter the course of a stream or a river.

The proposed project would not substantially alter the existing drainage pattern of the site or area because the City’s policies of requiring new developments to detain on-site drainage such that the rate of runoff flow is maintained at pre-development levels (unless the Placer County Flood Control and Water Conservation District’s Flood Control Manual requires otherwise) and to coordinate with other projects’ master plans to ensure no adverse cumulative effects will be applied. Per the Placer County Flood Control and Water Conservation District Dry Creek Watershed Flood Control Plan, onsite stormwater detention is generally not recommended anywhere in the Dry Creek watershed because it has been determined that on-site detention would be detrimental to the overall watershed, unless existing downstream drainage facilities cannot handle post-construction runoff from the project site. In this instance, because the City has experienced localized flooding in the past on Sucker Ravine downstream from the project site, the project has been designed to provide on-site detention. Substantial erosion, siltation or flooding, on- or off-site, and exceedance of the capacity of existing or planned drainage systems would not be anticipated to occur.

Therefore, impacts related to water quality, water quality standards and drainage would be less than significant.

**b. Groundwater Supplies – *Less than significant.*** The project site contains several existing water wells which will be abandoned and the project will use domestic water from the Placer County Water Agency and not use wells or groundwater; therefore existing groundwater

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resources will not be depleted. The City’s policies of requiring new developments to retain on-site drainage such that the rate of runoff flow is maintained at pre-development levels and implementation of Low Impact Development features will ensure that groundwater recharge rates are also maintained at pre-development levels. Therefore, there is a less than significant groundwater supply impact.

**g., h., i. and j. Flooding, Inundation by Tsunami, Seiche, or Mudflow – Less Than Significant Impact.** According to FEMA flood maps (Map Panel 06061CO414F, effective date June 8, 1998) the developable portion of the project site is located in flood zone X, which indicates that the project is not located within a 100-year flood hazard area and outside of the 500-year flood hazard area. The project site is not located within the potential inundation area of any dam or levee failure, nor is the project site located sufficiently near any significant bodies of water or steep hillsides to be at risk from inundation by a seiche, tsunami, or mudflow. Therefore the proposed project will not expose people or structures to a significant risk or loss, injury, or death as a result of flooding nor will the project be subject to inundation by tsunami, seiche or mudflow and a less than significant impact would be anticipated

X. <u>LAND USE AND PLANNING</u> Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Physically divide an established community?				<b>X</b>	
b) Conflict with any applicable land use plan, policy, regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?			<b>X</b>		
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?				<b>X</b>	

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

Approval of the project would allow the construction and occupation of a 199-unit single family subdivision on a 28.2 +/- acre site. The project site is designated High Density Residential (HDR)

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and Mixed Use (MU) on the General Plan land use map and is zoned Heavy Industrial (M-2). The project requires General Plan Amendment, General Development Plan, Rezone, Tentative Subdivision Map, Design Review and Oak Tree Preservation Permit entitlements to allow for a single family residential subdivision as is being proposed. As discussed below, land use impacts are not anticipated.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts on land use as a result of the future urban development that was contemplated by the General Plan. These impacts included dividing an established community and potential conflicts with established land uses within and adjacent to the City (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.1-1 through 4.1-38). The analysis found that while development and buildout of the General Plan can result in land use impacts, these impacts would be reduced to a less than significant level through the application of General Plan goals and policies that would assist in minimizing or avoiding land use impacts.

These goals and policies include, but are not limited to goals and policies in the General Plan Land Use Element requiring buffering of land uses, reviewing development proposals for compatibility issues, establishing and maintaining development standards and encouraging communication between adjacent jurisdictions.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for impacts to land use incorporated as goals and policies in the Rocklin General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a. Division of Community – No Impact.** The proposed project site is currently mostly vacant and the entire project is within the City of Rocklin. The proposed project would construct 199 single family residences at this location, which would not physically divide an established community. The streets within the project will connect to the adjacent roadways and provide greater connectivity in the community. Therefore there is no division of community impact.

**b. Plan Conflict – Less than Significant Impact.** The project site is designated High Density Residential (HDR) and Mixed Use (MU) on the General Plan land use map and is zoned Heavy Industrial (M-2). The project requires General Plan Amendment, General Development Plan, Rezone, Tentative Subdivision Map, Design Review and Oak Tree Preservation Permit

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entitlements to allow for a single family residential subdivision as is being proposed. The proposed Planned Development Residential Single Family, 8 dwelling units per acre lots (PD-8) zoning designation is consistent with the proposed Medium Density Residential (MDR) land use designation. Upon approval of the project entitlements noted above, the proposed project will be consistent with the site’s land use and zoning designations and the development of the project would not conflict with land use designations and would have a less than significant impact related to conflicts with land use plans, policies or regulations.

**c. Habitat Plan Conflict - No Impact.** There are no habitat conservation plans or natural community conservation plans which apply to the project site, and there would be no impact on such plans.

<b>XI.</b> <u>MINERAL RESOURCES</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?				<b>X</b>	
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				<b>X</b>	

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

As discussed below, no impact is anticipated because the project site does not contain known mineral resources.

**Significance Conclusions:**

**a. and b. Mineral Resources – No Impact.** The Rocklin General Plan and associated EIR analyzed the potential for “productive resources” such as, but not limited to, granite and gravel (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.6-4 through 4.6-5 and 4.6-17). The City of Rocklin planning area has no mineral resources as classified by the State Geologist. The Planning Area has no known or suspected mineral resources that would be of value to the region and to residents of the state. The project site is not delineated in the Rocklin General Plan or any other plans as a mineral resource recovery site. Mineral resources of the project

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site have not changed with the passage of time since the General Plan EIR was adopted. Based on this discussion, the project is not anticipated to have a mineral resources impact.

<b>XII.</b> <u>NOISE</u> <b>Would the project result in:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?		<b>X</b>			
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?			<b>X</b>		
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?			<b>X</b>		
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?			<b>X</b>		
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				<b>X</b>	
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?				<b>X</b>	

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

As discussed below, development of the proposed project will result in an increase in short-term noise impacts from construction activities. Compliance with the mitigation measures

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incorporated into the General Plan goals and policies, and the City of Rocklin Construction Noise Guidelines would reduce construction noise related impacts to a less-than-significant level. In addition, the proposed project could result in an exposure of residential uses in excess of the City’s noise standards, but mitigation measures are available to reduce such an impact to a less than significant level.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts of noise associated with the future urban development that was contemplated by the General Plan. These impacts included construction noise, traffic noise, operational noise, groundborne vibration, and overall increased in noise resulting from implementation of the General Plan Update (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.5-1 through 4.5-48).

Mitigation measures to address these impacts are incorporated into the General Plan in the Noise Element, which includes policies that require acoustical analyses to determine noise compatibility between land uses, application of stationary and mobile noise source sound limits/design standards, restriction of development of noise-sensitive land uses unless effective noise mitigations are incorporated into projects, and mitigation of noise levels to ensure that the noise level design standards of the Noise Element are not exceeded.

The General Plan EIR concluded that, despite these goals and policies, significant noise impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will result in exposure of persons to, or generation of, noise levels in excess of applicable noise standards, will result in exposure to surface transportation noise sources and stationary noise sources in excess of applicable noise standards and will contribute to cumulative transportation noise impacts within the Planning Area. Findings of fact and a statement of overriding consideration were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for impacts associated with noise incorporated as goals and policies in the Rocklin General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

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**Project-Level Environmental Analysis:**

The firm of JC Brennan & Associates, a Sacramento-area consulting firm with recognized expertise in noise, prepared an environmental noise assessment of the Sierra Pine Residential project. Their report, dated March 21, 2017 is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that JC Brennan & Associates has a professional reputation that makes its conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the JC Brennan & Associates report, which is summarized below.

**Background Information on Noise**

Noise is a subjective reaction to different types of sounds. Noise is typically defined as (airborne) sound that is loud, unpleasant, unexpected or undesired, and may therefore be classified as a more specific group of sounds. Perceptions of sounds and noise are highly subjective from person to person. The perceived loudness of sounds is dependent upon many factors, including sound pressure level and frequency content. However, within the usual range of environmental noise levels, perception of loudness is relatively predictable, and can be approximated by A-weighted sound levels. There is a strong correlation between A-weighted sound levels (expressed as dBA) and the way the human ear perceives sound and for this reason, the A-weighted sound level has become the standard tool of environmental noise assessment.

Measuring sound directly would require a very large and awkward range of numbers, so to avoid this, the decibel (dB) scale was devised. The decibel scale is logarithmic, not linear. In other words, two sound levels 10 dB apart differ in acoustic energy by a factor of 10. When the standard logarithmic scale is A-weighted, an increase of 10 dBA is generally perceived as a doubling in loudness. For example, a 70 dBA sound is half as loud as an 80 dBA sound, and twice as loud as a 60 dBA sound.

Community noise is commonly described in terms of the ambient noise level, which is defined as the all-encompassing noise level associated with a given environment. A common statistical tool is the average, or equivalent, sound level ( $L_{eq}$ ). The  $L_{eq}$  is the foundation of the composite noise descriptor,  $L_{dn}$ , and shows very good correlation with community response to noise. The day/night average level ( $L_{dn}$ ) is based upon the average noise level over a 24-hour day, with a +10 dB weighting applied to noise occurring during nighttime (10:00 p.m. – 7:00 a.m.) hours. The nighttime penalty is based upon the assumption that people react to nighttime noise exposures as though they were twice as loud as daytime exposures. Because  $L_{dn}$  represents a 24-hour average, it tends to disguise short-term variations in the noise environment.

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The City of Rocklin General Plan includes criteria for stationary (non-transportation) and transportation noise sources. The proposed project is located adjacent to and nearby several transportation noise sources (Dominguez Road, Pacific Street, Interstate 80 (I-80) and Union Pacific Railroad (UPRR) tracks) as well as several existing industrial uses (Taiga Forest Products and Pacific MDF Products, Inc.). These noise sources could exceed the City of Rocklin exterior or interior noise level standards at the proposed residential uses, so the analysis focuses on whether roadway noise levels and stationary source noise levels would exceed City of Rocklin exterior or interior noise levels standards at the residences of the project. For transportation noise sources, the maximum allowable exterior noise level standard for outdoor activity areas is 60 dB Ldn and the maximum allowable interior noise level standard is 45 dB Ldn, and for stationary noise sources the maximum allowable exterior noise level standard is 55 dB Leq for daytime hours (7:00 a.m. to 10:00 p.m.) and 45 dB Leq for nighttime hours (10:00 p.m. to 7:00 a.m.).

Noise Sources

As noted above, the noise source concerns for this project are associated with nearby transportation and industrial sources. Noise impacts associated with these noise sources were evaluated and compared to noise level performance criteria for transportation and stationary noise sources contained within the City of Rocklin General Plan Noise Element. To quantify the existing ambient noise environment in the project vicinity, four continuous 24-hour noise level measurements were conducted at different locations on the project site.

Traffic Noise

To determine traffic noise levels on the project site, JC Brennan & Associates utilized Cumulative Plus Project traffic predictions for Dominguez Road prepared by DKS Associates for the City of Rocklin General Plan Update (August, 2011). The table below shows the predicted future traffic noise levels at the proposed residential uses located closest to Dominguez Road.

PREDICTED FUTURE TRAFFIC NOISE LEVELS									
Roadway				Distance, feet <sup>1</sup>	ADT	Predicted Traffic Noise Levels, dB Ldn <sup>2</sup>			
						No Wall	6' Wall	7' Wall	8' Wall
Pacific Street	-	nearest	backyards	360	28,700	54	49	48	47
Dominguez Road	-	nearest	backyards	55	13,700	65	58	57	55
Interstate 80	-	nearest	backyards	1,800	143,000	56	N/A	N/A	N/A

Notes: ADT = Average Daily Traffic  
 1 Setback distances are measured in feet from the centerlines of the roadways to the center of the residential

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backyards.  
 2 The modeled noise barrier heights are relative to finish pad elevations.  
 Source: FHWA-RD-77-108 with inputs from Caltrans and City of Rocklin General Plan and JC Brennan & Associates, Inc. 2017

The data in the table above indicates that future traffic noise levels at outdoor activity area of the proposed project are predicted to comply with the City of Rocklin 60 dB Ldn exterior noise level standard, as proposed with a 6-foot tall sound wall along Dominguez Road. Therefore, no additional exterior traffic noise reduction measures would be required and no wall would be required for Pacific Street or Interstate 80 noise.

Interior Traffic Noise Levels

Standard construction practices, consistent with the Uniform Building Code typically provides an exterior-to-interior noise level reduction of approximately 25 dB, assuming that air conditioning is included for each unit, which allows residents to close windows for the required acoustical isolation. Therefore, as long as exterior noise levels at the building facades do not exceed 70 dB Ldn, the interior noise levels will typically comply with the interior noise level standard of 45 dB Ldn.

There are no residential facades predicted to be exposed to exterior traffic noise levels exceeding 70 dB Ldn or higher. Therefore, interior noise levels are predicted to be less than 45 dB Ldn at all proposed interior residential spaces and no noise reduction measures would be required.

Railroad Noise Levels

JC Brennan & Associates conducted continuous (24-hour) noise level measurements of railroad operations on August 25-26, 2015. It is JC Brennan & Associates understanding that the spur line located adjacent to the project site includes one roundtrip railroad car per day providing rail service to Pacific MDF located east of the project site.

The sound monitoring indicated that the total noise exposure was 63 dB Ldn at a distance of 55 feet from the centerline of the railroad spur. Based upon the noise exposure of 63 dB Ldn, the predicted railroad noise level at the center of the nearest residential backyards would be 65 dB Ldn. Based upon this noise level, backyards are predicted to be exposed to exterior noise levels exceeding the City of Rocklin 60 dB Ldn exterior noise level standard. However, the project includes the construction of a 6-foot tall sound wall on top of a retaining wall. Therefore, no additional noise reduction measures should be required to meet the City's 60 dB Ldn exterior noise level standard.

For interior noise levels, the first and second floor facades of the residential uses adjacent to the railroad spur are predicted to be exposed to noise levels less than 70 dB Ldn, therefore,

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interior noise levels are predicted to be less than 45 dB Ldn at all proposed interior residential spaces along the UPRR spur line and no noise reduction measures would be required.

Industrial Use Noise Levels

The surrounding industrial uses include Taiga Lumber Products to the west and Pacific MDF Products to the east, across Dominguez Road. Additionally, an existing vacant industrial building, which was previously known as the Sierra Pine TMDF building, is expected to house an industrial use in the future. The following is a discussion of the noise generation associated with each of the above-listed noise sources.

Taiga Lumber Products

The Taiga Lumber Products industrial use includes a large outdoor lumber yard which borders the west boundary of the project site. Noise sources observed included fork lifts, vehicle movements and saws. The facility operates during daylight hours which are approximately 6:00 a.m. to 5:00 p.m. during summer and 7:00 a.m. to 6:00 p.m. during winter.

Based upon ambient noise monitoring conducted along the west boundary of the project site, typical noise levels ranged between 46-63 dB during daytime hours (7:00 a.m. to 10:00 p.m.) and 42-48 during nighttime hours (10:00 p.m. to 7:00 a.m.). Therefore application of the City's nighttime 45 dB noise level standard would be appropriate to ensure that future residential uses are not exposed to noise from Taiga Lumber Products which would be substantially louder than nighttime ambient noise levels due to the early hours of operation (6:00 a.m. during the summer).

To achieve compliance with a 45 dB nighttime noise level standard for early morning operations, the project should include the construction of an 8-foot tall sound wall (relative to pad elevations) along the western boundary of the project site. An 8-foot tall wall would reduce noise levels to 45 dB during early morning operations, and would also reduce daytime noise levels from a high of 63 dB to 51 dB, which would meet the City's daytime 55 dB noise level standard.

Pacific MDF Products

The Pacific MDF Products industrial use includes a lumber processing facility with elevated outdoor mechanical dust collection systems. The site is located immediately east of the project site, across Dominguez Road. The primary noise source observed was associated with fan noise for the dust collection system. The facility operates a normal daytime shift of 6:00 a.m. to 4:30 p.m., and when the facility is busy a swing shift may operate between 4:00 p.m. to 2:30 a.m.

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Based upon ambient noise monitoring conducted along the east boundary of the project site, the mechanical equipment was measured to generate a steady noise level of 57 dB during operation of the dust collection system. However, traffic noise was found to be the louder noise source with typical daytime noise levels of 59-65 dB and nighttime levels of 55-63 dB. Therefore, it is recommended that noise from the dust collection system be reduced to equal the quietest nighttime noise level of 55 dB.

To achieve a 55 dB nighttime noise level, the project should include the construction of an 8-foot tall sound wall (relative to pad elevations) along the eastern boundary of the project site. An 8-foot wall would reduce noise levels to 53 dB during operation of the dust collection system, which would be approximately 2 dB quieter than the lowest measured nighttime traffic noise level of 55 dB.

Industrial Building at Northwest Corner of Property (Previous Sierra Pine TMDF)

It is assumed that the future industrial use may include indoor activities which include manufacturing, or other substantial noise-generating activities. These indoor activities would be substantially muffled by the existing building construction. Additionally, it is expected that any outdoor mechanical equipment would be shielded from view and would be required to have noise muffling installed such that outdoor noise levels would comply with the City’s 55 dB daytime and 45 dB nighttime noise standards at the nearest residential receptors.

Exterior noise due to truck circulation and some loading activity should be expected to occur near the northeast corner of the existing building. It is estimated that noise levels due to loading dock activities could be in the range of 55-60 dB at a distance of 100 feet. To meet the City of Rocklin daytime 55 dB exterior noise level standard, a property line noise barrier 8-feet in height would be required (this analysis assumes that no nighttime deliveries would be allowed for this use during the hours of 10:00 p.m. to 7:00 a.m.).

Industrial Use Interior Noise Levels

Standard construction practices, consistent with the Uniform Building Code typically provides an exterior-to-interior noise level reduction of approximately 25 dB, assuming that air conditioning is included for each unit, which allows residents to close windows for the required acoustical isolation. Therefore, as long as exterior noise levels at the building facades do not exceed 70 dB Ldn, the interior noise levels will typically comply with the interior noise level standard of 45 dB Ldn.

Maximum hourly noise levels for the surrounding industrial uses are predicted to range between 46 dB to 63 dB at first floor elevations and 49 dB to 66 dB at second floor elevations, prior to the construction of sound walls. There are no residential facades predicted to be exposed to exterior industrial source noise levels exceeding 70 dB Ldn or higher. Therefore,

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interior noise levels are predicted to be less than 45 dB Ldn at all proposed interior residential spaces and no noise reduction measures would be required.

**Significance Conclusions:**

**a., b., c., and d. Exposure to Noise, Increase in Noise – *Less than Significant with Mitigation.***

The primary goal for the City of Rocklin General Plan with respect to noise is: “To protect City residents from the harmful and annoying effects of exposure to excessive noise”. To implement that goal, the City has adopted Noise Compatibility Guidelines prepared by the State Office of Noise Control. The objective of the Noise Compatibility Guidelines is to assure that consideration is given to the sensitivity to noise of a proposed land use in relation to the noise environment in which it is proposed to be located.

Potential noise impacts can be categorized into short-term construction noise impacts and long-term or permanent noise impacts. The City has adopted standard conditions for project approvals which address short-term impacts. These include limiting traffic speeds to 25 mph and keeping equipment in clean and tuned condition. The proposed project would be subject to these standard conditions. The proposed project would also be subject to the City of Rocklin Construction Noise Guidelines, including restricting construction-related noise generating activities within or near residential areas to between 7:00 a.m. and 7:00 p.m. on weekdays, and between 8:00 a.m. and 7:00 p.m. on weekends to the satisfaction of the City Engineer or Building Official. Therefore, impacts associated with increases in the ambient noise environment during construction would be less than significant.

As noted above, based upon the measured and predicted noise levels at the residences in the Sierra Pine Residential Subdivision, the proposed project is predicted to be exposed to transportation and non-transportation noise levels in exceedance of the City of Rocklin 60 dB Ldn and 45 dB Ldn exterior and interior noise level standards for residential uses.

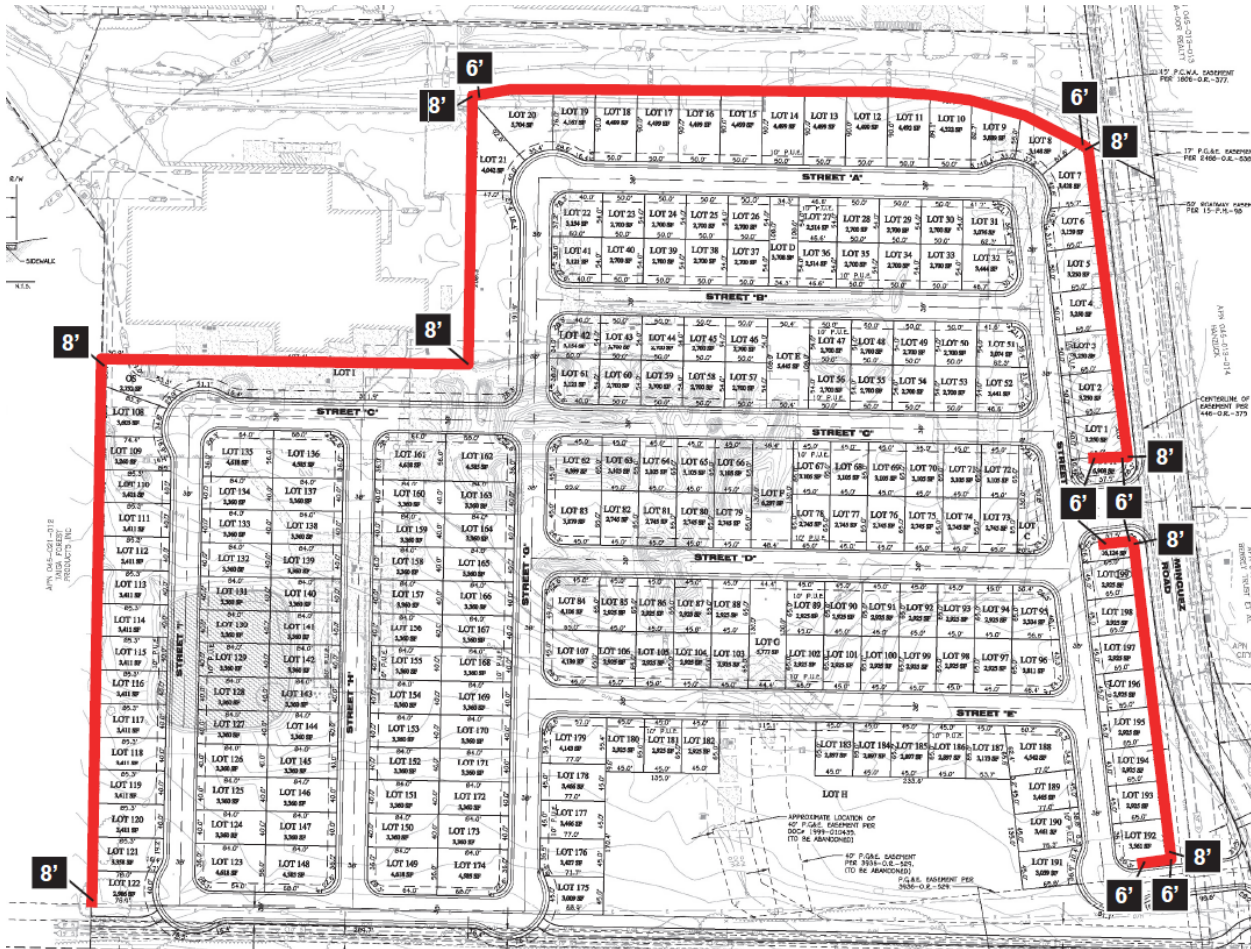
To address potential noise impacts from nearby transportation and non-transportation noise sources in excess of City standards, the following mitigation measures, agreed to by the applicant, is being applied to the project.

*XII.-1 Prior to the approval and issuance of Improvement Plans, the applicant shall demonstrate that sound walls as described and shown below shall be constructed along the property line boundaries (as indicated on Figure 3 of the March 21, 2017 JC Brennan & Associates Sierra Pine Residential Noise Assessment). Sound wall heights are relative to proposed pad elevations and should be constructed of concrete masonry materials, earthen berm, or any combination of the two achieving the total required height.*

- *An eight (8) foot tall wall shall be constructed along the western boundary of the project, adjacent to the existing industrial uses;*

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- A six (6) foot tall wall shall be constructed along the northern boundary line of the project site, adjacent to the UPRR spur line, and
- An eight (8) foot tall sound wall shall be constructed along the eastern boundary of the project, along Dominguez Road. The barrier could step down linearly to a height of six (6) feet at the entryways to the subdivision.



The applicant is agreeable to the above mitigation measure; implementation of the above measure will reduce noise impacts on the project site to a less than significant level.

Therefore, with incorporation of the above mitigation measure, the proposed project will not result in a substantial permanent or temporary increase in ambient noise levels and the exposure to noise and increased noise level impacts are considered less than significant.

**e. and f. Public and Private Airport Noise – No Impact.** The City of Rocklin, including the project site, is not located within an airport land use plan or within two miles of an airport, and is therefore not subject to obtrusive aircraft noise related to airport operations. Therefore, there is no airport related noise impact.

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<b>XIII.</b> <u>POPULATION AND HOUSING</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure.)			<b>X</b>		
b) Displace substantial numbers of existing housing necessitating the construction of replacement housing elsewhere?			<b>X</b>		
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?			<b>X</b>		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project will result in the construction of 199 residential units, which would not induce substantial population growth or displace substantial numbers of people.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated population and housing impacts that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included population growth and availability of housing opportunities (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.11-1 through 4.11-13). The analysis found that while development and buildout of the General Plan can result in population and housing impacts, implementation of the General Plan would not contribute to a significant generation of growth that would substantially exceed any established growth projections nor would it displace substantial numbers of housing units or people. Moreover, the project will not construct off-site infrastructure that would induce substantial development, unplanned or otherwise. As such, population and housing impacts were determined to be less than significant.

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**Significance Conclusions:**

**a. Population Growth – *Less than Significant Impact.*** The project site is currently designated on the City’s General Plan land use map as High Density Residential (HDR) and Mixed Use (MU) and but a General Plan Amendment is proposed to change the site’s land use designation to Medium Density Residential (MDR). The project site is currently zoned Heavy Industrial (M-2) but a Rezone is proposed to change the project site’s zoning designation to Planned Development Residential Single Family, 8 dwelling units per acre lots (PD-8) zoning designation. The addition of 199 single family residences is not considered to induce substantial population growth into a City that is projected to have approximately 29,283 dwelling units at the buildout of the General Plan (the project’s proposed 199 dwelling units equates to 0.007 percent of the anticipated 29,283 Citywide dwelling units). In addition, the project does not include any extension of roads or other infrastructure other than what is necessary to provide access and services to the project site. Therefore, the project will have a less than significant population growth impact.

**b. and c. Displace Substantial Numbers of Existing Housing or People – *Less than Significant Impact.*** The project site was formerly occupied by industrial buildings that have since been demolished, so it is now currently vacant. The project also includes the construction of 199 residential units which represents a net increase in housing, but the displacement of substantial numbers of existing housing or people necessitating the construction of replacement housing elsewhere will not occur, and the impact would be less than significant.

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XIV. <u>PUBLIC SERVICES</u>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:					
1. Fire protection?			X		
2. Police protection?			X		
3. Schools?			X		
4. Other public facilities?			X		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project would create a need for the provision of new and/or expanded public services or facilities.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts on the demand for fire and police protection and school and recreation facilities as a result of the future urban development that was contemplated by the General Plan. These impacts included increased demand for fire, police and school services, provision of adequate fire flow, and increased demand for parks and recreation (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.12-1 through 4.12-45). The analysis found that while development and buildout of the General Plan can result in public services and facilities impacts, these impacts would be reduced to a less than significant level through compliance with state and local standards related to the provision of public services and facilities and through the application of General Plan goals and policies that would assist in minimizing or avoiding impacts to public services and facilities.

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These goals, policies and standards include, but are not limited to the California Fire Code, the California Health and Safety Code, Chapters 8.12 and 8.20 of the Rocklin Municipal Code, and goals and policies in the General Plan Community Safety and Public Services and Facilities Elements requiring studies of infrastructure and public facility needs, proportional share participation in the financial costs of public services and facilities, coordination of private development projects with public facilities and services needed to serve the project, maintaining inter-jurisdictional cooperation and coordination and requiring certain types of development that may generate higher demand or special needs to mitigate the demands/needs.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for impacts to public services incorporated as goals and policies in the Rocklin General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for the project to ensure consistency with the General Plan and compliance with City rules and regulations.

California Fire Code, the California Health and Safety Code, Chapters 8.12 and 8.20 of the Rocklin Municipal Code, and the goals and policies in the General Plan Community Safety, and Public Services and Facilities Elements requiring studies of infrastructure and public facility needs, proportional share participation in the financial costs of public services and facilities, coordination of private development project with public facilities and services needed to serve the project, maintaining inter-jurisdictional cooperation and coordination, and requiring certain types of development that may generate higher demand or special need to mitigate the demands/needs.

**Significance Conclusions:**

**a., 1. Fire Protection – *Less than Significant Impact.*** The development of this project site has been anticipated in the planning, staffing, equipping and location of fire stations within the City of Rocklin; the closest fire station to the project site is Fire Station # 1 on Rocklin Road, which is approximately 1.7 road miles away. Development of the proposed project could increase the need for fire protection services. The City collects construction taxes for use in acquiring capital facilities such as fire suppression equipment. Operation and maintenance funding for fire suppression is provided through financing districts and from general fund sources. The proposed project would pay construction taxes, participate in any applicable financing districts and contribute to the general fund through property and sales taxes. Participation in these funding mechanisms would ensure fire protection service to the site and reduce fire protection impacts to less than significant.

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**a., 2. Police Protection – *Less than Significant Impact.*** The development of this project site has been anticipated in the planning, staffing, and equipping of the police station within the City of Rocklin. Development of the proposed project could increase the need for police patrol and police services to the site. Funding for police services is primarily from the general fund, and is provided for as part of the City’s budget process. The proposed project would pay construction taxes, participate in any applicable financing districts and contribute to the general fund through property and sales taxes. Participation in these funding mechanisms would ensure police protection services to the site and reduce police protection impacts to less than significant.

**a., 3. and 4. Schools and Other Public Facilities – *Less than Significant Impact.*** The proposed project will be required to pay applicable school impact fees in effect at the time of building permit issuance to finance school facilities. The assessment of developer fees is regulated through the State Government Code. Proposition 1A/Senate Bill 50 (SB50, Chapter 407, Statutes of 1998) which establishes the base amount that developers can be assessed per square foot of residential and non-residential development. If a district meets certain standards, the base amount can be adjusted upward a certain amount. Under SB 50, payment of the identified fees by a developer is deemed to be “full and complete mitigation” of impacts on schools resulting from new development. Participation in these funding mechanisms, as applicable, will reduce school impacts to a less than significant level as a matter of state law. The need for other public facilities would not be created by this project and the impact is anticipated to be less than significant.

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XV. <u>RECREATION</u>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?			X		
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?			X		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed project, the development and occupation of a 199-unit single family residential subdivision would be anticipated to increase the use of, and demand for, recreational facilities but not in a way that results in a significant impact.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts on the demand for recreation facilities as a result of the future urban development that was contemplated by the General Plan. These impacts included increased demand for parks and recreation (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.12-30 through 4.12-45). The analysis found that while development and buildout of the General Plan can result in recreation facilities impacts, these impacts would be reduced to a less than significant level through the application of General Plan goals and policies that would assist in minimizing or avoiding impacts to recreation facilities. The General Plan has established a parkland standard of five acres per 1,000 population, and has adopted goals and policies to insure that this standard is met. These goals and policies call for the provision of new park and recreational facilities as needed by new development through parkland dedication and the payment of park and recreation fees. These programs and practices are recognized in the General Plan Open Space, Conservation and Recreation Element, which mitigates these impacts to a less than significant level.

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**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for impacts to recreation incorporated as goals and policies in the Rocklin General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a. and b. Increase Park Usage and Construction or Expansion of Recreational Facilities – *Less than Significant.*** The proposed project, a residential subdivision, is not anticipated to significantly increase the use of, and demand for, recreational facilities. The City of Rocklin provides parkland dedication and/or collection of park fees to mitigate for the increased recreational impacts of new residential developments at the time that a parcel or subdivision map is recorded. Although the proposed project includes a small recreational area, the residents of the proposed project would likely utilize City recreational facilities but the use is anticipated to be minimal and is not anticipated to significantly increase the use of existing facilities to the extent that substantial physical deterioration of the facility would occur or be accelerated, nor is the minimal use anticipated to require the construction or expansion of recreational facilities; therefore, the project would have less than significant impacts regarding the increase in use of recreational facilities.

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<b>XVI.</b> <u>TRANSPORTATION/TRAFFIC</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways, freeways, pedestrian and bicycle paths, and mass transit)?			<b>X</b>		
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?				<b>X</b>	
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?				<b>X</b>	
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?			<b>X</b>		
e) Result in inadequate emergency access?			<b>X</b>		
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?			<b>X</b>		

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

As discussed below, the proposed project is anticipated to cause increases in traffic because an undeveloped site will become developed, but not to a degree that would significantly affect level of service (LOS) standards.

**Prior Environmental Review:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts on transportation that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included signalized intersections in Rocklin, Loomis, Roseville, Lincoln and Placer County, state/interstate highway segments and intersections, transit service, bicycle and pedestrian facilities, and conflicts with at-grade railways (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.4-1 through 4.4-98).

Mitigation measures to address these impacts are incorporated into the General Plan in the Circulation Element, and include policies that require the monitoring of traffic on City streets to determine improvements needed to maintain an acceptable level of service, updating the City’s Capital Improvement Program (CIP) and traffic impact fees, providing for inflationary adjustments to the City’s traffic impact fees, maintaining a minimum level of service (LOS) of “C” for all signalized intersections during the PM peak period on an average weekday, maintaining street design standards, and interconnecting traffic signals and consideration of the use of roundabouts where financially feasible and warranted to provide flexibility in controlling traffic movements at intersections.

The General Plan EIR concluded that, despite these goals and policies, significant transportation impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will result in increased traffic volumes at state/interstate highway intersections and impacts to state/interstate highway segments. Findings of fact and a statement of overriding consideration were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable policies and standards, including the mitigation measures addressing impacts of urban development under the General Plan on utility and service systems incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied

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development policies and standards and/or as conditions of approval for the project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Project-Level Environmental Analysis:**

The firm of Fehr and Peers, a Sacramento area consulting firm with recognized expertise in transportation, prepared a traffic impact analysis of the proposed project. Their report, dated July 12, 2017, is available for review during normal business hours at the City of Rocklin Planning Department, 3970 Rocklin Road, Rocklin, CA, and is incorporated into this Mitigated Negative Declaration by this reference. City staff has reviewed the documentation and is also aware that Fehr and Peers has a professional reputation that makes its conclusions presumptively credible and prepared in good faith. Based on its review of the analysis and these other considerations, City staff accepts the conclusions in the Fehr and Peers report, which is summarized below.

**Daily Trip Generation**

Development of the project site has been assumed in previous city-wide traffic analyses such as the General Plan Update (2011); the project site was designated as a Heavy Industrial land use when the General Plan Update traffic analysis was completed; therefore the vehicle trips generated by the proposed single family residential project are higher than the number of trips that were assumed at the time of the General Plan EIR analysis.

An estimate of the proposed project’s daily and p.m. peak hour trip generation has been made based on trip generation rates derived from the Institute of Traffic Engineers (ITE) 9<sup>th</sup> Edition Trip Generation Manual. The table below identifies the resulting trip generation estimates for the proposed project. As shown, the proposed residential project would generate 1,894 daily trips, with 199 trips occurring during the p.m. peak hour.

PROJECT TRIP GENERATION					
Land Use Category	Quantity	Daily Trip Rate	PM Peak Hour Trip Rate/Unit		
			Inbound	Outbound	Total
Single Family Residences	199 du	1,894	125	74	199

**Current Background Traffic Conditions**

Access to the project would be provided by two access points on Dominguez Road, which would be located 450 feet apart. Dominguez Road is a two lane street that provides connection between Granite Drive and Pacific Street, and then continues north of Pacific Street through the Town of Loomis eventually connecting to Sierra College Boulevard. The study area includes the following five intersections in the project vicinity: 1) Pacific Street/Midas Avenue; 2) Pacific Street/Del Mar Avenue/Dominguez Road; 3) Rocklin Road/Granite Drive; 4) Granite

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Drive/Dominguez Road, and 5) Granite Drive/Sierra College Boulevard. Traffic counts were obtained at all study intersections in April 2016, when Rocklin schools were in session.

The table below identifies current intersection Levels of Service (LOS) at the five study locations. As shown, the overall LOS at each intersection is LOS C or greater for both AM and PM peak hours, which meets the City’s minimum LOS C PM peak hour standard.

PEAK HOUR INTERSECTION OPERATIONS – EXISTING CONDITIONS				
INTERSECTION	TRAFFIC CONTROL	PEAK HOUR	EXISTING CONDITIONS	
			DELAY <sup>1</sup>	LOS
Pacific Street/Midas Avenue	Signal	AM	19	B
		PM	22	C
Pacific Street/Dominguez Road	Signal	AM	16	B
		PM	16	B
Granite Drive/Rocklin Road	Signal	AM	12	B
		PM	21	C
Granite Drive/Dominguez Road	SSSC <sup>2</sup>	AM	3 (12)	A (B)
		PM	3 (14)	A (B)
Granite Drive/Sierra College Boulevard	Signal	AM	21	C
		PM	19	B

Notes: <sup>1</sup> Average delay (rounded to the nearest second) and LOS for signalized intersections is the weighted average for all movements.  
<sup>2</sup> For side street stop controlled intersections (SSSC), the weighted average for all movements is reported, followed by the worst movement delay and LOS (in parentheses).

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Existing Plus Project Traffic Conditions and Levels of Service

Project trips were superimposed onto the current background traffic volumes to create the “Existing Plus Project” condition, which is reflected in the table below.

PEAK HOUR INTERSECTION OPERATIONS – EXISTING PLUS PROJECT CONDITIONS						
INTERSECTION	TRAFFIC CONTROL	PEAK HOUR	EXISTING		EXISTING PLUS PROJECT	
			DELAY <sup>1</sup>	LOS	DELAY <sup>1</sup>	LOS
Pacific Street/Midas Avenue	Signal	AM	19	B	19	B
		PM	22	C	22	C
Pacific Street/Dominguez Road	Signal	AM	16	B	17	B
		PM	16	B	17	B
Granite Drive/Rocklin Road	Signal	AM	12	B	13	B
		PM	21	C	25	C
Granite Drive/Dominguez Road	SSSC <sup>2</sup>	AM	3 (12)	A (B)	4 (14)	A (B)
		PM	3 (14)	A (B)	4 (18)	A (C)
Granite Drive/Sierra College Boulevard	Signal	AM	21	C	21	C
		PM	19	B	19	B

Notes: <sup>1</sup> Average delay (rounded to the nearest second) and LOS for signalized intersections is the weighted average for all movements.  
<sup>2</sup> For side street stop controlled intersections (SSSC), the weighted average for all movements is reported, followed by the worst movement delay and LOS (in parentheses).

As shown, the project does not result in any change to the AM or PM peak hours Level of Service at any location, though delay would increase slightly at some intersections. PM peak hour Levels of Service at each intersection will remain LOS A, B or C, which is within the adopted minimum standard (i.e., LOS C or better in the PM peak hour).

Existing Plus Approved Projects Plus Project

The traffic impacts of the proposed project have also been considered within the context of future traffic conditions in this area of Rocklin assuming other approved but as yet unconstructed projects under an “Existing Plus Approved Projects (EPAP)” condition, which is reflected in the table below.

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PEAK HOUR INTERSECTION OPERATIONS – EXISTING PLUS APPROVED PROJECTS PLUS PROJECT CONDITIONS						
INTERSECTION	TRAFFIC CONTROL	PEAK HOUR	EXISTING PLUS APPROVED PROJECTS		EXISTING PLUS APPROVED PROJECTS PLUS PROJECT	
			DELAY <sup>1</sup>	LOS	DELAY <sup>1</sup>	LOS
Pacific Street/Midas Avenue	Signal	AM	20	B	19	B
		PM	24	C	24	C
Pacific Street/Dominguez Road	Signal	AM	19	B	19	B
		PM	21	C	22	C
Granite Drive/Rocklin Road	Signal	AM	18	B	21	C
		PM	30	C	34	C
Granite Drive/Dominguez Road	SSSC <sup>2</sup>	AM	3 (17)	A (C)	5 (22)	A (C)
		PM	4 (24)	A (C)	9 (46)	A (E)
Granite Drive/Sierra College Boulevard	Signal	AM	22	C	24	C
		PM	24	C	24	C

Notes: <sup>1</sup> Average delay (rounded to the nearest second) and LOS for signalized intersections is the weighted average for all movements.  
<sup>2</sup> For side street stop controlled intersections (SSSC), the weighted average for all movements is reported, followed by the worst movement delay and LOS (in parentheses).

As shown above, the project would not result in the Level of Service in the AM or PM peak hours at any intersection dropping below LOS C in the existing plus approved projects condition with and without the Sierra Pine Subdivision project. The addition of project trips would cause modest increases in average vehicle delay, however no intersections would worsen from LOS C or better to LOS D or worse. Levels of Service at each intersection will remain LOS A, B or C, which are within the adopted minimum standard (i.e., LOS C or better in the PM peak hour).

Future (Cumulative Year 2030) Traffic Conditions

Information from the General Plan EIR City of Rocklin 2030 Travel Demand Model as most recently updated and used for the Northwest Rocklin Annexation area “trip caps” study has been employed to identify long term traffic conditions in the project vicinity. The intersection of Dominguez Road/Granite Drive was assumed to be signalized in conjunction with the Dominguez Road overcrossing project that is in the City’s General Plan Circulation Element. The table below compares cumulative AM and PM peak hour Levels of Service at study area intersections with and without the proposed project. However, for purposes of assessing impacts only the PM peak hour Levels of Service are utilized.

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PEAK HOUR INTERSECTION OPERATIONS – CUMULATIVE PLUS PROJECT CONDITIONS						
INTERSECTION	TRAFFIC CONTROL	PEAK HOUR	CUMULATIVE NO PROJECT		CUMULATIVE PLUS PROJECT	
			DELAY <sup>1</sup>	LOS	DELAY <sup>1</sup>	LOS
Pacific Street/Midas Avenue	Signal	AM	26	C	27	C
		PM	25	C	25	C
Pacific Street/Dominguez Road	Signal	AM	26	C	27	C
		PM	32	C	34	C
Granite Drive/Rocklin Road	Signal	AM	19	B	19	B
		PM	41	D	42	D
Granite Drive/Dominguez Road	Signal	AM	23	C	24	C
		PM	38	D	38	D
Granite Drive/Sierra College Boulevard	Signal	AM	86	F	85	F
		PM	99	F	99	F

Notes: <sup>1</sup> Average delay (rounded to the nearest second) and LOS for signalized intersections is the weighted average for all movements.  
<sup>2</sup> For side street stop controlled intersections (SSSC), the weighted average for all movements is reported, followed by the worst movement delay and LOS (in parentheses).

As shown, three of the five study intersections would operate at LOS D or worse under cumulative no project conditions. The following describes their operating conditions:

- Granite Drive/Rocklin Road (LOS D during PM peak hour) – operations at this intersection worsen to LOS D due to queue spillback from the I-80 WB Ramps/Rocklin Road intersection. As noted previously, this interchange was not assumed to be upgraded. This intersection was analyzed in the General Plan EIR and reported to operate at LOS C based on the same lane configurations used in this study. If projected volumes do occur in the future, some type of interchange upgrade would be required to achieve LOS C conditions. It should be noted that partial funding (approximately 50 percent) is included in the City’s Traffic Impact Mitigation (TIM) Fee program for its reconstruction, with the remainder anticipated to be collected from other sources.
- Granite Drive/Dominguez Road (LOS D during PM peak hour) – operations are just slightly into the LOS D category based on the level of traffic expected and the assumed lane configurations. This intersection was analyzed in the General Plan EIR and reported to operate at LOS C. If projected volumes do occur in the future, operations could be improved to LOS C by the addition of an eastbound right turn lane on Granite Drive to accommodate the 270 right-turning vehicles. However, right-of-way (ROW) may not be

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available for this improvement. Alternatively, a multi-lane roundabout could also be considered. It would operate at LOS C, but would also require ROW acquisition.

- Granite Drive/Sierra College Boulevard (LOS F during AM and PM peak hours) – operations are at LOS F due to queue spillback from the I-80 WB Ramps/Sierra College Boulevard intersection. Additionally, the heavy eastbound left-turn movement served by a single lane also contributes to LOS F conditions. This intersection was analyzed in the General Plan EIR and reported to operate at LOS B (though analyzed using a different methodology which contributed to differing results). If projected volumes do occur in the future, even if the eastbound and westbound approaches had reconfigured lane assignments to better match demand and this signal was coordinated with the interchange ramp signals, operations would not return to LOS C. To achieve LOS C, a second northbound left turn lane would be needed to accommodate the AM peak hour volume of 430 vehicles. It may be possible to provide this additional lane through restriping (and removal of Class II bike lanes). Alternatively, widening of Sierra College Boulevard to the east or west would be needed.

The addition of project trips to cumulative no project conditions would not cause any changes in LOS results, and modest (two seconds or less) increases in delay.

Because the LOS D condition at the Granite Drive/Rocklin Road intersection in the PM peak hour exceeds the City’s LOS C standard with and without the project, the incremental change in average delay is the measure used to determine significance. In this case, the incremental change in average delay resulting from the Sierra Pine subdivision is 1.0 second, which is less than the 5.0 second increment permitted under current City guidelines. Thus the project’s cumulative impact at this intersection is less than significant and no mitigation is required.

Because the LOS D condition at the Granite Drive/Dominguez Road intersection in the PM peak hour exceeds the City’s LOS C standard with and without the project, the incremental change in average delay is the measure used to determine significance. In this case, the incremental change in average delay resulting from the Sierra Pine subdivision is 0 seconds, which is less than the 5.0 second increment permitted under current City guidelines. Thus the project’s cumulative impact at this intersection is less than significant and no mitigation is required.

Because the LOS F condition at the Granite Drive/Sierra College Boulevard intersection in the PM peak hour exceeds the City’s LOS C standard with and without the project, the incremental change in average delay is the measure used to determine significance. In this case, the incremental change in average delay resulting from the Sierra Pine subdivision is 0 seconds, which is less than the 5.0 second increment permitted under current City guidelines. Thus the project’s cumulative impact at this intersection is less than significant and no mitigation is required.

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**Significance Conclusions:**

**a. Conflict with Performance of Circulation System – *Less than Significant Impact.*** As evidenced by the summary of the traffic impact analysis, although increases in delays at study intersections will occur, capacity or level of service impacts from the proposed project are not anticipated.

Vehicle Miles of Travel (VMT) is a transportation performance metric that is used as an input to air quality and noise analyses. VMT not only addresses the number of trips generated by a given land use, but also the length of those trips. By doing so, the placement of a given land use in proximity to complementary land uses, and available transit, walking and bicycling facilities are all considered. VMT can also be used to quantify the effects of proposed changes to a roadway network, transportation demand strategies, and investments in non-auto travel modes. VMT may be expressed in absolute numbers of as “per capita” rations, such as VMT per person, household, dwelling unit, employee, or service population (persons plus employees). For information purposes, the proposed Sierra Pine Subdivision project is projected to generate approximately 12,915 Vehicle Miles of Travel on a daily basis (65 VMT per unit) and 9,018 VMT (45 VMT per unit) on a daily basis under cumulative conditions (the decrease in project VMT under cumulative conditions is likely caused by the addition of new complementary land uses in the project vicinity such as additional retail at I-80/Sierra College Boulevard interchange and employment opportunities in downtown).

The project will be conditioned to contribute its fair share to the cost of circulation improvements via the existing citywide traffic impact mitigation (TIM) fee program that would be applied as a uniformly applied development policy and standard. The traffic impact mitigation fee program is one of the various methods that the City of Rocklin uses for financing improvements identified in the Capital Improvement Program (CIP). The CIP, which is overseen by the City’s Public Services Department, is updated periodically to respond to changing conditions and to assure that growth in the City and surrounding jurisdictions does not degrade the level of service on the City’s roadways. The roadway improvements that are identified in the CIP in response to anticipated growth in population and development in the City are consistent with the City’s Circulation Element. The traffic impact fee program collects funds from new development in the City to finance a portion of the roadway improvements that result from traffic generated by the new development. Fees are calculated on a citywide basis, differentiated by type of development in relationship to their relative traffic impacts. The intent of the fee is to provide an equitable means of ensuring that future development contributes their fair share of roadway improvements, so that the City’s General Plan Circulation policies and quality of life can be maintained.

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*South Placer Regional Transportation Authority*

The South Placer Regional Transportation Authority (SPRTA) was formed through the establishment of a joint powers authority including the cities of Rocklin, Roseville and Lincoln, Placer County and the Placer County Transportation and Planning Agency in January 2002. SPRTA was formed for the implementation of fees to fund specialized regional transportation projects including planning, design, administration, environmental compliance, and construction costs. Regional transportation projects included in the SPRTA include Douglas Boulevard/Interstate 80 Interchange, Placer Parkway, Lincoln Bypass, Sierra College Boulevard Widening, State Route 65 Widening, Rocklin Road/Interstate 80 Interchange, Auburn Folsom Boulevard Widening, and Transit Projects. Similar to other members of SPRTA, the City of Rocklin has adopted a SPRTA fee for all development, and the proposed project would be

*Highway 65 Interchange Improvement Fee*

The cities of Rocklin and Roseville and Placer County have established the “Bizz Johnson” Highway Interchange Joint Powers Authority that has adopted an interchange traffic fee on all new development within Rocklin, Roseville and affected portions of Placer County. The purpose of the fee is to finance four interchanges on State Route 65 to reduce the impact of increased traffic from local development; the proposed project would be subject to payment of such a fee.

The development of the proposed project and the resulting addition of 199 single-family residences would not result in project-specific significant effects as demonstrated by the summary of the project’s traffic impact analysis presented above. Payment of traffic impact fees as described above will reduce traffic impacts from the proposed project to a less than significant level.

**b. Conflict with Congestion Management Program – No Impact.** The City of Rocklin does not have an applicable congestion management program that has been established by a county congestion management agency for designated roads or highways; therefore there is no conflict with an applicable congestion management program impact.

**c. Air Traffic Levels – No Impact.** The proposed project is not anticipated to have any impacts on air traffic because it is not located near an airport or within a flight path. In addition, the proposed project will not result in a change in location of planned development that results in substantial safety risks. Therefore, there is no change in air traffic patterns impact.

**d. and e. Hazards and Emergency Access – Less than Significant Impact.** The proposed project is evaluated by the City’s Engineering Services Manager to assess such items as hazards due to a design feature or incompatible uses. In addition, the proposed project is evaluated by representatives of the City of Rocklin’s Fire and Police Departments to ensure that adequate

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emergency access is provided. Through these reviews and any required changes, there will be a less than significant hazard or emergency access impact.

**f. Alternative Modes of Transportation – Less Than Significant Impact.** The City of Rocklin seeks to promote the use of public transit through development conditions requiring park-and-ride lots, and bus turnouts. Bike lanes are typically required along arterial and collector streets. In the vicinity of the project there are existing Class II bike facilities along portions of Granite Drive and Pacific Street, but not along Dominguez Road (it should be noted that the City is contemplating the addition of Class II bike facilities along Dominguez Road as part of a future road improvement project). The proposed project does not conflict with these bike lane locations or with other policies or programs promoting alternative transportation.

Transit service in the project vicinity is provided by Placer County Transit (PCT). Bus routes operate along Pacific Street, Rocklin Road, Sierra College Boulevard, Sierra Meadows Drive and Granite Drive, stopping at major destinations such as the Rocklin Commons Retail Center and the Sierra Community College campus. Other bus routes provide commuter express service to downtown Sacramento. Buses do not currently run along Dominguez Road, and the nearest bus stops to the project site are located about 0.5 miles from the site at Sierra Meadows Drive/Pacific Street, and about 0.7 miles away from the site at Granite Drive/Rocklin Commons. Buses on that route operate from about 7:30 a.m. to 7:30 p.m. with two hour headways. The project does not conflict with these bus route or stop locations or other policies or programs promoting alternative transportation.

The City of Rocklin’s Zoning Ordinance contains off-street parking requirements for different types of development projects. Section 17.66.100 of the Zoning Ordinance notes that for single-family residences, a minimum of two paved parking spaces per dwelling unit shall be provided. The specific home plans being proposed at this time all include two-car garages. On-street public/visitor parking is also provided in accordance with the standards identified in the City’s adopted Design Guidelines. Therefore, a parking supply impact is not anticipated.

The proposed project is evaluated by City staff to assess potential conflicts with adopted policies, plans or programs regarding public transit, bicycle and pedestrian facilities and whether proposed projects would decrease the performance or safety of such facilities. Through these reviews and any required changes, there will be a less than significant alternative modes of transportation impact.

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<b>XVII. TRIBAL CULTURAL RESOURCES</b> <b>Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or			<b>X</b>		
b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set for in subdivision (c) of Public Resource Code section 5024.1 the lead agency shall consider the significance of the resource to a California Native American tribe.			<b>X</b>		

**DISCUSSION OF DETERMINATION**

**Project Impacts:**

The project site does not contain any resources that are listed with the California Register of Historical Resources or that have been determined by the lead agency to have significance to a California Native American Tribe. Therefore no impacts to tribal cultural resources are anticipated.

**Prior Environmental Analysis:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts that would occur to historical, cultural and paleontological resources within the Planning area as a result of the future urban development that was contemplated by the

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General Plan. These impacts included potential destruction or damage to any historical, cultural, and paleontological resources (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.8-1 through 4.8-21). Mitigation measures to address these impacts are incorporated into the General Plan in the Land Use and Open Space, Recreation and Conservation Elements, and include goals and policies that encourage the preservation and protection of historical, cultural and paleontological resources and the proper treatment and handling of such resources when they are discovered.

The General Plan EIR concluded that despite these goals and policies, significant cultural resources impacts will occur as a result of development under the General Plan and further, that these impacts cannot be reduced to a less than significant level. Specifically, the General Plan EIR found that buildout of the Rocklin General Plan will contribute to cumulative impacts to historic character. Findings of fact and a statement of overriding considerations were adopted by the Rocklin City Council in regard to these impacts, which were found to be significant and unavoidable.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

Historically significant structures and sites as well as the potential for the discovery of unknown archaeological or paleontological resources as a result of development activities are discussed in the Rocklin General Plan. Policies and mitigation measures have been included in the General Plan to encourage the preservation of historically significant known and unknown areas.

All applicable mitigation measures from the General Plan EIR, including the mitigation measures for cultural resources impacts incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a. and b. Tribal Cultural Resources –Less Than Significant Impact.** Per Assembly Bill 52 (AB-52, Gatto 2014), as of July 1, 2015 Public Resources Code Sections 21080.3.1 and 21080.3 require public agencies to consult with the Native American Heritage Commission (NAHC) and Native American tribes for the purpose of mitigating impacts to tribal cultural resources; that consultation process is described in part below:

Within 14 days of determining that an application for a project is complete or a decision by a public agency to undertake a project, the lead agency shall provide formal notification to the designated contact of, or a tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice, which shall be accomplished by means of at least one written notification that includes a brief

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description of the proposed project and its location, the lead agency contact information, and a notification that the California Native American tribe has 30 days to request consultation pursuant to this section (Public Resources Code Section 21080.1 (d))

As of the writing of this document, the United Auburn Indian Community (UAIC), the Lone Band of Miwok Indians (IBMI) and the Torres Martinez Desert Cahuilla Indians (TMDCI) are the only tribes that are traditionally and culturally affiliated with the project area that have requested notification. Consistent with Public Resources Code (PRC) Section 21080.3.1 (d) and per AB-52, the City of Rocklin provided formal notification of Sierra Pine Subdivision project and the opportunity to consult on it to the designated contacts of the UAIC, IBMI and TMDCI in a letter received by those organizations on August 11, 2016, August 13, 2016 and August 11, 2016, respectively. The UAIC, IBMI and TMDCI had 30 days to request consultation on the project pursuant to AB-52 and they did not respond prior to September 12, 2016, September 14, 2016 and September 12, 2016, respectively, the end of the 30-day periods. As such, the City of Rocklin has complied with AB-52 and may proceed with the CEQA process for this project per PRC Section 21082.3 (d) (3). Given that the UAIC, IBMI and TMDCI did not submit a formal request for consultation on the proposed project within the required 30 day period, that no other tribes have submitted a formal request to receive notification from the City of Rocklin pursuant to PRC Section 21080.3.1, the project is not anticipated to cause a substantial adverse change in the significance of a Tribal Cultural Resource as defined in Public Resources Code Section 21074. Therefore, the project's impact on tribal cultural resources is considered less than significant.

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<b>XVIII.</b> <u>UTILITIES AND SERVICE SYSTEMS</u> <b>Would the project:</b>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?			<b>X</b>		
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				<b>X</b>	
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				<b>X</b>	
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?			<b>X</b>		
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?			<b>X</b>		
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?			<b>X</b>		
g) Comply with federal, state, and local statutes and regulations related to solid waste?			<b>X</b>		

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**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The proposed development and occupation of a 199-unit single family residential subdivision will increase the need for utility and service systems, but not to an extent that will impact the ability of the utility and service providers to adequately provide such services.

**Prior Environmental Review:**

As a “program EIR” under CEQA Guidelines section 15168, the General Plan EIR analyzed the anticipated impacts on utilities and service systems that would occur as a result of the future urban development that was contemplated by the General Plan. These impacts included increased generation of wastewater flow, provision of adequate wastewater treatment, increased demand for solid waste disposal, and increased demand for energy and communication services (City of Rocklin General Plan Update Draft EIR, 2011, pages 4.13-1 through 4.13-34). The analysis found that while development and buildout of the General Plan can result in utilities and service system impacts, these impacts would be reduced to a less than significant level through the application of General Plan goals and policies that would assist in minimizing or avoiding impacts to utilities and service systems.

These goals and policies include, but are not limited to, requiring studies of infrastructure needs, proportional share participation in the financial costs of public services and facilities, coordination of private development projects with public facilities and services needed to serve the project and encouraging energy conservation in new developments.

**Mitigation Measures from Uniformly Applied Development Policies and Standards:**

All applicable policies and standards, including the mitigation measures addressing impacts of urban development under the General Plan on utility and service systems incorporated as goals and policies in the General Plan, will be applied to the project. These serve as uniformly applied development policies and standards and/or as conditions of approval for this project to ensure consistency with the General Plan and compliance with City rules and regulations.

**Significance Conclusions:**

**a., b. and e. Exceed Wastewater Treatment Requirements, Exceed Wastewater Treatment Facility, Wastewater Capacity– *Less than Significant Impact.*** The proposed project site is located within the South Placer Municipal Utility District (SPMUD) service area for sewer. SPMUD has provided a letter regarding the proposed project indicating that the project is within their service area and eligible for service, provided that their condition requirements and standard specifications are met. SPMUD has a System Evaluation and Capacity Assurance Plan,

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which is periodically updated, to provide sewer to projects located within their service boundary. The plan includes future expansion as necessary. SPMUD collects participation fees to finance the maintenance and expansion of its facilities. The proposed project is responsible for complying with all requirements of SPMUD, including compliance with wastewater treatment standards established by the Central Valley Water Quality Control Board. The South Placer Wastewater Authority (SPWA) was created by the City of Roseville, Placer County and SPMUD to provide regional wastewater and recycled water facilities in southwestern Placer County. The regional facilities overseen by the SPWA include the Dry Creek and Pleasant Grove Wastewater Treatment Plants, both of which receive flows from SPMUD (and likewise from Rocklin). To project future regional wastewater needs, the SPWA prepared the South Placer Regional Wastewater and Recycled Water Systems Evaluation (Evaluation) in June 2007. The Evaluation indicates that as of June 2004, flows to both the wastewater treatment plants were below design flows. Both wastewater treatment plants are permitted discharges under the National Pollutant Discharge Elimination System (NPDES). Specifically, the Dry Creek Wastewater Treatment Plant (WWTP) is permitted to discharge an average dry weather flow not to exceed 18 mgd, while the Pleasant Grove Wastewater Treatment Plant is permitted to discharge an average dry weather flow not to exceed 12 mgd. According to SPMUD, in 2016 the Dry Creek WWTP had an average dry weather inflow of 8.2 mgd, with SPMUD’s portion being 1.8 mgd, and the Pleasant Grove WWTP had an average dry weather inflow of 7.0 mgd, with SPMUD’s portion being 1.9 mgd. Consequently, both plants are well within their operating capacities and there remains adequate capacity to accommodate the projected wastewater flows from this project. Therefore, a less than significant wastewater treatment impact is anticipated.

**c. New Stormwater Facilities – *Less than Significant Impact.*** The proposed project would be conditioned to require connection into the City’s storm drain system, with Best Management Practices and/or Low Impact Development features located within the project’s drainage system at a point prior to where the project site runoff will enter the City’s storm drain system. Other than on-site improvements, new drainage facilities or expansion of existing facilities would not be required as a result of this project. Therefore, a less than significant stormwater facility impact is anticipated.

**d. Water Supplies – *Less than Significant.*** The proposed project is located within the Placer County Water Agency (PCWA) service area. The PCWA has a Master Plan, which is periodically updated, to provide water to projects located within their service boundary. The plan includes future expansion as necessary, and includes the option of constructing additional treatment plants. The PCWA collects hook-up fees to finance the maintenance and expansion of its facilities.

The PCWA service area is divided into five zones that provide treated and raw water to Colfax, Auburn, Loomis, Rocklin, Lincoln, small portion of Roseville, unincorporated areas of western Placer County, and a small community in Martis Valley near Truckee. The proposed project is

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located in Zone 1, which is the largest of the five zones. Zone 1 provides water service to Auburn, Bowman, Ophir, Newcastle, Penryn, Loomis, Rocklin, Lincoln, and portions of Granite Bay.

PCWA has planned for growth in the City of Rocklin and sized the water supply infrastructure to meet this growth (PCWA 2006). PCWA has provided a letter regarding the proposed project indicating that the project is within their service area and eligible for service upon execution of a facilities agreement and payment of all required fees and charges. The project site would be served by the Foothill WTP, which treats water diverted from the American River Pump Station near Auburn, and the proposed project’s estimated maximum daily water treatment demands would not exceed the plant’s permitted capacity. Because the proposed project would be served by a water treatment plant that has adequate capacity to meet the project’s projected demand and would not require the construction of a new water treatment plant, the proposed project’s water supply and treatment facility impacts would be considered less than significant.

**f. Landfill Capacity – *Less than Significant.*** The Western Regional landfill, which serves the Rocklin area, has a total capacity of 36 million cubic yards and a remaining capacity of 29 million cubic yards. The estimated closure date for the landfill is approximately 2036. Development of the project site with urban land uses was included in the lifespan and capacity calculations of the landfill, and a less than significant landfill capacity impact would be anticipated.

**g. Solid Waste Regulations – *Less than Significant Impact.*** Federal and State regulations regarding solid waste consist of the Federal Environmental Protection Agency regulations and the California Integrated Waste Management Act regulating waste reduction. These regulations primarily affect local agencies and other agencies such as the Landfill Authority. The proposed project will comply with all Federal, State, and local regulations regarding trash and waste and other nuisance-related issues as may be applicable. Recology would provide garbage collection services to the project site, provided their access requirements are met. Therefore, the project would comply with solid waste regulations and the impact would be less than significant.

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<b>XIX.</b> <u>MANDATORY FINDINGS OF SIGNIFICANCE</u>	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Impact for which General Plan EIR is Sufficient
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of an endangered, rare or threatened species or eliminate important examples of the major periods of California history or prehistory?		<b>X</b>			
b) Does the project have impacts that are limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probably future projects)?			<b>X</b>		
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?			<b>X</b>		

**DISCUSSION OF DETERMINATION:**

**Project Impacts:**

The preceding analysis demonstrates that these effects will not occur as a consequence of the project.

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**Significance Conclusions:**

**a. Degradation of Environment Quality – *Less than Significant with Mitigation.*** The proposed project site is mostly surrounded by developed land. Based on the project location and non-unique biological and cultural resources site characteristics as discussed above, the proposed project does not have the potential to: substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of an endangered, rare or threatened species, or eliminate important examples of the major periods of California history or prehistory. Although the proposed project could cause a significant effect on the environment, there will not be a significant effect in this case because of the project design and the application of the recommended mitigation measures and the City’s uniformly applied development policies and standards that will reduce the potential impacts to a less than significant level. Therefore, the project would have less than significant impacts.

**a. b. Cumulatively Considerable Impacts – *Less than Significant.*** Development in the South Placer region as a whole will contribute to regional air pollutant emissions, thereby delaying attainment of Federal and State air quality standards, regardless of development activity in the City of Rocklin and application of mitigation measures. As a result of this potential degradation of the quality of the environment, the General Plan EIR, which assumed the development of the proposed project site, determined that there would be significant and unavoidable cumulative air quality impacts. Development of the proposed project represents conversion of the same land area that was analyzed in the General Plan EIR. In addition, the project-specific air quality analysis discussed above demonstrated that the proposed project, with the application of project-specific mitigation measures, would have a less than significant cumulative air quality and greenhouse gas emissions impact. Therefore, the project would have less than significant impacts.

Development in the City and the South Placer region as a whole will alter viewsheds as mixed urban development occurs on vacant land. In addition, new development will also generate new sources of light and glare; as a result, the General Plan EIR determined that there would be significant and unavoidable cumulative aesthetic impacts. Development of the proposed project represents conversion of the same land area that was analyzed in the General Plan EIR. Therefore, the project would have less than significant impacts.

Development in the City and the South Placer region as a whole will result in cumulative, long-term impacts on biological resources (vegetation and wildlife), due to the introduction of domestic landscaping, homes, paved surfaces, and the relatively constant presence of people and pets, all of which negatively impact vegetation and wildlife habitat. As a result, the General Plan EIR, which assumed the development of the proposed project site, determined that there would be significant and unavoidable cumulative biological resource impacts, both at a project-

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specific Rocklin General Plan buildout level as it relates to biological resources solely within the City of Rocklin, as well as in the context of a cumulative contribution from Rocklin General Plan buildout as it relates to biological resources in the region. Development of the proposed project represents conversion of the same land area that was analyzed in the General Plan EIR. Therefore, the project would have less than significant impacts.

Development in the City and the South Placer region as a whole will result in significant noise impacts as a result of the introduction of new noise sources and additional traffic and people. As a result, the General Plan EIR, which assumed the development of the proposed project site, determined that there would be significant and unavoidable cumulative noise impacts. Development of the proposed project represents conversion of the same land area that was analyzed in the General Plan EIR. In addition, the project-specific noise analysis discussed above demonstrated that the proposed project, with the application of project-specific mitigation measures, would have a less than significant cumulative noise impact. Therefore, the project would have less than significant impacts.

Development in the City and the South Placer region as a whole will result in significant transportation/traffic impacts as a result of the creation of additional housing, employment and purchasing opportunities which generate vehicle trips. As a result, the General Plan EIR, which assumed the development of the proposed project site, determined that there would be significant and unavoidable cumulative transportation/traffic impacts. Development of the proposed project represents conversion of the same land area that was analyzed in the General Plan EIR. Therefore, the project would have less than significant impacts.

The approval of the proposed project would not result in any new impacts that are limited, but cumulatively considerable, that are not already disclosed in the previously prepared environmental documents cited in this report. Therefore, the project would have less than significant impacts.

**c. Adverse Effects to Humans – Less than Significant.** Because the development of the proposed project represents conversion of the same land area that was analyzed in the General Plan EIR, the proposed project would not have environmental effects that would cause substantial adverse effect on human beings, either directly or indirectly beyond those that were previously identified in the General Plan EIR. Therefore, the project would have less than significant impacts.

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## Section 5. References

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Basin Research Associates, Cultural Resources Assessment Report – Literature Search/Due Diligence Review, Sierra Pine Residential Development, 4300 Dominguez Road, City of Rocklin Placer County, May 30, 2017,

City of Rocklin General Plan, October 2012

City of Rocklin General Plan, Final Environmental Impact Report, August 2012

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City of Rocklin Zoning Ordinance, Title 17 of the Rocklin Municipal Code

City of Rocklin Design Review Guidelines

Fehr and Peers, Transportation Impact Study for Sierra Pine Residential Project, July 12, 2017

JC Brennan & Associates, Environmental Noise Analysis, Sierra Pine Residential, March 21, 2017

KD Anderson & Associates, Inc., Traffic Impact Analysis for Sierra Pine Subdivision, Rocklin, California, November 1, 2016

Sierra Nevada Arborists, Arborist Report and Tree Inventory Summary, Sierra Pine Project Site, December 8, 2016

Sierra Nevada Arborists, Sierra Pine Project - Tree Impact Assessment and Mitigation Summary, May 11, 2017

Wallace-Kuhl & Associates, Site Investigation Report of Findings for the Sierra Pine Rocklin Facility, October 21, 2016

WRA, Inc., Biological Resources Assessment, Sierra Pine Project, May 2017

### Attachments

- Attachment A – Project Vicinity Map
- Attachment B – Project Site Plan

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**MITIGATED NEGATIVE DECLARATION OF ENVIRONMENTAL IMPACT**

**SIERRA PINE SUBDIVISION**

**(GPA2016-0002, PDG2016-0004, Z2016-0002, SD2016-0005, DR2016-0009 and TRE-2017-0006)**

**Project Name and Description**

The Sierra Pine Subdivision project proposes the construction of a residential subdivision consisting of 199 single-family residential units on an approximately 28.2 +/- acre site in the City of Rocklin. This project will require General Plan Amendment, General Development Plan, Rezone, Tentative Subdivision Map, Design Review and Oak Tree Preservation Permit entitlements. For more detail please refer to the Project Description set forth in Section 3 of this Initial Study.

**Project Location**

The project site is specifically located at 4300 Dominguez Road and generally located southwest of Dominguez Road and southeast of Pacific Street, in the City of Rocklin. The Assessor’s Parcel Numbers are 045-021-011.

**Project Proponent’s Name**

The applicant is Burrell Consulting Group, and the property owner is Sierra Pine, a California Limited Partnership.

**Basis for Mitigated Negative Declaration Determination**

The City of Rocklin finds that as originally submitted the proposed project could have a significant effect on the environment. However, revisions in the project have been made by or agreed to by the project proponent, which will avoid these effects or mitigate these effects to a point where clearly no significant effect will occur. Therefore a MITIGATED NEGATIVE DECLARATION has been prepared. The Initial Study supporting the finding stated above and describing the mitigation measures including in the project is incorporated herein by this reference. This determination is based upon the criteria of the Guidelines of the State Secretary of Resources Section 15064 – Determining the Significance of the Environmental Effects Caused by a Project, Section 15065 – Mandatory Findings of Significance, and 15070 – Decision to Prepare a Negative Declaration or Mitigated Negative Declaration, and the mitigation measures described in the Mitigation Monitoring Plan for this Project.

**Date Circulated for Review:** July 13, 2017

**Date Adopted:** \_\_\_\_\_

**Signature:** \_\_\_\_\_  
 Marc Mondell, Economic and Community Development Department Director



**MITIGATION MONITORING PROGRAM  
Sierra Pine Subdivision**

**(GPA2016-0002, PDG2016-0004, Z2016-0002, SD2016-0005, DR2016-0009 and TRE-2017-0006)**

The California Environmental Quality Act (CEQA, Public Resources Code Section 21000 et seq., as amended by Chapter 1232) requires all lead agencies before approving a proposed project to adopt a reporting and monitoring program for adopted or required changes to mitigate or avoid significant environmental effects. The reporting or monitoring program shall be designed to ensure compliance during project implementation as required by AB 3180 (Cortese) effective on January 1, 1989 and Public Resources Code Section 21081.6. This law requires the lead agency responsible for the certification of an environmental impact report or adoption of a mitigated negative declaration to prepare and approve a program to both monitor all mitigation measures and prepare and approve a report on the progress of the implementation of those measures.

The responsibility for monitoring assignments is based upon the expertise or authority of the person(s) assigned to monitor the specific activity. The City of Rocklin Community Development Director or his designee shall monitor to assure compliance and timely monitoring and reporting of all aspects of the mitigation monitoring program.

The Mitigation Monitoring Plan identifies the mitigation measures associated with the project and identifies the monitoring activities required to ensure their implementation through the use of a table format. The columns identify Mitigation Measure, Implementation and Monitoring responsibilities. Implementation responsibility is when the project through the development stages is checked to ensure that the measures are included prior to the actual construction of the project such as: Final Map (FM), Improvement Plans (IP), and Building Permits (BP). Monitoring responsibility identifies the department responsible for monitoring the mitigation implementation such as: Economic and Community Development (ECD), Public Services (PS), Community Facilities (CFD), Police (PD), and Fire Departments (FD).

The following table presents the Mitigation Monitoring Plan with the Mitigation Measures, Implementation, and Monitoring responsibilities. After the table is a general Mitigation Monitoring Report Form, which will be used as the principal reporting form for this, monitoring program. Each mitigation measure will be listed on the form and provided to the responsible department.

Revisions in the project plans and/or proposal have been made and/or agreed to by the applicant prior to this Negative Declaration being released for public review which will avoid the effects or mitigate those effects to a point where clearly no significant effects will occur. There is no substantial evidence before the City of Rocklin that the project as revised may have a significant effect on the environment, pursuant to CEQA Guidelines, Section 15070. These mitigation measures are as follows:

**MITIGATION MEASURES:****Air Quality:**

To address the project's impact of construction emissions of NOx exceeding the applicable PCAPCD threshold of significance, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*III.-1 Prior to approval of grading or Improvement Plans, whichever occurs first, the applicant shall provide a written calculation to the Placer County Air Pollution Control District (PCAPCD) for approval demonstrating that the heavy-duty (>50 horsepower) off-road vehicles to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project wide fleet average of at least 25% of NOx and 45% of diesel PM reduction as compared to CARB statewide fleet average emissions. Acceptable options for reducing emissions may include use of late model engines, low emission diesel products (e.g., CARB approved High Performance Renewable Diesel), alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available. The Construction Emissions Mitigation Tool developed by the Sacramento Air Quality Management District may be used to calculate compliance with this condition and shall be submitted to the PCAPCD as described above.*

**IMPLEMENTATION:**

Prior to approval of grading or Improvement Plans, the applicant shall provide a written calculation to the Placer County Air Pollution Control District (PCAPCD) for approval demonstrating that the heavy-duty (>50 horsepower) off-road vehicles to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project wide fleet average of at least 25% of NOx and 45% of diesel PM reduction as compared to CARB statewide fleet average emissions. The Construction Emissions Mitigation Tool developed by the Sacramento Air Quality Management District may be used to calculate compliance with this condition. Prior to the start of grading or construction activities, the applicant shall submit documentation of PCAPCD approval of the verification of construction emissions calculations.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Economic and Community Development Department

Placer County Air Pollution Control District

**MITIGATION MEASURES:****Biological Resources:**

To address the potential impacts to nesting raptors and migratory birds, the following mitigation measure is being applied to the project:

*IV.-1 The applicant/developer shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February - August).*

*If tree and vegetation removal and/or project grading or construction activities would occur during the nesting season for raptors and migratory birds (February-August), the developer and/or contractor shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than 14 days prior to initiation of demolition activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of tree and vegetation removal activities, documentation of the survey shall be provided to the City of Rocklin Public Services Department and if the survey results are negative, no further mitigation is required and necessary structure removal may proceed. If there is a break in construction activities of more than 14 days, then subsequent surveys shall be conducted.*

*If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the size of an appropriate buffer area (CDFW guidelines recommend implementation of 500-foot buffers). Monitoring of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.*

*If construction activities are scheduled to occur during the non-breeding season (September-January), a survey is not required and no further studies are necessary.*

**IMPLEMENTATION:**

Prior to the start of grading or construction activities to occur within the nesting season, the applicant shall submit documentation of a survey for nesting raptors and migratory birds to the City's Public Department. If the survey results are negative, no further mitigation is required. If the survey results are positive, the biologist shall consult with the City and the California Department of Fish and Wildlife as detailed above.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Public Services Department

City of Rocklin Economic and Community Development Department

California Department of Fish and Wildlife

**MITIGATION MEASURES:****Biological Resources:**

To address the project's potential impacts to riparian habitat, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV.-2 Prior to any grading or construction activities, the appropriate California Department of Fish and Wildlife (CDFW) Section 1602 (Streambed Alteration Agreement) permit will need to be acquired for any project-related impacts to riparian habitat. Any riparian habitat that would be lost or disturbed should be replaced or rehabilitated on a "no-net-loss" basis in accordance with the CDFW's mitigation guidelines. Habitat restoration, rehabilitation, and/or replacement should be at a location and by methods agreeable to the CDFW.*

*Prior to any grading or construction activities, the applicant shall submit documentation to the Public Services Department that they have obtained a CDFW permit or demonstrate that they have applied for such and the CDFW determined that a permit is not necessary. The applicant shall also demonstrate to the Public Services Department that they have implemented habitat restoration, rehabilitation, and/or replacement as stipulated in their CDFW permit.*

**IMPLEMENTATION:**

Prior to any grading or construction activities, the applicant shall submit documentation to the Public Services Department that they have obtained a California Department of Fish and Wildlife (CDFW) Section 1602 (Streambed Alteration Agreement) permit, or have applied for such and the CDFW determined that a permit is not necessary. The applicant shall also demonstrate that they have implemented habitat restoration, rehabilitation, and/or replacement as stipulated in their Section 1602 permit.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Public Services Department

California Department of Fish and Wildlife

**MITIGATION MEASURES:****Biological Resources:**

To ensure compliance with the City's Oak Tree Preservation Ordinance and to compensate for the removal of the oak trees on the project site, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*IV.-3 Prior to the issuance of improvement plans or grading permits, the applicant shall:*

*b) Clearly indicate on the construction documents that oak trees not scheduled for removal will be protected from construction activities in compliance with the pertinent sections of the City of Rocklin Oak Tree Preservation Ordinance.*

*b) Mitigate for the removal of oak trees on the project site consistent with the requirements of the City's Oak Tree Preservation Ordinance (Rocklin Municipal Code Section 17.77.080.B). The required mitigation shall be calculated using the formula provided in the Oak Tree Preservation Ordinance and to that end the project arborist shall provide the following information:*

- The total number of surveyed oak trees;*
- The total number of oak trees to be removed;*
- The total number of oak trees to be removed that are to be removed because they are sick or dying, and*
- The total, in inches, of the trunk diameters at breast height (TDBH) of all surveyed oak trees on the site in each of these categories.*

**IMPLEMENTATION:**

Prior to any grading or construction activity, the applicant/developer shall prepare, subject to approval by the City's Community Development Director, an oak tree mitigation plan which incorporates the steps noted above, including payment of necessary fees into the City's Oak Tree Mitigation Fund.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Economic and Community Development Department

**MITIGATION MEASURES:****Cultural Resources:**

To address the project's potential impact of the discovery of unknown cultural resources, the following mitigation measure, agreed to by the applicant, is being applied to the project:

*V.-1 If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.*

*In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006).*

**IMPLEMENTATION:**

If evidence of undocumented cultural resources is discovered during grading or construction operations, ground disturbance in the area shall be halted and a qualified professional archaeologist, the City's Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. Other procedures as specifically noted in Mitigation Measure V.-1 shall also be followed and complied with.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Public Services Department (Environmental Services Manager)

City of Rocklin Economic and Community Development Department

Native American Heritage Commission

**MITIGATION MEASURES:****Greenhouse Gas Emissions:**

To address the project's impact of greenhouse gas emissions exceeding the applicable PCAPCD threshold of significance, the following mitigation measure is being applied to the project:

*VII.1 Prior to the issuance of any building permits, the applicant shall:*

*a) Hire a qualified energy consultant to verify the total achieved GHG emissions reductions based firstly on the application of on-site measures to the extent feasible, and secondarily on the purchase of offsets/carbon credits. For purposes of calculating GHG emission reductions, the mitigation requirement of 375 MTCO<sub>2</sub>e/year is equivalent to 1,646, MWh/year of electricity for a project with no hearths and 2,830 MWh/year of electricity for a project with hearths;*

*b) If the purchase of offsets/carbon credits is determined to be necessary after implementation of all feasible on-site measures, the applicant shall provide evidence to the City of Rocklin Environmental Services Division that they have obtained, or entered into an agreement to obtain, carbon credits in the amount necessary to achieve a total GHG emissions reduction of 375 MTCO<sub>2</sub>e/year through the use of on-site measures and purchase of carbon credits. Evidence shall consist of documentation from a PCAPCD-approved, third-party verifier that the carbon credits have been obtained and meet CARB and PCAPD's requirements, and*

*c) A report of the selected on-site measures and their total achieved GHG emissions reductions as well as documentation of any necessary purchase of offsets/carbon credits shall be submitted to the City of Rocklin Environmental Services Division as a part of the Title 24 Compliance Report process to document a GHG emissions reduction of 375 MTCO<sub>2</sub>e/year. All building/site plans submitted during the Title 24 compliance process shall incorporate the selected on-site measures as appropriate.*

**IMPLEMENTATION:**

Prior to the issuance of any building permits, the applicant/developer shall hire a qualified energy consultant to prepare a report to verify the total amount of achieved GHG emissions based firstly on the application of on-site measures to the extent feasible, and secondarily on the purchase of offsets/carbon credits. The report shall demonstrate the selected on-site measures and their total achieved GHG emissions reductions as well as documentation of any necessary purchase of offsets/carbon credits, and shall be submitted to the City of Rocklin Environmental Services Division as a part of the Title 24 Compliance Report process to document a GHG emissions reduction of 375 MTCO<sub>2</sub>e/year. All building/site plans submitted during the Title 24 compliance process shall incorporate the selected on-site measures as appropriate.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Public Services Department (Environmental Services Division)

City of Rocklin Economic and Community Development Department (Building Division)

Placer County Air Pollution Control District

**MITIGATION MEASURES:****Hazardous Materials:**

To address potential impacts from the presence of Recognized Environmental Conditions and to allow the use of the project site as a residential subdivision, the following mitigation measure, agreed to by the applicant, is being applied to the project.

*VIII.-1 Prior to the issuance of improvement plans or grading permits, the applicant shall demonstrate that they have implemented a work plan and have completed the necessary steps identified in the Site Investigation Report of Findings for the Sierra Pine Rocklin Facility was prepared by Wallace-Kuhl & Associates (October 21, 2016) to address the Recognized Environmental Conditions to the satisfaction of the Placer County Environmental Health Department. Documentation from the Placer County Environmental Health Department that the work plan has been satisfactorily implemented and that No Further Action is necessary shall be provided from the Placer County Environmental Health Department prior to the issuance of improvement plans or grading permits.*

**IMPLEMENTATION:**

Prior to the issuance of improvement plans or grading permits, the applicant shall demonstrate that they have implemented a work plan and have completed the necessary steps identified in the Site Investigation Report of Findings for the Sierra Pine Rocklin Facility was prepared by Wallace-Kuhl & Associates (October 21, 2016) to address the Recognized Environmental Conditions to the satisfaction of the Placer County Environmental Health Department. Documentation from the Placer County Environmental Health Department that the work plan has been satisfactorily implemented and that No Further Action is necessary shall be provided from the Placer County Environmental Health Department prior to the issuance of improvement plans or grading permits.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Economic and Community Development Department  
Placer County Department of Environmental Health



**MITIGATION MEASURES:****Noise:**

To address potential noise impacts from nearby transportation and non-transportation noise sources in excess of City standards, the following mitigation measures, agreed to by the applicant, is being applied to the project.

*XII.-1 Prior to the approval and issuance of Improvement Plans, the applicant shall demonstrate that sound walls as described and shown below shall be constructed along the property line boundaries (as indicated on Figure 3 of the March 21, 2017 JC Brennan & Associates Sierra Pine Residential Noise Assessment). Sound wall heights are relative to proposed pad elevations and should be constructed of concrete masonry materials, earthen berm, or any combination of the two achieving the total required height.*

- *An eight (8) foot tall wall shall be constructed along the western boundary of the project, adjacent to the existing industrial uses;*
- *A six (6) foot tall wall shall be constructed along the northern boundary line of the project site, adjacent to the UPRR spur line, and*
- *An eight (8) foot tall sound wall shall be constructed along the eastern boundary of the project, along Dominguez Road. The barrier could step down linearly to a height of six (6) feet at the entryways to the subdivision.*

**IMPLEMENTATION:**

Prior to the approval and issuance of Improvement Plans, the applicant shall demonstrate that the project incorporates the provision of sound walls as described in the above mitigation measure.

**RESPONSIBILITY**

Applicant/Developer

City of Rocklin Economic and Community Development Department

**MITIGATION MONITORING REPORT FORMS**

**Project Title:**

**Mitigation Measures:**

**Completion Date:** (Insert date or time period that mitigation measures were completed)

**Responsible Person:**

\_\_\_\_\_  
*(Insert name and title)*

**Monitoring/Reporting:**

\_\_\_\_\_  
Community Development Director

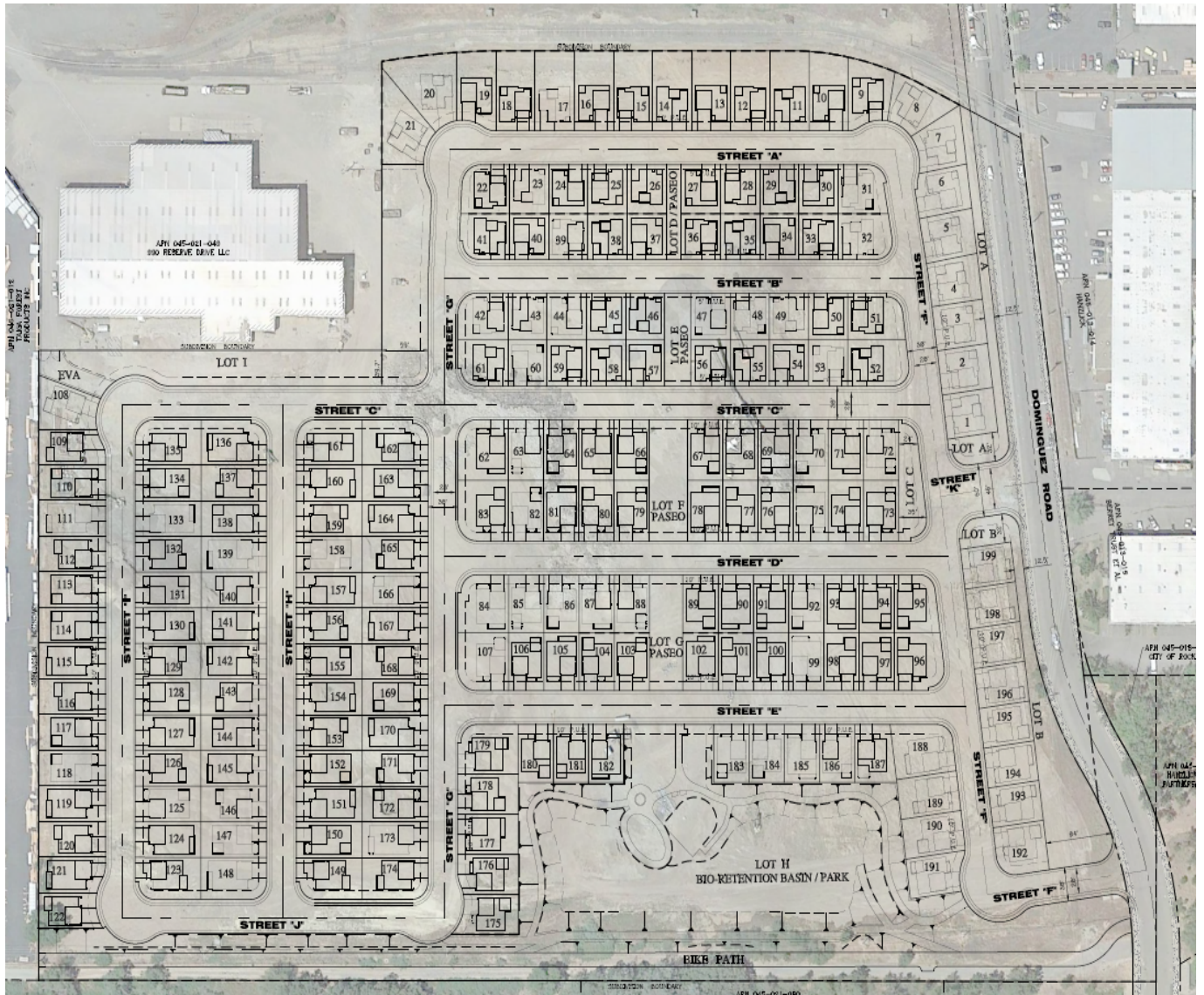
**Effectiveness Comments:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### ATTACHMENT A – PROJECT VICINTY MAP



### ATTACHMENT B – PROJECT SITE PLAN



## RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN  
RECOMMENDING APPROVAL OF A RESOLUTION AMENDING THE GENERAL PLAN  
DESIGNATION OF AN AREA FROM HIGH DENSITY RESIDENTIAL (HDR) AND MIXED USE  
(MU) TO MEDIUM DENSITY RESIDENTIAL (MDR)

(Sierra Pine Subdivision / GPA2016-0002)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. A Mitigated Negative Declaration of Environmental Impacts prepared for this project has been recommended for approval via Planning Commission Resolution No. [REDACTED].

Section 2. The Planning Commission of the City of Rocklin finds and determines that:

A. The Planning Commission has considered a General Plan Amendment (GPA2016-0002) to change the land use designation of an approximately 28.17-acre site located approximately 400 feet south of the intersection of Pacific Street and Dominguez Road (APN 045-021-050), from High Density Residential (HDR) and Mixed Use (MU) to Medium Density Residential (MDR).

B. The Planning Commission has considered the effect of the recommended approval of this General Plan Amendment on the housing needs of the region, and balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

C. The area is physically suited for the land uses allowed by the proposed amendment in terms of topography and availability of services.

D. The circulation and land uses allowed by the proposed amendment are compatible with land uses existing and permitted on properties in the vicinity, providing the properties are developed in accordance with the policies and requirements of the Rocklin General Plan and applicable zoning and subdivision ordinances.

E. The circulation and land uses allowed by the proposed amendment, and their intensity, are not likely to create serious health problems or nuisances on properties in the vicinity.

F. The land uses and circulation allowed by the proposed amendment are consistent with and implement the goals and policies of the Rocklin General Plan, including the Housing Element.

Section 3. The Planning Commission hereby recommends City Council approval of the General Plan Amendment (GPA2016-002), as shown in Exhibit A, attached hereto and by this reference incorporated herein:

PASSED AND ADOPTED this 15<sup>th</sup> day of August, 2017, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

\_\_\_\_\_

Chairman

ATTEST:

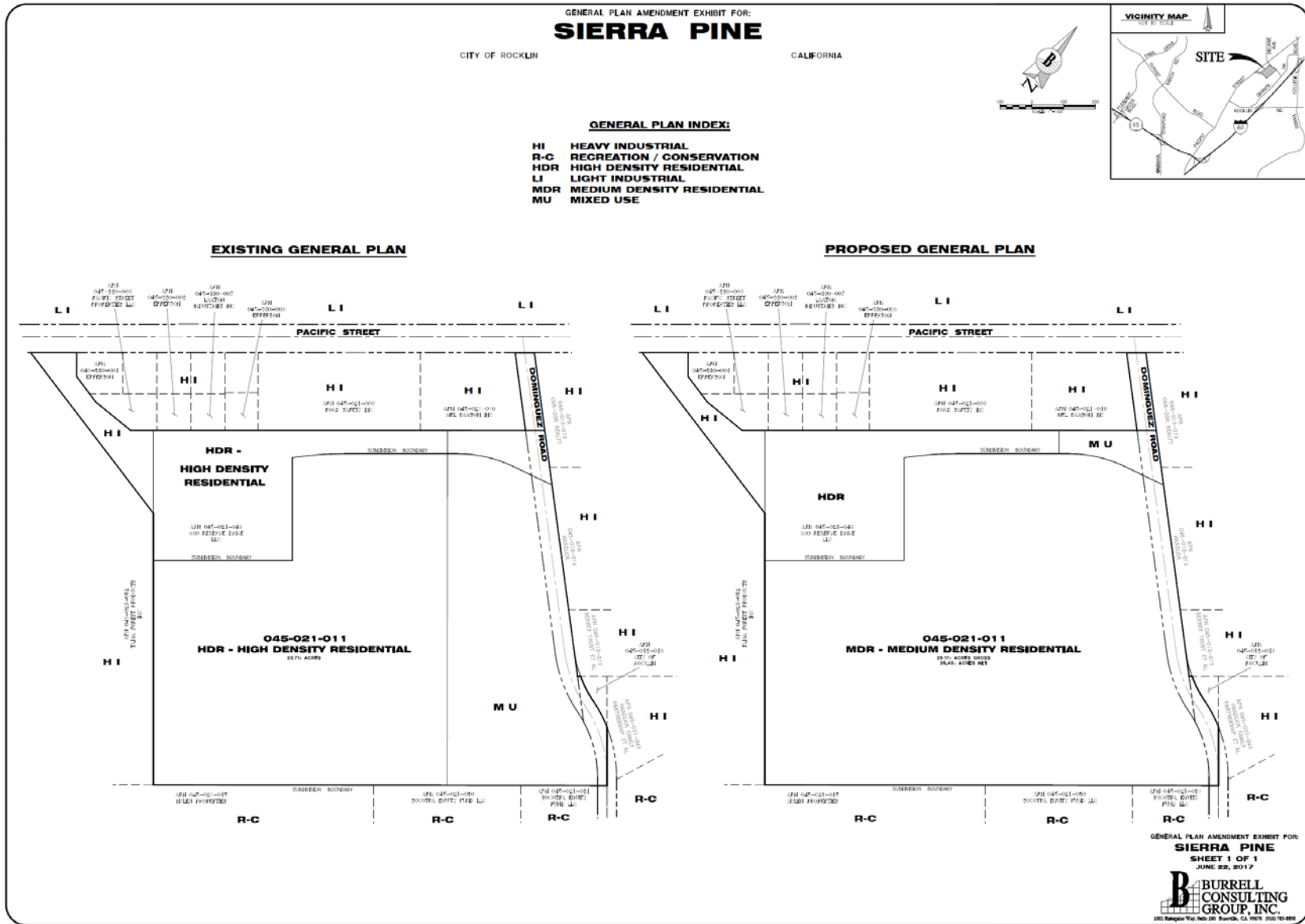
\_\_\_\_\_

Secretary

P:\PUBLIC PLANNING FILES\\_\_ PROJECT FILES\Sierra Pine Subdivision\Meeting Packets\PC 8-15-17\03 Sierra Pine PC Reso GPA2016-0004 - final.docx

# EXHIBIT A

## Sierra Pine Subdivision (GPA2016-0002)



Page 1 of Exhibit A  
to Reso. No.

## RESOLUTION NO. PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN  
 RECOMMENDING APPROVAL OF AN ORDINANCE ESTABLISHING THE SIERRA PINE  
 GENERAL DEVELOPMENT PLAN AND REZONING AN AREA FROM HEAVY INDUSTRIAL  
 (M-2) TO PLANNED DEVELOPMENT RESIDENTIAL – 8 DWELLINGS PER ACRE (PD-8)

(Sierra Pine Subdivision / PDG2016-0004 and Z2016-0002)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. The proposed General Development Plan would approve a new Sierra Pine General Development Plan on an approximately 28.17-acre site (APN: 045-021-050) to establish a Planned Development Residential – 8 dwellings per acre (PD-8) zone district consistent with the Medium Density Residential General Plan designation for the property. The proposed General Development Pan would establish land uses and development criteria for the new PD-8 zoning district, and amend the City Zoning Map to reflect the new zoning, as indicated in Exhibits A and B of Attachment 1.

B. A Mitigated Negative Declaration of Environmental Impacts prepared for this project has been recommended for approval via Planning Commission Resolution No.                     .

C. The proposed General Development Plan and Rezone are consistent with and implement the policies of the City of Rocklin's General Plan, including the Housing Element.

D. The area is physically suited to the uses authorized in the proposed General Development Plan and Rezone.

E. The proposed General Development Plan and Rezone are compatible with the land uses existing and permitted on the properties in the vicinity.

F. The land uses, and their density and intensity, allowed in the proposed General Development Plan and Rezone are not likely to create serious health problems or create nuisances on properties in the vicinity.

G. The Planning Commission has considered the effect of the proposed General Development Plan and Rezone on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.



Section 2. The Planning Commission of the City of Rocklin hereby recommends approval of the General Development Plan and Rezone in the form as shown on Attachment 1, attached hereto and incorporated by reference herein.

PASSED AND ADOPTED this    day of    ,    , by the following vote:

AYES:       Commissioners:

NOES:       Commissioners:

ABSENT:    Commissioners:

ABSTAIN:   Commissioners:

\_\_\_\_\_  
Chairman

ATTEST:

\_\_\_\_\_  
Secretary

**ATTACHMENT 1**

## ORDINANCE NO.

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING AN  
ORDINANCE ESTABLISHING THE SIERRA PINE GENERAL DEVELOPMENT PLAN AND  
REZONING AN AREA FROM HEAVY INDUSTRIAL (M-2) TO PLANNED DEVELOPMENT  
RESIDENTIAL – 8 DWELLINGS PER ACRE (PD-8)

(Sierra Pine Subdivision / PDG2016-0004 and Z2016-0002)

The City Council of the City of Rocklin does ordain as follows:

**Section 1. Findings.**

A. The proposed General Development Plan would approve a new Sierra Pine General Development Plan on an approximately 28.17 acre site (APN: 045-021-050) to establish a Planned Development Residential – 8 dwellings per acre (PD-8) zone district consistent with the Medium Density Residential General Plan designation for the property. The proposed General Development Pan would establish land uses and development criteria for the new PD-8 zoning district, and amend the City Zoning Map to reflect the new zoning, as indicated in Exhibits A and B.

B. The proposed General Development Plan and Rezone are consistent with and implement the policies of the City of Rocklin's General Plan, including the Housing Element.

C. The land uses, and their density and intensity, allowed in the proposed General Development Plan and Rezone are not likely to create serious health problems or create nuisances on properties in the vicinity.

D. The City Council has considered the effect of the proposed General Development Plan and Rezone on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

E. The area is physically suited to the uses authorized in the proposed general development plan and zoning.

F. The proposed General Development Plan and Rezone are compatible with the land uses existing and permitted on the properties in the vicinity.

**Section 2. Authority.** The City Council enacts this ordinance under the authority granted to cities by Article XI, Section 7 of the California Constitution.

**Section 3. Environmental.** A Mitigated Negative Declaration of Environmental Impacts prepared for this project has been recommended for approval via Planning Commission Resolution No. \_\_\_\_\_.

**Section 4. Severability.** If any section, sub-section, sentence, clause, phrase or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of the Ordinance. City Council hereby declares that it would have adopted the Ordinance and each section, sub-section, sentence, clause, phrase or portion thereof, irrespective of the fact that any one or more sections, sub-sections, sentences, clauses, phrases or portions to be declared invalid or unconstitutional.

**Section 5. Effective Date.** Within 15 days of the passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Council members voting for and against the ordinance, to be published in the Placer Herald. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within 15 days, shall cause a summary of the ordinance, prepared by the City Attorney and with the names of the City Council members voting for and against the ordinance, to be published in the Placer Herald, and shall post in the office of the City Clerk a certified copy of the full text of the ordinance, along with the names of those City Council members voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code section 36933(c)(1) are met.

INTRODUCED at a regular meeting of the City Council of the City of Rocklin held on \_\_\_\_\_, 20\_\_, by the following vote:

AYES: Councilmembers:  
NOES: Councilmembers:  
ABSENT: Councilmembers  
ABSTAIN: Councilmembers

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Rocklin held on \_\_\_\_\_, 20\_\_, by the following vote:

AYES: Councilmembers:  
NOES: Councilmembers:  
ABSENT: Councilmembers:  
ABSTAIN: Councilmembers:

\_\_\_\_\_  
Scott Yuill, Mayor

ATTEST:

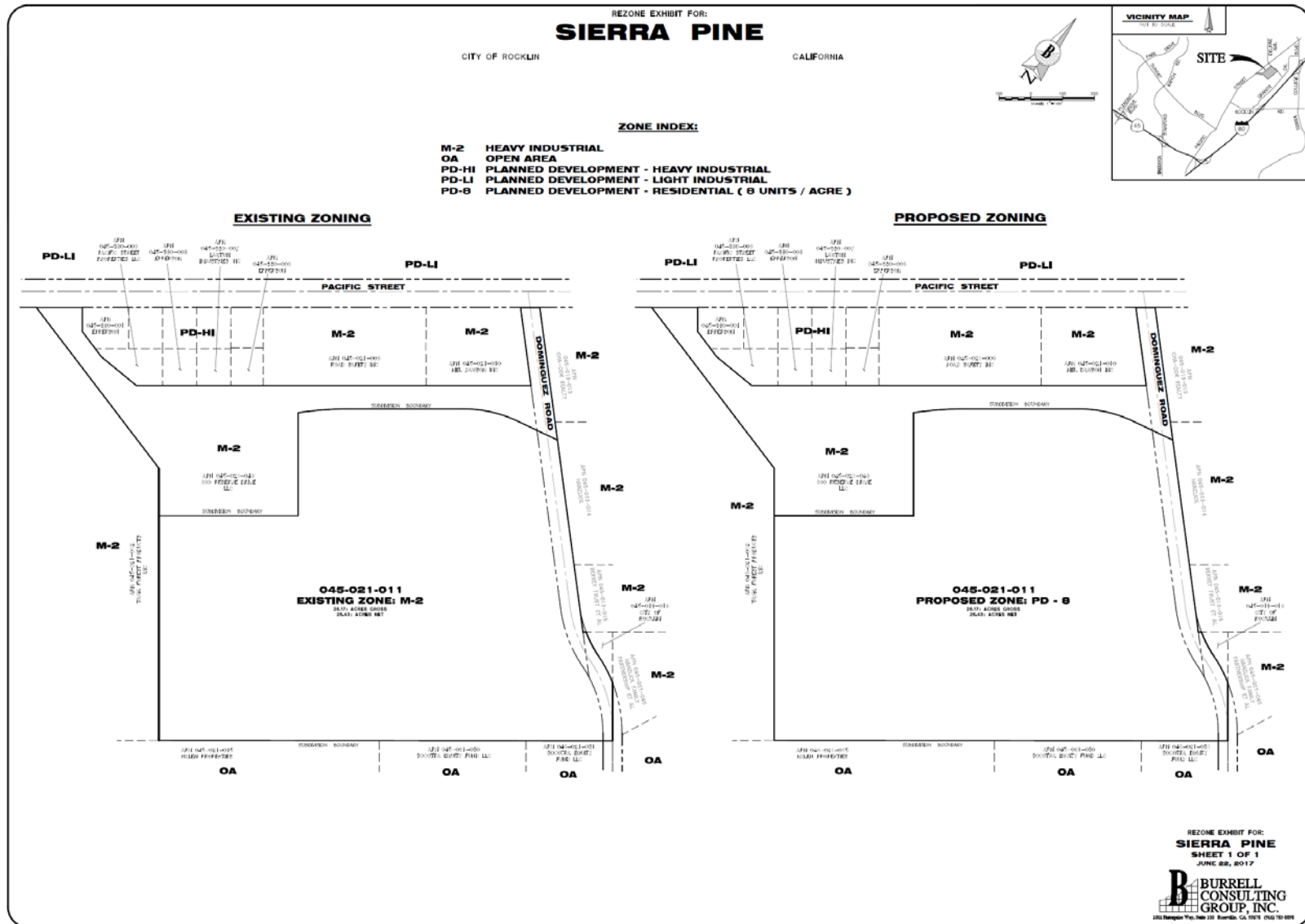
Page 2 of Attachment 1  
to Reso No.

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Barbara Ivanusich, City Clerk

First Reading:  
Second Reading:  
Effective Date:

# EXHIBIT A Z2016-0002



Page 1 to Exhibit A  
To Attachment 1 of Reso No.

## EXHIBIT B

Ordinance **XXXX**  
**SIERRA PINE GENERAL DEVELOPMENT PLAN**

**1. PURPOSE.**

The Sierra Pine project area, located approximately 400 feet south of the intersection of Pacific Street and Dominguez Road, is an infill medium density, single-family residential project. The General Development Plan is intended to establish development standards, permitted, conditionally permitted, and prohibited land uses, and encourage a creative and flexible approach to the development of the approximately 28 acre property with a medium density residential project in a manner that integrates development with the site and surrounding development.

This General Development Plan is established per the provisions of Rocklin Municipal Code Chapter 17.60 PD Zone. Compatibility of this project with the surrounding development is addressed by establishing design standards and limiting potential land uses to those deemed to be compatible or potentially compatible with surrounding development.

**2. ZONE BOUNDARIES / MAP.**

Map indicating the area included in the Rocklin Gateway General Development Plan, PDG-2016-0004.

### 3. RELATIONSHIP TO THE ROCKLIN MUNICIPAL CODE.

All provisions and definitions of the Rocklin Municipal Code (RMC) shall apply to this project unless otherwise specified in this General Development Plan. Whenever there is a conflict between Title 17 of the RMC and this General Development Plan, the provisions of the General Development Plan shall prevail.

### 4. ZONING DISTRICT.

The following zoning district is designated in the Sierra Pine General Development Plan:

**PD-8** Planned Development Residential – 8 dwellings per acre.

Purpose:

- A. Provide for land use patterns and medium density residential development that integrate residential land uses with adjoining non-residential uses.
- B. Support development and redevelopment or revitalization of areas that are in decline or economically underutilized.
- C. Promote economic vitality and diversification of the local economy by allowing creative development combinations that serve local needs and/or attract visitors to the community.
- D. Provide and promote transit oriented development and intensified land uses at appropriate locations within the City of Rocklin.

### 5. USES APPLICABLE TO THE PD-8 ZONE.

The following identifies “Permitted” uses within the PD-8 zoning district. Uses not listed are considered “Prohibited”, unless determined to be substantially compliant by the Economic & Community Development Director.

#### Permitted Uses

- A. Single-family residential
- B. Accessory buildings subject to regulations in RMC Chapter 17.08.
- C. Accessory uses subject to regulations in RMC Chapter 17.08.
- D. Secondary residential units subject to regulations in the RMC.

**6. DEVELOPMENT STANDARDS.**

A. 2,500 square foot lots (50x50)

Minimum Lot Size	2,500 square feet
Minimum Lot Width-Interior	50 feet
Minimum Lot Width-Corner	55 feet
Setbacks	
Front-Living	5 feet
Front-Garage Face (Door)	5 feet or 18 feet
*Side-Interior	**4 feet
*Side-Street	10 feet
*Rear	5 feet
Lot Coverage	60%
Height-Primary	35 feet
Height-Accessory	14 feet

\*Including structures open on two or three sides.

\*\* No encroachments by structural or architectural elements, including fireplaces and chimneys.

B. 2,900 square foot lots (45x65)

Minimum Lot Size	2,900 square feet
Minimum Lot Width-Interior	45 feet
Minimum Lot Width-Corner	51 feet
Setbacks	
Front-Living	10 feet
Front-Garage Face	18 feet
*Side-Interior	**4 feet
*Side-Street	10 feet
Rear	10 feet
Rear-California Room	4 feet
Lot Coverage	60%
Height-Primary	35 feet
Height-Accessory	14 feet

\*Including structures open on two or three sides.

\*\* No encroachments by structural or architectural elements, including fireplaces and chimneys.



C. 3,200 square foot lots (40x80)

Minimum Lot Size	3,200 square feet
Minimum Lot Width-Interior	40 feet
Minimum Lot Width-Corner	46 feet
Setbacks	
Front-Living	10 feet
Front-Garage Face	18 feet
*Side-Interior	**4 feet
*Side-Street	10 feet
Rear	5 feet
Rear-California Room	4 feet
Lot Coverage	60%
Height-Primary	35 feet
Height-Accessory	14 feet

\*Including structures open on two or three sides.

\*\* No encroachments by structural or architectural elements, including fireplaces and chimneys.

## PLANNING COMMISSION RESOLUTION PC-2017-

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROCKLIN  
 RECOMMENDING APPROVAL OF A TENTATIVE SUBDIVISION MAP AND AN OAK TREE  
 PRESERVATION PLAN PERMIT  
(Sierra Pine Subdivision / SD2016-0005 and TRE2017-0006)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. The Tentative Subdivision Map and Oak Tree Preservation Plan Permit (SD2016-0005 and TRE2017-0006) allow the subdivision and development of an approximately 28 acre site into 199 single family residential lots, landscape lots, and a detention basin/park lot, including associated streets and related site improvements and the removal of sixteen oak trees.

B. A Mitigated Negative Declaration for this project has been recommended for approval via Planning Commission Resolution No.           .

C. The Planning Commission has considered the effect of the approval of this subdivision on the housing needs of the region, and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

D. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the proposed General Development Plan and Rezone for the property (PDG2016-0004 and Z2016-0002) being processed concurrently.

E. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the objectives, policies and programs in the City of Rocklin's General Plan.

F. The site is physically suitable for the proposed type and density of development.

G. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage, nor will they substantially and avoidably injure fish or wildlife or their habitat.

H. The design of the subdivision and type of improvements will not cause serious public health problems.

I. The design of the subdivision and type of improvements will not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

J. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

Section 2. The Sierra Pine Subdivision Tentative Subdivision Map and Oak Tree Preservation Plan Permit (SD2016-0005 and TRE2017-0006) as depicted in Exhibit A attached hereto and by this reference incorporated herein, are hereby recommended for approval of the City Council, subject to the conditions listed below. The approved Exhibits A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibits A shall be controlling and shall modify Exhibits A. All other plans, specifications, details, and information contained within Exhibits A shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition, and each of these conditions must be satisfied prior to or concurrently with the submittal of the final map with the City Engineer for the purpose of filing with the City Council. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

A. Notice to Applicant of Fees & Exaction Appeal Period

The conditions of project approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code §66020(d), these conditions constitute written notice of the amount of such fees, and a description of the dedications, reservations, and other exactions.

The applicant is hereby notified that the 90-day protest period, commencing from the date of approval of the project, has begun. If the applicant fails to file a protest regarding any of the fees, dedication requirements, reservation requirements or other exaction contained in this notice, complying with all the requirements of Government Code §66020, the applicant will be legally barred from later challenging such exactions.

B. Conditions

1. Utilities

- a. Water – Water service shall be provided to the subdivision from Placer County Water Agency (PCWA) in compliance with all applicable PCWA standards and requirements. PCWA shall verify ability to serve the subdivision by signing off on the subdivision improvement plans. All necessary easements shall be shown and offered (or Irrevocable Offer of

Dedication provided) on or with the final map. All necessary improvements shall be included on the subdivision improvement plans. (PCWA ENGINEERING)

- b. Sewer – Sewer service shall be provided to the subdivision from South Placer Municipal Utility District (SPMUD) in compliance with all applicable SPMUD standards and requirements. SPMUD shall verify ability to serve the subdivision by signing off on the subdivision improvement plans. All necessary easements shall be shown and offered (or Irrevocable Offer of Dedication provided) on or with the final map. All improvements shall be included on the subdivision improvement plans. (SPMUD, ENGINEERING)

Copies of any required permits from federal, state, and local agencies having jurisdiction over wetland/riparian areas, which may be impacted by the placement of the sewer system within the plan area, shall be submitted to SPMUD prior to approval of the sewer plan for the project. (ENGINEERING)

- c. Telephone, Gas, and Electricity – Telephone, gas and electrical service shall be provided to the subdivision from Surewest Communications / Pacific Bell, and Pacific Gas & Electric (PG&E). (APPLICABLE UTILITY, ENGINEERING)
- d. Postal Service – Mailbox locations shall be determined by the local postmaster. A letter from the local postmaster verifying all requirements have been met shall be filed with the City Engineer. (ENGINEERING)
- e. Prior to recordation of final map, the project shall be included in the appropriate City financing districts as needed to most efficiently provide for public maintenance of public landscaping, improvements such as sound walls, and provision of new or enhanced services such as street lighting to the satisfaction of the City Finance Manager. (FINANCE, ENGINEERING, PUBLIC WORKS)

## 2. Schools

- a. Financing: The following conditions shall be satisfied to mitigate the impact of the proposed development on school facilities (ROCKLIN UNIFIED SCHOOL DISTRICT, BUILDING):
  - i) At the time of issuance of a building permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995, to the satisfaction of the Rocklin Unified School District.

- ii) The above condition shall be waived by the City Council if the applicant and the District reach agreement to mitigate the impacts on the school facilities caused by the proposed development and jointly request in writing that the condition be waived.

### 3. Fire Service

- a. Proposed street names shall be reviewed and approved by the Rocklin Fire Chief. (ENGINEERING, FIRE)
- b. Improvement plans shall show the location and size of fire hydrants and water mains in conformance with the standards and requirements of the Rocklin Fire Chief and PCWA. (PCWA, ENGINEERING, FIRE)
- c. Improvement plans shall reflect a looped water supply main to the satisfaction of the Rocklin Fire Chief and PCWA. (FIRE, PCWA, ENGINEERING)
- d. Improvement plans shall reflect at the EVA connection to APN 045-021-049 a tubular steel gate at the project property line and a post and cable gate at the back of sidewalk of the Streets C/I knuckle. The post and cable fence shall continue into Lot I to prevent unauthorized access around the gate at the street. Posts shall be 2'-6" tall, steel, and placed 10 feet on center at minimum. (FIRE, PLANNING)

### 4. Improvements/Improvement Plans

Prior to any grading, site improvements, or other construction activities associated with this project improvement plans shall be prepared consistent with the exhibits and conditions incorporated as a part of this entitlement, and in compliance with all applicable city standards, for the review and approval of the City Engineer.

Improvement plans shall be valid for a period of two years from date of approval by the City Engineer. If substantial work has not been commenced within that time, or if the work is not diligently pursued to completion thereafter, the City Engineer may require the improvement plans to be resubmitted and/or modified to reflect changes in the standard specifications or other circumstances.

All improvements shall be constructed and/or installed prior to submitting the final map with the City Engineer for the purpose of filing with the City Council, unless the subdivider executes the City's standard form subdivision improvement

agreement and provides the financial security and insurance coverage required by the agreement, prior to or concurrent with submitting the final map with the City Engineer.

The project improvement plans shall include the following:  
(ENGINEERING, PLANNING)

- a. A final Stormwater Control Plan and a detailed grading and drainage plan prepared by a registered civil engineer, in substantial compliance with the approved project exhibit(s) and in accord with the City of Rocklin Post-Construction Manual. The grading and drainage plan shall include the following:
  - i) Stormwater Management
    - 1) Prior to issuance of improvement plans, to ensure compliance with the National Pollutant Discharge Elimination System MS4s General Permit and the regulations and orders of the State Water Resources Control Board, the applicant shall prepare and implement a Stormwater Management Facility Operation and Maintenance Plan for the on-site treatment systems and hydromodification controls (if any), or an acceptable alternative, to the satisfaction of the City Engineer. All specified treatment systems and hydromodification controls shall be privately owned and maintained.  
(BUILDING, PUBLIC SERVICES)
    - 2) Prior to issuance of improvement plans, unless waived by the City Engineer, the developer shall grant a Stormwater Management Compliance Easement over the project site to the City of Rocklin, in a form acceptable to the City Attorney. The Stormwater Management Compliance Easement shall be recorded with the County Clerk's office and a copy of the recorded document shall be provided to the Environmental Services division. Said easement shall provide for the following: (CITY ATTORNEY, BUILDING, PUBLIC SERVICES)
      - A. Grant site access to City employees for the purpose of performing operations and maintenance inspections of the installed treatment system(s) and hydromodification control(s) (if any).

- B. Grant site access to City employees for the purpose of performing operations and maintenance work on the installed treatment system(s) and hydromodification control(s) (if any) in the event that that the Director of Public Services determines, based upon the inspection results, that said work is not being performed adequately and has or will compromise the system's ability to function as required.
  - C. A statement that the City may, at its option, cause the operational and maintenance responsibilities set forth in the Stormwater Management Facility Operation and Maintenance Plan to be performed and place a special assessment against the project site to recover the costs to the City in the event the project is not operated and maintained in accord with the approved Stormwater Management Facility Operation and Maintenance Plan. (RMC §8.30.150).
- 3) All storm drainage inlets shall be stamped with City Engineer approved wording indicating that dumping of waste is prohibited and identifying that the inlets drain into the creek system.
- 4) Provisions for detaining run off at pre-development levels including the location(s) and specifications of on-site or off-site detention basins, if any. If a detention basin is a part of the project drainage system the following shall be provided:
- A. Prior to or concurrently with the approval of the final map an appropriate restriction shall be recorded over the detention basin(s) to assure their availability and use for this purpose and use in perpetuity.
  - B. Prior to or concurrently with the approval of the improvement plans a detention basin maintenance plan shall be developed by the subdivider and submitted to and approved by the City Engineer and Environmental Services Manager. The plan

shall provide for private ownership of the detention basin/drainage/LID facility.

- 5) Individual lot drainage management areas including individual drainage features, such as lined drainage swales.
- 6) Prior to the recordation of the final map, the applicant/subdivider shall submit a final Stormwater Management Facility Operation and Maintenance Plan for the on-site treatment systems and hydromodification control(s), if any, that includes as-built documentation of how the facilities are constructed.
- 7) The developer shall prepare a Storm Water Pollutant Protection Plan (SWPPP) for review and approval by the State Regional Water Quality Control Board as part of the project's drainage improvement plans.
- 8) Prior to any on- or off- site grading or construction activities, including issuance of improvement plans, for any phase of the project a Storm Water Management plan for preventing noncompliant storm water runoff at all times but especially during the rainy seasons shall be incorporated into the improvement plans. The Storm Water Management plan would also need to cover the time period of the project after the subdivision improvements are installed and construction of the houses commences on disturbed soils. The Storm Water Management plan shall be prepared by a qualified storm water management professional.
- 9) Prior to any on or off- site grading or construction activities, including issuance of improvement plans for any phase of the project, the subdivider shall provide verification to the City Engineer that a qualified storm water management professional has been retained and is available to monitor construction activities and provide written reports to the City. This notification shall include name(s) and 24 hour contact information. The storm water management professional shall be present on site at all times necessary when work is occurring during the grading, trenching, and building construction phases (if homes to be built by subdivider) of the project in order to observe, assess, and direct on site storm water



management. The storm water management professional shall also monitor the work site on a regular basis even when no construction activities are occurring to ensure that installed water quality and Best Management Practice devices or improvements are installed and functioning properly. The storm water management professional shall monitor the site prior to, during, and after any storm events. (ENGINEERING)

ii) Flood Zone Development

Subdivider shall process and obtain an amendment to the FEMA map affected by the subdivision as follows:

- 1) Pursuant to the requirements of Rocklin Municipal Code, Chapter 15.16 – Flood Hazard Areas, the applicant shall obtain a Flood Zone Development Permit from the City Engineer prior to issuance of project improvement plans and / or building permits. All applicable requirements and conditions of said Flood Zone Development Permit shall be incorporated into the project improvement plans prior to their approval, to the satisfaction of the City Engineer.
- 2) Prior to the issuance of Improvement Plans, a Letter of Map Revision (LOMR) application package shall be completed to the satisfaction of the City Engineer and approved by the Federal Emergency Management Agency (FEMA).

- iii) Prior to the commencement of grading operations, and if the project site will not balance with respect to grading, the contractor shall identify the site where any excess earthen material shall be deposited. If the deposit site is within the City of Rocklin, the contractor shall submit a report issued by a technical engineer to verify that the exported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall be specified. If the site requires importing of earthen material, then prior to the commencement of grading operations, the contractor shall identify the site where the imported earthen material is coming from and the contractor shall submit a report issued by a technical engineer to verify that the imported materials are suitable for the intended fill and show proof of all approved grading plans. Haul routes to be used shall

be specified and approved by the City Engineer or his/her designee.

- b. If at any time during the course of grading or construction activities evidence of the existence of old wells, septic systems or other similar features is encountered, work shall be halted within 100 feet of the find and the City of Rocklin Engineer shall be notified. The City Engineer shall make a determination as to the nature of the feature (or features), the appropriate size for a buffer around the feature beyond which work could continue on the balance of the site, and which outside agencies, if any, should be notified and involved in addressing and/or remediation of the feature. At the discretion of the City Engineer and at the applicant's expense, a qualified consultant(s) shall be retained to assess and characterize the feature and to determine appropriate remediation, if any. Remediation of the feature including obtaining any special permits and/or approvals as needed shall be completed and documented to the satisfaction of the City Engineer and any responsible agencies, such as but not limited to the Placer County Department of Environmental Health, prior to completion of grading/construction in the affected area.
- c. All drainage/stormwater runoff from the site shall be collected into a City standard sand and oil trap manhole and a water quality treatment structure (and/or equals as approved by the City Engineer) prior to the offsite discharge of the runoff.
- d. Construction related and permanent Best Management Practices (BMPs) and Best Available Technologies (BATs) shall be incorporated into the final project design and / or noted on the Improvement Plans as appropriate to reduce urban pollutants in run-off, consistent with goals and standards established under Federal and State non-point source discharge regulations (NPDES permit) and Basin Plan water quality objectives. Stormwater run-off BMPs selected from the Storm Water Quality Task Force, the Bay Area Storm Water Management Agencies Association Start at the Source – Design Guide Manual, the Sacramento Stormwater Quality Partnership's Stormwater Quality Design Manual for the Sacramento and South Placer Regions, and/or the City's Post-Construction Manual, or equally effective measures shall be identified prior to final design approval and shall be incorporated into project design and / or noted on the Improvement Plans as appropriate.

To maximize effectiveness, the selected BMPs shall be based on finalized site-specific hydrologic conditions, with consideration for the types and locations of development. Mechanisms to maintain the BMPs shall be identified in on improvement plans.

Provisions for the maintenance and periodic inspection of permanent facilities shall be addressed to the satisfaction of the City Engineer and the Public Services Director and shown on the improvement plans. These provisions shall include periodic inspection, cleaning, and the replacement of filter materials, as necessary, to retain the integrity of the BMP/BAT. (ENGINEERING, PUBLIC SERVICES)

- e. Prior to any grading or construction activities, the subdivider shall:
  - i) Obtain a General Construction Activity Storm Water Permit as a part of the National Pollutant Discharge Elimination System (NPDES) permit process from the Regional Water Quality Control Board.
  - ii) Submit verification from the U.S. Army Corp of Engineers and the California Department of Fish and Game Wildlife that the project meets all regulations and that the subdivider has obtained all required permits relating to wetlands and waterways.
  
- f. All on-site standard improvements, including but not limited to:
  - i) Paving, curbs (including concrete curbs to contain all landscape areas adjacent to vehicle parking areas or travel lanes), gutters, sidewalks, drainage improvements, irrigation improvements (main lines and distribution where located under paved areas), utility improvements, street lights, fire hydrants, retaining walls, fences, walls and pilasters, enhanced pavement treatments, etc.
  - ii) All necessary easements for drainage, access, utilities, etc. shall be shown and offered for dedication (or Irrevocable Offer of Dedication provided) with the improvement plans.
  - iii) To the extent possible underground facilities such as but not limited to electrical, gas, water, drainage, and irrigation lines shall be located outside of or to the edge of areas designated for landscaping so as to minimize impacts to the viability of these areas.
  
- g. The following subdivision improvements shall be designed, constructed, and/or installed:
  - i) The following on-site special improvements:

- 1) Sound walls constructed of decorative CMU masonry block wall, with decorative cap and pilasters, of the required height as measured from the finished pad elevations substantially compliant with Exhibit A and to comply with the following: {MM XII.-1} (ENVIRONMENTAL SERVICES, ENGINEERING, PLANNING)
  - A. To comply with the Citywide Design Review Guidelines, sound walls shall not appear to be greater than 6 feet tall as viewed from the public right-of-way. Said walls shall be constructed with stepped retaining walls, on earth berms, or otherwise designed to comply with this standard.
  - B. An eight (8) foot tall wall shall be constructed along the western boundary of the project, adjacent to the existing industrial uses. Said wall shall have a combed finish facing the project at Lots 108 to 122, split face or other finish facing inside the project at Lot I, and split face or other finish facing outside the project with pilasters at the corners and any changes in finish, direction, or height.
  - C. A six (6) foot tall wall shall be constructed along the northern boundary line of the project site, adjacent to the existing industrial uses and UPRR spur line. Said wall shall have a combed finish facing the project at Lots 8 to 21, split face or other finish facing inside the project at Lot I, and split face finish facing outside the project with pilasters at the corners and any changes in finish, direction, or height.
  - D. An eight (8) foot tall sound wall shall be constructed along the eastern boundary of the project, along Dominguez Road. The barrier should step down linearly to a height of six (6) feet at the entryways to the subdivision. Said wall shall have a combed finish facing the project and split face or other finish facing outside the project with pilasters at the corners, spaced at a minimum of 60 feet on center, and at any changes in finish, direction, or height.

- 2) Post and cable fencing within Lot H between the creek/waterway and the SPMUD access road/bike trail. Posts shall be 2'-6" tall, steel, and placed 10 feet on center at minimum. (ENVIRONMENTAL SERVICES)
- 3) Six-foot tall tubular steel fence on top of the retaining wall in Lot H adjacent to Street J. Said fencing shall be powder coated black and constructed of medium gauge, or better, steel or aluminum. (PLANNING)
- 4) Retaining walls and seat walls in landscape and/or park lots shall be constructed of split face CMU to match the sound wall, or approved equivalent. Seat walls shall have a decorative cap. (ENGINEERING, PLANNING)
- 5) Retaining walls at property lines that face outside the project shall be split face CMU to match the sound wall, or approved equivalent. (ENGINEERING, PLANNING)
- 6) A pipe gate, or approved alternative, at the westerly terminus of the SPMUD access/bike trail. (SPMUD, ENGINEERING, ENVIRONMENTAL SERVICES)
- 7) City standard decorative collapsible/removable bollards at the easterly beginning of SPMUD access/bike trail. (SPMUD, ENGINEERING, PLANNING, ENVIRONMENTAL SERVICES)
- 8) Project amenities In Lots A and B including signage and public art shall be in substantial conformance with Exhibit A. Illumination of the freestanding signs shall be mounted in-ground (flush) and/or shielded so that the light source and any glare is shielded from the internal streets and Dominguez Road and so that the light is projected onto the signs only. (PLANNING, ENGINEERING)
- 9) In lieu of red painted curbs, standard "no parking" signs and decorative "no parking" signs shall be intermixed and installed to indicate areas where parking on the public streets in the subdivision is not allowed. The design of the decorative signs and the location of all "no parking" signs shall be to the satisfaction of the Directors of Public Services and Economic and Community Development and Chiefs of Police and Fire. (PUBLIC SERVICES, PLANNING, ENGINEERING, POLICE, FIRE)

- 10) A stub for a future trail extension shall be constructed along the SPMUD access / bike trail at the south side of the project site. The trail stub shall be located where it would be feasible for a future bike/pedestrian bridge to be constructed to connect with the Granite & Dominguez subdivision.
  - 11) Concrete mow strip to demarcate the property line between Lots 182 and 183 and the private park/Lot H.
  - 12) Decorative residential street lights as shown in Exhibit A (City standard Hapco fixture for Granite/Quarry District) shall be installed on all streets within the subdivision. Lighting installation and wiring shall comply with all applicable City standards. Replacement parts shall also be provided to the City, to the satisfaction of the Public Services Director.
  - 13) Decorative street sign poles and signs consistent with City standards for the Granite/Quarry District shall be installed on all streets within the subdivision. Replacement parts shall also be provided to the City, to the satisfaction of the Public Services Director.
- iv) The following off-site improvements:
- 1) Complete curb, gutter, and sidewalk across APN 045-021-049 along the Dominguez Road frontage to complete the public pedestrian path of travel to Pacific Street.
  - 2) The applicant/developer shall enter into an agreement, in a form to the satisfaction of the Public Services Director, to pay the project's fair-share costs of the reconstruction of one-half of Dominguez Road from the centerline for the length of the project's frontage.
- h. Landscape and irrigation plans, in substantial conformance with Sheet LP1, shall be included with the project improvement plans and shall comply with the following: (ENGINEERING, PUBLIC WORKS, PLANNING)
- i) Landscaping and related improvements, including but not limited to hardscape and special paving, the private park improvements and recreation amenities, landscape buffer and community

garden amenities, paseo improvements, and street frontage signage and amenities, to be installed in the following areas, as shown on Exhibit A:

Lots A, B, C, D, E, F, G, H and I

- ii) The landscaping plan shall be prepared by a landscape architect and shall include:
  - 1) A legend of the common and botanical names of specific plant materials to be used. The legend should indicate the size of plant materials at maturity and container size: shrubs shall be a minimum 5 gallon and trees a minimum of 15 gallon and meet the minimum height specified by the American Standards for Nursery Stock.
  - 2) A section diagram of proposed tree staking.
  - 3) An irrigation plan including an automatic irrigation system. The plan shall include drip irrigation wherever possible. Irrigation for Lots A and B shall have a separate controller and POC.
  - 4) Certification by the landscape architect that the landscape plans meets the requirements of the Water Conservation in Landscaping Act. Government Code §65591, et seq.
  - 5) Certification by the landscape architect that the soil within the landscape area is suitable for the proposed landscaping and / or specify required soil treatments and amendments needed to ensure the health and vigor of landscape planting.
- iii) All landscaping improvements shall be constructed and/or installed prior to submitting the final map for filing with the City Council, unless the subdivider executes the City's standard form subdivision landscaping agreement and provides the financial security and insurance coverage required by the subdivision landscaping agreement, prior to or concurrent with submitting the final map.
- iv) The subdivider shall maintain the landscaping and irrigation systems in Lots A and B for one year from the date the landscaping is accepted by the City, without reimbursement. The

subdivider shall apply for and obtain an encroachment permit to do any maintenance in the public right-of-way until such time as the City takes over maintenance of the landscaping.

- i. All rights-of-way and easements associated with the subdivision improvements shall be offered on, or by separate instrument concurrently with, the final subdivision map; provided, that street rights-of-way shall be offered by means of an irrevocable offer of dedication (IOD). (ENGINEERING)
- j. Air Pollution Control
  - i) Prior to commencement of grading, the developer shall submit a Construction Emission / Dust Control Plan for approval by the City Engineer and the Placer County Air Pollution Control District.
  - ii) Prior to approval of Grading or Improvement Plans, whichever occurs first, the applicant shall provide a written calculation to the Placer County Air Pollution Control District (PCAPCD) for approval demonstrating that the heavy-duty (>50 horsepower) off-road vehicles to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project wide fleet average of at least 25% of NOx and 45% of diesel PM reduction as compared to CARB statewide fleet average emissions. Acceptable options for reducing emissions may include use of late model engines, low emission diesel products (e.g., CARB approved High Performance Renewable Diesel), alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available. The Construction Emissions Mitigation Tool developed by the Sacramento Air Quality Management District may be used to calculate compliance with this condition and shall be submitted to the PCAPCD as described above. Prior to the start of grading or construction activities, the applicant shall submit documentation of PCAPCD approval of the verification of construction emissions calculations. {MM III.-1} (PCAPCD, ENVIRONMENTAL SERVICES, ENGINEERING)
- k. If blasting activities are to occur in conjunction with site development, the contractor shall conduct the blasting activities in compliance with State and local regulations. The contractor shall obtain a blasting permit from the City of Rocklin prior to commencing any blasting activities. Information submitted to obtain a blasting permit shall include a description of the work to be accomplished and a statement of necessity for blasting as opposed to other methods considered, including



avoidance of hard rock areas, safety measures to be implemented, such as blast blankets, and traffic groundshaking impacts. The contractor shall coordinate any blasting activities with police and fire departments to ensure proper site access control, traffic control, and public notification including the media and affected residents and businesses, as appropriate. Blasting specifications and plans shall include a schedule that outlines the time frame that blasting will occur to limit noise and traffic inconveniences.

- I. Prior to any grading or construction activities including issuance of improvement plans, the developer shall submit a design-level soil investigation for the review and approval of the City Engineer and Chief Building Official that evaluates soil and rock conditions, particularly the potential for expansive soils. The professional engineer that prepared the soil investigation shall recommend appropriate roadway construction and foundation techniques and other best practices that are to be implemented by the project during construction. These techniques and practices shall address expansive soils or other geological concerns requiring remediation, including but not limited to:
- Recommendations for building pad and footing construction;
  - Use of soil stabilizers or other additives; and
  - Recommendations for surface drainage.
- m. The following biological resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

Prior to the start of grading or construction activities to occur within the nesting season, the applicant shall submit documentation of a survey for nesting raptors and migratory to the City's Public Services and Economic and Community Development Departments. If the survey results are negative, no further mitigation is required. If the survey results are positive, the biologist shall consult with the City and the California Department of Fish and Wildlife as detailed below.

The applicant/developer shall attempt to time the removal of potential nesting habitat for raptors and migratory birds to avoid the nesting season (February - August).

If tree and vegetation removal and/or project grading or activities occur during the nesting season for raptors and migratory birds (February-August), the developer and/or contractor shall hire a qualified biologist approved by the City to conduct pre-construction surveys no more than

14 days prior to initiation of tree and vegetation removal activities. The survey shall cover all areas of suitable nesting habitat within 500 feet of project activity and shall be valid for one construction season. Prior to the start of tree and vegetation removal activities, documentation of the survey shall be provided to the City of Rocklin Public Services Department and if the survey results are negative, no further mitigation is required and necessary structure removal may proceed. If there is a break in demolition activity of more than 14 days, then subsequent surveys shall be conducted.

If the survey results are positive (active nests are found), impacts shall be avoided by the establishment of appropriate buffers. The biologist shall consult with the California Department of Fish and Wildlife (CDFW) and the City to determine the size of an appropriate buffer area (CDFW guidelines recommend implementation of 500-foot buffers). Monitoring of the nest by a qualified biologist may be required if the activity has the potential to adversely affect an active nest.

If construction activities are scheduled to occur during the non-breeding season (September- January), a survey is not required and no further studies are necessary. {MM IV-1.} (ENVIRONMENTAL SERVICES, ENGINEERING)

- n. The following biological resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

Prior to any grading or construction activities, the appropriate California Department of Fish and Wildlife (CDFW) Section 1602 (Streambed Alteration Agreement) permit will need to be acquired for any project-related impacts to riparian habitat. Any riparian habitat that would be lost or disturbed should be replaced or rehabilitated on a “no-net-loss” basis in accordance with the CDFW’s mitigation guidelines. Habitat restoration, rehabilitation, and/or replacement should be at a location and by methods agreeable to the CDFW.

Prior to any grading or construction activities, the applicant shall submit documentation to the Public Services Department that they have obtained a CDFW permit or demonstrate that they have applied for such and the CDFW determined that a permit is not necessary. The applicant shall also demonstrate to the Public Services Department that they have implemented habitat restoration, rehabilitation, and/or replacement as stipulated in their CDFW permit. {MM IV.-2} (ENVIRONMENTAL SERVICES, ENGINEERING)

- o. The following biological resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

Prior to the issuance of Improvement Plans or Grading Permits, the applicant shall:

- i) Clearly indicate on the construction documents that oak trees not scheduled for removal will be protected from construction activities in compliance with the pertinent sections of the City of Rocklin Oak Tree Preservation Ordinance.
  - ii) Mitigate for the removal of oak trees on the project site consistent with the requirements of the City's Oak Tree Preservation Ordinance (Rocklin Municipal Code Section 17.77.080.B). The required mitigation shall be calculated using the formula provided in the Oak Tree Preservation Ordinance and to that end the project arborist shall provide the following information:
    - The total number of surveyed oak trees;
    - The total number of oak trees to be removed;
    - The total number of oak trees to be removed that are to be removed because they are sick or dying, and
    - The total, in inches, of the trunk diameters at breast height (TDBH) of all surveyed oak trees on the site in each of these categories.
- {IV.-3} (ENVIRONMENTAL SERVICES, ENGINEERING, PLANNING)

- p. The following cultural resource condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

If an inadvertent discovery of cultural materials (e.g., unusual amounts of shell, charcoal, animal bone, bottle glass, ceramics, burned soil, structure/building remains) is made during project-related construction activities, ground disturbances in the area of the find shall be halted and a qualified professional archaeologist, the Environmental Services Manager and the Native American Heritage Commission shall be notified regarding the discovery. The archaeologist shall determine whether the resource is potentially significant as per CEQA (i.e., whether it is a historical resource, a unique archaeological resource, or a unique paleontological resource) and shall develop specific measures to ensure preservation of the resource or to mitigate impacts to the resource if it

cannot feasibly be preserved in light of costs, logistics, technological considerations, the location of the find, and the extent to which avoidance and/or preservation of the find is consistent or inconsistent with the design and objectives of the project. Specific measures for significant or potentially significant resources would include, but are not necessarily limited to, preservation in place, in-field documentation, archival research, subsurface testing, and excavation. The specific type of measure necessary would be determined according to evidence indicating degrees of resource integrity, spatial and temporal extent, and cultural associations, and would be developed in a manner consistent with CEQA guidelines for preserving or otherwise mitigating impacts to archaeological and cultural artifacts.

In the event of the accidental discovery or recognition of any human remains, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains, until compliance with the provisions of Sections 15064.5 (e)(1) and (2) of the CEQA Guidelines, as well as Public Resources Code Section 5097.98, has occurred. If any human remains are discovered, all work shall stop in the immediate vicinity of the find and the County Coroner shall be notified, according to Section 7050.5 of the California Health and Safety Code. The City's Environmental Services Manager shall also be notified. If the remains are Native American, the Coroner will notify the Native American Heritage Commission, which in turn will inform a most likely descendant. The descendant will then recommend to the landowner appropriate disposition of the remains and any grave goods, and the landowner shall comply with the requirements of AB2641 (2006). {MM V.-1} (ENVIRONMENTAL SERVICES, ENGINEERING)

- q. The following recognized environmental conditions condition shall be included in the project notes on the improvement plans, to the satisfaction of the City Engineer:

Prior to the issuance of improvement plans or grading permits, the applicant shall demonstrate that they have implemented a work plan and have completed the necessary steps identified in the Site Investigation Report of Findings for the Sierra Pine Rocklin Facility was prepared by Wallace-Kuhl & Associates (October 21, 2016) to address the Recognized Environmental Conditions to the satisfaction of the Placer County Environmental Health Department. Documentation from the Placer County Environmental Health Department that the work plan has been satisfactorily implemented and that No Further Action is necessary shall be provided from the Placer County Environmental Health Department

prior to the issuance of improvement plans or grading permits. {VIII.-1}  
(ENVIRONMENTAL SERVICES, ENGINEERING)

- r. Provisions for dust control, re-vegetation of disturbed areas, and erosion control, in conformance with the requirements of the City of Rocklin, including but not limited to the following (which shall be included in the project notes on the improvement plans):
  - i) The prime contractor shall submit to the District a comprehensive inventory (e.g., make, model, year, emission rating) of all the heavy-duty off-road equipment (50 horsepower or greater) that will be used in aggregate of 40 or more hours for the construction project. If any new equipment is added after submission of the inventory, the prime contractor shall contact the District prior to the new equipment being utilized. At least three business days prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the District with the anticipated construction timeline including start date, name, and phone number of the property owner, project manager, and on-site foreman.
  - ii) During construction the contractor shall utilize existing power sources (e.g., power poles) or clean fuel (e.g., gasoline, biodiesel, natural gas) generators to minimize the use of temporary diesel power generators.
  - iii) During construction, the contractor shall minimize idling time to a maximum of 5 minutes for all diesel powered equipment.
  - iv) Traffic speeds on all unpaved road surfaces shall be posted at 15 mph or less.
  - iv) All grading operations shall be suspended when fugitive dust emissions exceed District Rule 228-Fugitive Dust limitations. The prime contractor shall be responsible for having an individual who is CARB-certified to perform Visible Emissions Evaluations (VEE). This individual shall evaluate compliance with Rule 228 on a weekly basis.
  - vi) Fugitive dust emissions shall not exceed 40% opacity and shall not go beyond the property boundary at any time. If lime or other drying agents are utilized to dry out wet grading areas, the developer shall ensure such agents are controlled so as not to exceed District Rule 228-Fugitive Dust limitations.

- vii) The prime contractor shall be responsible for keeping adjacent public thoroughfares clean of silt, dirt, mud, and debris, and shall “wet broom” the streets (or use another method to control dust as approved by the individual jurisdiction) if silt, dirt mud or debris is carried over to adjacent public thoroughfares.
- viii) The prime contractor shall suspend all grading operations when wind speeds (including instantaneous gusts) are excessive and dust is impacting adjacent properties.
- ix) The contractor shall apply water or use other method to control dust impacts offsite. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
- x) All construction equipment shall be maintained in clean condition.
- xi) Chemical soil stabilizers, vegetative mats, or other appropriate best management practices, in accordance with manufacturers’ specifications, shall be applied to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).
- xii) All exposed surfaces shall be revegetated as quickly as feasible.
- xiii) If fill dirt is brought to or exported from the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
- xiv) Water shall be applied to control fugitive dust, as needed, to prevent impacts offsite. Operational water trucks shall be onsite to control fugitive dust. Construction vehicles leaving the site shall be cleaned to prevent dust, silt, mud, and dirt from being released or tracked off-site.
- xv) Processes that discharge 2 pounds per day or more of air contaminants, as defined by California State Health and Safety Code Section 39013, to the atmosphere may require a permit. Developers / Contractors should contact the PCAPCD prior to construction or use of equipment and obtain any necessary permits.
- xvi) In order to minimize wind driven dust during construction, the prime contractor shall apply methods such as surface

stabilization, establishment of a vegetative cover, paving, (or use another method to control dust as approved by the City).

- xvii) Construction equipment exhaust emissions shall not exceed Placer County APCD Rule 202 Visible Emission limitations. Operators of vehicles and equipment found to exceed opacity limits are to be immediately notified by APCD to cease operations and the equipment must be repaired within 72 hours.
- xviii) Open burning of any kind shall be prohibited. All removed vegetative material shall be either chipped on site or taken to an appropriate recycling site, or if a site is not available, a licensed disposal site.
- xix) Any diesel powered equipment used during project construction shall be Air Resources Board (ARB) certified.

5. Special Provisions/Subdivision Design

- a. Prior to recordation of a final map or issuance of improvement plans the subdivider shall provide documentation verifying that all applicable utilities have approved the reduced Public Utility Easements (PUE) indicated on Exhibit A. Failure to obtain said approvals will require modification of the tentative subdivision map. (PLANNING, ENGINEERING)
- b. To comply with Rocklin Municipal Code Chapter 15.16 (Flood Hazard), the final map shall provide for the following: (ENGINEERING)
  - i) Delineation of the 100-year floodplain elevation(s);
  - ii) Identification of a finish floor elevation of each lot at two (2) feet above the 100-year floodplain elevation;
  - iii) Recordation of a flood zone easement across the area of the 100-year floodplain boundary or fifty (50) feet from center line; whichever is greater.
- c. Prior to the approval of improvement plans or the recordation of the final map, the following conditions shall be satisfied, to the satisfaction of the South Placer Municipal Utility District (SPMUD): (ENGINEERING, SPMUD)
  - i) An additional easement that extends from the limits of the existing sewer easement along the south boundary of the project

site westerly to the adjacent property line shall be granted to SPMUD.

- ii) All-weather access shall be provided over SPMUD's existing sewer lines per SPMUD's Standards and Specifications: a 12 foot wide AC access road (3 inches of AC on 8 inches of AB) with 2 foot shoulders (11 inches of AB). Additional paving shall be required in areas where the manholes are located outside of the all-weather access area.
- iii) There shall be no grading within the SPMUD existing sewer easements without prior written approval by SPMUD. If grading is approved within the easement(s) existing manholes shall be adjusted to grade per SPMUD Standards and Specifications.

6. Improvements in the Public Right-of-Way

The applicant shall obtain an encroachment permit for all improvements within the public right-of-way. Applicant shall post a performance bond and labor and materials payment bond (or other equivalent financial security) in the amount of 100% of the cost of the improvements to be constructed in the public right-of-way as improvement security to ensure the faithful performance of all duties and obligations required of applicant in the construction of the improvements. Such improvement security shall be in a form acceptable to the City Attorney. Such security shall be either a corporate surety bond, a letter of credit, or other instrument of credit issued by a banking institution subject to regulation by the State or Federal government and pledging that the funds necessary to carry out this Agreement are on deposit and guaranteed for payment, or a cash deposit made either directly with the City or deposited with a recognized escrow agent for the benefit of the City. (PUBLIC WORKS)

7. Landscaping Maintenance Agreement

Prior to approval of a final map the subdivider shall enter into an agreement with the City of Rocklin providing for the maintenance of landscaping within the public right-of-way along Dominguez Way. The agreement shall stipulate that the applicant/subdivider shall maintain the irrigation system and all plant materials. The agreement shall also indemnify the City against claims arising from developer's activities and shall be recorded and binding on successors in interest of the developer.



8. Parks

- a. Park fees shall be paid as required by Rocklin Municipal Code Chapter 17.71 and Chapter 16.28. The current amount of the fee per dwelling unit is \$1,985 per dwelling unit. (ENGINEERING)
- b. Community Park Fees shall be paid as required by City Council Resolution #99-82. The amount of the fee per dwelling unit is currently \$569 / dwelling unit. (BUILDING)

9. Riparian Area and Creek Protection

An open space and conservation easement (as described in Government Code section 51070, et seq.) shall be recorded over that portion of the subdivision described as follows for purposes of riparian area and creek protection:

That portion of Lot H as shown in Exhibit A, located south of the SPMUD access road and easement.

The easement shall be in substantial compliance with the City's form Grant Of Open Space And Conservation Easement, and shall prohibit, among other things, grading, removal of native or mitigation vegetation, deposit of any type of debris, lawn clippings, chemicals, or trash, and the building of any structures, including fencing, except for a post and cable fence as required in Condition 4.g.i)2) above and signage required below, provided that native vegetation may be removed as necessary for flood control and protection pursuant to a permit issued by the California Department of Fish and Wildlife.

Open space signage shall be installed in locations within Lot H, to the satisfaction of the Environmental Services Manager. (ENVIRONMENTAL SERVICES, ENGINEERING)

10. Open Space -- Common Areas -- Maintenance

Prior to or concurrently with the recordation of the final map, the subdivider shall provide for the ownership and maintenance of those portions of the project to be commonly owned and / or maintained by the residents of the subdivision as specified herein through formation of a homeowner's association. The documents creating the homeowner's association shall meet the following requirements and minimum provisions: (ENGINEERING, CITY ATTORNEY)

- a. Lots C, D, E, F, G, H and I of the subdivision shall be common areas jointly owned and maintained by the residents of the subdivision.

- b. Assignment to the homeowner's association responsibility for the maintenance of common areas and commonly maintained areas including but not limited to structures, landscaping, private utility services, outdoor lighting, recreational facilities, detention and drainage facilities, and decorative no parking signs.
- c. Assignment to the homeowner's association responsibility to monitor and report to the Economic and Community Development Director on activities and violations of any of these conditions, easement restriction, or any other ordinance, rule or regulation of the City occurring within the common areas.
- d. A statement that the City may, at its option, cause the maintenance responsibilities set forth in the documents creating the homeowner's association to be performed and assess (lien) the cost to the homeowner's association in the event the project is not maintained in accordance with the approved plans. (RMC §17.60.040)
- e. A statement expressly prohibiting modification or deletion of any portion of the homeowner's association documents which specifically address City conditions of approval, City requirements, or termination of the HOA in its entirety, without the express written consent of the City.
- f. The documents creating the homeowner's association shall specifically include the following condition(s) for enforcement by the homeowner's association:
  - i) A "parking enforcement plan" that includes guarantees, to the satisfaction of the Economic and Community Development Director, that the garages shall be used for the parking of automobiles; and ensures that roll-up garage doors, with automatic garage door openers are used throughout the project.
- g. A use permit shall be required for any development, including fencing and landscaping, within the common areas. Notice of this requirement shall be recorded by separate instrument with the final map.
- h. A notice shall be included in the subdivision's CC&R, and recorded by separate instrument with the final map, stating that individual lot and building design shall be subject to City approved design guidelines available from the City of Rocklin Department of Community Development.

11. Reciprocal Easements

To facilitate the function of the EVA in Lot I, a reciprocal access easement, or its legal equivalent in a form acceptable to the City Attorney, shall be recorded over Lot I to provide for reciprocal access between the subdivision and APN 045-021-049 concurrent with the recording of the final map. (CITY ATTORNEY, ENGINEERING)

12. Greenhouse Gas Emissions

Prior to the issuance of any building permits, the applicant shall:

- a. Hire a qualified energy consultant to verify the total achieved GHG emissions reductions based firstly on the application of on-site measures to the extent feasible, and secondarily on the purchase of offsets/carbon credits. For purposes of calculating GHG emission reductions, the mitigation requirement of 375 MTCO<sub>2</sub>e/year is equivalent to 1,646, MWh/year of electricity for a project with no hearths and 2,830 MWh/year of electricity for a project with hearths;
- b. If the purchase of offsets/carbon credits is determined to be necessary after implementation of all feasible on-site measures, the applicant shall provide evidence to the City of Rocklin Environmental Services Division that they have obtained, or entered into an agreement to obtain, carbon credits in the amount necessary to achieve a total GHG emissions reduction of 375 MTCO<sub>2</sub>e/year through the use of on-site measures and purchase of carbon credits. Evidence shall consist of documentation from a PCAPCD-approved, third-party verifier that the carbon credits have been obtained and meet CARB and PCAPD's requirements, and
- c. A report of the selected on-site measures and their total achieved GHG emissions reductions as well as documentation of any necessary purchase of offsets/carbon credits shall be submitted to the City of Rocklin Environmental Services Division as a part of the Title 24 Compliance Report process to document a GHG emissions reduction of 375 MTCO<sub>2</sub>e/year. All building/site plans submitted during the Title 24 compliance process shall incorporate the selected on-site measures as appropriate. {VII.1} (BUILDING, ENVIRONMENTAL SERVICES)

13. Public Art Installation

- a. Prior to issuance of a Certificate of Occupancy, the applicant/developer shall obtain the approval of the Recreation, Arts and Tourism Commission for the proposed public art installation adjacent to APN

045-021-045 at Dominguez Road, or approved alternative installation, and complete the installation.

- b. Improvement plans shall reflect the location of the public art as approved by the Recreation, Arts and Tourism Commission, three scenic panels on the sound wall adjacent to APN 045-021-045 at Dominguez Road in substantial conformance with Exhibit A, or an approved alternative installation.
- c. Illumination of the public art, if any, shall be mounted in-ground (flush) and/or shielded so that the light source and any glare is shielded from Dominguez Road and so that the light is projected onto the art elements only.

14. Phasing

Multiple final maps may be recorded subject to the filing of a Phasing Plan, to the satisfaction of the City Engineer. (ENGINEERING, PLANNING)

15. Monitoring

Prior to recording of the first final map or any grading on the property, the subdivider shall deposit with the City of Rocklin the current fee to pay for the City's time and material cost to administer the Mitigation Monitoring Program. The Community Development Director shall determine if and when additional deposits must be paid for administering the Mitigation Monitoring Program, including additional deposits on subsequent phase final maps. These amounts shall be paid prior to recording subsequent final maps on this project. (ENGINEERING)

16. Indemnification and Duty to Defend

Within 30 days of approval of this entitlement by the City, the subdivider shall execute an Indemnity Agreement, approved by the City Attorney's Office, to indemnify, defend, reimburse, and hold harmless the City of Rocklin and its agents, officers and employees from any claim, action, or proceeding against the City of Rocklin to set aside, void or annul an approval of the entitlement by the City's planning commission or City Council, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the applicant of any such claim, action or proceeding, and the City will cooperate in the defense of the claim, action or proceeding. Unless waived by the City, no further processing, permitting, implementation, plan checking or inspections related to the subdivision or parcel map shall be

performed by the City if the Indemnity Agreement has not been fully executed within 30 days. (CITY ATTORNEY)

17. Validity

- a. All portions of this entitlement for which a final map has not been recorded shall expire two years from the date of approval unless prior to that date a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent General Plan Amendment (GPA2016-0004), Rezone (Z2016-0002), General Development Plan (PDG2016-0004, and Design Review (FR2016-0009) have been approved. (PLANNING)

PASSED AND ADOPTED this 15<sup>th</sup> day of August, 2017, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

\_\_\_\_\_  
Chairman

ATTEST:

\_\_\_\_\_  
Secretary

P:\PUBLIC PLANNING FILES\\_\_ PROJECT FILES\Sierra Pine Subdivision\Meeting Packets\PC 8-15-17\05 Sierra Pine PC Reso SD2016-0009-TRE2017-0006 - final.doc

EXHIBIT A

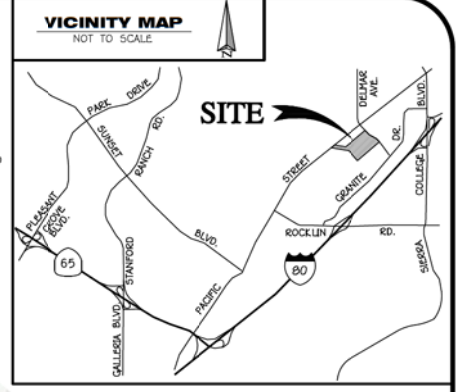
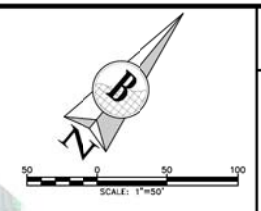
Sierra Pine Tentative Subdivision Map (SD2016-0005/TRE2017-0006)

Available at the Economic & Community Development Department, Planning Division

PRELIMINARY SITE PLAN EXHIBIT FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

CALIFORNIA



- SHEET INDEX**
1. PRELIMINARY SITE PLAN EXHIBIT
  2. TENTATIVE SUBDIVISION MAP EXHIBIT
  3. TENTATIVE SUBDIVISION MAP EXHIBIT
  4. TENTATIVE SUBDIVISION MAP EXHIBIT
  5. TENTATIVE SUBDIVISION MAP EXHIBIT
  6. TENTATIVE SUBDIVISION MAP EXHIBIT
  7. EASEMENT EXHIBIT
  8. PRELIMINARY PARKING AND TRASH EXHIBIT
  9. PRELIMINARY GRADING AND UTILITY PLAN
  10. PRELIMINARY GRADING AND UTILITY PLAN
  11. PRELIMINARY GRADING AND UTILITY PLAN
  12. PRELIMINARY GRADING AND UTILITY PLAN

- LANDSCAPE INDEX**
- LP1. PRELIMINARY LANDSCAPE PLAN
  - LP2. FENCING PLAN
  - LP3. LANDSCAPE ENLARGEMENTS
  - PL4. PROJECT ENTRY MONUMENT (PUBLIC ART)
  - PL4.1. PROJECT ENTRIES AND MONUMENT
  - PL5. PROPOSED PUBLIC ART WALL
  - PL6. PROPOSED TYPICAL DEVELOPMENT STREET VIEWS
  - PL7. PROPOSED COMMON AREA AMENITIES
  - PL8. SCHEMATIC SITE PLAN - LOT H
  22. PROJECT PLAN LIGHTING LAYOUT - PHOTOMETRIC ANALYSIS

**EXHIBIT A**  
**SD2016-0009**

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Agenda Item #8.d.

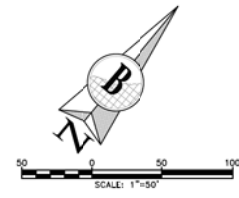
PRELIMINARY SITE PLAN EXHIBIT FOR:  
**SIERRA PINE**  
 SHEET 1 OF 22  
 JUNE 22, 2017

**B** BURRELL CONSULTING GROUP, INC.  
 1001 Enterprise Way, Suite 100 Roseville, CA 95678 (916) 783-8895

TENTATIVE SUBDIVISION MAP EXHIBIT FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

CALIFORNIA



DENSITY	CORNER	
	MAX. SIZE	INTERIOR
MIN. SIZE	4,581 SQ. FT.	5,451 SQ. FT.
AVER. SIZE	2,986 SQ. FT.	2,700 SQ. FT.
	3,784 SQ. FT.	4,075 SQ. FT.

**PHASING**  
FINAL PHASING MAY OCCUR IN PHASES. MULTIPLE FINAL MAPS MAY BE RECORDED BASED ON THIS TENTATIVE MAP.

**GENERAL NOTES**

ASSESSORS PARCEL NUMBER: 045-021-050  
 EXISTING GENERAL PLAN: HL, HDR, AND MU  
 PROPOSED GENERAL PLAN: M-2  
 EXISTING ZONING: PD-B  
 PROPOSED ZONING: MANUFACTURING RESIDENTIAL  
 EXISTING LAND USE:  
 PROPOSED USE:  
 OWNER: SIERRAPINE LTD.  
 1050 MELODY LANE, SUITE 160  
 ROSELVILLE, CA 95678  
 ATTN: JEFF JOHNSON  
 TEL: (916) 677-4460  
 DEVELOPER/APPLICANT: LEWIS PLANNED COMMUNITIES  
 9216 KIEFER BOULEVARD  
 SACRAMENTO, CA 95826  
 ATTN: PHIL RODRIGUEZ  
 TEL: (916) 363-2617 EXT. 228  
 ENGINEER: BURRELL CONSULTING GROUP, INC.  
 1001 ENTERPRISE WAY,  
 ROSELVILLE, CA 95678  
 TEL: (916) 783-8898

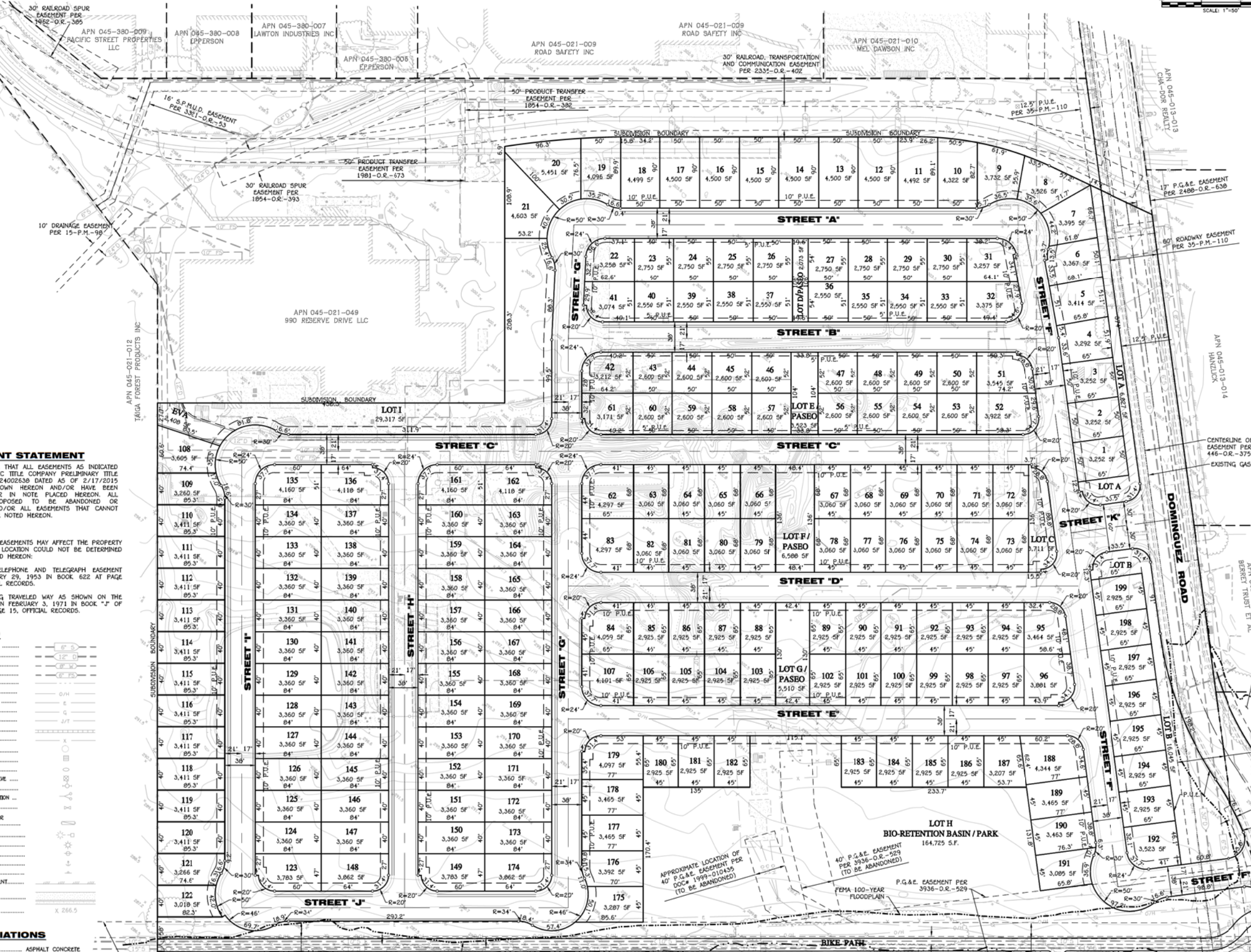
UTILITY DISTRICTS:  
 SEWER: SOUTH PLACER MUNICIPAL UTILITY DISTRICT  
 ELECTRIC: PACIFIC GAS AND ELECTRIC  
 GAS: PACIFIC GAS AND ELECTRIC  
 TELEPHONE: AT&T  
 DRAINAGE: CITY OF ROCKLIN  
 WATER: PLACER COUNTY WATER AGENCY  
 LAND AREA: 28.174 ACRES GROSS  
 26.434 ACRES NET  
 NUMBER OF EXISTING: 1  
 NUMBER OF PROPOSED: 199 SINGLE FAMILY RESIDENTIAL  
 4 PASSEO (D, E, F & G)  
 4 LANDSCAPE (A, B, C & D)  
 1 DETENTION BASIN/PARK (H)  
 9 COMMON SPACE

**BENCHMARK**  
 ELEVATION = 293.93' DATUM = NGVD 29  
 CITY OF ROCKLIN BENCHMARK R1-7  
 FK & WASHER IN THE SOUTHERLY END OF HEADWALL ON THE  
 SOUTHWESTERLY SIDE OF DOMINGUEZ ROAD OVER SUCKER CREEK.

**SURVEYORS STATEMENT**  
 PREPARED UNDER THE DIRECTION OF:  
 JIM C. KOO PLS 7829  
 EXP. DATE: DEC. 31, 2018

DATE: TENTATIVE SUBDIVISION MAP EXHIBIT FOR:  
**SIERRA PINE**  
 SHEET 2 OF 22  
 JUNE 22, 2017

**BURRELL CONSULTING GROUP, INC.**  
 1001 Enterprise Way, Suite 100 Roselville, CA 95678 (916) 783-8898  
 JOB NO: 1939-00-0001



**EASEMENT STATEMENT**  
 I HEREBY STATE THAT ALL EASEMENTS AS INDICATED IN OLD REPUBLIC TITLE COMPANY PRELIMINARY TITLE REPORT NO. 2124002638 DATED AS OF 2/17/2015 HAVE BEEN SHOWN HEREON AND/OR HAVE BEEN ACCOUNTED FOR IN NOTE PLACED HEREON. ALL EASEMENTS PROPOSED TO BE ABANDONED OR OUTLINED AND/OR ALL EASEMENTS THAT CANNOT BE LOCATED ARE NOTED HEREON.

**NOTE:**  
 THE FOLLOWING EASEMENTS MAY AFFECT THE PROPERTY BUT ITS EXACT LOCATION COULD NOT BE DETERMINED AND IS NOT PTD HEREON:  
 1. PACIFIC TELEPHONE AND TELEGRAPH EASEMENT FILED JANUARY 29, 1953 IN BOOK 622 AT PAGE 240, OFFICIAL RECORDS.  
 2. AN EXISTING TRAVELED WAY AS SHOWN ON THE MAP FILED ON FEBRUARY 3, 1971 IN BOOK "J" OF MAPS AT PAGE 15, OFFICIAL RECORDS.

**LEGEND**

.....	SANITARY SEWER
.....	STORM DRAIN
.....	WATER MAIN
.....	FIRE SERVICE
.....	FLOW LINE
.....	OVERHEAD LINE
.....	ELECTRICAL LINE
.....	GAS LINE
.....	JOINT TRENCH
.....	WALL
.....	EXISTING FENCE
.....	MANHOLE
.....	DRAIN INLET
.....	CLEANOUT
.....	POST INDICATOR VALVE
.....	FIRE HYDRANT
.....	FIRE DEPT. CONNECTION
.....	WATER VALVE
.....	DOUBLE DETECTOR
.....	CHECK VALVE
.....	STREET LIGHT
.....	LIGHT
.....	UTILITY POLE
.....	GRY WIRE
.....	SEIN
.....	EDGE OF PAVEMENT
.....	SIDEWALK, CURB
.....	AND GUTTER
.....	SPOT ELEVATION

**ABBREVIATIONS**

AC	ASPHALT CONCRETE
EX	EXISTING
EVLT	ELECTRIC VAULT
NTS	NOT TO SCALE
(P)	PROPOSED
P.U.E.	PUBLIC UTILITY EASEMENT

Packet Pg. 320

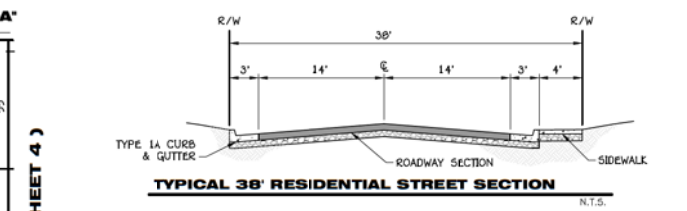
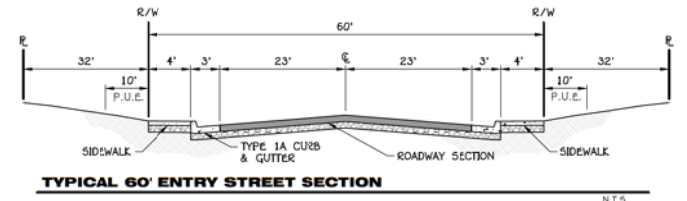
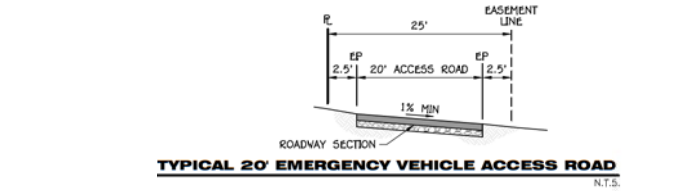
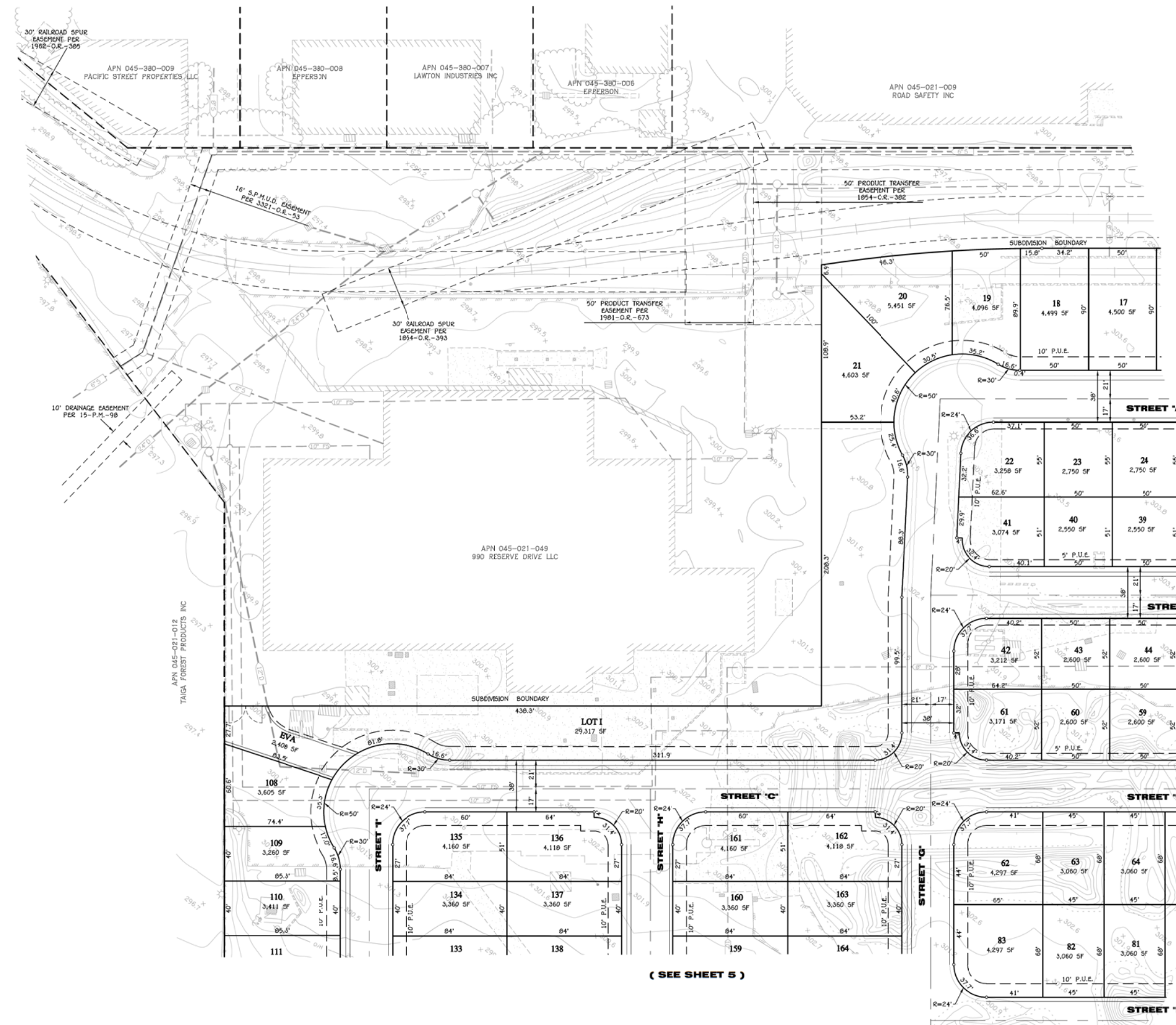
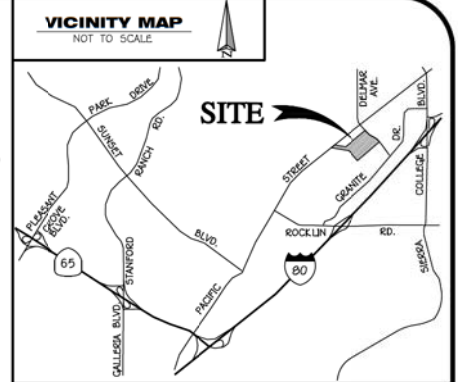
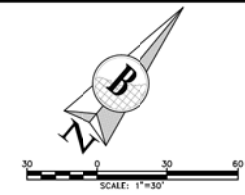
Agenda Item #8.d.



TENTATIVE SUBDIVISION MAP EXHIBIT FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

CALIFORNIA



**LEGEND**

SANITARY SEWER	-----	6" S
STORM DRAIN	-----	18" S
WATER MAIN	-----	8" M
FIRE SERVICE	-----	8" F
FLOW LINE	-----	6" FL
OVERHEAD LINE	-----	O/H
ELECTRICAL LINE	-----	E
GAS LINE	-----	G
JOINT TRENCH	-----	J/T
WALL	-----	W
EXISTING FENCE	-----	E/F
MANHOLE	-----	M
DRAIN INLET	-----	D/I
CLEANOUT	-----	C/O
POST INDICATOR VALVE	-----	P/I/V
FIRE HYDRANT	-----	F/H
FIRE DEPT. CONNECTION	-----	F/D/C
WATER VALVE	-----	W/V
DOUBLE DETECTOR CHECK VALVE	-----	D/D/C/V
STREET LIGHT	-----	S/L
LIGHT	-----	L
UTILITY POLE	-----	U/P
GUY WIRE	-----	G/W
SEGN	-----	S
EDGE OF PAVEMENT	-----	E/P
SEWALVE, CURB AND GUTTER	-----	S/C/G
SPOT ELEVATION	-----	X 266.5

(SEE SHEET 5)

(SEE SHEET 4)

TENTATIVE SUBDIVISION MAP EXHIBIT FOR:  
**SIERRA PINE**  
SHEET 3 OF 22  
JUNE 22, 2017

**B** BURRELL CONSULTING GROUP, INC.  
1001 Enterprise Way, Suite 100 Roseville, CA 95678 (916) 783-8896  
JOB NO: 1939-00-0001

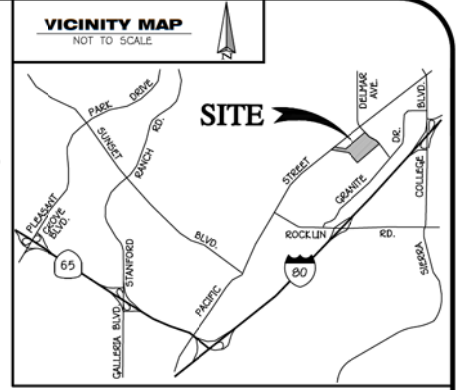
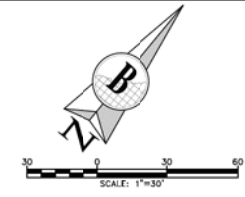
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Agenda Item #8.d.

TENTATIVE SUBDIVISION MAP EXHIBIT FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

CALIFORNIA



(SEE SHEET 3)

(SEE SHEET 6)

**LEGEND**

- SANITARY SEWER
- STORM DRAIN
- WATER MAIN
- FIRE SERVICE
- FLOW LINE
- OVERHEAD LINE
- ELECTRICAL LINE
- GAS LINE
- JOINT TRENCH
- WALL
- EXISTING FENCE
- MANHOLE
- DRAIN INLET
- CLEANOUT
- POST INDICATOR VALVE
- FIRE HYDRANT
- FIRE DEPT. CONNECTION
- WATER VALVE
- DOUBLE DETECTOR
- CHECK VALVE
- STREET LIGHT
- LIGHT
- UTILITY POLE
- GUY WIRE
- SEGN
- EDGE OF PAVEMENT
- SIDEWALK, CURB AND GUTTER
- SPOT ELEVATION

TENTATIVE SUBDIVISION MAP EXHIBIT FOR:  
**SIERRA PINE**  
SHEET 4 OF 22  
JUNE 22, 2017



JOB NO: 1939-00-0001

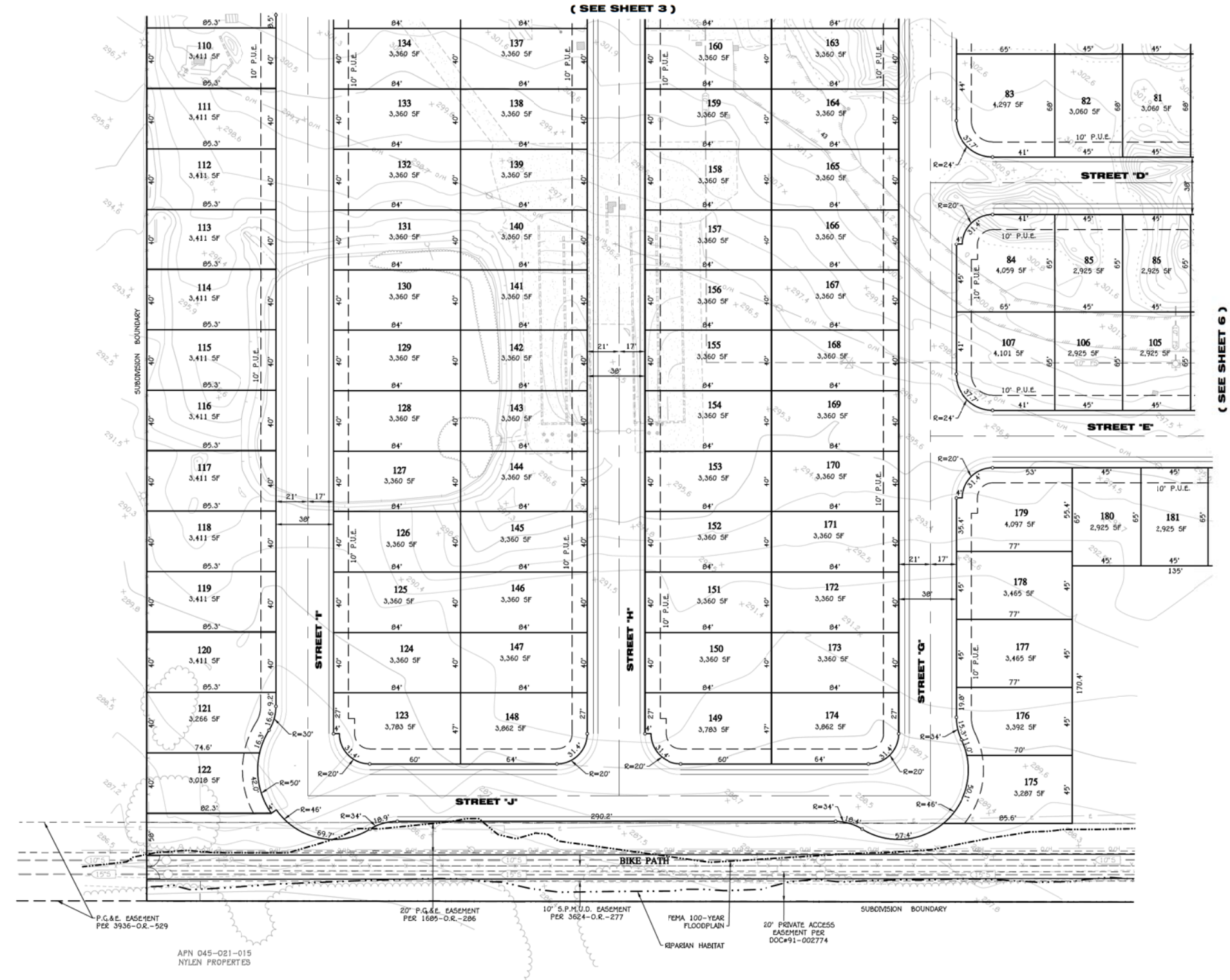
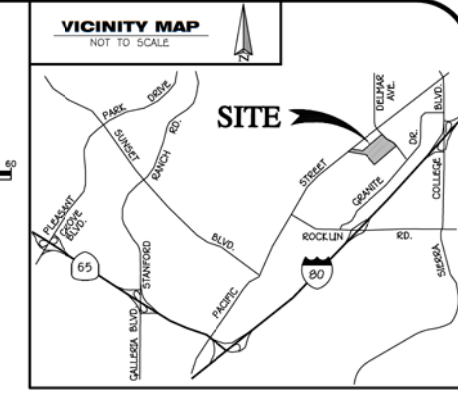
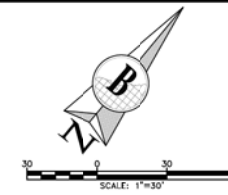
Packet Pg. 322

Agenda Item #8.d.

TENTATIVE SUBDIVISION MAP EXHIBIT FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

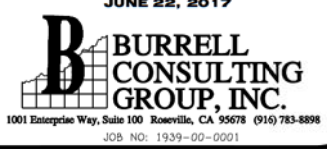
CALIFORNIA



**LEGEND**

SANITARY SEWER	6" S
STORM DRAIN	12" S
WATER MAIN	8" S
FIRE SERVICE	8" S
FLOW LINE	12" S
OVERHEAD LINE	0/18
ELECTRICAL LINE	1/18
GAS LINE	1/18
JOINT TRENCH	1/18
WALL	1/18
EXISTING FENCE	1/18
MANHOLE	1/18
DRAIN INLET	1/18
CLEANOUT	1/18
POST INDICATOR VALVE	1/18
FIRE HYDRANT	1/18
FIRE DEPT. CONNECTION	1/18
WATER VALVE	1/18
DOUBLE DETECTOR	1/18
CHECK VALVE	1/18
STREET LIGHT	1/18
LIGHT	1/18
UTILITY POLE	1/18
GUY WIRE	1/18
SIGN	1/18
EDGE OF PAVEMENT	1/18
SIDEWALK, CURB AND GUTTER	1/18
SPOT ELEVATION	X 256.5

TENTATIVE SUBDIVISION MAP EXHIBIT FOR:  
**SIERRA PINE**  
SHEET 5 OF 22  
JUNE 22, 2017



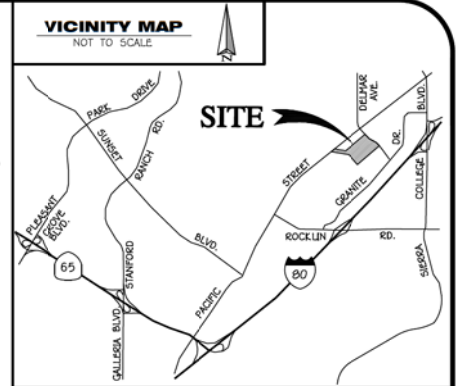
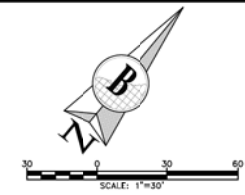
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Agenda Item #8.d.

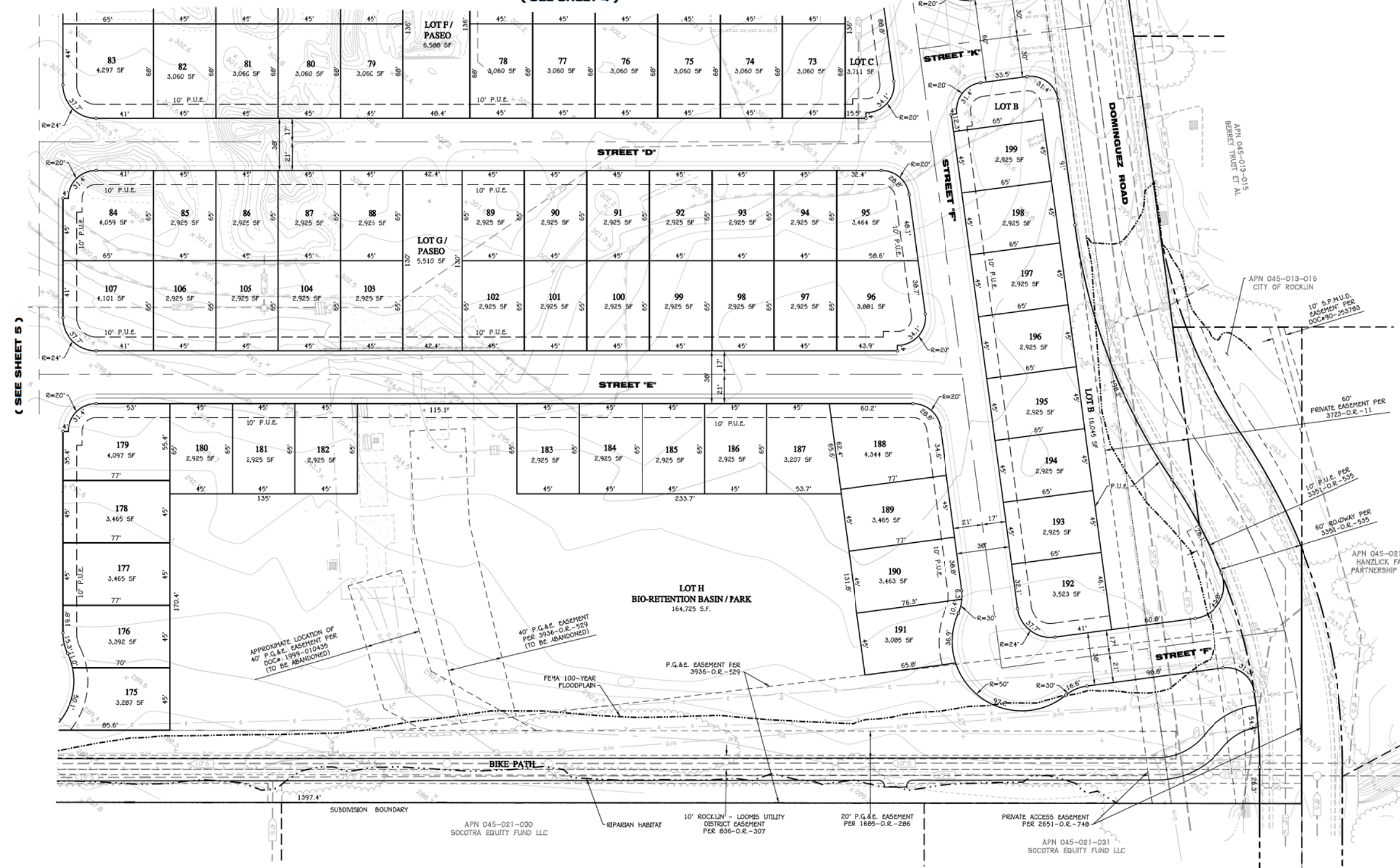
# SIERRA PINE

CITY OF ROCKLIN

CALIFORNIA



(SEE SHEET 4)

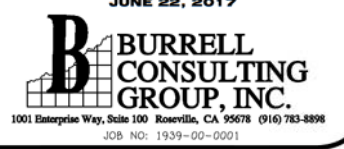


(SEE SHEET 5)

**LEGEND**

SANITARY SEWER	6" S
STORM DRAIN	12" D
WATER MAIN	24" D
FIRE SERVICE	6" S
FLOW LINE	6" S
OVERHEAD LINE	0" H
ELECTRICAL LINE	6" S
GAS LINE	6" S
JOINT TRENCH	6" S
WALL	1" T
EXISTING FENCE	1" T
MANHOLE	1" T
DRAIN INLET	1" T
CLEANOUT	1" T
POST INDICATOR VALVE	1" T
FIRE HYDRANT	1" T
FIRE DEPT. CONNECTION	1" T
WATER VALVE	1" T
DOUBLE DETECTOR	1" T
CHECK VALVE	1" T
STREET LIGHT	1" T
LIGHT	1" T
UTILITY POLE	1" T
GRUY WIRE	1" T
SIGN	1" T
EDGE OF PAVEMENT	1" T
SIDEWALK, CURB AND GUTTER	1" T
SPOT ELEVATION	1" T

TENTATIVE SUBDIVISION MAP EXHIBIT FOR:  
**SIERRA PINE**  
SHEET 6 OF 22  
JUNE 22, 2017



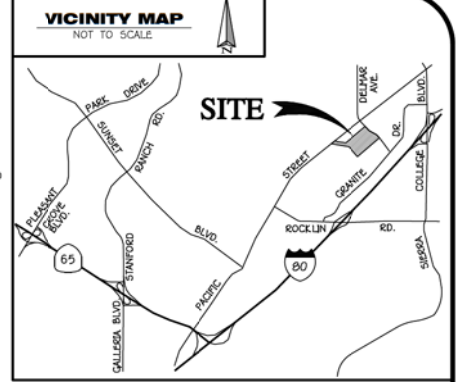
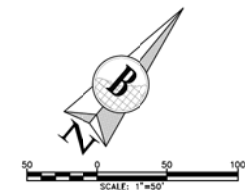
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Agenda Item #8.d.

RIPIARIAN HABITAT EXHIBIT FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

CALIFORNIA



APN 045-380-009 PACIFIC STREET PROPERTIES LLC  
APN 045-380-008 EPPERSON  
APN 045-380-007 LAWTON INDUSTRIES INC  
APN 045-380-005 EPPERSON

APN 045-021-009 ROAD SAFETY INC  
APN 045-021-010 MEL DAWSON INC

APN 045-021-049 990 RESERVE DRIVE LLC

APN 045-021-012 TAIGA FOREST PRODUCTS INC

APN 045-013-013 CHH-DOE REALTY  
APN 045-013-014 HANZLUCK

APN 045-013-015 BERRY TRUST ET AL

APN 045-021-045 HANZLUCK FAMILY PARTNERSHIP ET AL

APN 045-021-015 NYLEN PROPERTIES

APN 045-021-030 SOCOTRA EQUITY FUND LLC

APN 045-021-031 SOCOTRA EQUITY FUND LLC

RIPIARIAN HABITAT EXHIBIT FOR:  
**SIERRA PINE**  
SHEET 1 OF 1  
MAY 2, 2017



1001 Enterprise Way, Suite 100 Roseville, CA 95678 (916) 783-8898

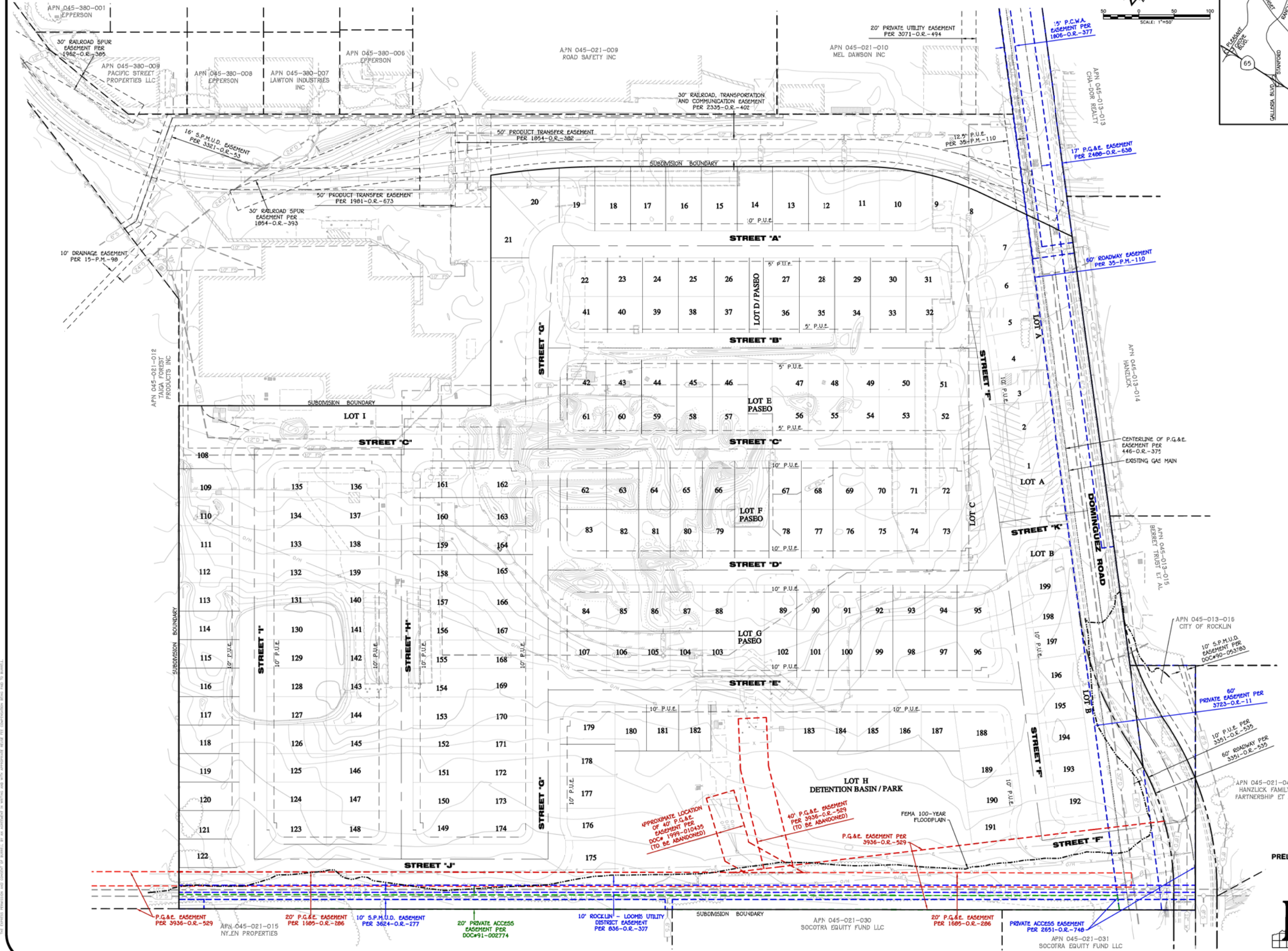
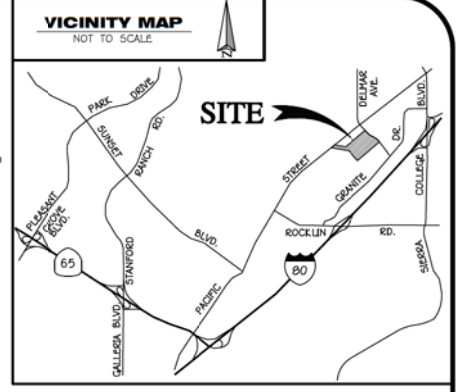
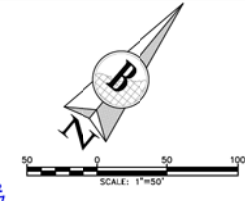
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Agenda Item #8.d.

PRELIMINARY EASEMENT EXHIBIT FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

CALIFORNIA



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Agenda Item #8.d.

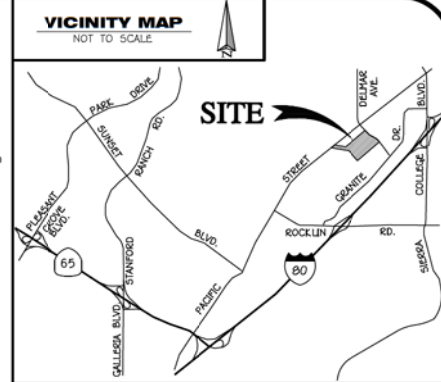
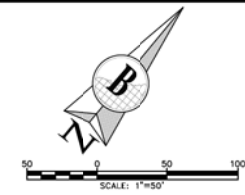
PRELIMINARY EASEMENT EXHIBIT FOR:  
**SIERRA PINE**  
SHEET 7 OF 22  
JUNE 22, 2017



# SIERRA PINE

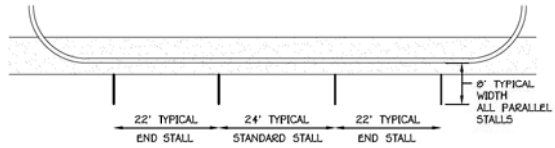
CITY OF ROCKLIN

CALIFORNIA



**LEGEND**

□□□ TRASH, GREEN WASTE, AND RECYCLABLES



**TYPICAL PARALLEL STALL DIMENSIONS\***

**\*NOTE:**  
PARKING AREAS HAVE BEEN DESIGNED IN CONFORMANCE WITH THE CITY OF ROCKLIN REQUIREMENTS.

**PARKING TABLE**

ITEM	PROPOSED SITE
UNITS	199
GUEST PARKING SPACES	124
DRIVEWAY PARKING SPACES	376
GARAGE PARKING SPACES	398
TOTAL PARKING	898
PARKING RATIO	4.5 / LOT

PRELIMINARY PARKING AND TRASH EXHIBIT FOR:  
**SIERRA PINE**  
SHEET 8 OF 22  
JUNE 22, 2017



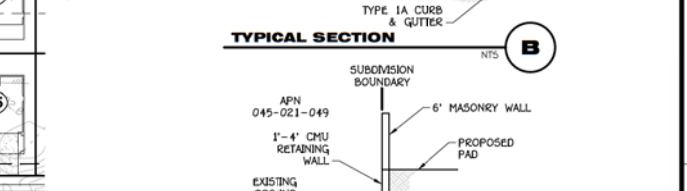
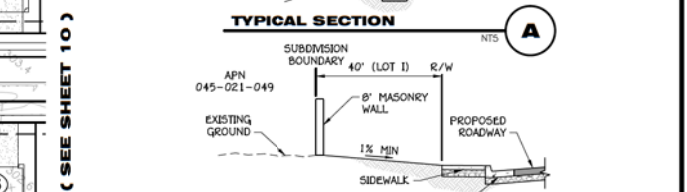
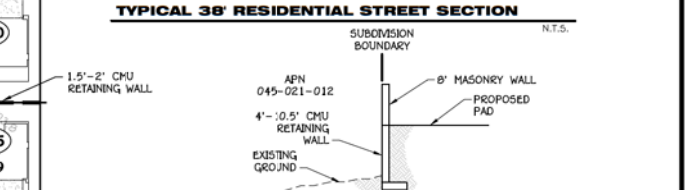
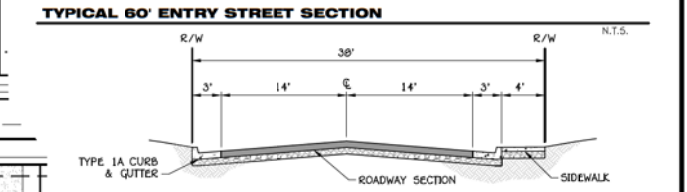
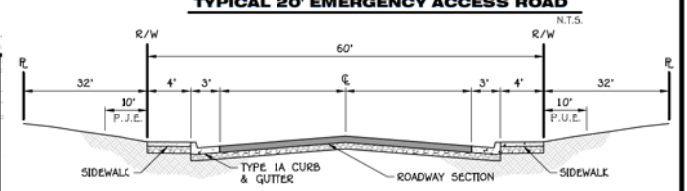
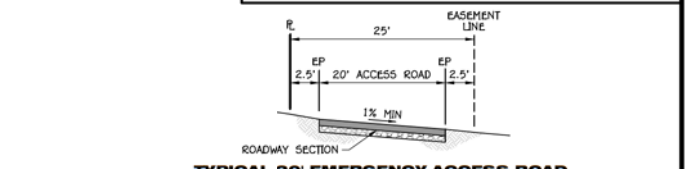
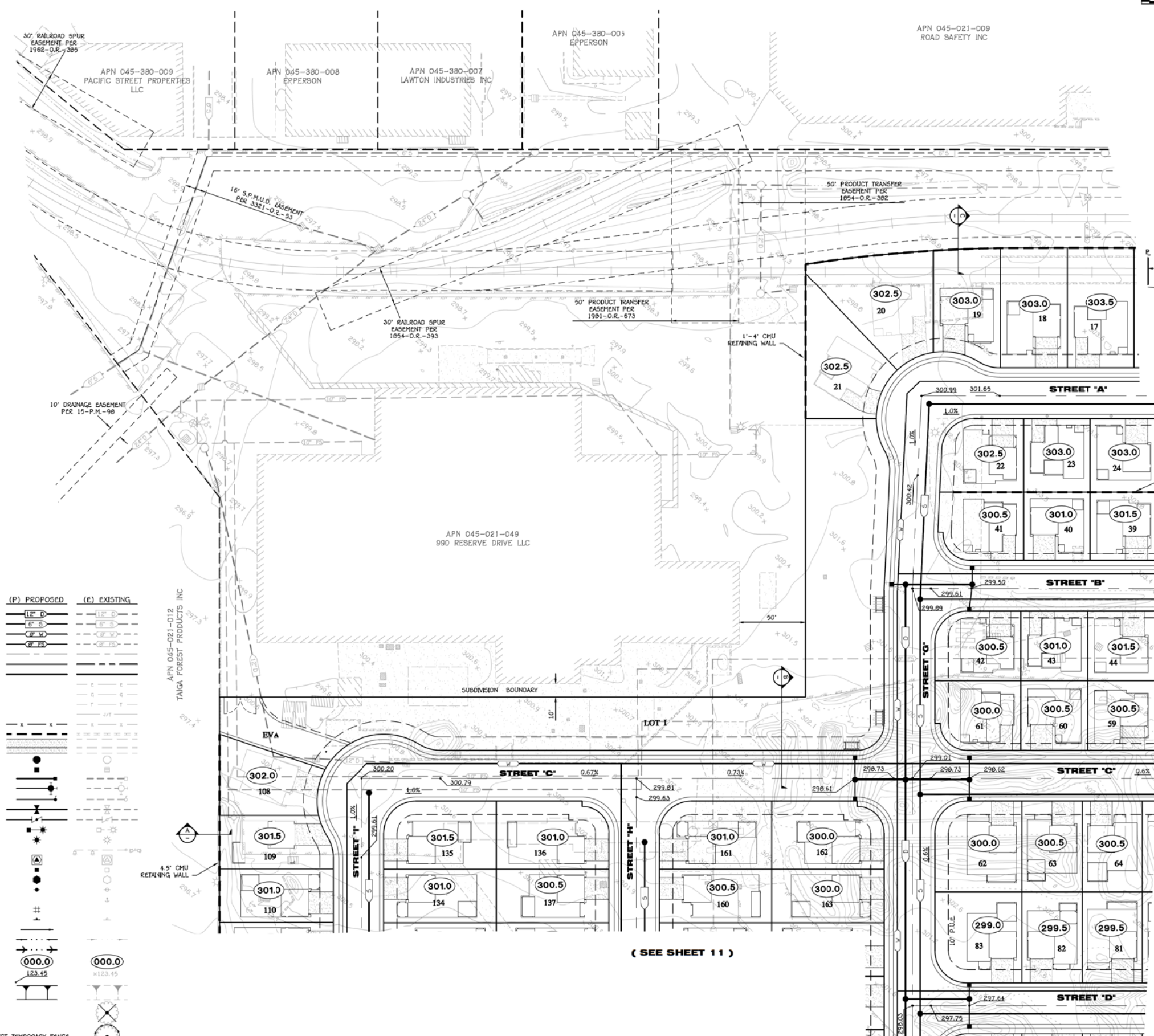
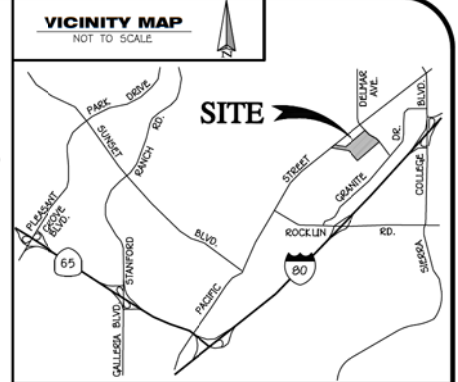
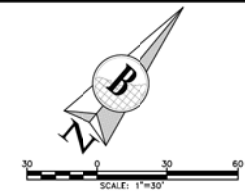
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Agenda Item #8.d.

PRELIMINARY GRADING AND UTILITY PLAN FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

CALIFORNIA



- NOTES:**
- THIS PRELIMINARY GRADING PLAN IS SCHEMATIC ONLY, AND IS INTENDED TO DEPICT THE PROPOSED GENERAL DRAINAGE CONCEPTS AND THE MAGNITUDE OF CUTS AND FILLS. THE FINISHED DESIGN MAY INCORPORATE MINOR REVISIONS DUE TO FINAL DESIGN CONSIDERATIONS.
  - ALL GRADES SHOWN HEREON ARE FINISHED SURFACE GRADES.
  - EXISTING ON SITE PRIVATE UTILITIES AND APPURTENANCES NOT PROPOSED TO BE UTILIZED BY THIS PROJECT ARE TO BE REMOVED PER THE CITY OF ROCKLIN STANDARDS.

**EARTHWORK SUMMARY**

I. RAW VOLUME CUT	= 75,000 CU. YDS.
II. RAW VOLUME FILL	= 75,000 CU. YDS.
III. TOTAL EXPORT	= 00 CU. YDS.

PRELIMINARY GRADING AND UTILITY PLAN FOR:  
**SIERRA PINE**  
SHEET 9 OF 22  
JUNE 22, 2017  
**BURRELL CONSULTING GROUP, INC.**  
1001 Enterprise Way, Suite 100, Roseville, CA 95678 (916) 783-8898

**LEGEND**

DESCRIPTIONS	(P) PROPOSED	(E) EXISTING
STORM DRAIN		
SANITARY SEWER		
WATER MAIN		
FIRE SERVICE		
CENTERLINE		
RIGHT OF WAY LINE		
BOUNDARY LINE		
ELECTRICAL LINE		
GAS LINE		
TELEPHONE LINE		
JOINT TRENCH		
FENCE		
WALL		
SIDEWALK WITH CURB AND GUTTER		
MANHOLE		
DRAIN INLET		
METERED WATER SERVICE		
FIRE HYDRANT		
BLOWOFF VALVE		
GATE VALVE		
BUTTERFLY VALVE		
TYPE 'A' STREET LIGHT		
TYPE 'B' STREET LIGHT		
TRAFFIC SIGNAL		
TRANSFORMER		
PULLBOX		
UTILITY SERVICE PEDESTAL		
UTILITY POLE		
GUY WIRE		
4 SIDED STREET SIGN		
SIGN		
DIRECTION OF FLOW		
FLOWLINE		
SWALE		
PAD ELEVATION		
ELEVATION		
2:1 SLOPE UNLESS NOTED OTHERWISE		
TREE TO BE REMOVED		
TREE TO REMAIN, CONSTRUCT TEMPORARY FENCE		

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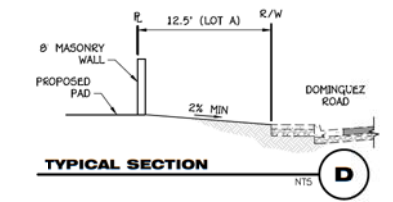
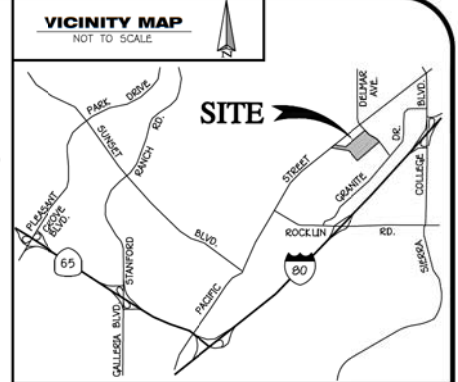
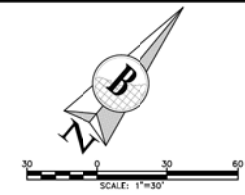
Agenda Item #8.d.



PRELIMINARY GRADING AND UTILITY PLAN FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

CALIFORNIA



(SEE SHEET 9)

(SEE SHEET 12)

PRELIMINARY GRADING AND UTILITY PLAN FOR:  
**SIERRA PINE**  
 SHEET 10 OF 22  
 JUNE 22, 2017



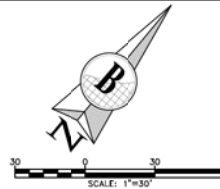
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Agenda Item #8.d.

# SIERRA PINE

CITY OF ROCKLIN

CALIFORNIA

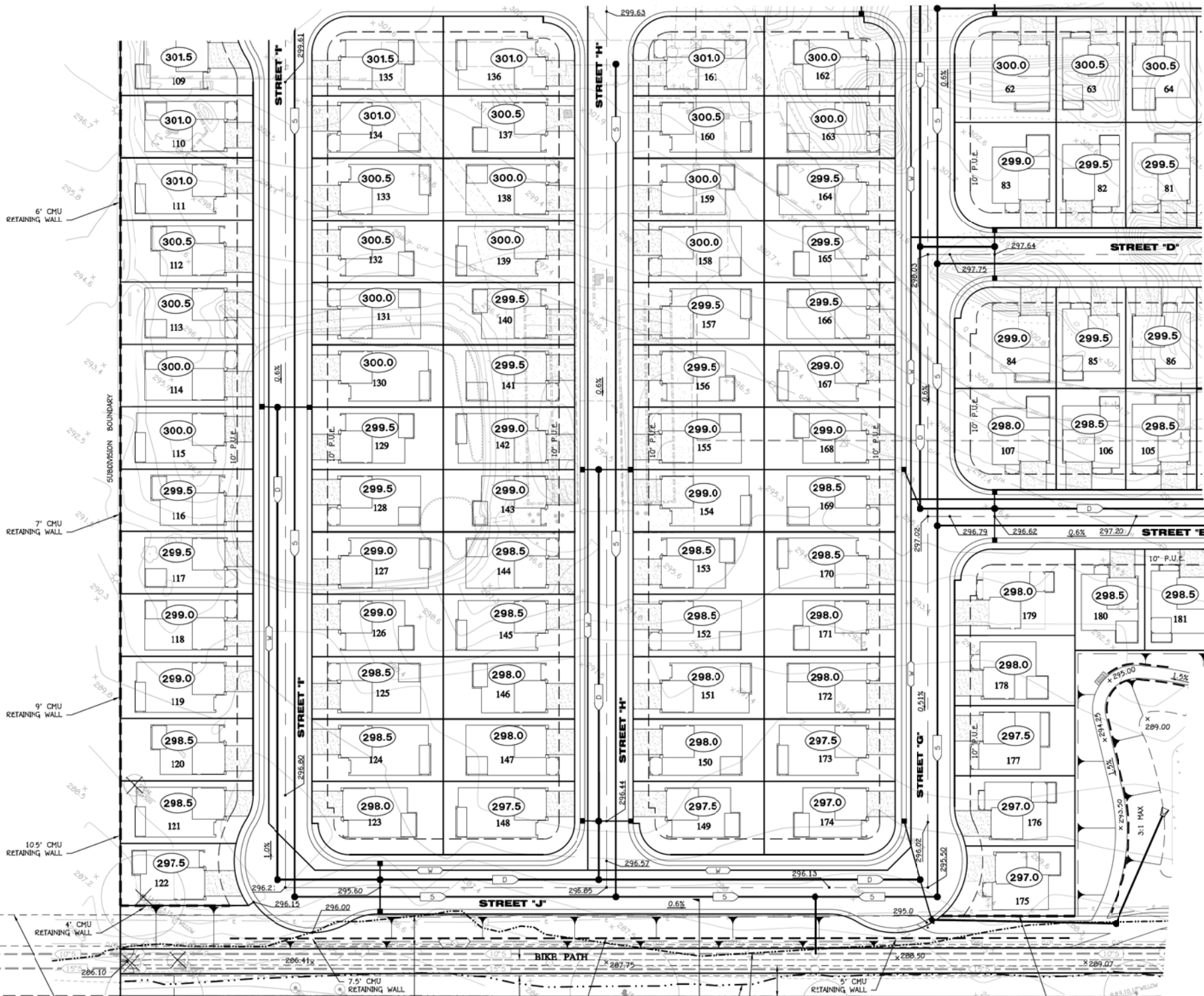


VICINITY MAP

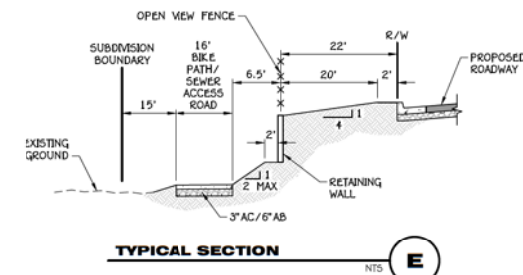
NOT TO SCALE



(SEE SHEET 9)



(SEE SHEET 12)



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Agenda Item #8.d.

PRELIMINARY GRADING AND UTILITY PLAN FOR:  
**SIERRA PINE**  
SHEET 11 OF 22  
JUNE 22, 2017

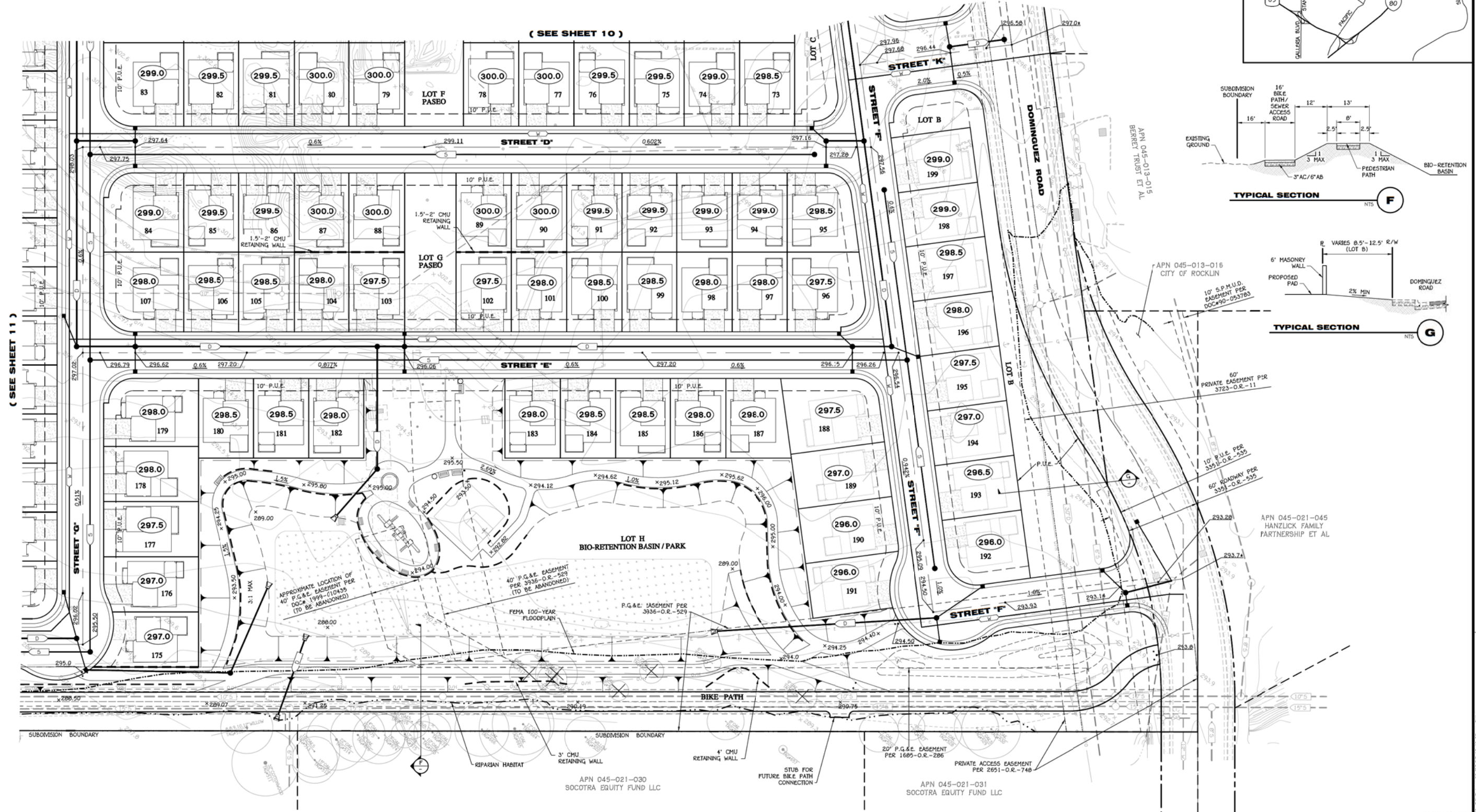
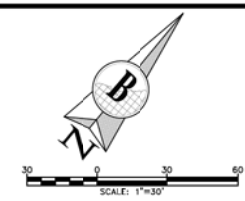


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# SIERRA PINE

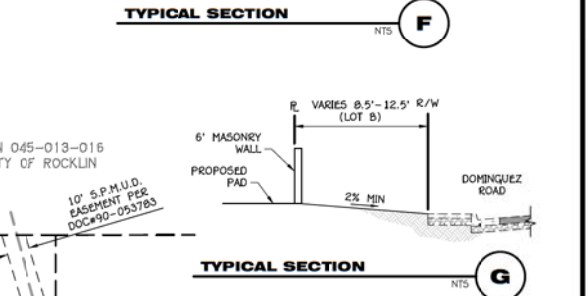
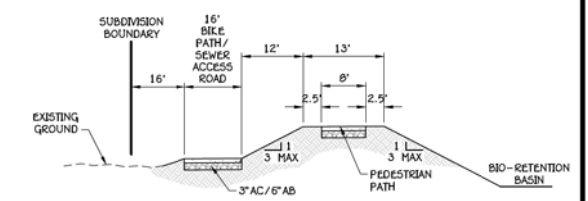
CITY OF ROCKLIN

CALIFORNIA



(SEE SHEET 11)

(SEE SHEET 10)



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Agenda Item #8.d.

PRELIMINARY GRADING AND UTILITY PLAN FOR:  
**SIERRA PINE**  
SHEET 12 OF 22  
JUNE 22, 2017



**FUHRMAN LEAMY LAND GROUP**  
**Sierra Pine Project Site**  
**Dominguez Road, City of Rocklin, California**  
**TREE REMOVAL/MITIGATION SUMMARY**

Tree #	COMMON NAME	MULTI-STEMS (inches)	TOTAL DBH (inches)	CONDITIONAL ASSESSMENT							RATING	REMOVAL	NOTABLE CHARACTERISTICS	MAINTENANCE RECOMMENDATIONS
				RT CR	TRUNK	LIMBS	FOLIAGE	STRUCTURE	VIGOR					
664	Valley Oak		17	Fair	Fair	Fair	Dormant	Fair	Fair	3	0	Slightly above average amount of deadwood.	None at this time.	
665	Valley Oak		24	Fair	Fair	Fair	Dormant	Fair	Fair	3	0	Slightly above average amount of deadwood.	None at this time.	
666	Interior Live Oak		15	Fair	Fair	Fair	Fair	Fair	Fair	3	0	Leans north; pruned for utility line clearance; slightly above average amount of deadwood.	None at this time.	
672	Valley Oak		11	Fair	Fair	Fair	Dormant	Fair	Fair	3	0	Slightly above average amount of deadwood.	None at this time.	
673	Valley Oak		10	Fair	Fair	Fair	Dormant	Fair	Fair	3	0	Slightly above average amount of deadwood.	None at this time.	
674	Valley Oak		13	Fair	Fair	Fair	Dormant	Fair	Fair	3	0	Slightly above average amount of deadwood.	None at this time.	
675	Valley Oak		14	Fair	Fair	Fair	Dormant	Fair	Fair	3	0	Bends north; slightly above average amount of deadwood.	None at this time.	
676	Valley Oak		16	Fair	Fair	Fair	Dormant	Fair	Fair	3	0	Slightly above average amount of deadwood.	None at this time.	
23500	Valley Oak		6	Poor to fair	Poor to fair	Fair	Dormant	Poor to fair	Fair	2	0	<b>Tag on south property fence.</b> Callusing lower trunk wound, east side, with no obvious decay; out of balance to the west; slightly above average amount of deadwood.	None at this time.	
23501	Valley Oak	4,5	5	Fair	Fair	Fair	Dormant	Fair	Fair	3	0	<b>Tag on south property fence.</b> Forks at grade; slightly above average amount of deadwood.	None at this time.	
23502	Pacific Willow	11,12,14,15,17	17	Poor to fair	Poor to fair	Fair	Fair	Poor to fair	Fair	2	0	Forks from grade to 2' above grade, with weak attachments; portions previously pruned for utility line clearance; above average amount of deadwood.	None at this time.	
23503	Valley Oak	5,5	5	Fair	Poor	Poor	Dormant	Poor	Fair	1	0	Previously cut 3.5' above grade.	<b>Recommended removal</b>	
23504	Pacific Willow	12,12,13,28	28	Ob	Poor to fair	Poor to fair	Dormant	Obscured	Fair	2	0	Root collar and lower trunk obscured by dense berry growth; some weak attachments observed; previously pruned for utility line clearance; above average amount of deadwood.	None at this time.	
23508	Pacific Willow	16,29,31	31	Poor	Poor to fair	Poor to fair	Dormant	Poor	Fair	1	0	Out of balance to the south; weak attachments; stress fractures obvious in one primary crotch; severely pruned for utility line clearance on the north side; above average amount of deadwood.	<b>Recommended removal</b>	
23509	Valley Oak		7	Fair	Fair	Fair	Dormant	Fair	Fair	3		Slightly above average amount of deadwood.	None at this time.	
23510	Pacific Willow	8,8,9,10,12	12	Fair	Fair	Fair	Fair	Fair	Fair	3		Forks from grade to 2' above grade, with weak attachments; slightly above average amount of deadwood.	None at this time.	
23511	Cottonwood		32	Fair	Fair	Fair	Dormant	Fair	Fair	3		Slightly above average amount of deadwood.	None at this time.	
23512	Valley Oak		15	Fair	Fair	Fair	Dormant	Fair	Fair	3		<b>AKA Tree 679</b> Slightly above average amount of deadwood.	None at this time.	

**FUHRMAN LEAMY LAND GROUP**  
**Sierra Pine Project Site**  
**Dominguez Road, City of Rocklin, California**  
**TREE REMOVAL/MITIGATION SUMMARY**

Tree #	COMMON NAME	MULTI-STEMS (inches)	TOTAL DBH (inches)	CONDITIONAL ASSESSMENT							RATING	REMOVAL	NOTABLE CHARACTERISTICS	MAINTENANCE RECOMMENDATIONS
				RT CR	TRUNK	LIMBS	FOLIAGE	STRUCTURE	VIGOR					
23513	Valley Oak		12	Fair	Fair	Fair	Dormant	Fair	Fair	3		<b>AKA Tree 678</b> Out of balance to the north; slightly above average amount of deadwood.	None at this time.	
23514	Valley Oak		22	Fair	Poor to fair	Poor to fair	Dormant	Poor to fair	Fair	2		Out of balance to the south; above average amount of deadwood.	None at this time.	
23515	Valley Oak		7	Fair	Fair	Fair	Dormant	Fair	Fair	3		Slightly above average amount of deadwood.	None at this time.	
23516	Valley Oak	5,5	5	Fair	Poor to fair	Poor to fair	Dormant	Poor to fair	Fair	2		Forks at grade; rubbing/grafting in two locations; out of balance to the north; slightly above average amount of deadwood.	None at this time.	
23517	Interior Live Oak	4,4,6	6	Fair	Fair	Fair	Fair	Fair	Fair	3	6	Forks at grade; out of balance to the north; pruned for utility line clearance.	None at this time.	
23518	Interior Live Oak	5,5,6	6	Fair	Fair	Fair	Fair	Fair	Fair	3	6	Slightly above average amount of deadwood; previously topped for utility line clearance.	None at this time.	
23519	Interior Live Oak	5,5,6,6	6	Fair	Poor	Poor	Fair	Poor	Fair	1	0	<b>Tag on branch 10' south of the tree.</b> Previously topped for utility line clearance.	<b>Recommended removal</b>	
23520	Pacific Willow		16	Ob	Ob	Fair	Dormant	Obscured	Fair	3		Root collar and lower trunk obscured by dense berries; out of balance to the north; previously pruned for utility line clearance; above average amount of deadwood.	None at this time.	
23521	Valley Oak		6	Fair	Fair	Fair	Dormant	Fair	Fair	3	6	Slightly above average amount of deadwood.	None at this time.	
23522	Valley Oak	6,7	7	Fair	Poor	Poor	Dormant	Poor	Fair	1	0	Previously topped at 3' above grade and then again at 6' above grade for utility line clearance.	<b>Recommended removal</b>	
23523	Valley Oak		6	Fair	Fair	Fair	Dormant	Fair	Fair	3		Slightly above average amount of deadwood.	None at this time.	
23524	Valley Oak		8	Fair	Fair	Fair	Dormant	Fair	Fair	3		Slightly above average amount of deadwood.	None at this time.	
23525	Valley Oak		9	Fair	Fair	Fair	Dormant	Fair	Fair	3	9	Slightly above average amount of deadwood.	None at this time.	
23526	Interior Live Oak		7	Fair	Fair	Fair	Fair	Fair	Fair	3		Slightly above average amount of deadwood.	None at this time.	
23527	Valley Oak		6	Fair	Fair	Fair	Dormant	Fair	Fair	3		Slightly above average amount of deadwood.	None at this time.	
23528	Valley Oak		14	Fair	Fair	Fair	Dormant	Fair	Fair	3		Slightly above average amount of deadwood.	None at this time.	
23529	Interior Live Oak	7,9	9	Fair	Fair	Fair	Fair	Fair	Fair	3		Slightly above average amount of deadwood.	None at this time.	
23530	Valley Oak		15	Fair	Fair	Fair	Dormant	Fair	Fair	3		Slightly above average amount of deadwood.	None at this time.	

<b>TOTAL INVENTORIED TREES = 36 Trees (675 aggregate diameter inches)</b>
<b>TOTAL RECOMMENDED REMOVALS = 4 Trees (121 aggregate diameter inches)</b>
<b>TOTAL CONSTRUCTION REMOVALS = 16 Trees and 27 diameter inches</b>

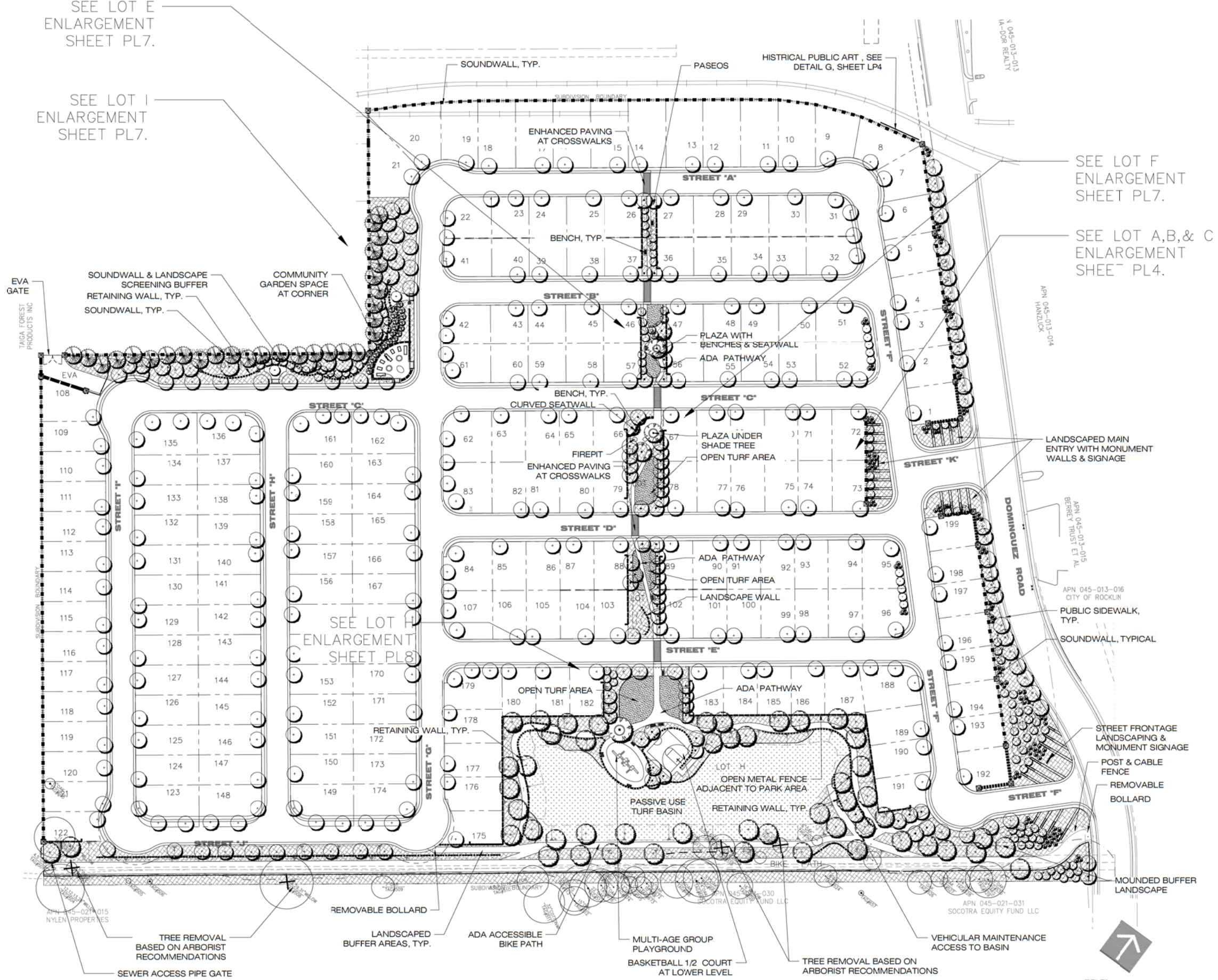
SEE LOT E ENLARGEMENT SHEET PL7.

SEE LOT I ENLARGEMENT SHEET PL7.

SEE LOT F ENLARGEMENT SHEET PL7.

SEE LOT A,B,& C ENLARGEMENT SHEET PL4.

SEE LOT H ENLARGEMENT SHEET PL8.



PRELIMINARY TREE SPECIES LIST LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	MIN. SIZE	WATER USE	HEIGHT & SPREAD	DESIGN USE
(Symbol: Circle with horizontal lines)	<b>STREET TREES NORTH / SOUTH AXIS, DECIDUOUS</b>				
(Symbol: Circle with vertical lines)	<b>STREET TREES EAST / WEST AXIS, EVERGREEN</b>				
(Symbol: Circle with diagonal lines)	<b>STREET TREES ON DOMINGUEZ ROAD</b>				
(Symbol: Circle with concentric circles)	<b>ACCENT TREES</b>				
(Symbol: Circle with dots)	<b>LANDSCAPE EVERGREEN SCREEN TREES</b>				
(Symbol: Circle with cross-hatch)	<b>NATURALIZED TREES / LARGE SHADE TREES</b>				
(Symbol: Square with diagonal lines)	<b>SHRUBS</b>				
(Symbol: Square with cross-hatch)	<b>FACE/FILLER SHRUBS EVERGREEN OR DECIDUOUS SHRUBS TO 6'-8" USED FOR TERRACING OF PLANT MATERIAL. SEASONAL COLOR AND SOFTENING OF BUILDING EDGES AND FOUNDATION SHRUBS.</b>				
(Symbol: Square with dots)	<b>SCREENING COVER MATERIAL - SMALL SCALE DUE TO PROJECT TYPE, EVERGREEN OR PERENNIAL SHRUBS TO 6" HIGH, USED AS A FILLER BETWEEN SITE WORK EDGES AND FINDER SHRUBS.</b>				
(Symbol: Square with horizontal lines)	<b>TURF RTY 500 OR TURF TYPE TALL FESCUE</b>				
(Symbol: Square with vertical lines)	<b>SO GRASSES &amp; GRASS-LIKE PLANTS PER CITY OF ROCKLIN POST-CONSTRUCTION MANUAL, APPENDIX E, SOFTENING FACILITY PLANT MIX</b>				



SCALE: AS NOTED

Packet Pg. 334

Agenda Item #8.d.

SIERRA PINE  
ROCKLIN, CA

PRELIMINARY LANDSCAPE PLAN

LP1

FUHRMAN LEAMY  
LAND GROUP  
DESIGN • SERVICE • SOLUTIONS  
2ND PROFESSIONAL DRIVE, SUITE 15 ROCKVILLE, CA 95661  
DATE: 06/21/17  
PROJECT: LOG.14121

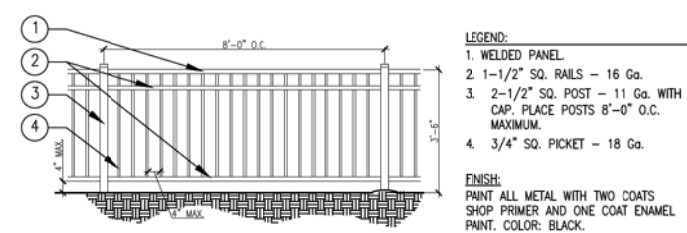
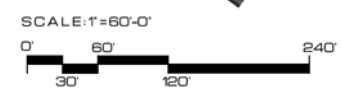
APN 045-021-01  
PRODUCTS INC

EVA

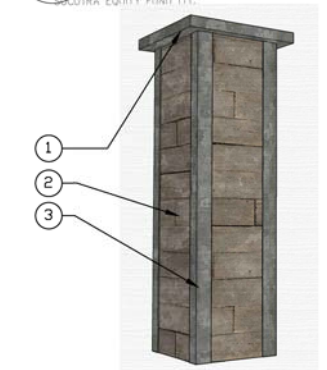
APN 045-021-015  
NYEN PROPERTIES

APN 045-021-030  
SOCOTRA EQUITY FUND I, LLC

APN 045-021-031  
SOCOTRA EQUITY FUND LLC



**(D) TUBULAR METAL FENCE - 42" HEIGHT**  
SCALE: 1/2" = 1' - 0"



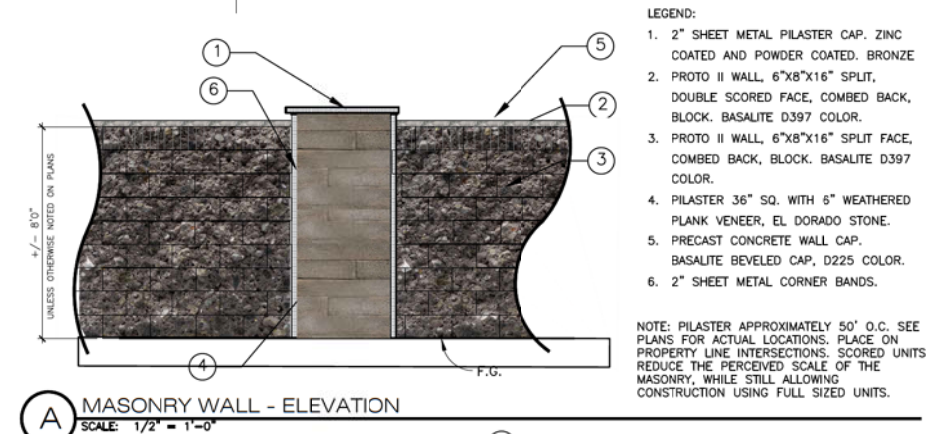
**(F) TYPICAL WALL PILASTER**  
SCALE: NTS



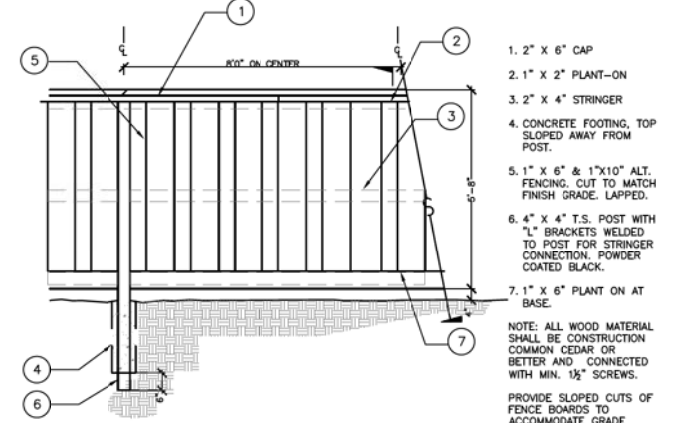
**(E) DECORATIVE ENTRY WALL**  
SCALE: NTS

**FENCING LEGEND**

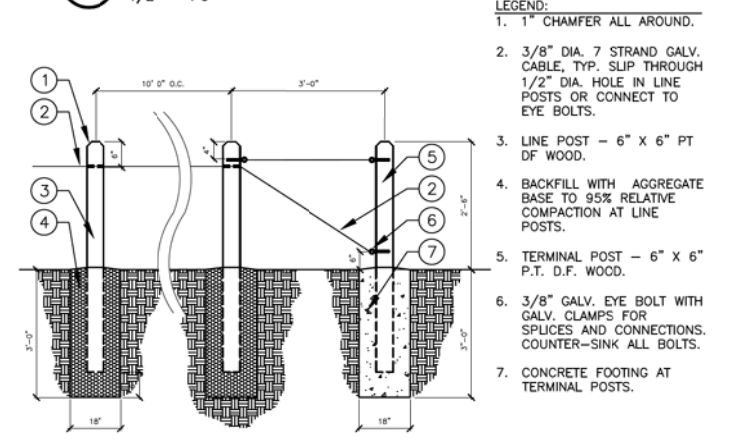
SYMBOL	DESCRIPTION	DETAIL
—	6'-0" WOOD FENCE	B/PL2
—	6' to 8' CMU SPLIT FACE, SCORED FACE/COMBED WALL HEIGHTS PER SOUND STUDY	A/PL2
—	6'-0" CMU SPLIT FACE COMBED WALL W/ WEATHERED PLANK WOOD MASONRY VENEER	E/PL2
—	ENTRY MONUMENT SIGN	B/PL1
—	36" SQUARE PILASTER @ WALL MAX. 50' O.C. ON DOMINIQUE ROAD. PLACE @ SHARED PL.	F/PL2
—	POST AND CABLE FENCE	C/PL2
—	CMU RETAINING WALL	N/A
—	CMU SEAT WALL	N/A
—	42" METAL FENCE	D/PL2
—	EVA ACCESS METEAL GATE	E/PL3
—	SEWER ACCESS PIPE GATE	D/PL3



**(A) MASONRY WALL - ELEVATION**  
SCALE: 1/2" = 1' - 0"



**(B) WOOD FENCE - CAPPED**  
SCALE: 1/2" = 1' - 0"



**(C) POST & CABLE FENCE**  
SCALE: 3/4" = 1' - 0"

- LEGEND:**
- 2" SHEET METAL PILASTER CAP. ZINC COATED AND POWDER COATED. BRONZE
  - PROTO II WALL, 6"x8"x16" SPLIT, DOUBLE SCORED FACE, COMBED BACK, BLOCK. BASALITE D397 COLOR.
  - PROTO II WALL, 6"x8"x16" SPLIT FACE, COMBED BACK, BLOCK. BASALITE D397 COLOR.
  - PILASTER 36" SQ. WITH 6" WEATHERED PLANK VENEER, EL DORADO STONE.
  - PRECAST CONCRETE WALL CAP. BASALITE BEVELED CAP, D225 COLOR.
  - 2" SHEET METAL CORNER BANDS.
- NOTE: PILASTER APPROXIMATELY 50' O.C. SEE PLANS FOR ACTUAL LOCATIONS. PLACE ON PROPERTY LINE INTERSECTIONS. SCORED UNITS REDUCE THE PERCEIVED SCALE OF THE MASONRY, WHILE STILL ALLOWING CONSTRUCTION USING FULL SIZED UNITS.

- LEGEND:**
- 1" CHAMFER ALL AROUND.
  - 3/8" DIA. 7 STRAND GALV. CABLE. TYP. SLIP THROUGH 1/2" DIA. HOLE IN LINE POSTS OR CONNECT TO EYE BOLTS.
  - LINE POST - 6" X 6" PT DF WOOD.
  - BACKFILL WITH AGGREGATE BASE TO 95% RELATIVE COMPACTION AT LINE POSTS.
  - TERMINAL POST - 6" X 6" P.T. D.F. WOOD.
  - 3/8" GALV. EYE BOLT WITH GALV. CLAMPS FOR SPLICES AND CONNECTIONS. COUNTER-SINK ALL BOLTS.
  - CONCRETE FOOTING AT TERMINAL POSTS.



BENCH

BENCH

FARM TABLE



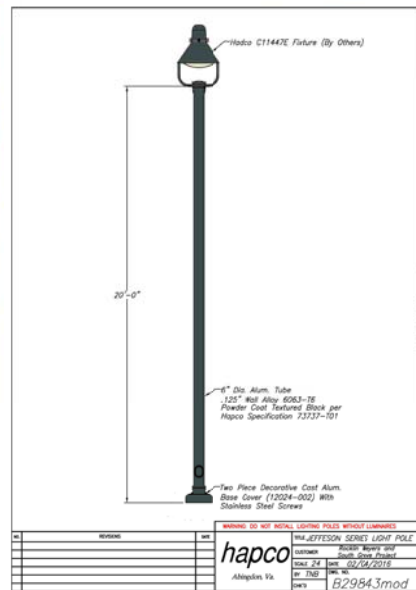
BOLLARD



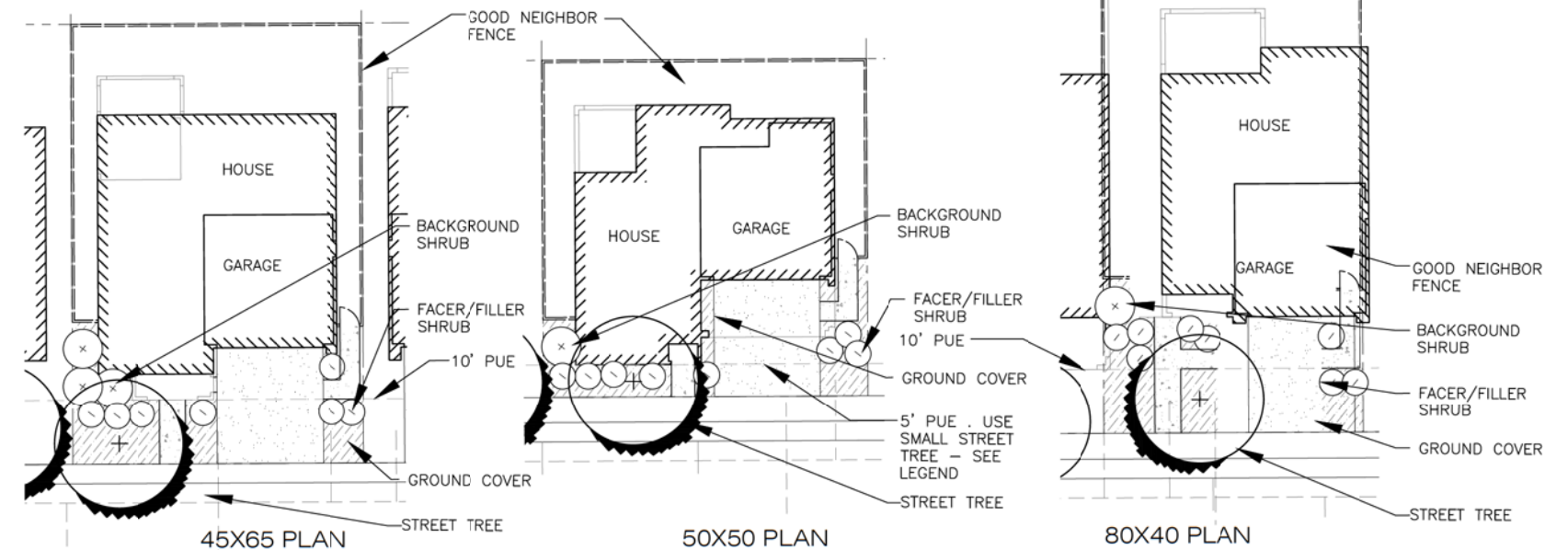
TRASH BIN



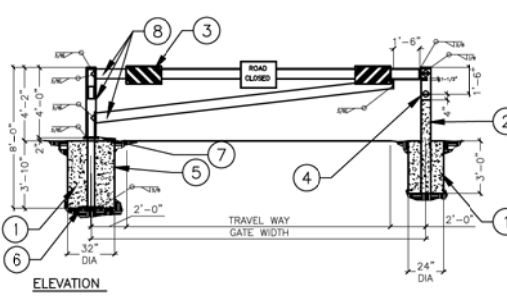
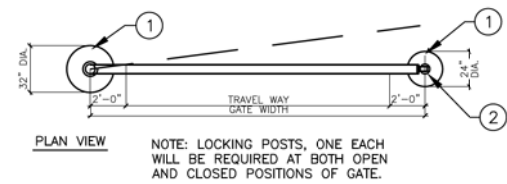
TABLE AND CHAIRS



STREET LIGHTING

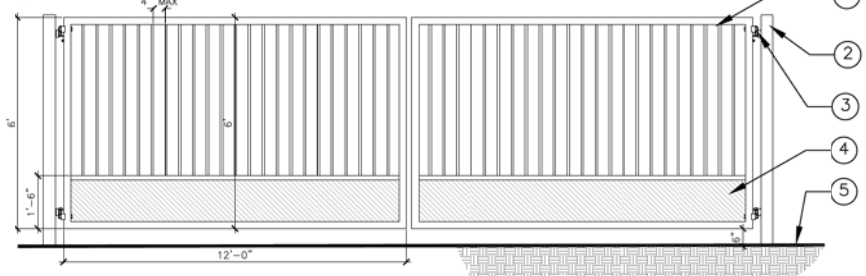


(A) TYPICAL FRONT YARD  
SCALE: 1"=10'-0"



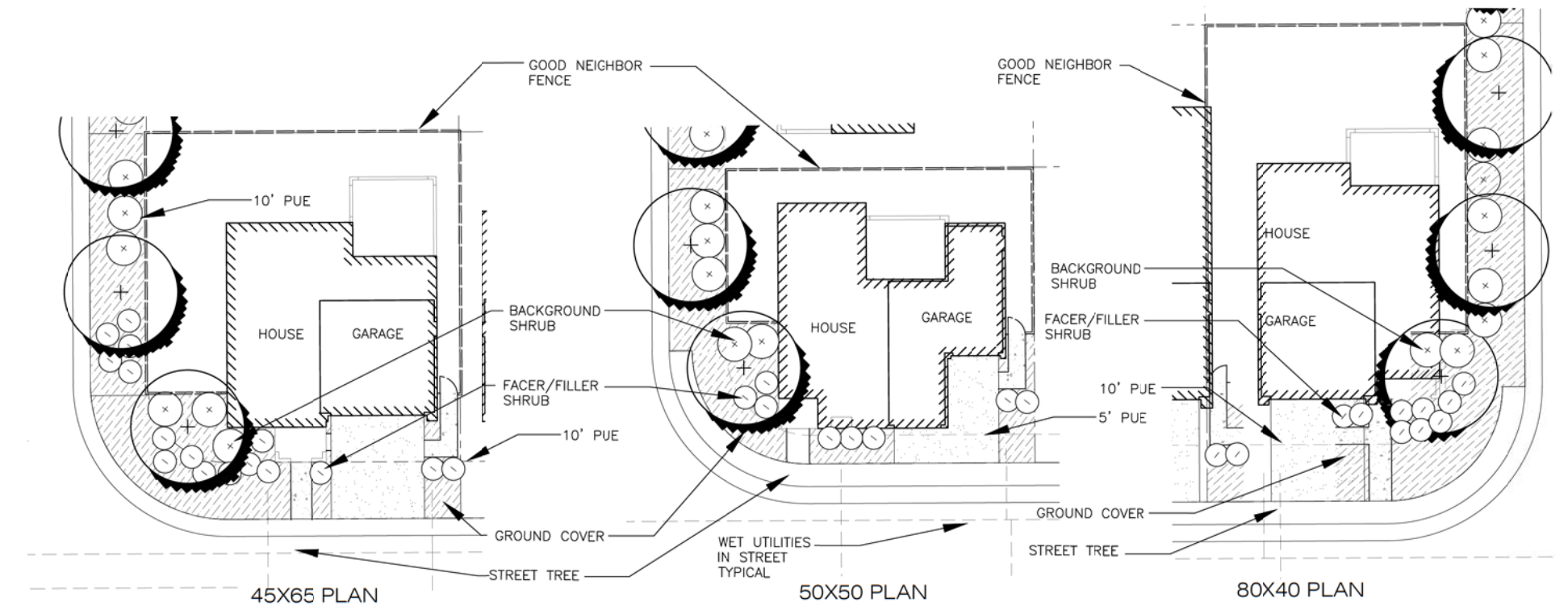
- LEGEND**
1. CONCRETE FOOTING.
  2. LOCKING POST - 6-5/8" O.D. X 0.432 PIPE (CONCRETE FILLED AS SHOWN).
  3. OBJECT MARKER (2).
  4. 4" DIA. HAND HOLE.
  5. HINGE POST - 4-1/2" O.D. 0.337 PIPE.
  6. 1/2" X 16" DIA. STEEL PLATE.
  7. GATE ASSEMBLY - 6-5/8" O.D. X 0.432 PIPE.
  8. OBJECT MARKER PANEL, ONE EACH SIDE.

(C) PIPE GATE  
SCALE: 1/4" = 1' - 0"



- LEGEND:**
1. TUBULAR STEEL GATES, TYP. OF (2), MINIMUM 2-1/2" SQ. FRAMING WITH 3/4" SQ. PICKETS 16 GA., TYP.
  2. 4" SQ. STEEL POST. PROVIDE TWO WELD PLATES AT TOP AND BOTTOM. SUBMIT SHOP DRAWING.
  3. ROLLER HINGES. TWO PER GATE, TYPICAL.
  4. BOTTOM PANEL: 11 GA. SHEET METAL IN FLANNIGAN PATTERN.
  5. FINISH GRADE.

(D) VEHICULAR GATE  
SCALE: 1/2" = 1' - 0"



(B) TYPICAL FRONT YARD CORNER LOT CONDITION  
SCALE: 1"=10'-0"





MAIN ENTRY - AERIAL



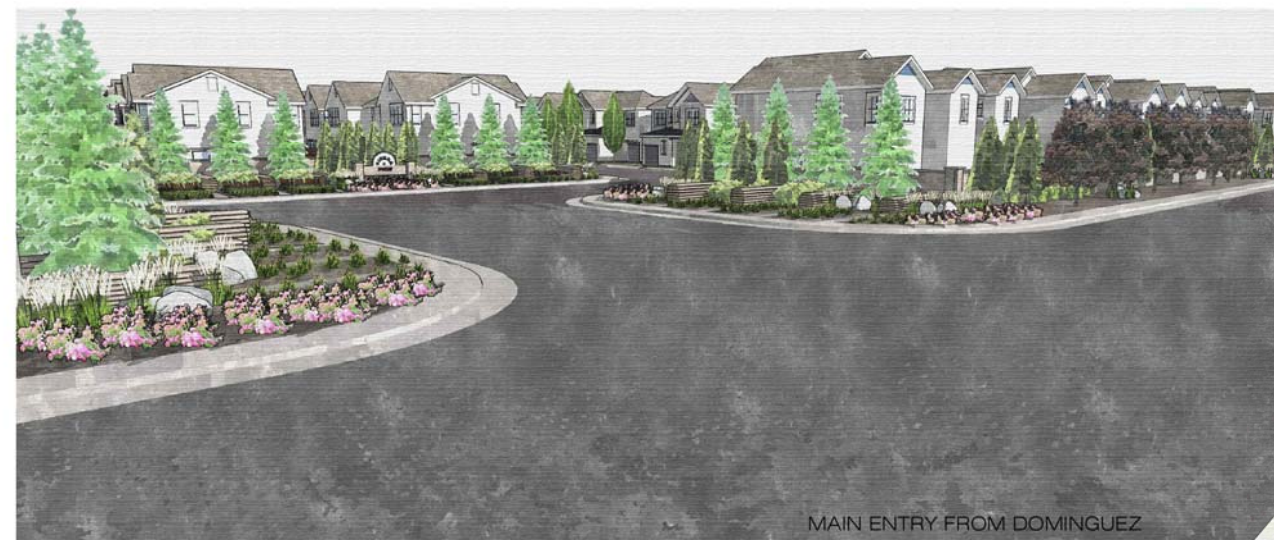
MAIN ENTRY-ENLARGEMENT OF SIGNAGE



MAIN ENTRY FEATURE



SECONDARY ENTRY - AERIAL



MAIN ENTRY FROM DOMINGUEZ



SECONDARY ENTRY FROM DOMINGUEZ

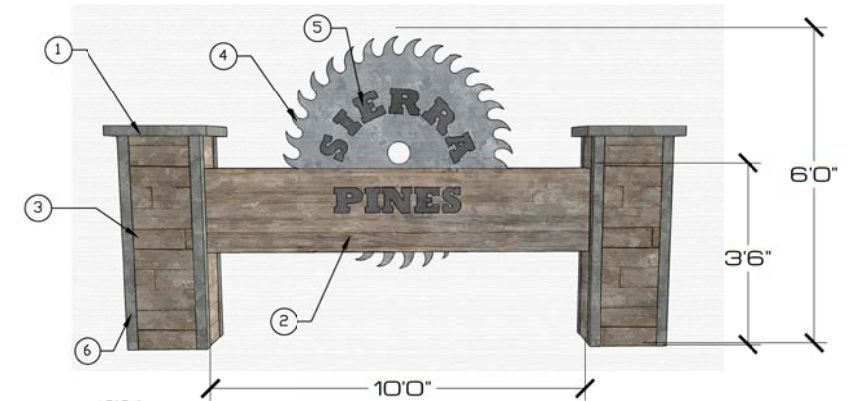
A MAIN ENTRY  
SCALE: 1"=10'-0"

B SECONDARY ENTRY  
NTS



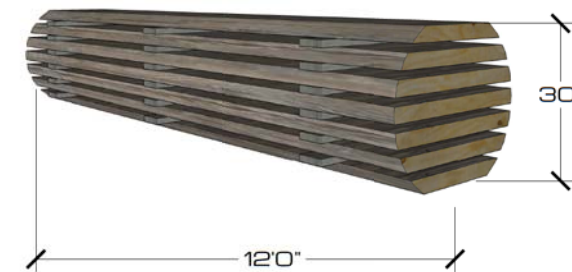


- LANDSCAPED MAIN ENTRY WITH ARTISTIC RECREATION OF WORKING MILL.
- CONCRETE LOGS TO SIMULATE SAWN LOGS
  - GRANITE BANDING @ "LOGS"
  - ENTRY SIGN WITH ETCHED OR WATER JET CUT INTO METAL SAW BLADE. (Note Saw Blade is rounded and not sharpened for safety) .
  - ENHANCED SCREEN WALL USING SIMULATED CONCRETE WOOD PLANK SIDING.



- LEGEND:
1. 2" SHEET METAL PILASTER CAP, BYE BOA.
  2. ENGINEERED WOOD BEAM.
  3. PILASTER 24" SQ. WITH 6" WEATHERED PLANK VENEER, EL DORADO STONE
  4. 1/4" STEEL FABRICATED SAW BLADE FIXED AND ROUNDED EDGES AND NOT SHARPENED.
  5. METAL SIGN LETTERS.
  6. 2" SHEET METAL CORNER BANDS, BYE BOA.

**B** ENTRY MONUMENT SIGN  
SCALE: NTS



**C** ENTRY MONUMENT-CUSTOM FABRICATED CONCRETE LOGS  
SCALE: NTS

**A** LOT A, B, & C @ DEVELOPMENT ENTRY  
NOT TO SCALE



A PUBLIC ART  
NOT TO SCALE

ART WORK : SUGGESTION OF USING  
RENDERINGS OF HISTORIC MILL IMAGES AND  
SCREENED ONTO OR CUT OUR OF SHEET  
METAL AND FRAMED WITH HEAVY WOOD  
TRIM





(A) TYPICAL STREET VIEW  
NTS



TYPICAL 50X50 LOT



TYPICAL 45 X 65 LOT



TYPICAL 80X40 LOT

(B) TYPICAL STREET VIEW-PRODUCT TYPES  
NTS



**LEGEND**

- A. EVERGREEN MIXED CONIFER SCREEN
- B. BROADLEAF SHADE TREE
- C. ACCENT TREE
- D. STREET TREE
- E. COMMUNITY GARDEN BEDS
- F. ARBOR
- G. SEAT WALL
- H. SPECIMEN ACCENT TREE
- I. ESPALIER FENCE
- J. CMU WALL 12' TOTAL HEIGHT (5'0" RETAIN)
- K. +/- 5'0" RETAINING WALL



**(A)** LOT I  
NTS



**(B)** LOT F  
NTS



**(C)** LOT E  
NTS

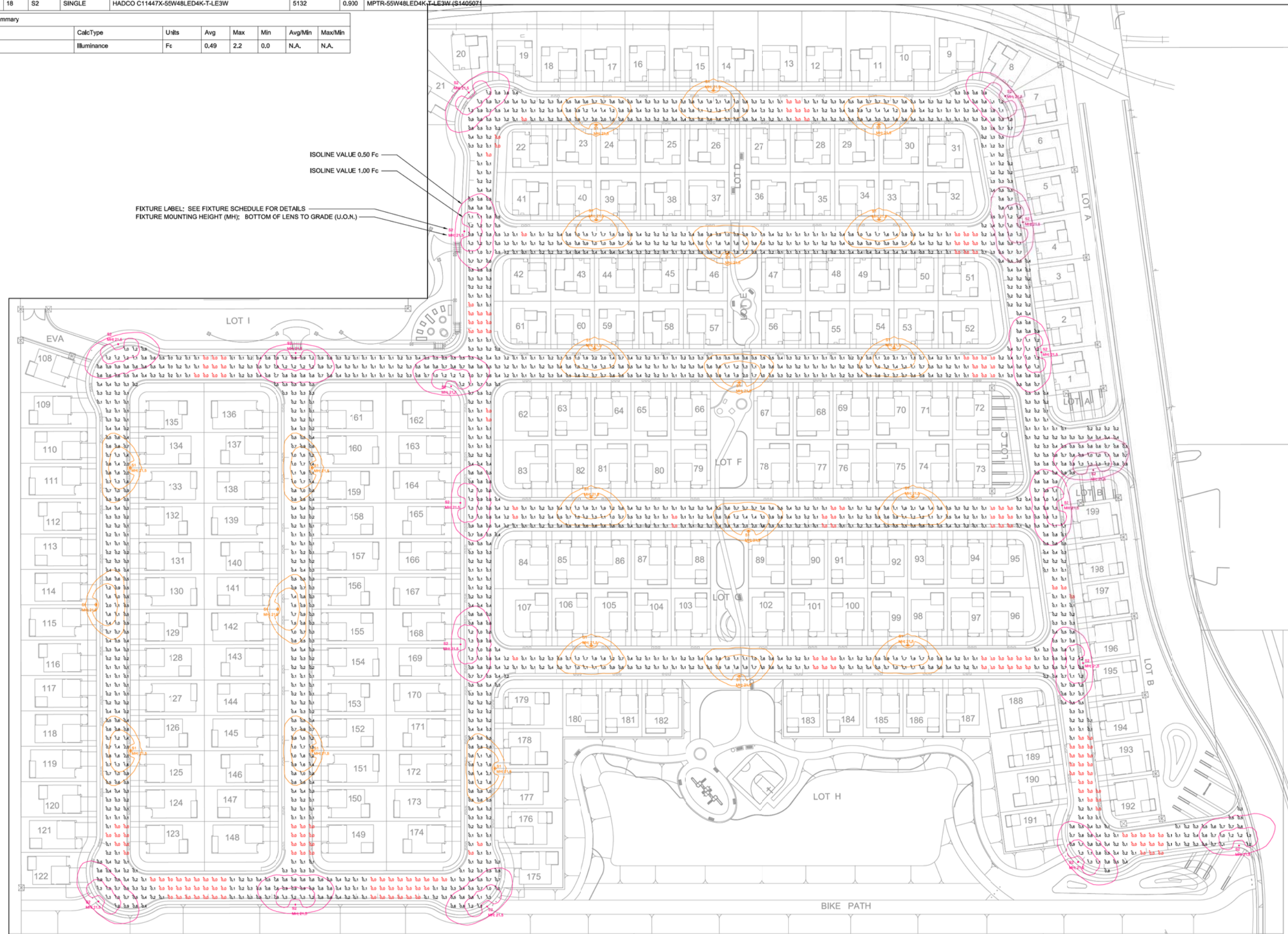




A LOT H - PARK SITE  
NTS

Symbol	Qty	Label	Arrangement	Description	Lum. Lumens	LLF	Filename
○	22	S1	SINGLE	HADCO C11447X-55W48LED4K-T-LE3	4956	0.930	MPTR-55W48LED4K-T-LE3 (S1405011)
○	18	S2	SINGLE	HADCO C11447X-55W48LED4K-T-LE3W	5132	0.930	MPTR-55W48LED4K-T-LE3W (S1405027)

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ROADWAY	Illuminance	Fc	0.49	2.2	0.0	N.A.	N.A.



Please note that the light loss factor (LLF) used in calculations is based on published mean lumen ratings by the major lamp manufacturers: 0.75 LLF for pulse start metal halide; 0.80 LLF for high pressure sodium and induction lamps; 0.678 LLF for fluorescent lamps; 0.90 LLF for LED sources, Cosmo and Elite lamps.

**PRELIMINARY NOT FOR CONSTRUCTION**

**PROJECT PLAN LIGHTING LAYOUT - PHOTOMETRIC ANALYSIS**

SCALE: 1" = 40'-0" (ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE, U.O.N.)

PLANNING COMMISSION RESOLUTION PC-2017-  
RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF ROCKLIN RECOMMENDING APPROVAL OF A DESIGN REVIEW  
(Sierra Pine Subdivision / DR2016-0009)

The Planning Commission of the City of Rocklin does resolve as follows:

Section 1. The Planning Commission of the City of Rocklin finds and determines that:

A. Design Review (DR2016-0009) approves the landscaping and architectural designs, colors and materials of single family homes on lots less than 6,000 square feet within the Sierra Pine subdivision located approximately 400 feet south of the intersection of Pacific Street and Dominguez Road.

B. A Mitigated Negative Declaration has been recommended for approval for this project via Planning Commission Resolution No.           .

C. The design of the sites is compatible with surrounding development, natural features and constraints.

D. The height, bulk, area, color scheme and materials of the buildings and structures are compatible with surrounding development.

E. The buildings and structures have been oriented with consideration given to minimizing energy consumption and maximizing use of natural lighting.

F. Adverse light and glare impacts upon adjoining properties have been eliminated or reduced to a less than significant level by consideration and / or modification of the location and height of light standards, orientation of exterior lighting fixtures, and conditioning the project to use light fixtures that will direct light downward.

G. The landscaping design is compatible with surrounding development and has been designed with provisions for minimizing water usage and maintenance needs.

H. The design of the site and buildings or structures is consistent with the goal and policies of the General Plan, as well as the land use designation proposed in the GPA being processed concurrently (GPA2016-0002) and with all the zoning, regulations, standards, and restrictions proposed in the General Development Plan and Rezone (PDG2016-0004 and Z2016-0002) being processed concurrently.



Section 2. The Design Review for the Sierra Pine Subdivision (DR2016-0009) as depicted in Exhibit A attached hereto and by this reference incorporated herein, is hereby recommended for approval subject to the conditions listed below. The approved Exhibit A shall govern the design and construction of the project. Any condition directly addressing an element incorporated into Exhibit A shall be controlling and shall modify Exhibit A. All other plans, specifications, details, and information contained within Exhibit A shall be specifically applicable to the project and shall be construed as if directly stated within the conditions for approval. Unless otherwise expressly stated, the applicant / developer shall be solely responsible for satisfying each condition prior a final Building Permit Inspection or Issuance of a Certificate of Occupancy as applicable. The agency and / or City department(s) responsible for ensuring implementation of each condition is indicated in parenthesis with each condition.

B. Conditions

1. Screening of Mechanical Equipment

- a. The appearance of large utility features such as double detector check valves shall be minimized through the use of utility blankets or other acceptable screening methods. The developer shall also demonstrate that these facilities have been located as far as possible from the public right-of-way. (PLANNING)
- b. Fire risers shall be located either within a garage or in alternative wall cavity with an access panel. (PLANNING)

2. House Design

- a. House architecture, colors, materials, and lighting shall be as shown in Exhibit A, to the satisfaction of the Economic and Community Development Director. (PLANNING, BUIDLING)
- b. Houses located on corner lots, lots adjacent to a paseo, lots that back up to Dominguez Road, lots adjacent to Lot H, and Lots 8, 122, and 175 through 191, shall have enhanced elevations, as shown in Exhibit A, to the satisfaction of the Economic and Community Development Director. (PLANNING, BUIDLING)

3. Landscaping and Fencing

- a. Landscape plans shall demonstrate compliance with the requirements of the State Model Water Efficiency Landscape Ordinance. (PLANNING, BUILDING)

- b. Front yard landscaping as applicable to each lot shall be installed, including shrubs and turf, as shown in the Typical Front Yard and Typical Front Yard Corner Lot Condition landscape details, Exhibit A of the concurrent tentative subdivision map (SD2016-0009). A minimum of one shade tree shall be planted in the front yard of interior lots and a minimum of two shade trees shall be planted in the front yard of corner lots, with consideration given to appropriate placement within the reduced PUEs, to the satisfaction of the Economic and Community Development Director, prior to the final inspection for each home. (PLANNING, BUILDING)
  - c. A concrete service walk from the side garage (man) door to the driveway shall be constructed on each lot. Sufficient space to store two garbage toters shall be provided as part of the service walk behind the gate. (PLANNING, BUILDING)
4. Air Quality
- a. Electrical receptacles shall be installed in the front and back exterior walls of the homes to promote the use of electrical landscaping equipment. (BULDING, PLANNING)
  - b. Natural gas lines shall be installed to the rear of each single-family residential structure to encourage the use of natural-gas outdoor appliances. (BULDING, PLANNING)
5. Noise
- a. All “self-powered” construction equipment and stationary noise sources (i.e. pumps, electrical generators, etc.) shall be equipped with noise control devices (e.g., mufflers). (ENGINEERING, BUILDING)
  - b. Equipment “warm-up” areas, water storage tanks, equipment storage areas, and stationary noise-generating machinery (i.e. pumps, electrical generators, etc.) shall be located away from existing residences and other sensitive noise receptors to the extent feasible. (ENGINEERING, BUILDING)
  - c. All phases of project development shall be subject to the City of Rocklin Construction Noise Guidelines, including restricting construction-related noise generating activities within or near residential areas to between 7:00 a.m. and 7:00 p.m. on weekdays, and between 8:00 a.m. and 7:00

p.m. on weekends. The Community Development Director may grant exceptions to the Construction Noise Guidelines if, in the opinion of the Community Development Director, special and unusual circumstances exist that make strict adherence to the Construction Noise Guidelines infeasible. (ENGINEERING, BUILDING)

6. Schools

Financing: The following conditions shall be satisfied to mitigate the impact of the proposed development on school facilities (ROCKLIN UNIFIED SCHOOL DISTRICT, BUILDING):

- a. At the time of issuance of a building permit, the developer shall pay to the Rocklin Unified School District all fees required under Education Code section 17620 and Government Code Section 65995, to the satisfaction of the Rocklin Unified School District.
- b. The above condition shall be waived by the City Council if the applicant and the District reach agreement to mitigate the impacts on the school facilities caused by the proposed development and jointly request in writing that the condition be waived.

7. Validity

- a. This entitlement shall expire two years from the date of approval unless prior to that date a building permit has been issued or a time extension has been granted. (PLANNING)
- b. This entitlement shall not be considered valid and approved unless and until the concurrent General Plan Amendment (GPA2016-0002), General Development Plan (PDG2016-0004), Rezone (Z2016-0002), Tentative Subdivision Map (SD2016-0005), and Oak Tree Preservation Permit (TRE2017-0006) have been approved. (PLANNING, ENGINEERING)

PASSED AND ADOPTED this 15<sup>th</sup> day of August, 2017, by the following roll call vote:

AYES: Commissioners:

NOES: Commissioners:

ABSENT: Commissioners:

ABSTAIN: Commissioners:

---

Chairman

ATTEST:

---

Secretary

P:\PUBLIC PLANNING FILES\\_\_ PROJECT FILES\Sierra Pine Subdivision\Meeting Packets\PC 8-15-17\06 Sierra Pine PC Reso DR2016-0009 - final.doc

EXHIBIT A

Sierra Pine Subdivision (DR2016-0009)

Available at the Economic & Community Development Department, Planning Division

**EXHIBIT A**  
**DR2016-0009**

- LEGEND**
- 50 x 50 LOTS
  - 45 x 65 LOTS
  - 40 x 80 LOTS
  - ENHANCED ELEVATIONS



N1 – 50 x 50 (min) – A1 sheets

N2 – 45 x 65 (min) – A2 sheets

N3 – 40 x 80 (min) – A3 sheets

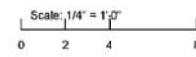


Architecture + Planning  
 580 Second St., Suite 200  
 Oakland, CA 94607  
 510.272.2910  
 ktgy.com

Lewis Operating Corporation

Sierra Pine - N1 - 50 x 50 Lots  
 Rocklin, Ca. #2015-0461

SCHEMATIC DESIGN  
 03-27-2017

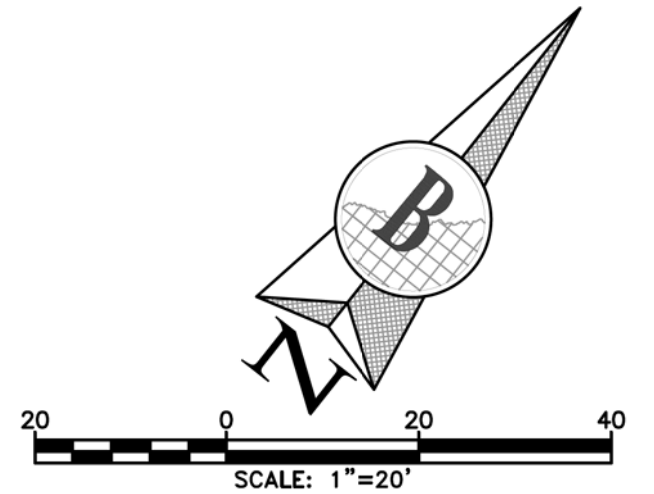


SITE PERSPECTIVE

SETBACK EXHIBIT FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

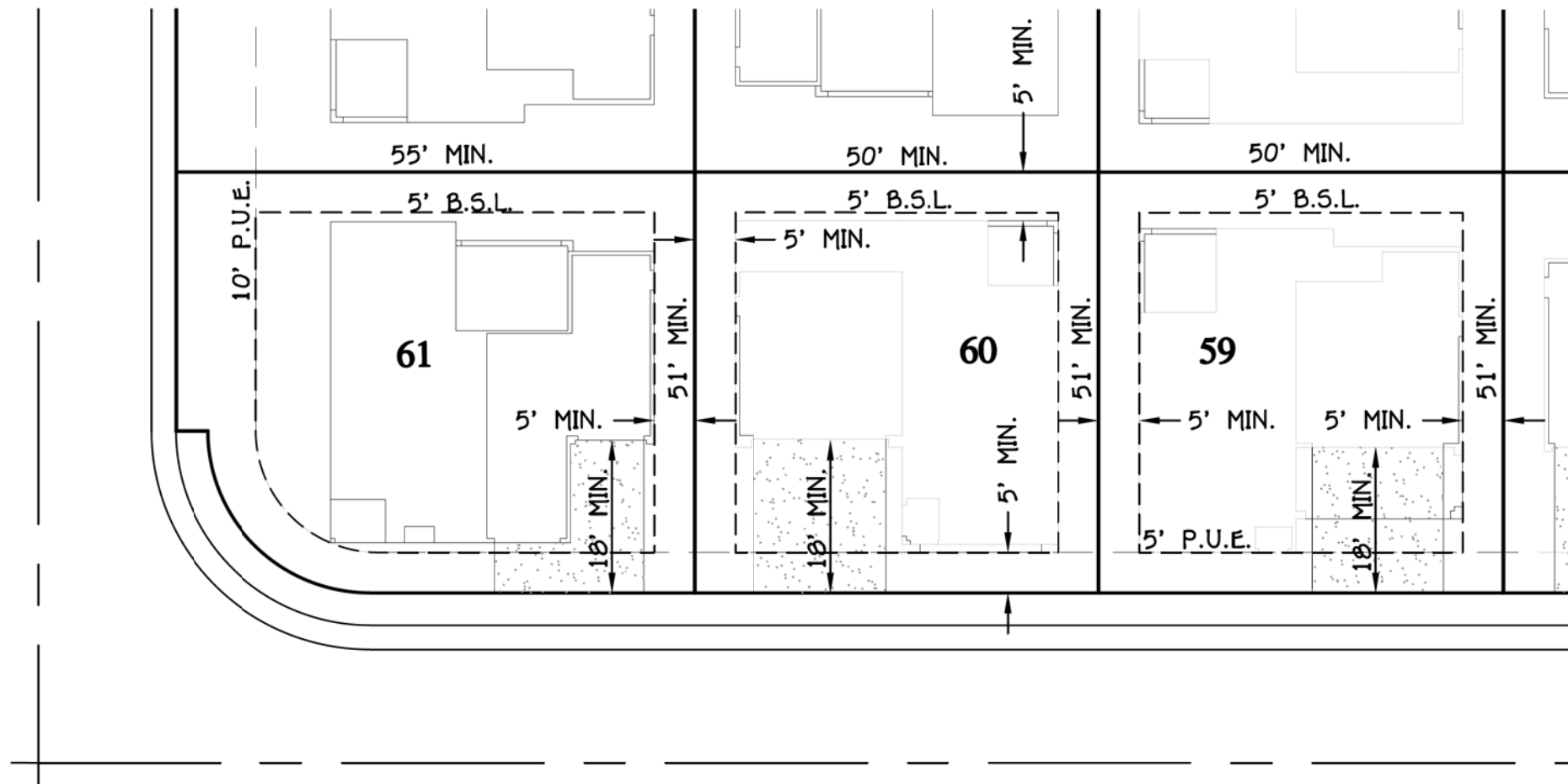
CALIFORNIA



MAX. LOT COVERAGE = 59%

**LEGEND:**

BUILDING SETBACK LINE... - - - - -



**50 x 50 LOTS**

SETBACK EXHIBIT FOR:  
**SIERRA PINE**  
 SHEET 1 OF 3  
 MAY 5, 2017  
 REVISED - JUNE 6, 2017



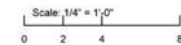


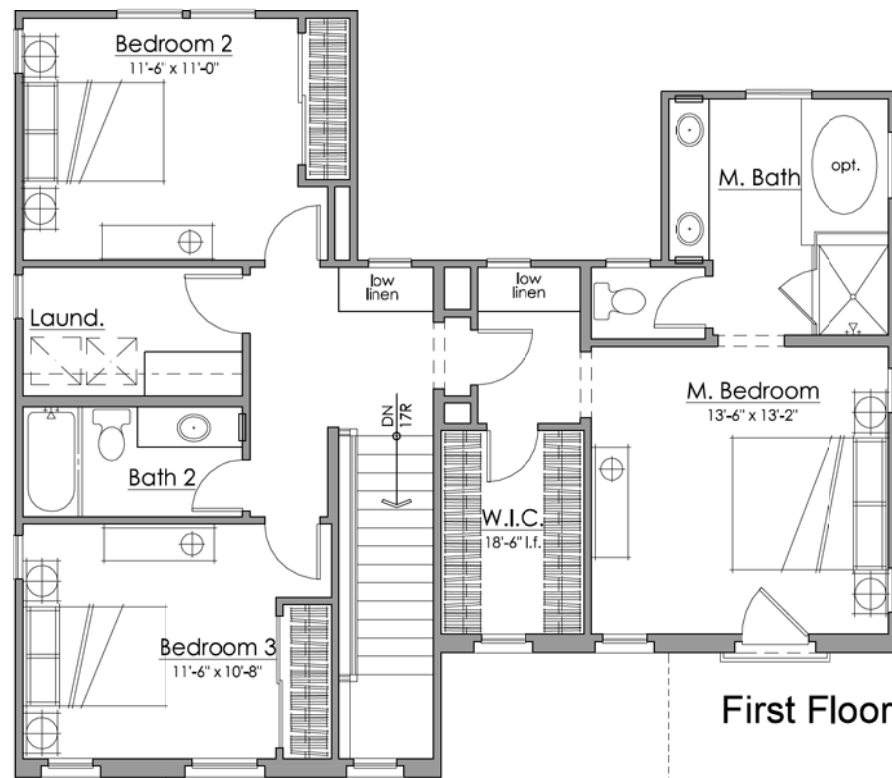


ELEVATION '1A'  
SCHEME 1

ELEVATION '1B'  
SCHEME 5

ELEVATION '1C'  
SCHEME 9

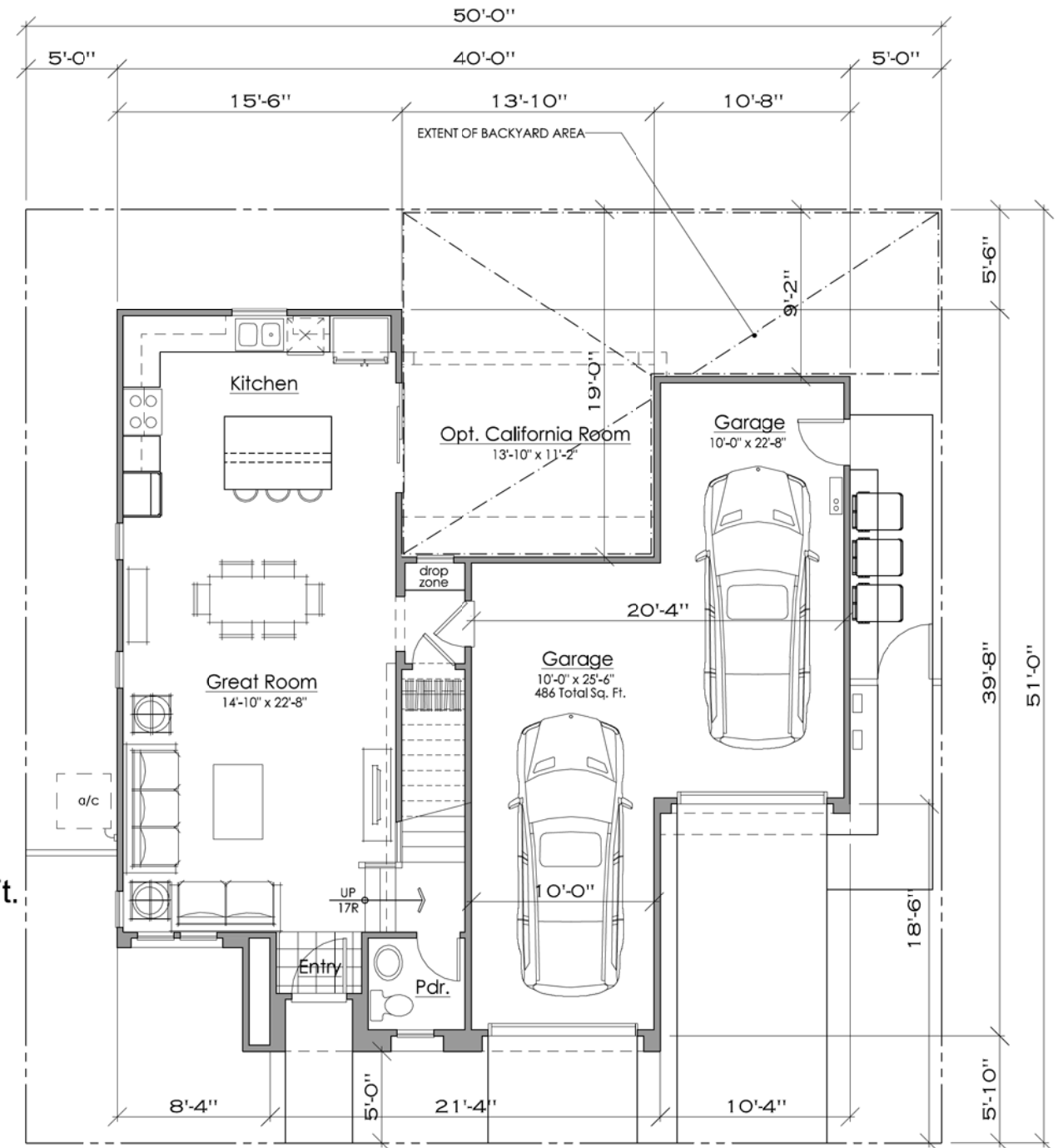


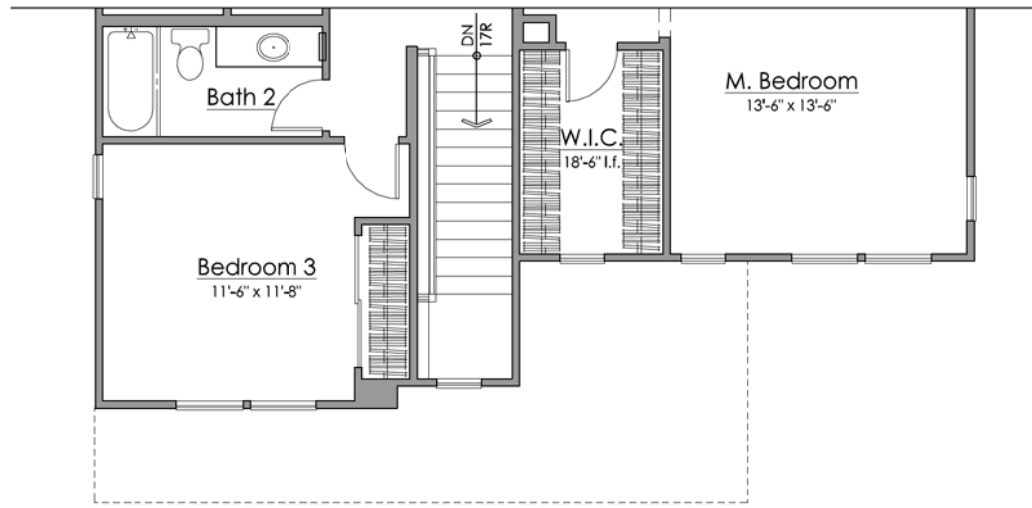


Second Floor  
993 Sq. Ft.

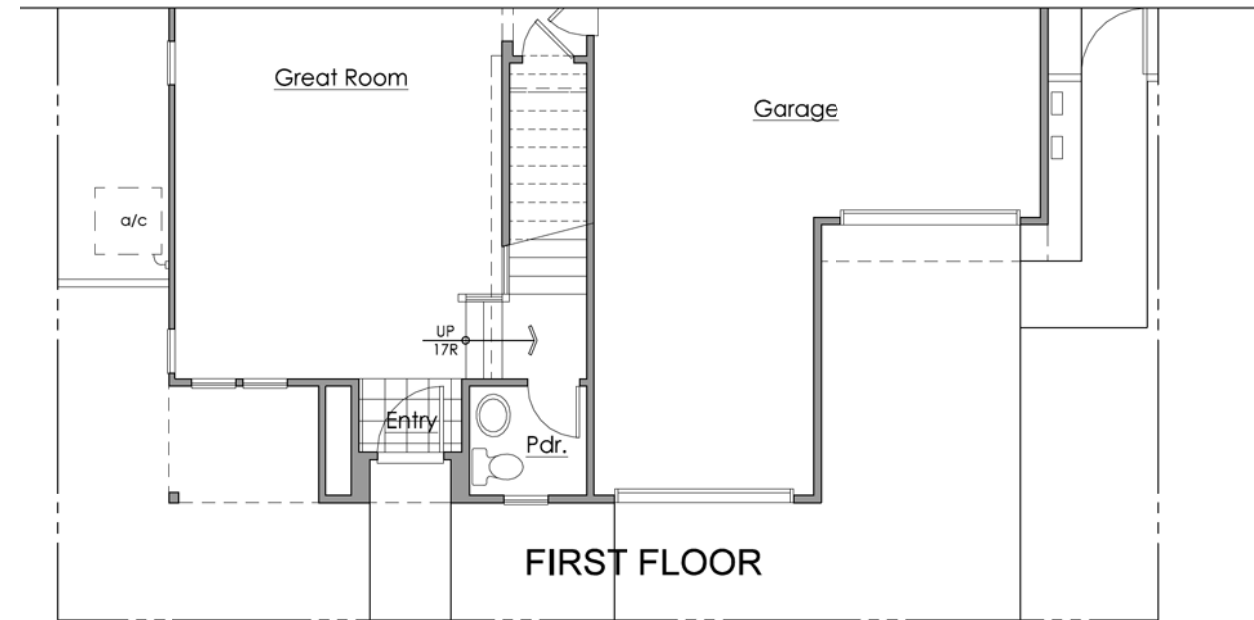
First Floor - 661 Sq. Ft.

Floor Plan  
3 Bedroom  
2.5 Baths  
1,654 Sq. Ft.



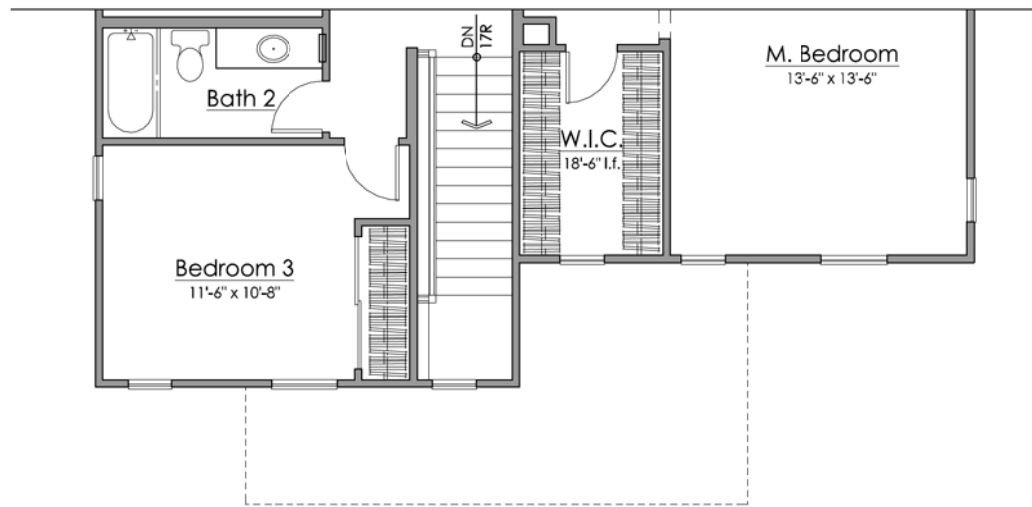


SECOND FLOOR

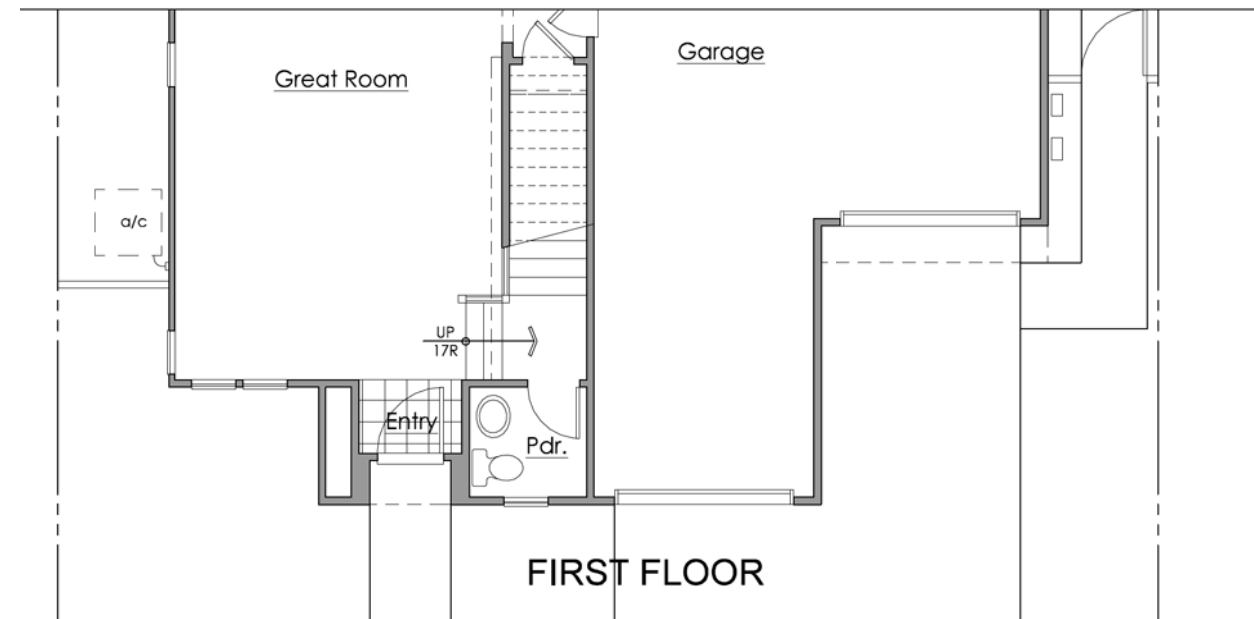


FIRST FLOOR

PLAN 1C ADDENDA



SECOND FLOOR



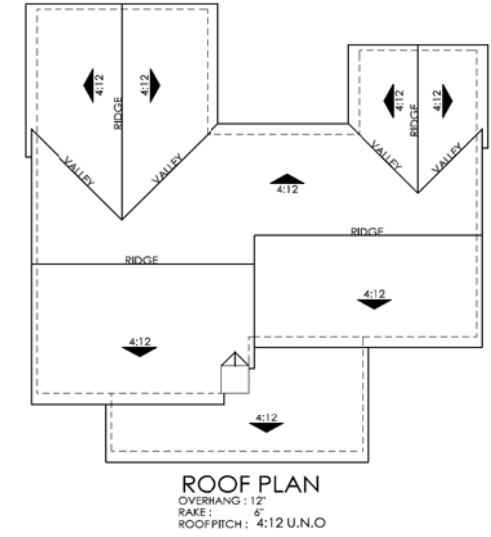
FIRST FLOOR

PLAN 1B ADDENDA

- 1A  
 Material Legend:  
 Concrete Low Profile 'S' Tile  
 Stucco Finish  
 Shutters  
 Decorative Finial Detail  
 Enhanced Sills  
 1x Stucco Finish Trim



ELEVATION '1A'

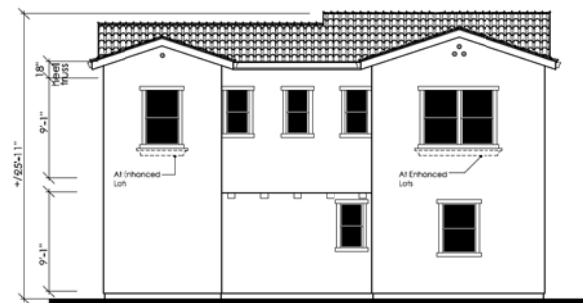


Scale: 1/8" = 1'-0"



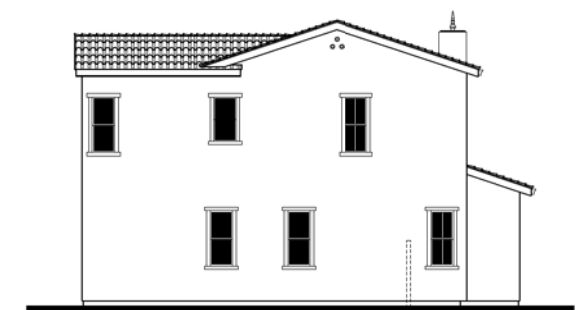
RIGHT

Scale: 1/8" = 1'-0"



REAR

Scale: 1/8" = 1'-0"



LEFT

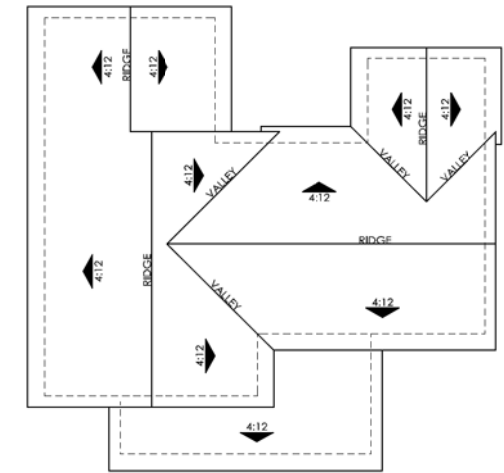
Scale: 1/8" = 1'-0"

1B  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Siding/Shingle  
 Decorative Shutters  
 Decorative Corbels  
 Enhanced Sills  
 1x Stucco Finish Trim



Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '1B'



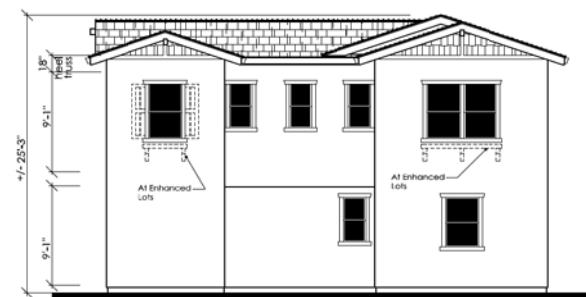
ROOF PLAN  
 OVERHANG: 18"  
 RAKE: 12"  
 ROOF PITCH: 4:12 U.N.O

Scale: 1/8" = 1'-0"  
 0 4 8 16



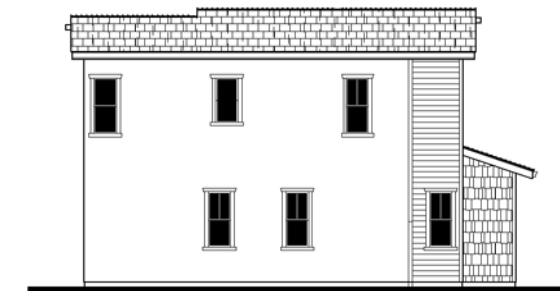
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



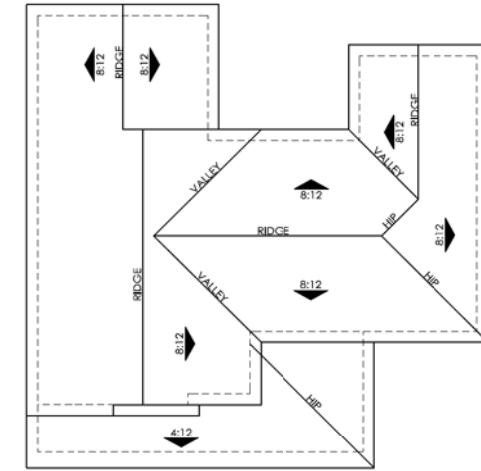
LEFT

Scale: 1/8" = 1'-0"  
 0 4 8 16

1C  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Board & Batt  
 Metal Roof  
 Decorative Corbels  
 Enhanced Sills  
 1x Stucco Finish Trim



ELEVATION '1C'

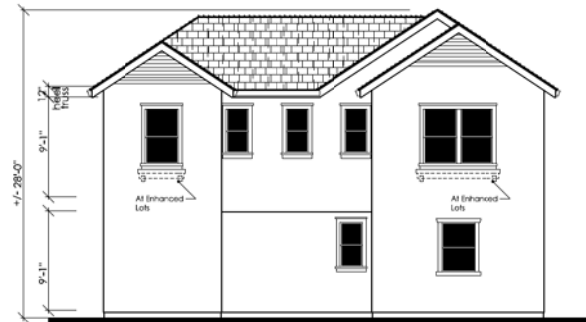


ROOF PLAN  
 OVERHANG: 18"  
 RAISE: 12"  
 ROOF PITCH: 8:12 U.N.O



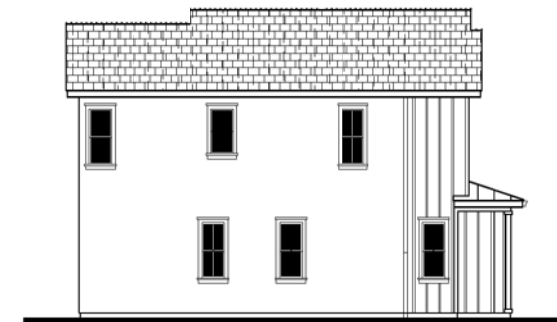
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

Scale: 1/8" = 1'-0"  
 0 4 8 16



ELEVATION '2A'  
SCHEME 2

ELEVATION '2B'  
SCHEME 6

ELEVATION '2C'  
SCHEME 10





Architecture + Planning  
580 Second St., Suite 200  
Oakland, CA 94607  
510.272.2910  
ktgy.com

Lewis Operating Corporation

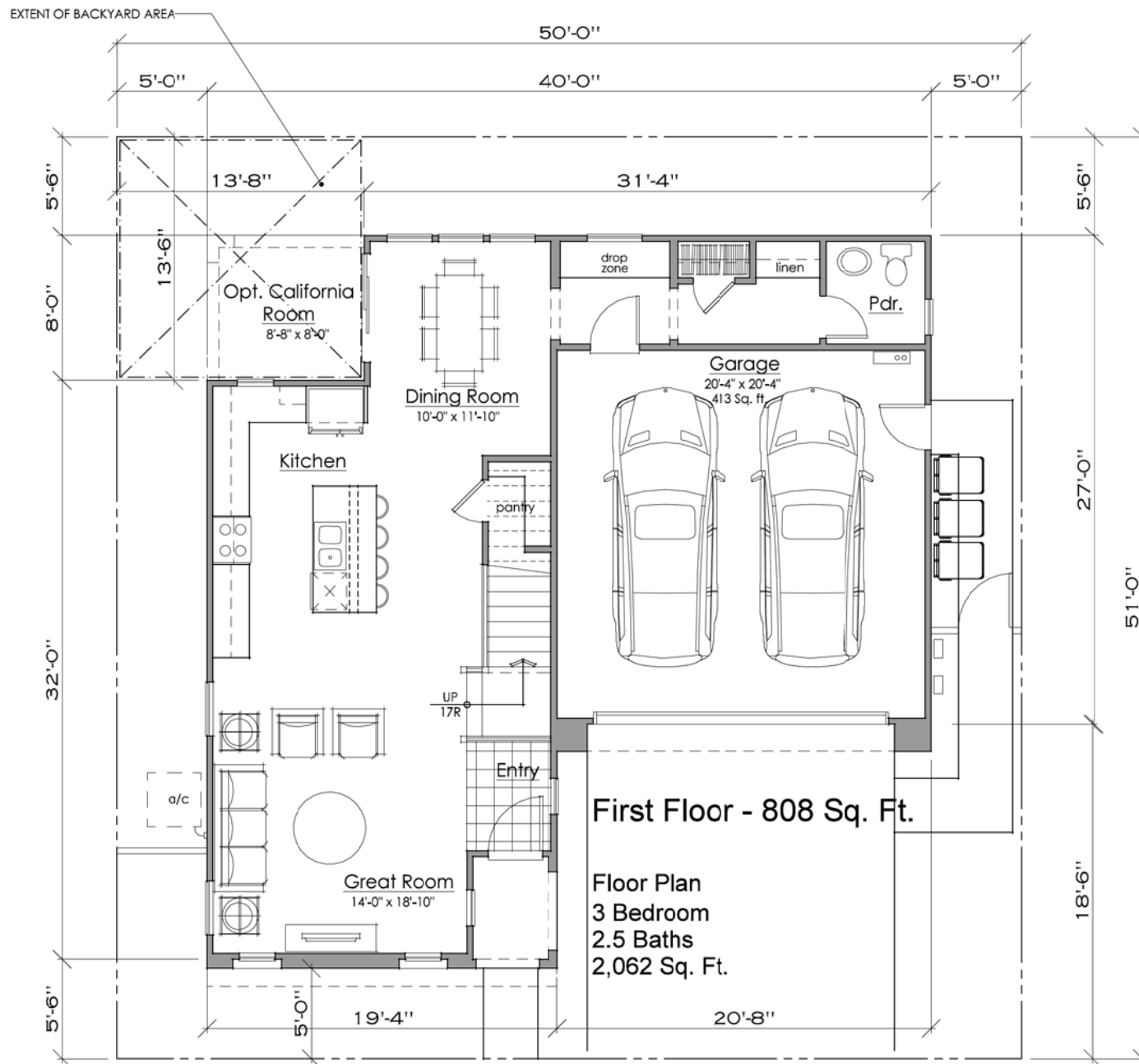
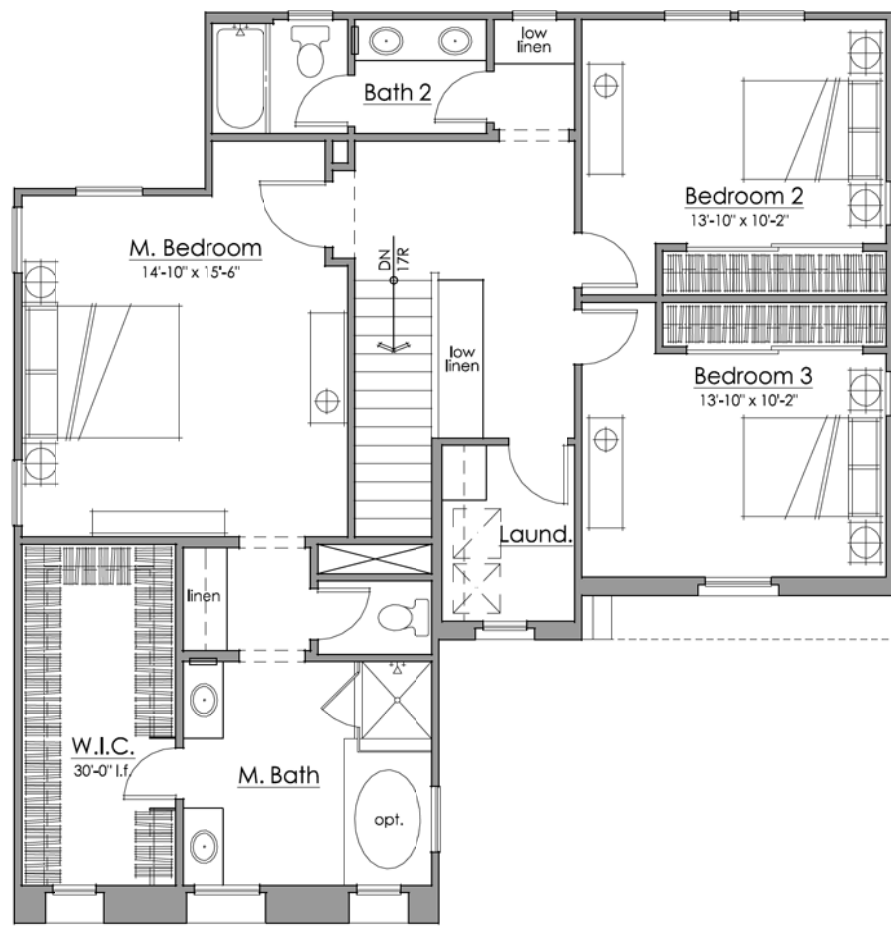
Sierra Pine - N1 - 50 x 50 Lots  
Rocklin, Ca. #2015-0461

SCHEMATIC DESIGN  
03-27-2017

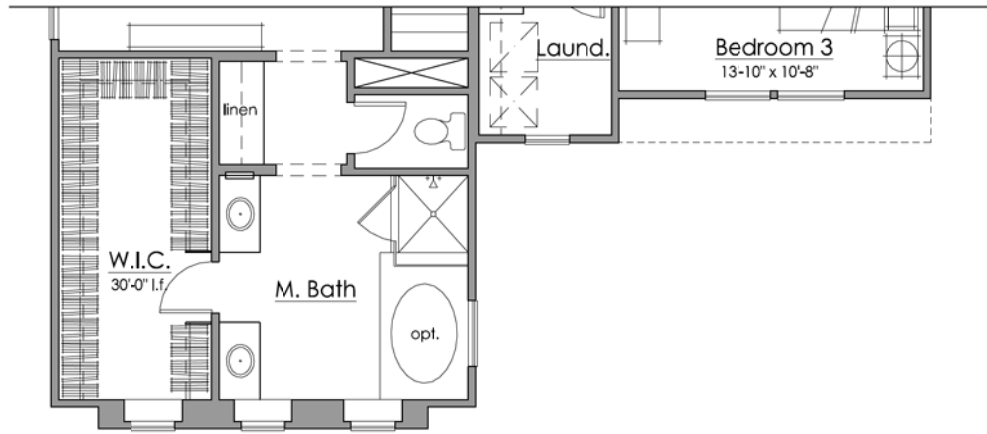
Scale: 1/4" = 1'-0"  
0 2 4 8

PLAN 2 FLOOR PLAN

A1.0.

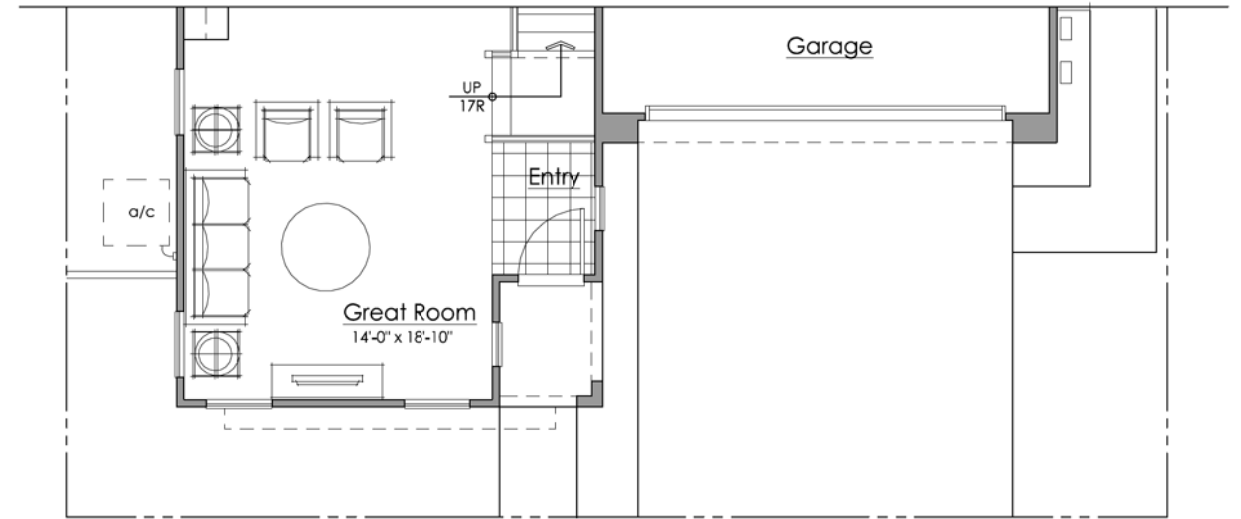




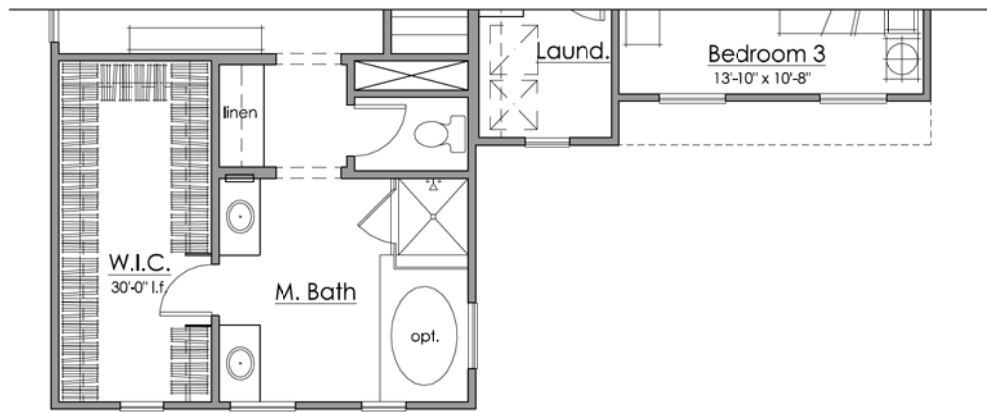


SECOND FLOOR

PLAN 2C ADDENDA



FIRST FLOOR



SECOND FLOOR

PLAN 2B ADDENDA



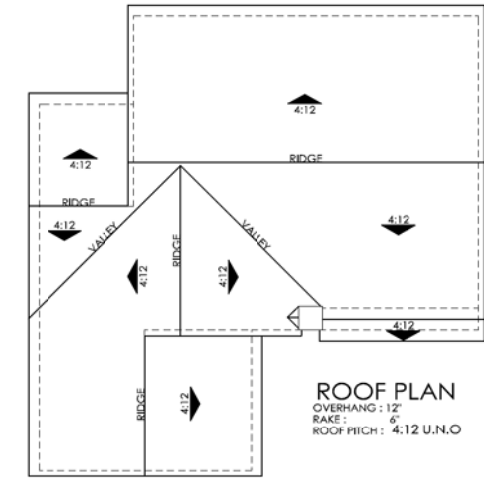
FIRST FLOOR

2A  
 Material Legend:  
 Concrete Low Profile 'S' Tile  
 Stucco Finish  
 Shutters  
 Decorative Finial Detail  
 Enhanced Sills  
 1x Stucco Finish Trim

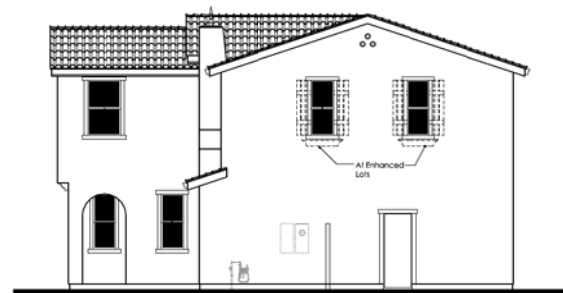


Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '2A'

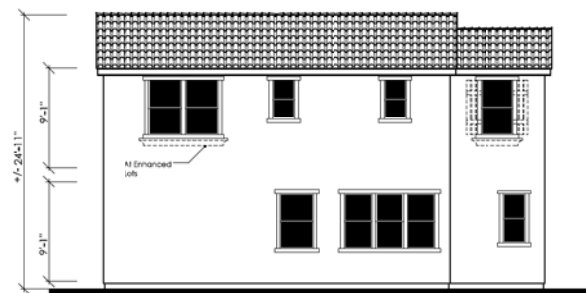


Scale: 1/8" = 1'-0"  
 0 4 8 16



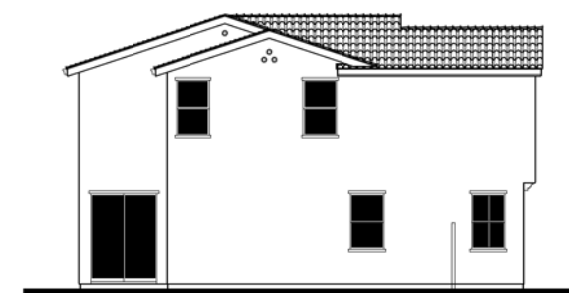
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

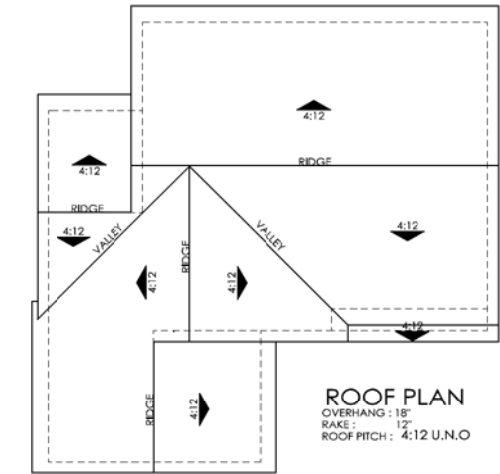
Scale: 1/8" = 1'-0"  
 0 4 8 16

2B  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Siding/Shingle  
 Decorative Shutters  
 Enhanced Sills  
 1x Stucco Finish Trim



Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '2B'

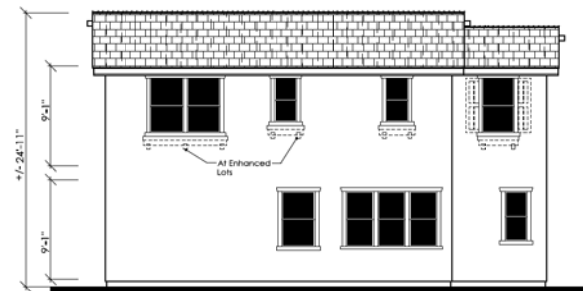


Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

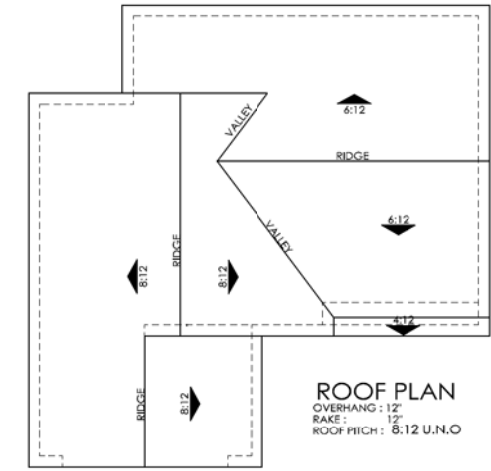
Scale: 1/8" = 1'-0"  
 0 4 8 16

2C  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Board & Batt / Siding  
 Metal Roof  
 Decorative Corbels  
 Enhanced Sills  
 1x Stucco Finish Trim



Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '2C'

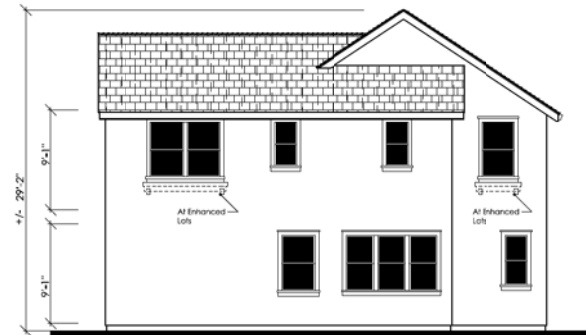


Scale: 1/8" = 1'-0"  
 0 4 8 16



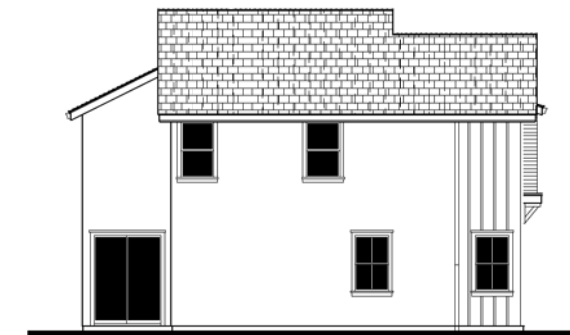
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



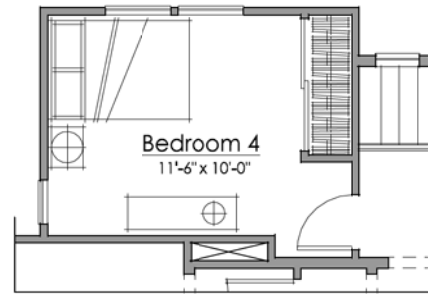
REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

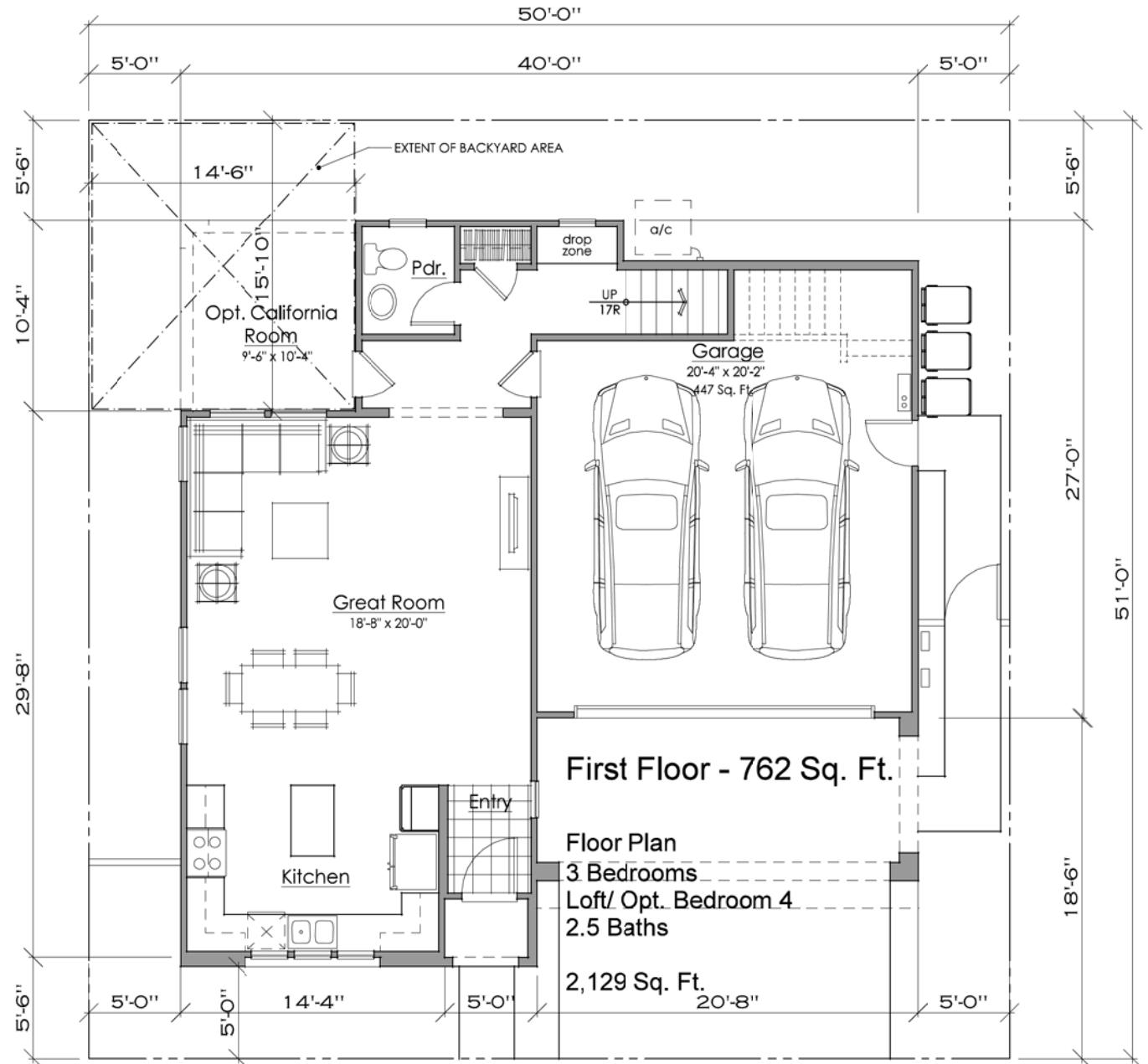
Scale: 1/8" = 1'-0"  
 0 4 8 16



Opt. Bedroom 4

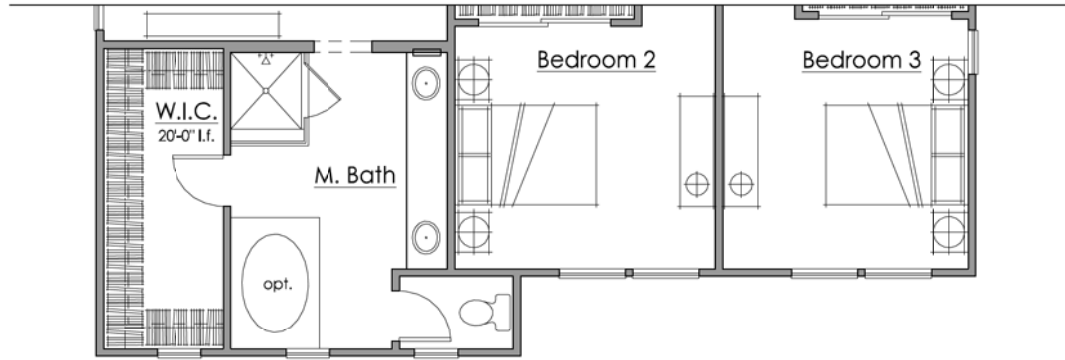


Second Floor  
1,367 s.f.



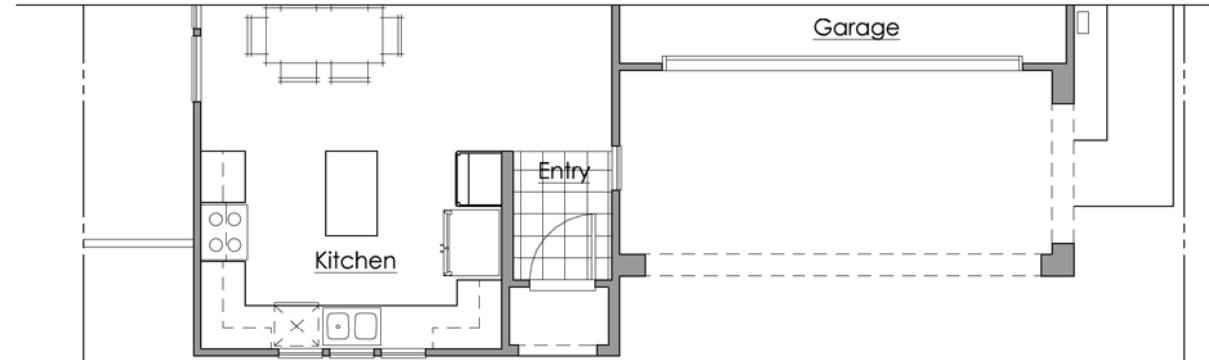
First Floor - 762 Sq. Ft.

Floor Plan  
3 Bedrooms  
Loft/ Opt. Bedroom 4  
2.5 Baths  
2,129 Sq. Ft.

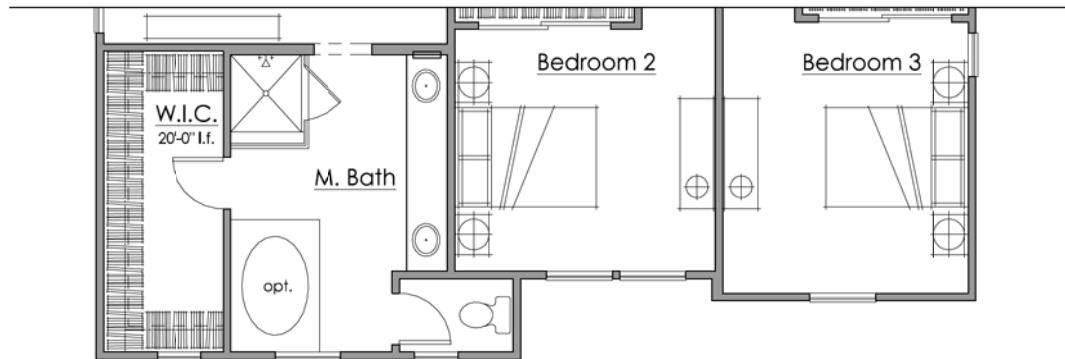


SECOND FLOOR

PLAN 3C ADDENDA

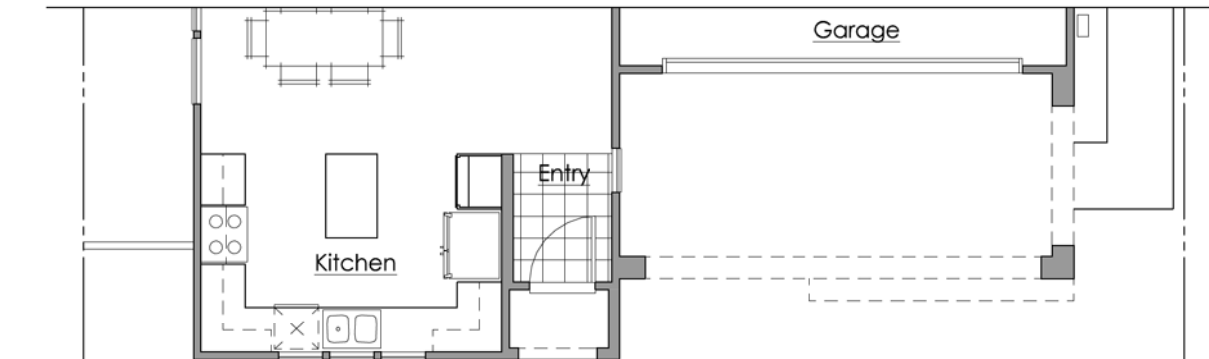


FIRST FLOOR



SECOND FLOOR

PLAN 3B ADDENDA

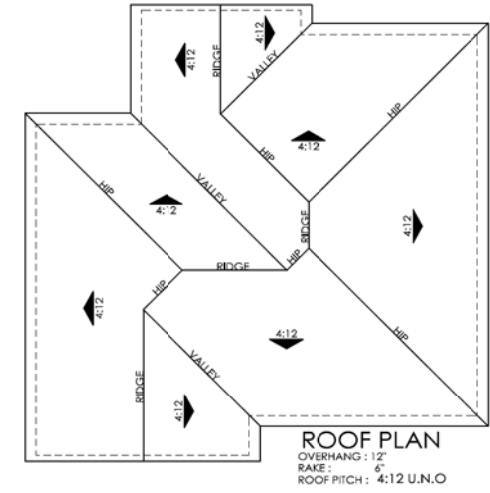


FIRST FLOOR

3A  
 Material Legend:  
 Concrete Low Profile 'S' Tile  
 Stucco Finish  
 Shutters  
 Decorative Finial Detail  
 Enhanced Sills  
 1x Stucco Finish Trim



ELEVATION '3A'



Scale: 1/8" = 1'-0"



RIGHT

Scale: 1/8" = 1'-0"



REAR

Scale: 1/8" = 1'-0"



LEFT

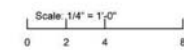
Scale: 1/8" = 1'-0"



ELEVATION '3A'  
SCHEME 3

ELEVATION '3B'  
SCHEME 7

ELEVATION '3C'  
SCHEME 11



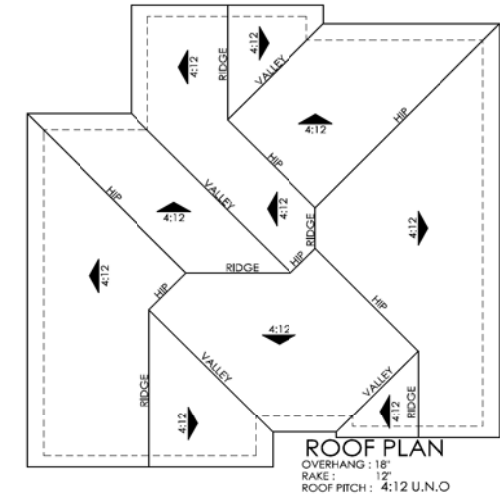


3B  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Siding/Shingle  
 Decorative Shutters  
 Enhanced Sills  
 1x Stucco Finish Trim



Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '3B'

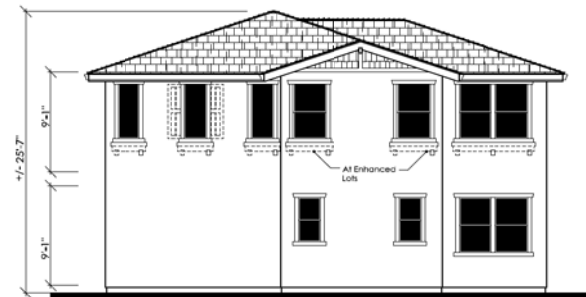


Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



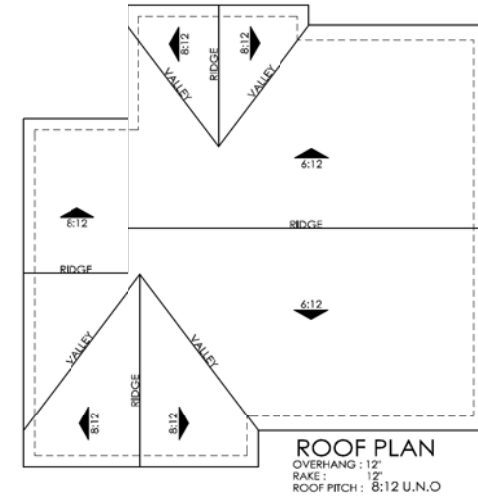
LEFT

Scale: 1/8" = 1'-0"  
 0 4 8 16

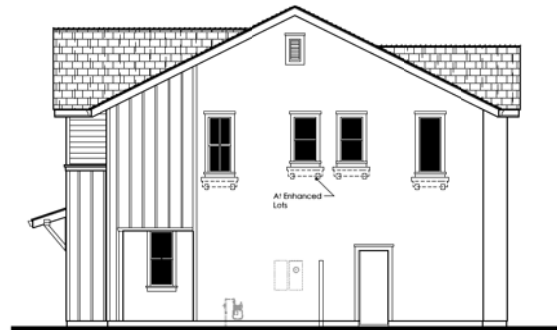
3C  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Board & Batt / Siding  
 Metal Roof  
 Decorative Corbels  
 Enhanced Sills  
 1x Stucco Finish Trim



ELEVATION '3C'

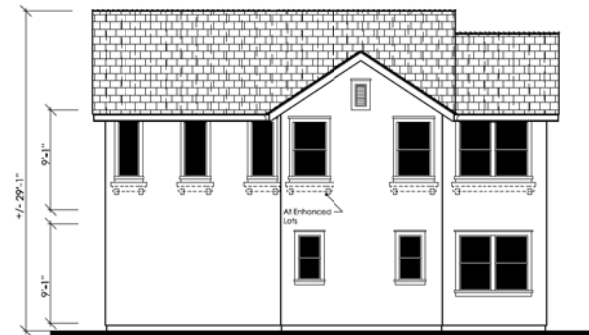


ROOF PLAN  
 OVERHANG: 12"  
 RAKE: 12"  
 ROOF PITCH: 8:12 U.N.O.



RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

Scale: 1/8" = 1'-0"  
 0 4 8 16



ELEVATION '4A'

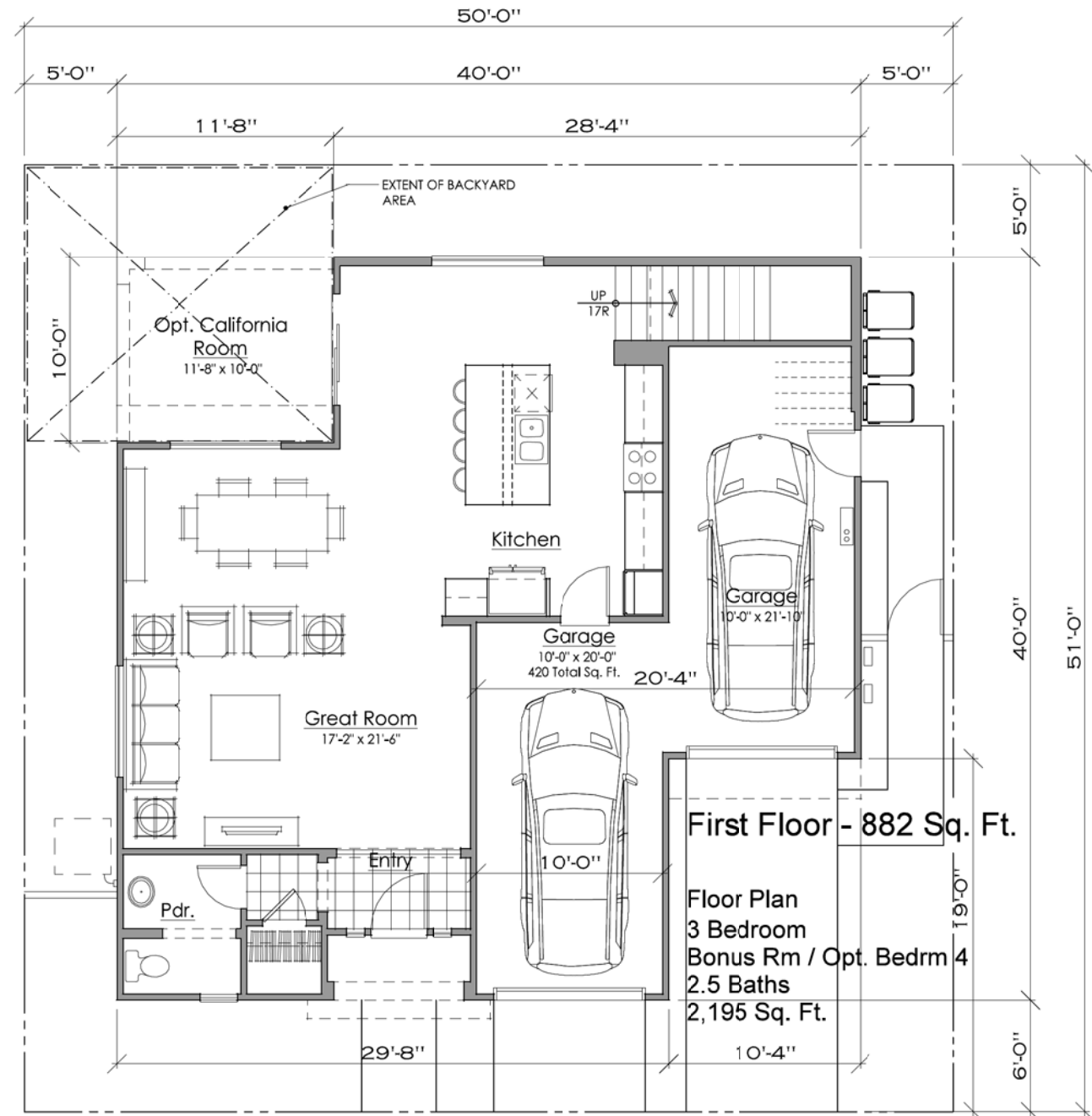
ELEVATION '4B'

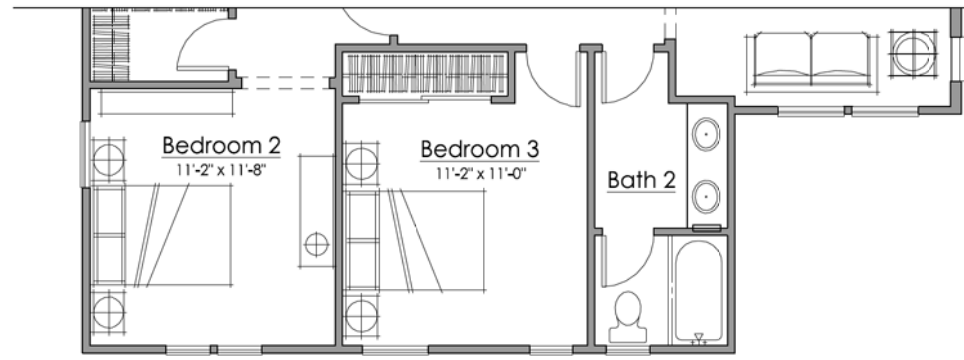
ELEVATION '4C'

SCHEME 4

SCHEME 8

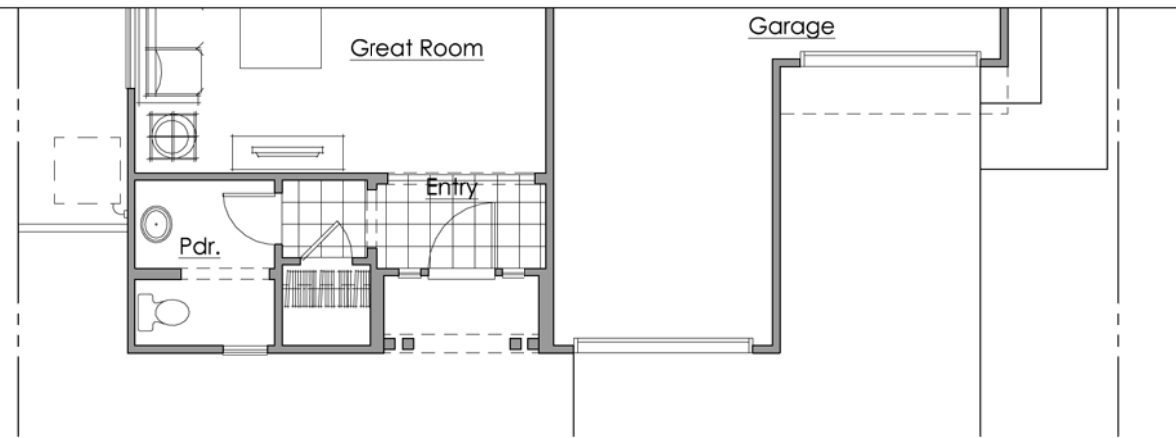
SCHEME 12



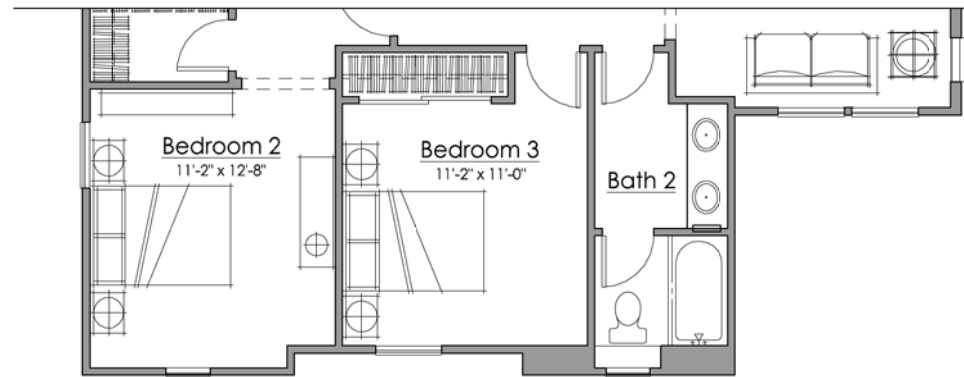


SECOND FLOOR

PLAN 4C ADDENDA

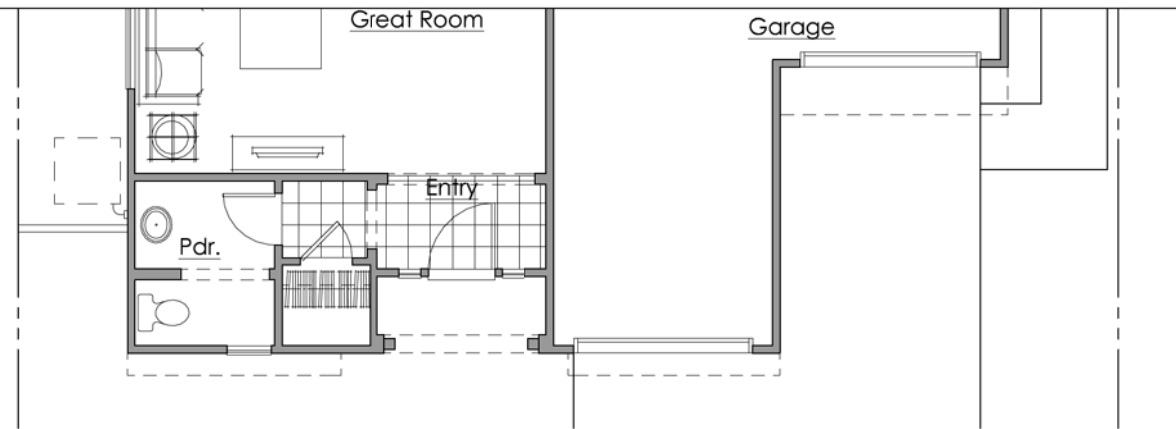


FIRST FLOOR



SECOND FLOOR

PLAN 4B ADDENDA



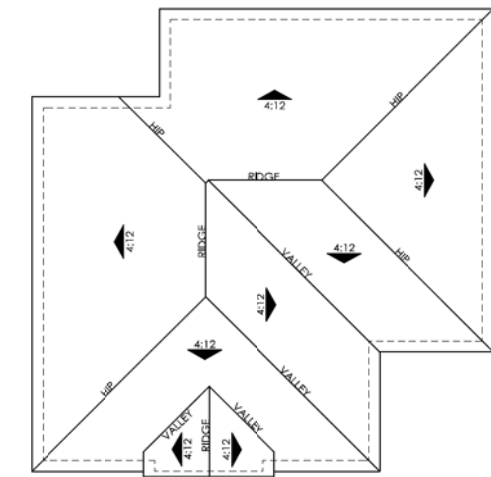
FIRST FLOOR

4A  
 Material Legend:  
 Concrete Low Profile 'S' Tile  
 Stucco Finish  
 Shutters  
 Decorative Finial Detail  
 Enhanced Sills  
 1x Stucco Finish Trim



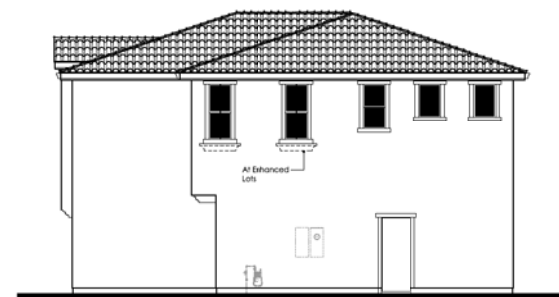
Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '4A'



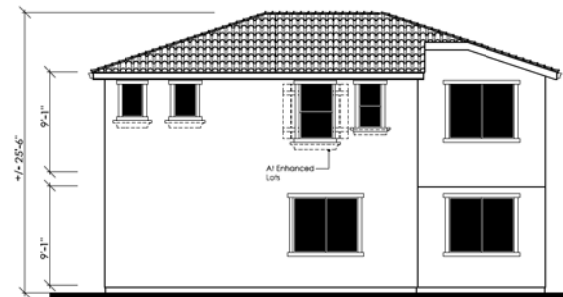
ROOF PLAN  
 OVERHANG: 12"  
 RAKE: 6"  
 ROOF PITCH: 4:12 U.N.O

Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

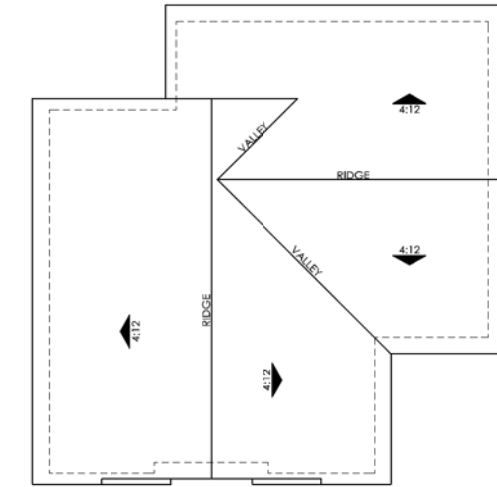
Scale: 1/8" = 1'-0"  
 0 4 8 16

4B  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Siding/Shingle  
 Decorative Shutters  
 Enhanced Sills  
 1x Stucco Finish Trim



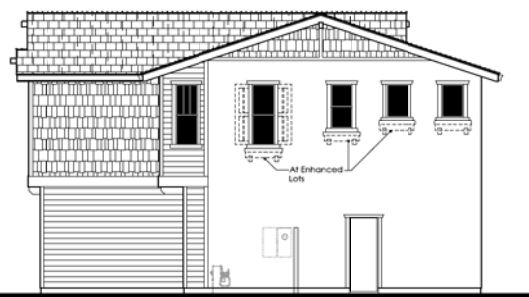
Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '4B'



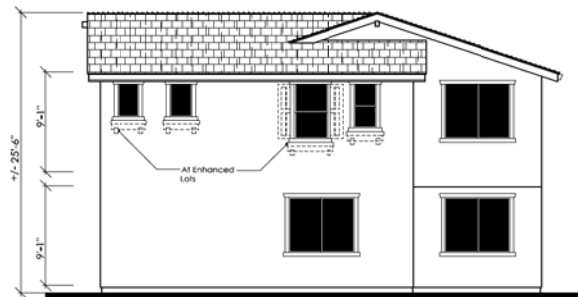
ROOF PLAN  
 OVERHANG: 18"  
 RAISE: 12"  
 ROOF PITCH: 4:12 U.N.O

Scale: 1/8" = 1'-0"  
 0 4 8 16



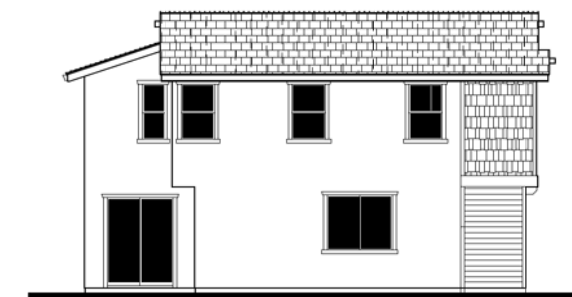
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



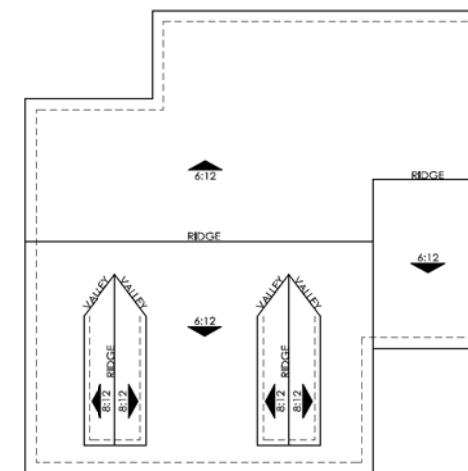
LEFT

Scale: 1/8" = 1'-0"  
 0 4 8 16

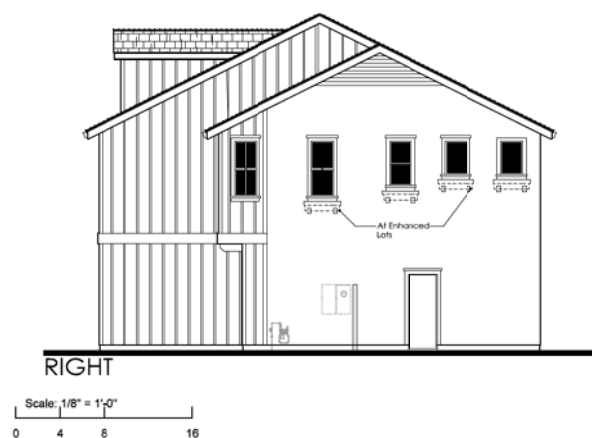
4C  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Board & Batt / Siding  
 Decorative Corbels  
 Enhanced Sills  
 1x Stucco Finish Trim



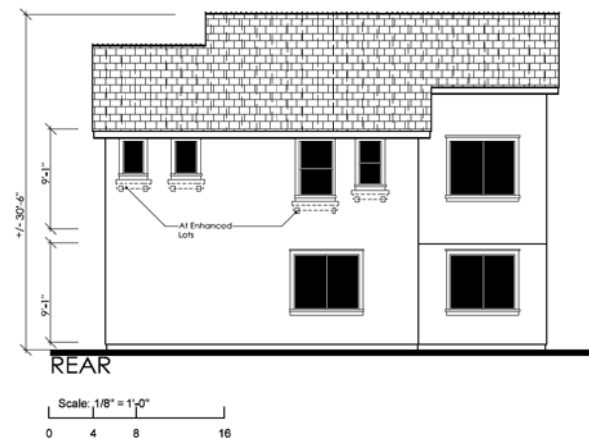
ELEVATION '4C'



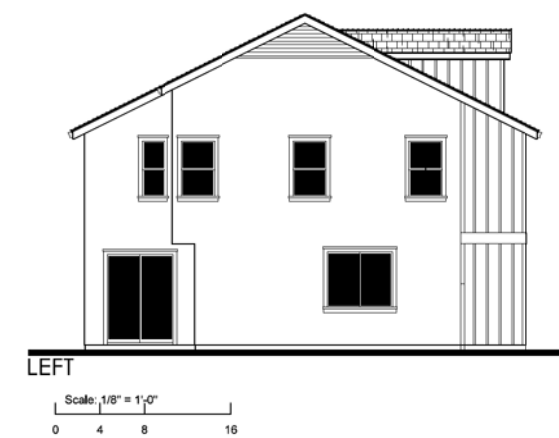
ROOF PLAN  
 OVERHANG: 12"  
 RAISE: 12"  
 ROOF PITCH: 6:12 U.N.O



RIGHT



REAR



LEFT



A- ELEVATIONS

	1	2	3	4
ROOF MATERIAL: LOW 'S' PROFILE				
	2687 BROWN GRAY BLEND	2684 SAN RAFAEL BLEND	2680 LOS PADRES BLEND	2690 PEWTER BRONZE BLEND
STUCCO BODY				
	SW 7565 OYSTER BAR	SW 9174 MOTH WING	SW 7064 PASSIVE	SW 8917 SHELL WHITE
ALL TRIM FACIA/EAVES/ GARAGE DOOR				
	SW 7052 GRAY AREA	SW 7048 URBANE BRONZE	SW 9122 DRIED EDAMAME	SW 2821 DOWNING STONE
ENTRY DOORS SHUTTERS				
	SW 9140 BLUSTERY SKY	SW 6272 PLUM BROWN	SW 7067 CITYSCAPE	SW 6394 SEQUIN

B- ELEVATIONS

	5	6	7	8
ROOF MATERIAL: FLAT SHAKE PROFILE				
	5810 AVONDALE	5809 LOMITA	5699 CHARCOAL BLEND	5687 BROWN GRAY BLEND
SHINGLE SIDING (EXCEPT GABLE/ GARAGE DOOR)				
	SW 0077 CLASSIC FRENCH GRAY	SW 9125 OLIVIA OSCURO	SW 7059 UNUSUAL GRAY	SW 6165 CONNECTED GRAY
FACIA/EAVES/ ALL TRIM GABLE SHINGLES/ CORNER BOARDS				
	SW 7042 SHOJI WHITE	SW 7043 WORLDLY GRAY	SW 7007 CEILING BRIGHT WHITE	SW 6153 PROTEGE BRONZE
STUCCO/ HORIZONTAL SIDING				
	SW 7015 REPOSE GRAY	SW 6039 POISED TAUPE	SW 7057 SILVER STRAND	SW 6170 TECHNO GRAY
SHUTTERS				
	SW 6134 NETSUKE	SW 7061 NIGHT OWL	SW 7068 GRIZZLE GRAY	SW 6117 SMOKEY TOPAZ
ENTRY DOOR				
	SW 6340 BAKED CLAY	SW 6990 CAVIAR	SW TOILE RED	SW 9107 UBER UMBER

C - ELEVATIONS

	9	10	11	12
ROOF MATERIAL: FLAT SHAKE PROFILE				
	4883 HILLSBOUROUGH BLEND	4882 MANTECA BLEND	4679 LIGHT GRAY	4689 BROWN BLEND
BATTEN SIDING / BATTEN SIDING CORNER BOARDS EXCEPT AT 2C / 3C BELLY BANDS/				
	SW 2848 ROYCROFT PEWTER	SW 6054 CANYON CLAY	SW 7007 CEILING BRIGHT WHITE	SW 2833 ROYCROFT VELLUM
STUCCO				
	SW 7757 REFELCTIVE WHITE	SW 7650 ELLIE GRAY	SW 7007 CEILING BRIGHT WHITE	SW 2833 ROYCROFT VELLUM
HORIZONTAL SIDING AT 2C / 3C ONLY / GARAGE DOORS				
	SW 7757 REFELCTIVE WHITE	SW 7650 ELLIE GRAY	SW 6211 RAINWASHED	SW 6391 GALLANT GOLD
FASCIA / EAVES / GABLE SIDING / TRIM CORNER BOARDS AT 2C&3C ONLY				
	SW 7063 NEBULOUS WHITE	SW 7006 EXTRA WHITE	SW 7007 CEILING BRIGHT WHITE	SW 2843 ROYCROFT BRASS
ENTRY DOORS				
	SW 6416 SASSY GREEN	SW 7063 NEBULOUS WHITE	SW 6332 CORAL ISLAND	SW 7075 WEB GRAY



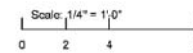


Architecture + Planning  
 580 Second St., Suite 200  
 Oakland, CA 94607  
 510.272.2910  
 ktgy.com

Lewis Operating Corporation

**Sierra Pine - N2 - 45 x 65 Lots**  
 Rocklin, Ca. #2015-0461

**SCHEMATIC DESIGN**  
 03-27-2017



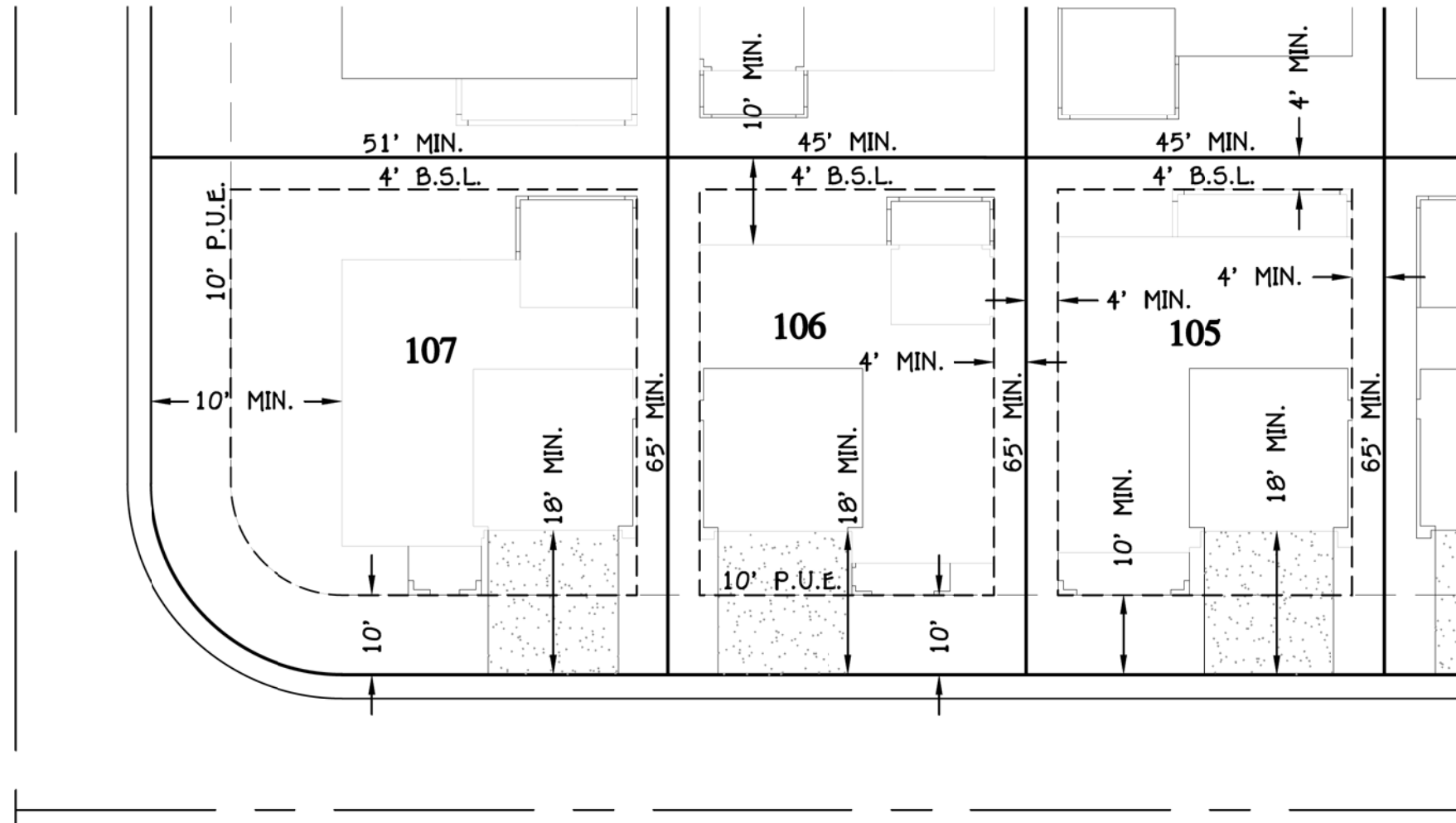
SITE PERSPECTIVE

A2.

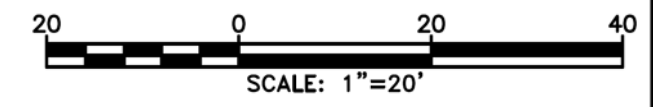
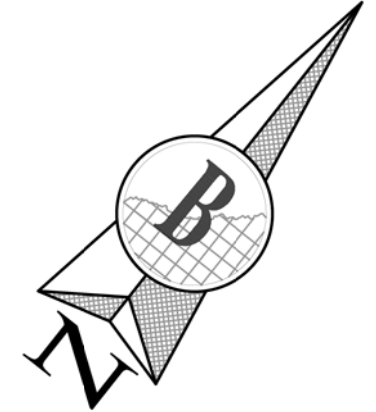
SETBACK EXHIBIT FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

CALIFORNIA



**45 x 65 LOTS**



MAX. LOT COVERAGE = 57%

**LEGEND:**  
 BUILDING SETBACK LINE... - - - - -

SETBACK EXHIBIT FOR:  
**SIERRA PINE**  
 SHEET 3 OF 3  
 MAY 5, 2017  
 REVISED - JUNE 6, 2017

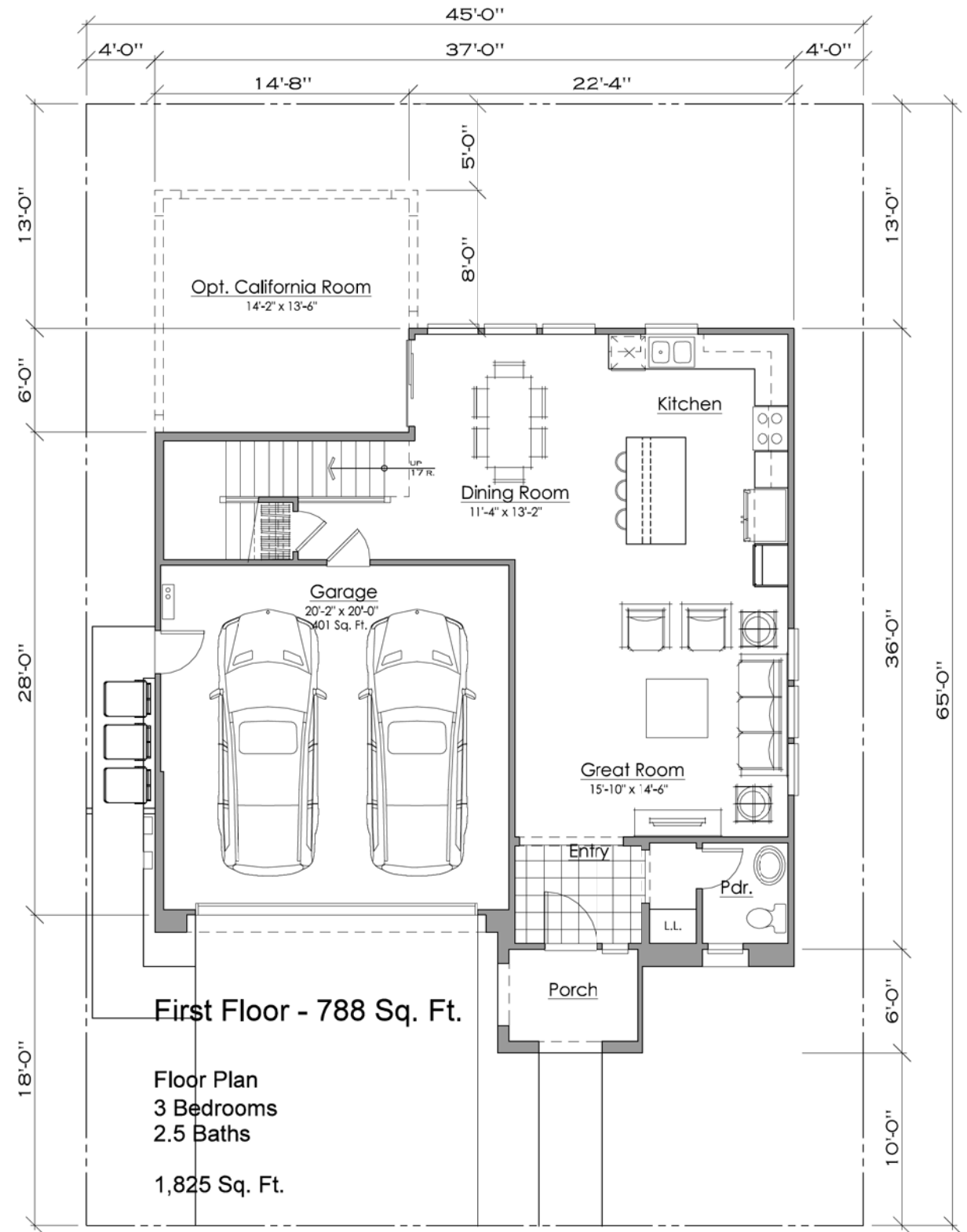
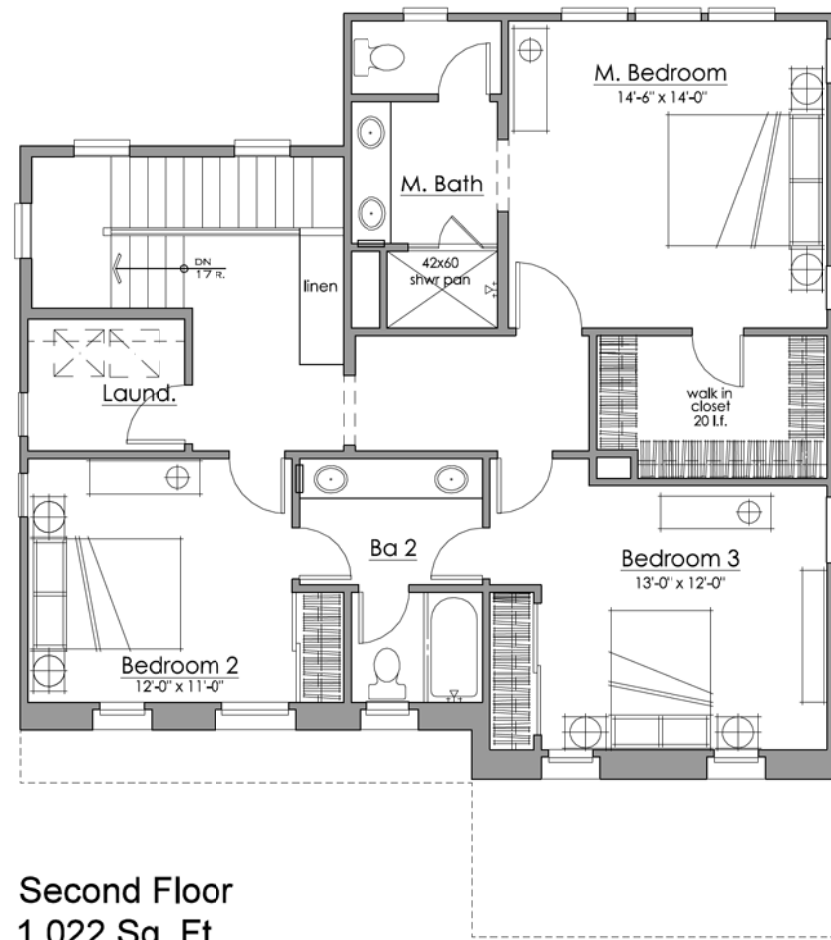
**B** BURRELL  
 CONSULTING  
 GROUP, INC.  
1001 Enterprise Way, Suite 100 Roseville, CA 95678 (916) 783-8898

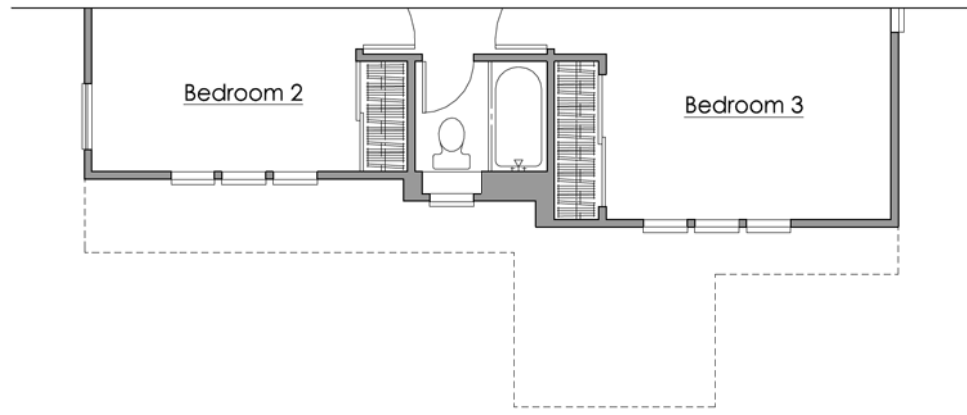


ELEVATION '1A'  
SCHEME 1

ELEVATION '1B'  
SCHEME 5

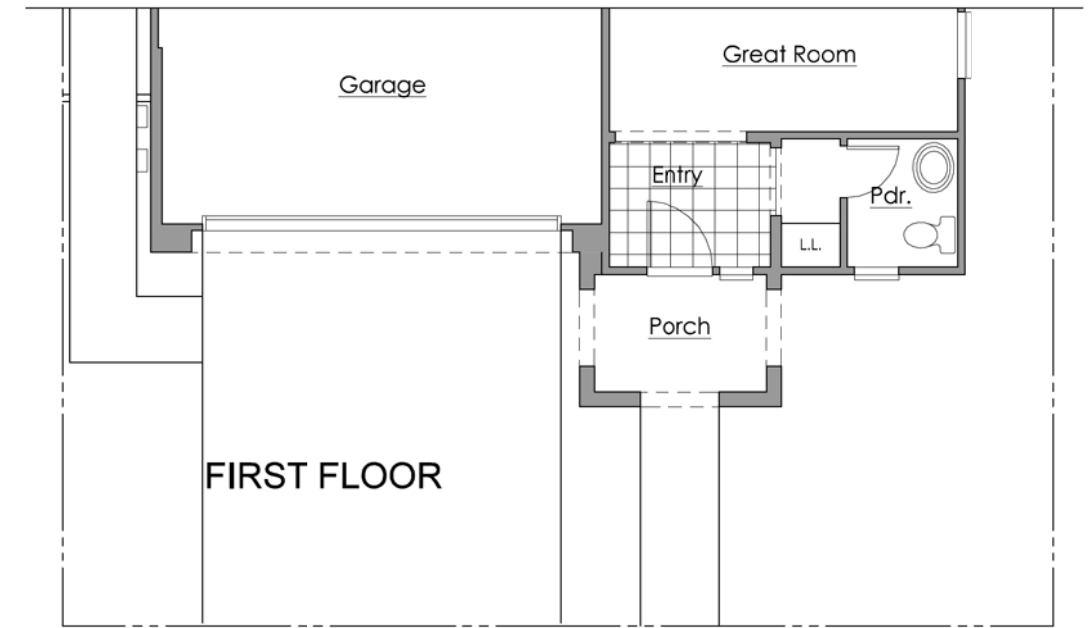
ELEVATION '1C'  
SCHEME 9



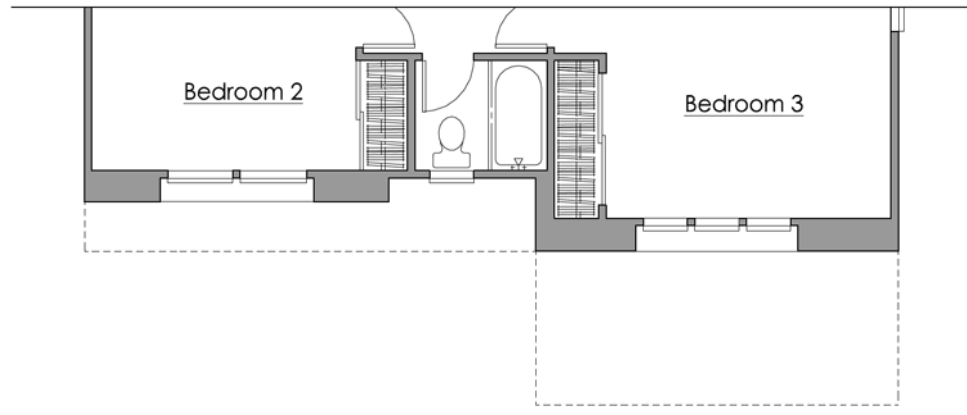


SECOND FLOOR

PLAN 1C ADDENDA

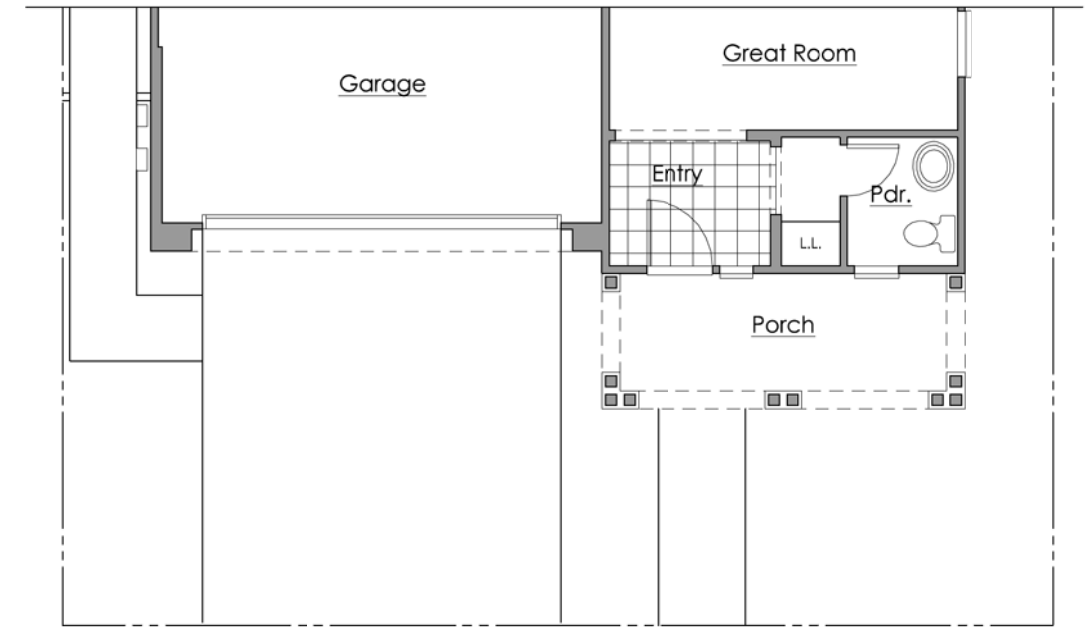


FIRST FLOOR



SECOND FLOOR

PLAN 1B ADDENDA



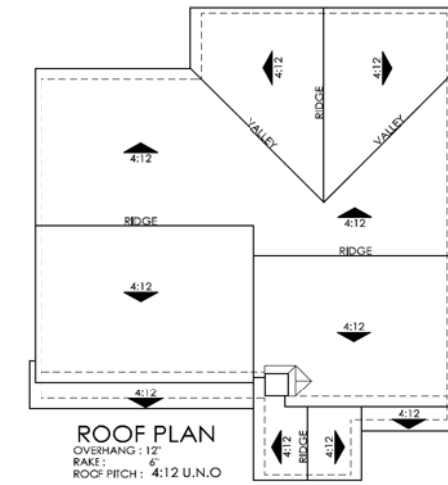
FIRST FLOOR

1A  
 Material Legend:  
 Concrete Low Profile 'S' Tile  
 Stucco Finish  
 Shutters  
 Decorative Finial Detail  
 Enhanced Sills  
 1x Stucco Finish Trim

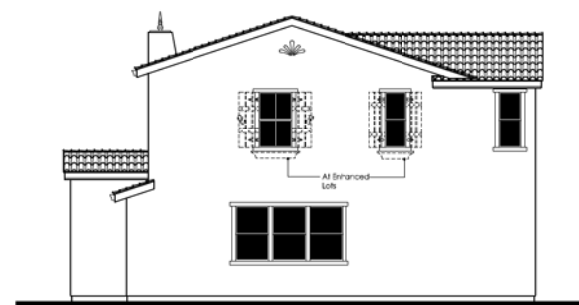


Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '1A'

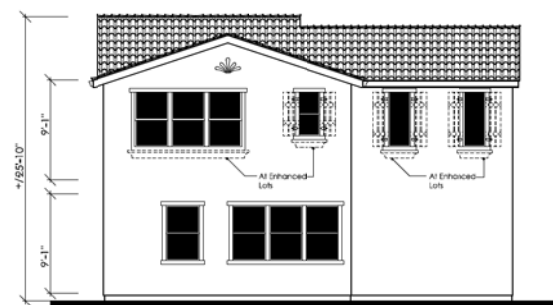


Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

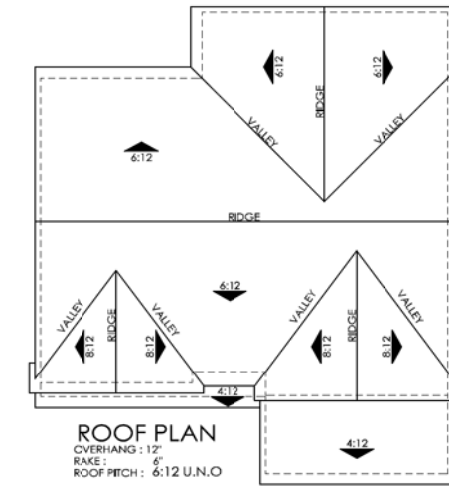
Scale: 1/8" = 1'-0"  
 0 4 8 16

1B  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Stucco Finish  
 Board and Batt Siding  
 Decorative Kickers  
 Enhanced Sills  
 1x Stucco Finish Trim

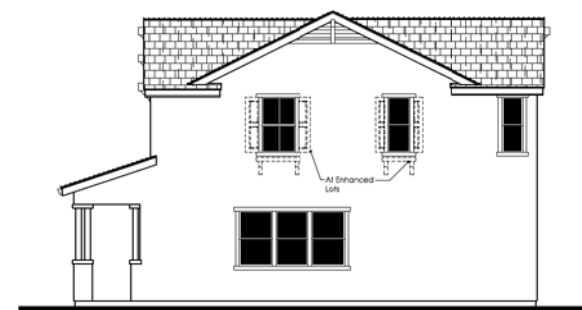


Scale: 1/4" = 1'-0"  
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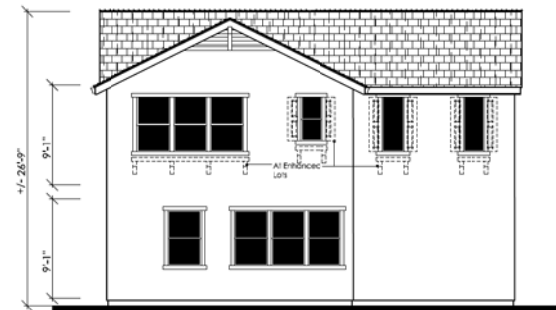
ELEVATION '1B'



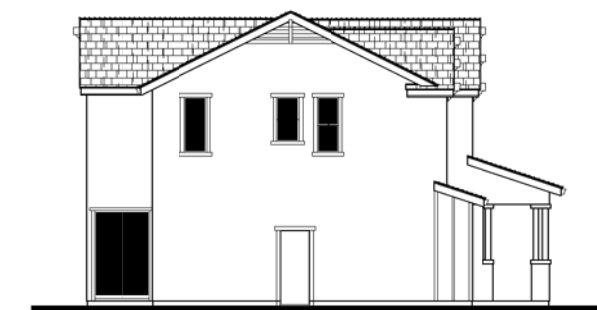
Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



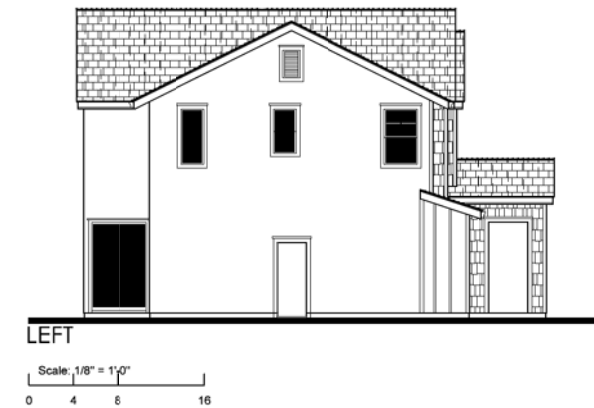
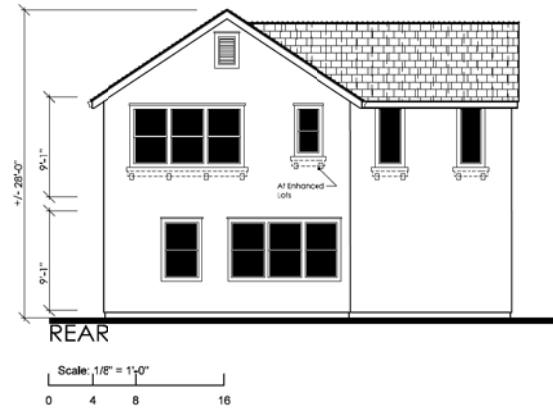
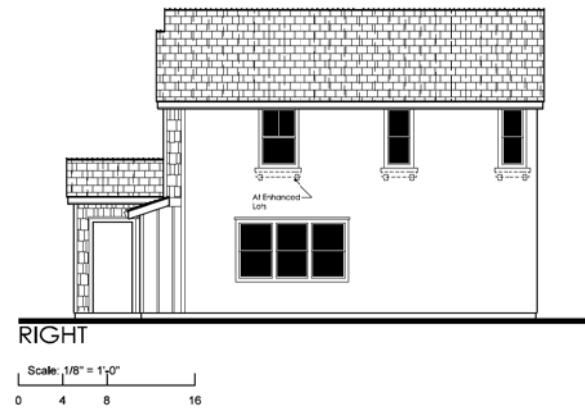
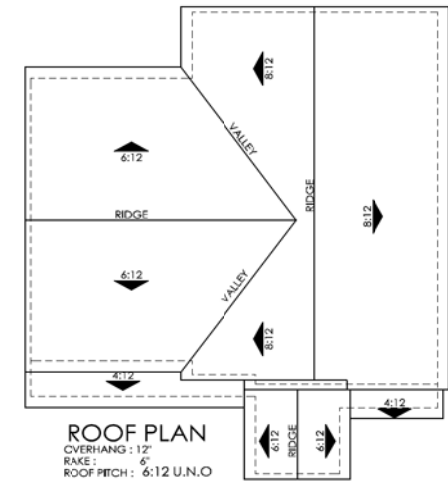
1C  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Shingles  
 Board and Batt Siding  
 Enhanced Sills  
 1x Stucco Finish Trim



Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '1C'

Scale: 1/8" = 1'-0"  
 0 4 8 16





ELEVATION '2A'  
SCHEME 2

ELEVATION '2B'  
SCHEME 6

ELEVATION '2C'  
SCHEME 10



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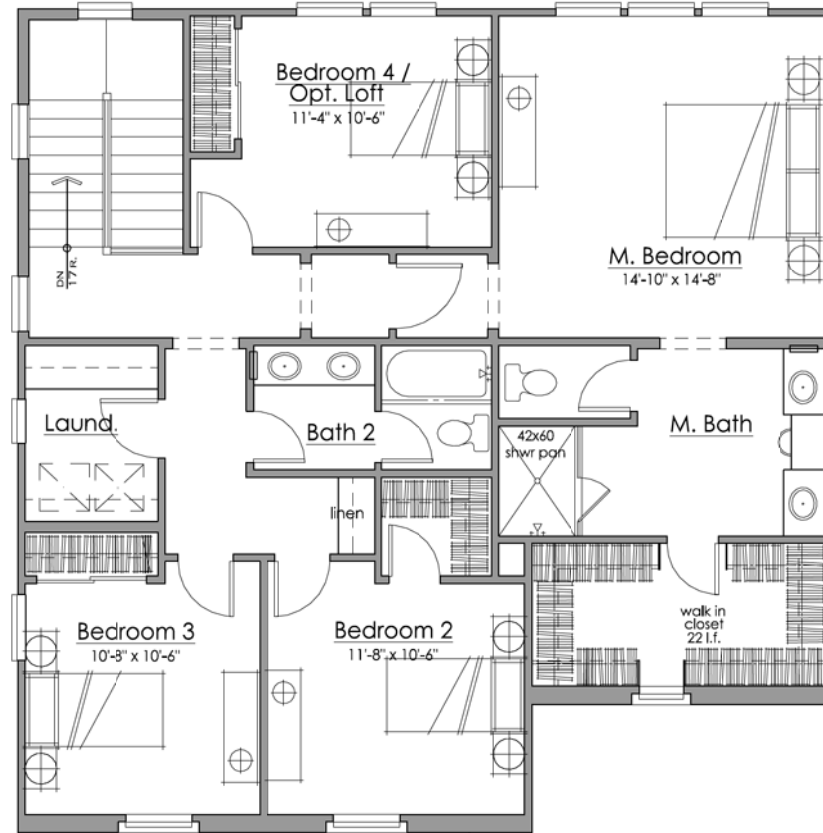
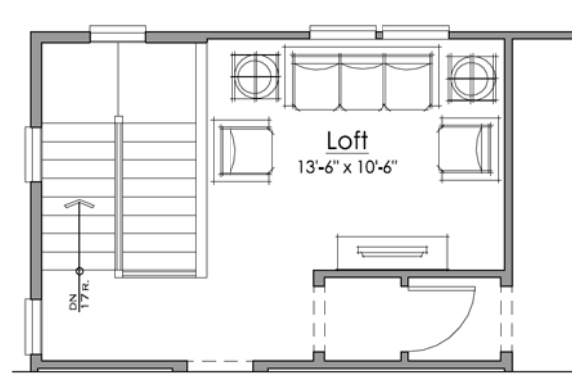
Sierra Pine - N2 - 45 x 65 Lots  
Rocklin, Ca. #2015-0461

SCHEMATIC DESIGN  
03-27-2017

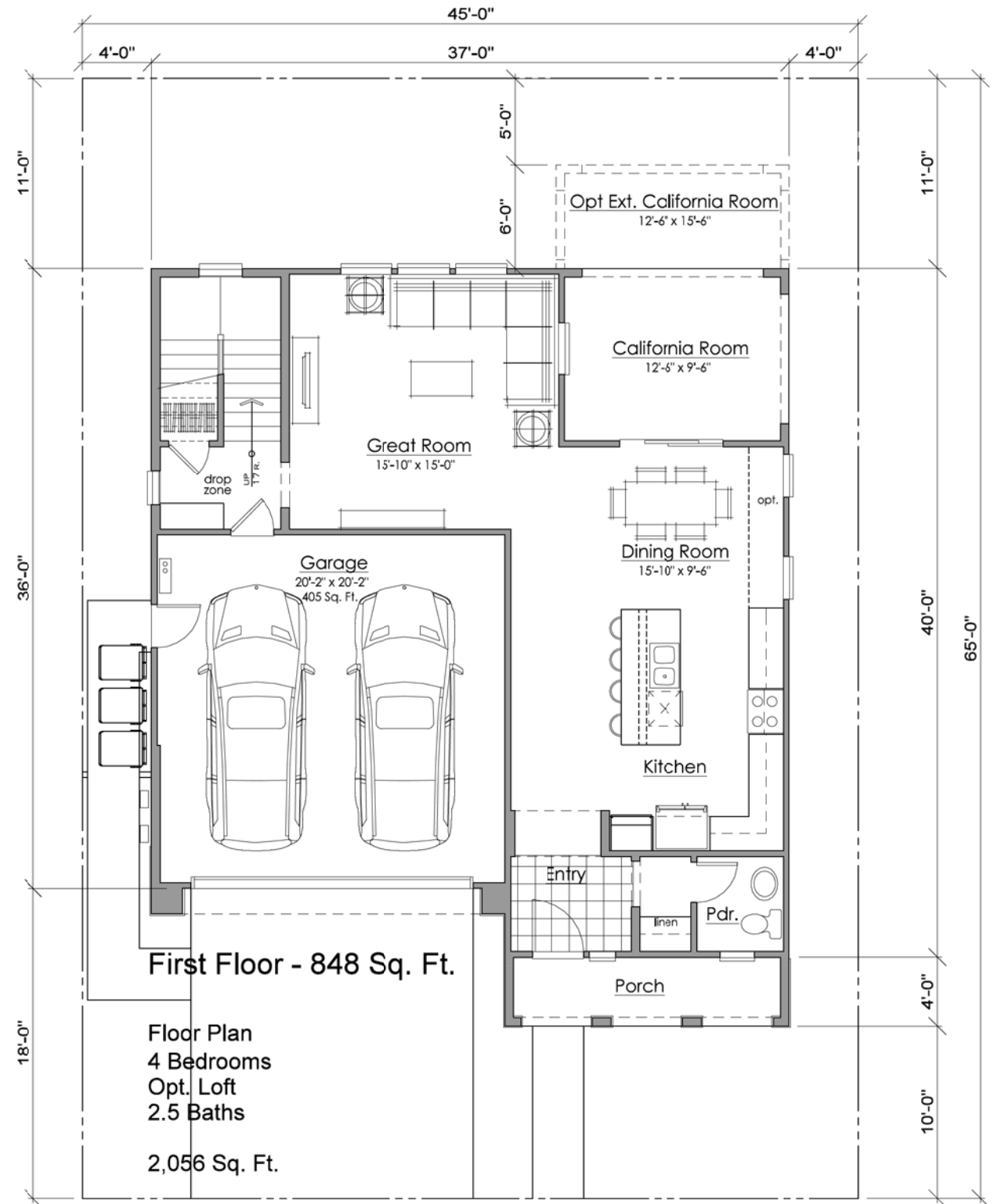
Scale: 1/4" = 1'-0"  
0 2 4 8

PLAN 2 FLOOR PLAN

A2.0



Second Floor  
1,208 Sq. Ft.

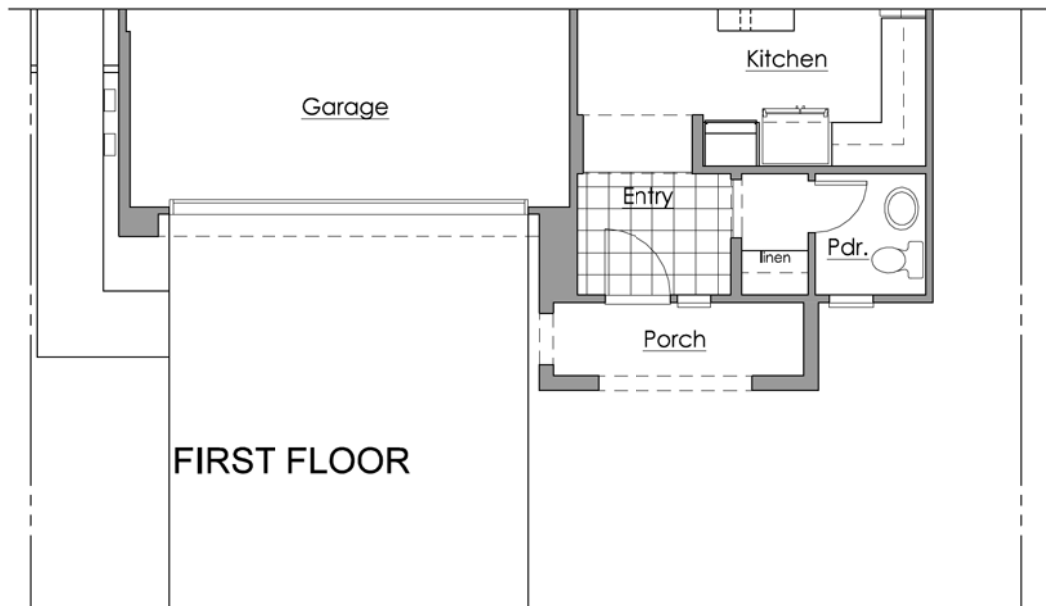


First Floor - 848 Sq. Ft.

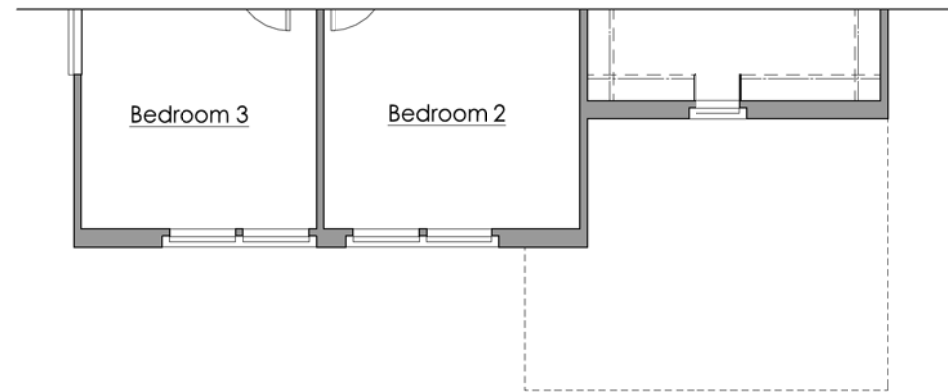
Floor Plan  
4 Bedrooms  
Opt. Loft  
2.5 Baths  
2,056 Sq. Ft.



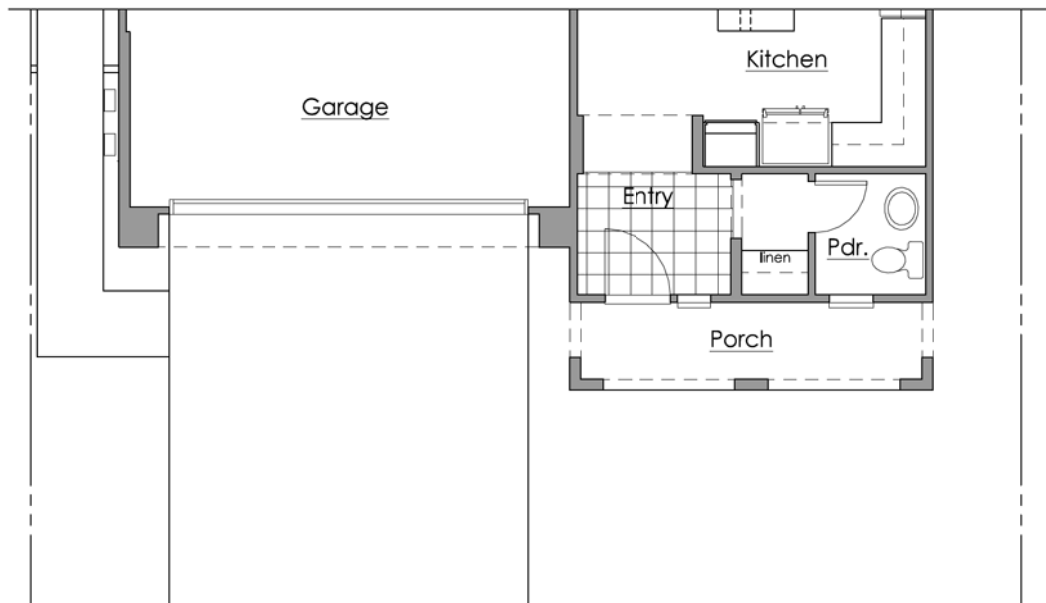
SECOND FLOOR



FIRST FLOOR

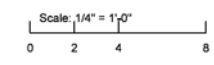


SECOND FLOOR



FIRST FLOOR

PLAN 2B ADDENDA

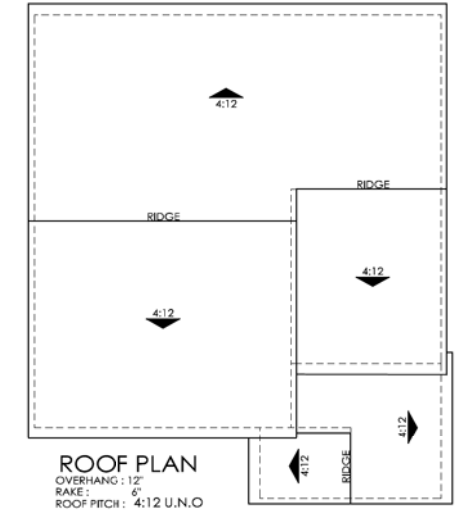


2A  
 Material Legend:  
 Concrete Low Profile 'S' Tile  
 Stucco Finish  
 Shutters  
 Decorative Finial Detail  
 Enhanced Sills  
 1x Stucco Finish Trim

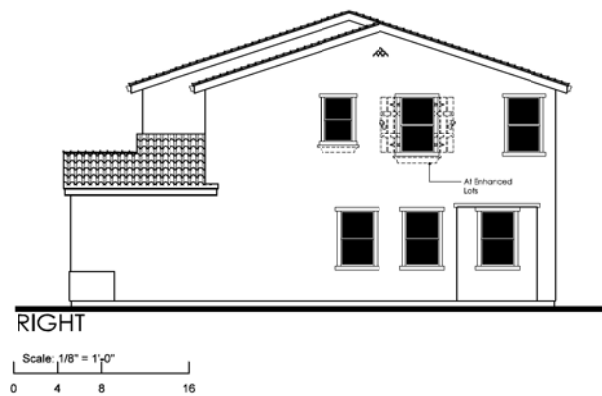


Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '2A'

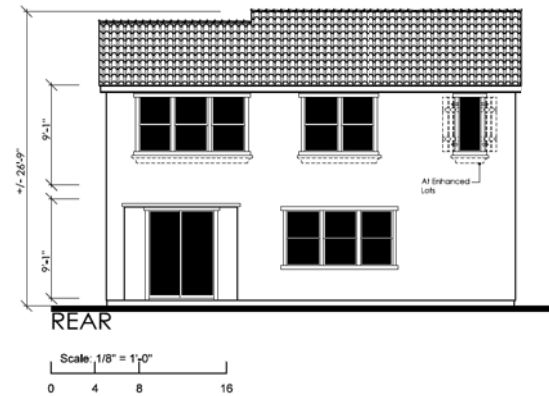


Scale: 1/8" = 1'-0"  
 0 4 8 16



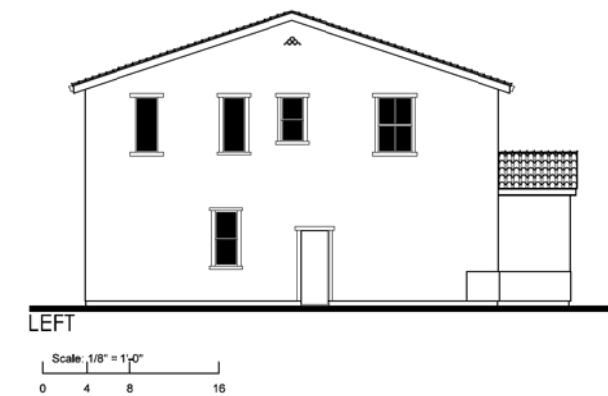
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

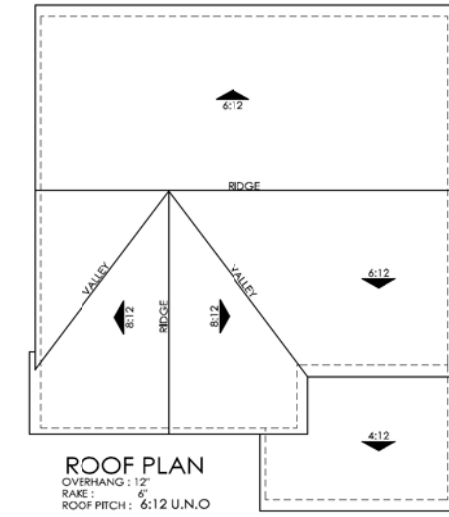
Scale: 1/8" = 1'-0"  
 0 4 8 16

2B  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Stucco Finish  
 Board and Batt Siding  
 Decorative Kickers  
 Enhanced Sills  
 1x Stucco Finish Trim

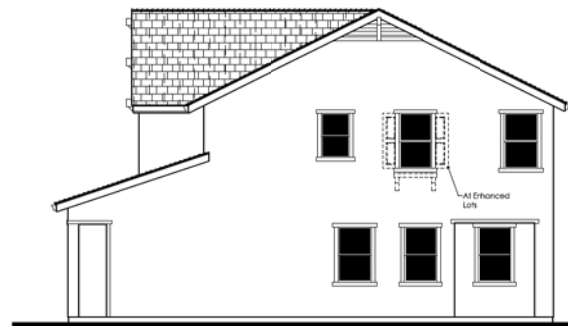


Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '2B'

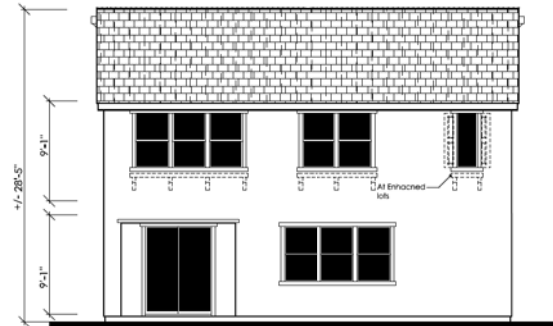


Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

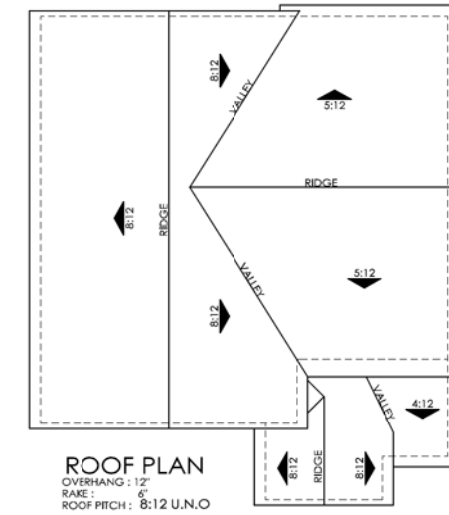
Scale: 1/8" = 1'-0"  
 0 4 8 16

2C  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Shingles  
 Board and Batt Siding  
 Enhanced Sills  
 1x Stucco Finish Trim

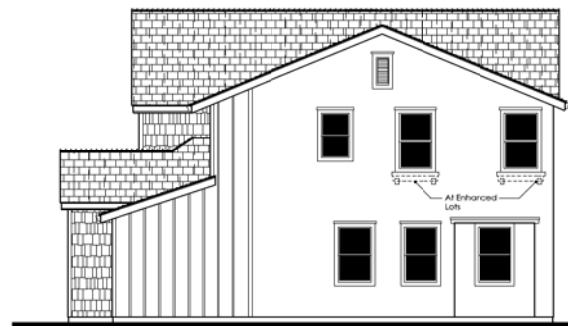


Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '2C'

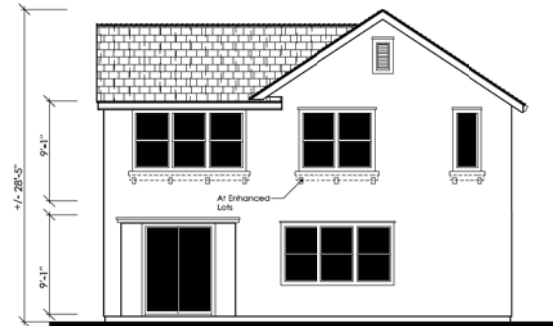


Scale: 1/8" = 1'-0"  
 0 4 8 16



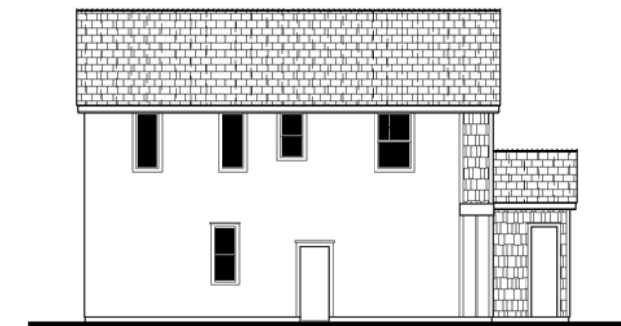
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

Scale: 1/8" = 1'-0"  
 0 4 8 16

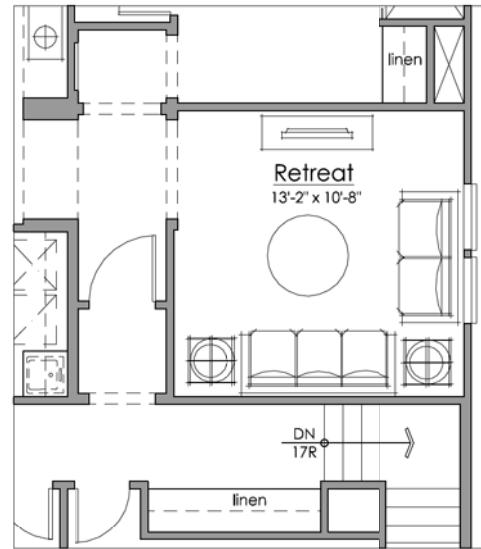


ELEVATION '3A'  
SCHEME 3

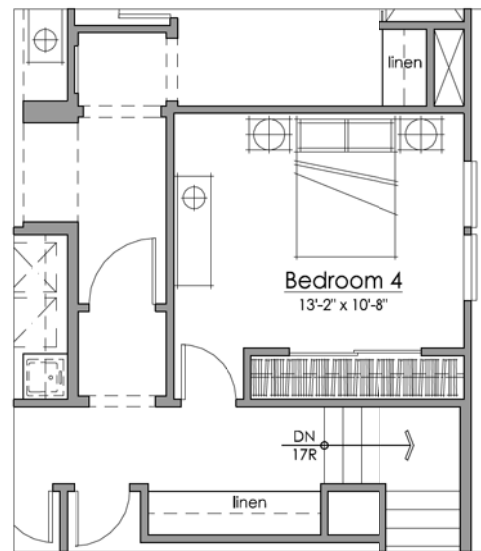
ELEVATION '3B'  
SCHEME 7

ELEVATION '3C'  
SCHEME 11

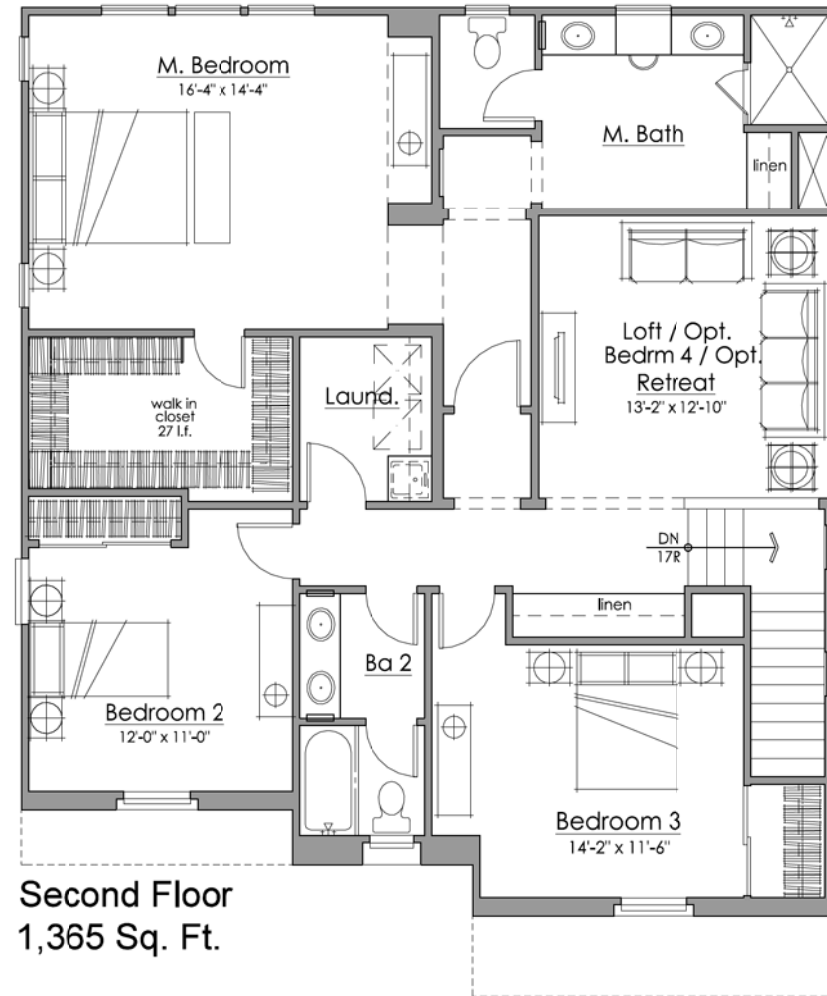




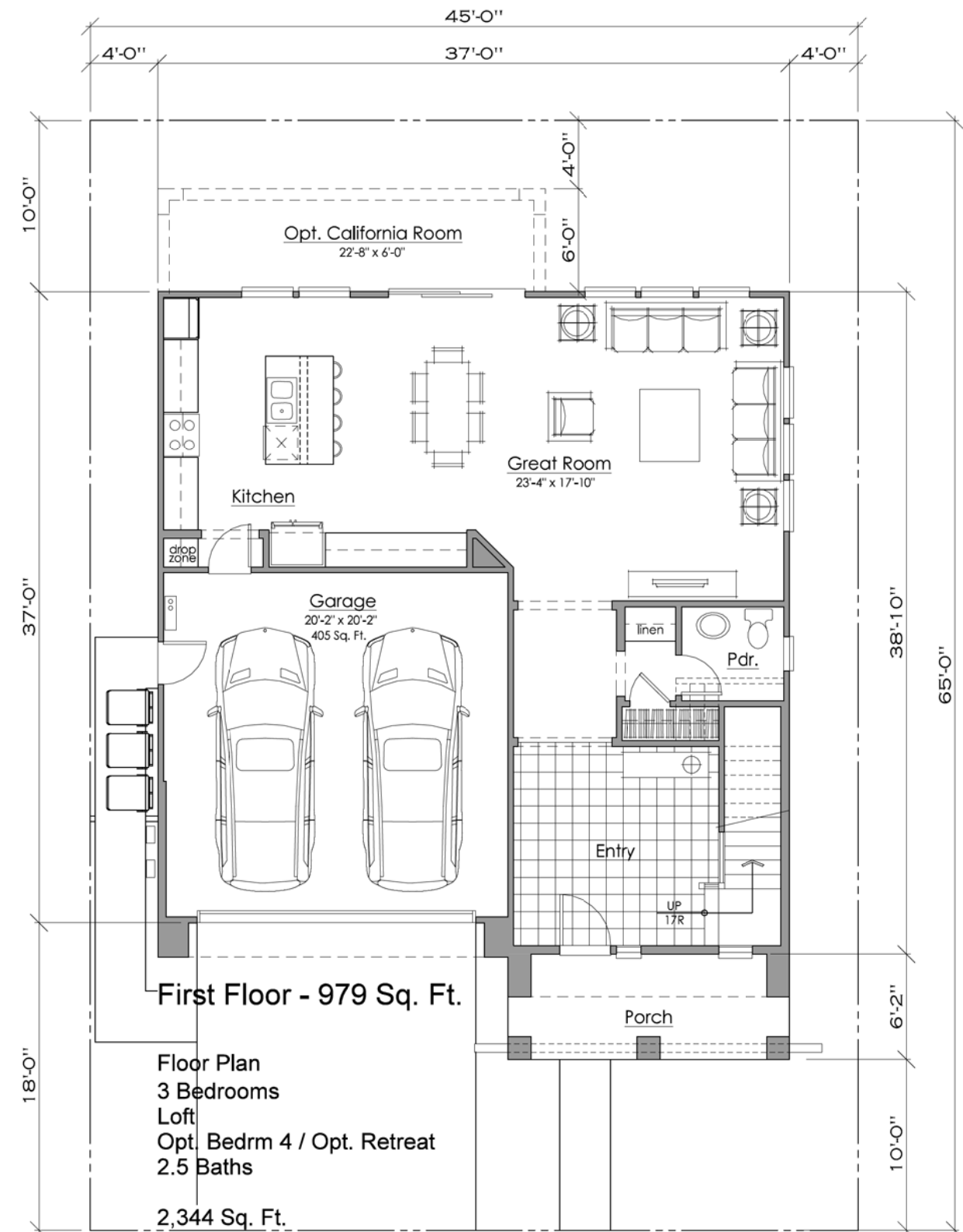
Optional Retreat



Optional Bedroom 4

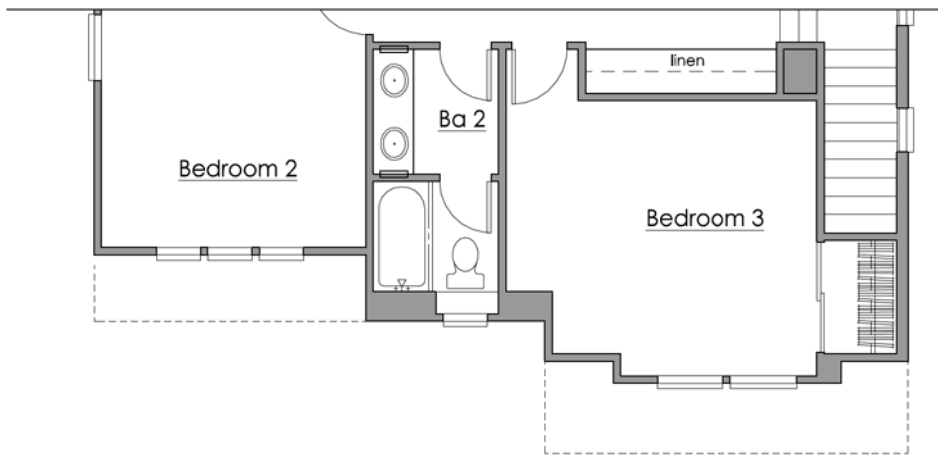


Second Floor  
1,365 Sq. Ft.



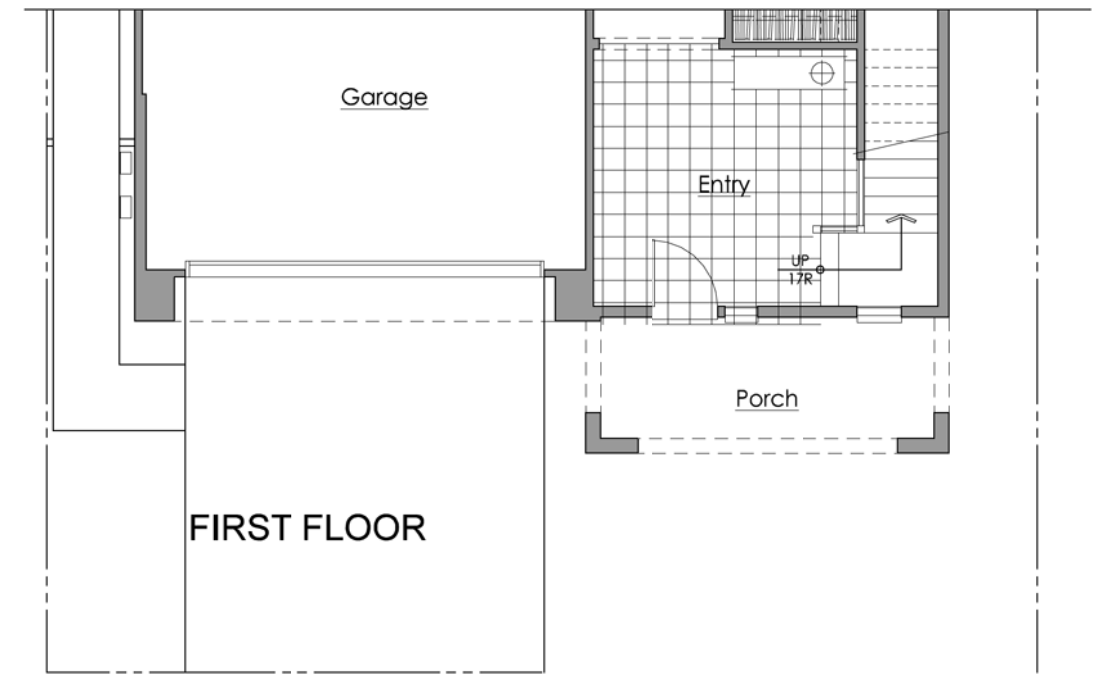
First Floor - 979 Sq. Ft.

Floor Plan  
3 Bedrooms  
Loft  
Opt. Bedrm 4 / Opt. Retreat  
2.5 Baths  
2,344 Sq. Ft.

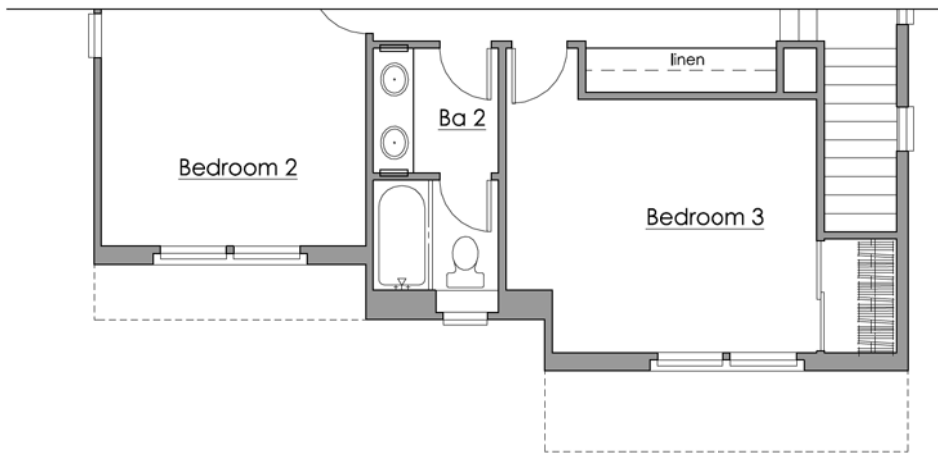


SECOND FLOOR

PLAN 3C ADDENDA

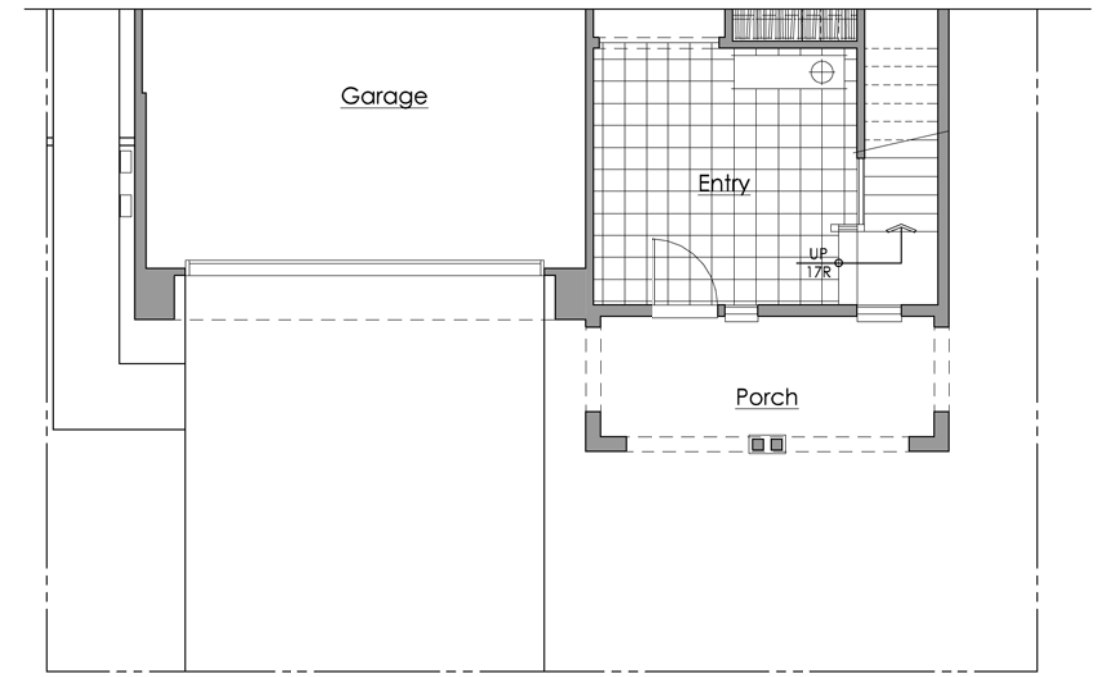


FIRST FLOOR



SECOND FLOOR

PLAN 3B ADDENDA

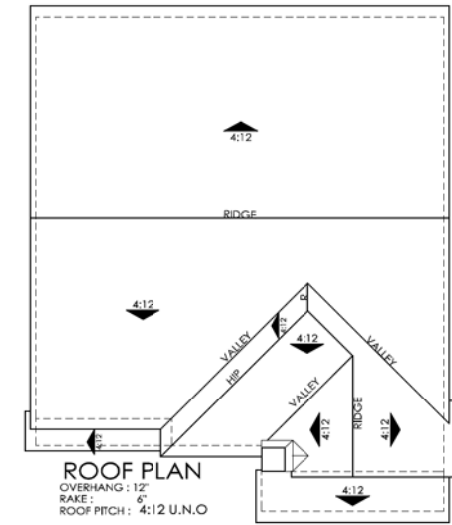


FIRST FLOOR

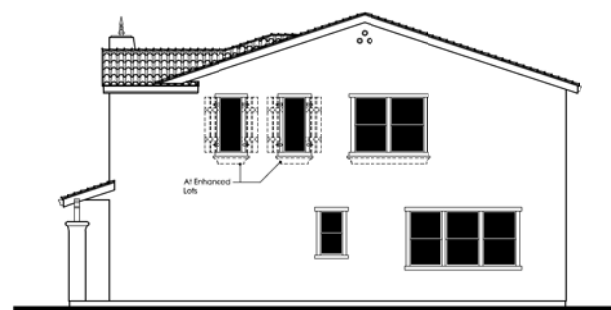
3A  
 Material Legend:  
 Concrete Low Profile 'S' Tile  
 Stucco Finish  
 Shutters  
 Decorative Finial Detail  
 Enhanced Sills  
 1x Stucco Finish Trim



ELEVATION '3A'

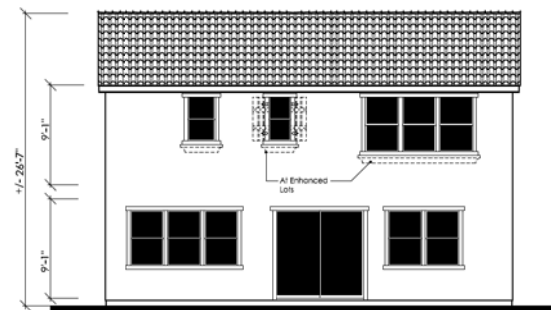


Scale: 1/8" = 1'-0"



RIGHT

Scale: 1/8" = 1'-0"



REAR

Scale: 1/8" = 1'-0"



LEFT

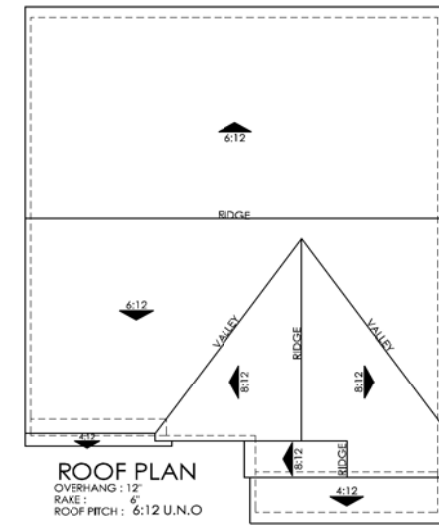
Scale: 1/8" = 1'-0"

3B  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Stucco Finish  
 Board and Batt Siding  
 Decorative Kickers  
 Enhanced Sills  
 1x Stucco Finish Trim



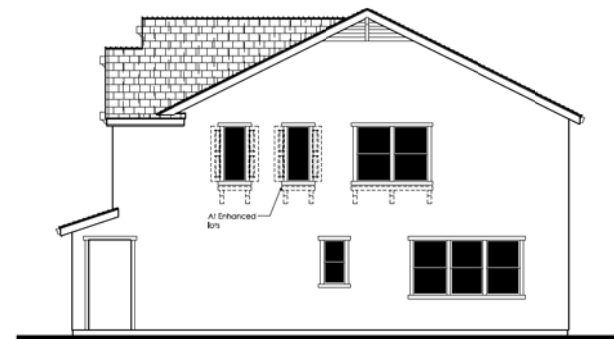
Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '3B'



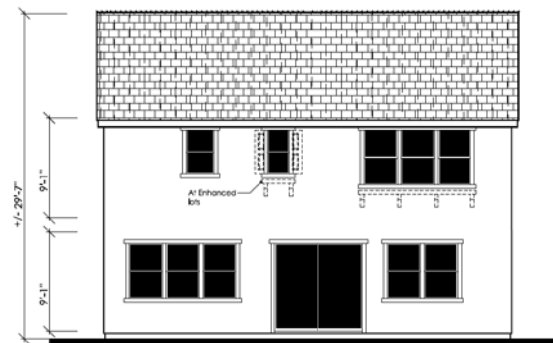
ROOF PLAN  
 OVERHANG: 12"  
 RAISE: 6"  
 ROOF PITCH: 6:12 U.N.O

Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

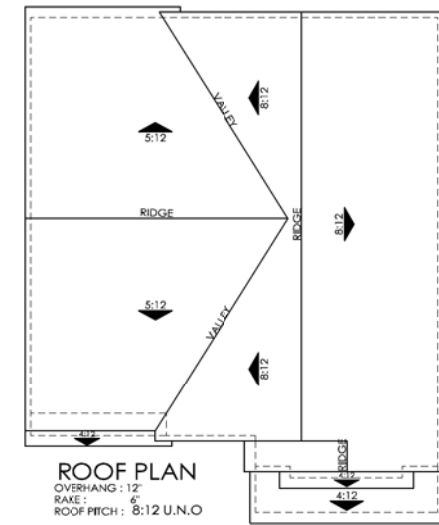
Scale: 1/8" = 1'-0"  
 0 4 8 16

3C  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Shingles  
 Board and Batt Siding  
 Enhanced Sills  
 1x Stucco Finish Trim



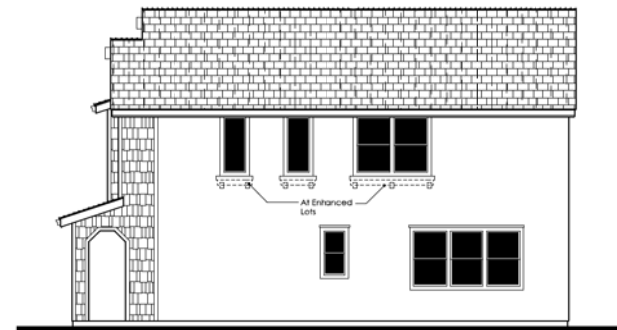
Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '3C'



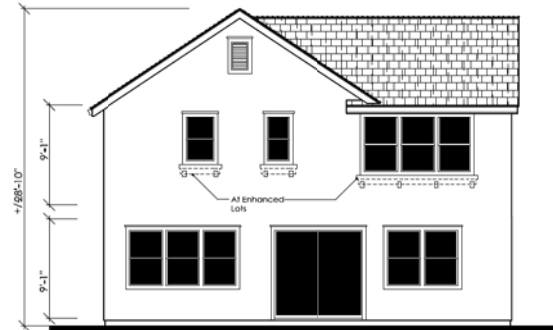
ROOF PLAN  
 OVERHANG: 12"  
 RAKE: 6"  
 ROOF PITCH: 8:12 U.N.O.

Scale: 1/8" = 1'-0"  
 0 4 8 16



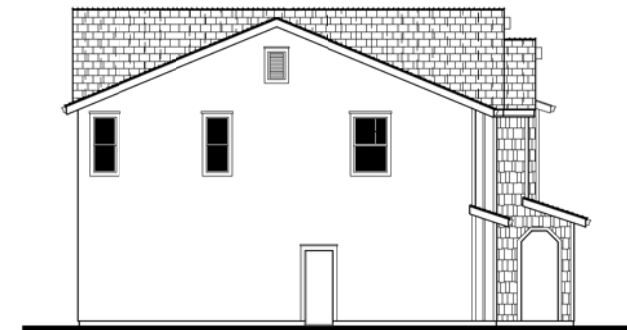
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

Scale: 1/8" = 1'-0"  
 0 4 8 16

A- ELEVATIONS

1

2

3

4

ROOF MATERIAL:  
LOW 'S' PROFILE



2702  
CALABAR



2581  
ANYON BROWN

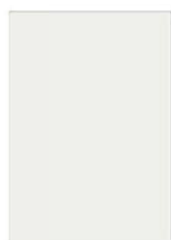


2773  
WALNUT CREEK BLEND

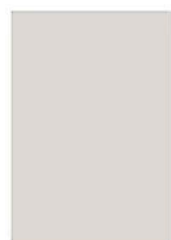


SCM 8830  
ALBUQUERQUE BLEND

STUCCO BODY



SW 7006  
EXTRA WHITE



SW 9166  
DRIFT OF MIST



SW 6143  
BASKET BEIGE



SW 9173  
SHIITAKE

ALL TRIM



SW 9114  
FALLEN LEAVES



SW 9170  
ACIER



SW 2849  
WESTCHESTER GRAY



SW 2806  
ROOKWOOD BROWN

GARAGE DOORS/  
ENTRY DOORS



SW 9107  
UBER UMBER



SW 0017  
CALICO



SW 7013  
IVORY LACE



SW 9186  
CARMELIZED

SHUTTERS



SW 9024  
VINTAGE GOLD



SW6992  
BLACK OF NIGHT



SW 0032  
NEEDLEPOINT



SW 9130  
EVERGREEN FOG

B- ELEVATIONS

5

6

7

8

ROOF MATERIAL:  
FLAT SHAKE  
PROFILE



SCP 8804  
HERSHEY BLEND



5808  
TOMBSTONE



5810  
AVONDALE

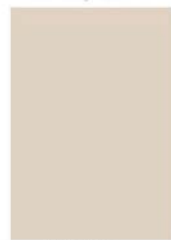


SCP 8803  
ARLINGTON BLEND

STUCCO BODY



SW9119  
DIRTY MARTINI



SW 7526  
MAISON BLANCHE

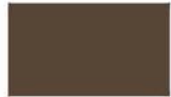


SW 7070  
SITE WHITE

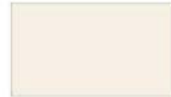


SW 7013  
IVORY LACE

FASCIA/ EAVES/  
ALL TRIM/ POSTS  
& GABLES/  
GARAGE DOORS



SW 7041  
VAN DYKE BROWN



SW 7562  
ROMAN COLUMN



SW 7556  
WESTHIGH-LAND WHITE



SW 7757  
HIGH REFLECTIVE WHITE

SIDING



SW 9124  
VERDE MARRON



SW 0045  
ANTIQUARIAN BROWN



SW0031  
DUTCH BLUE TILE



SW2826  
COLONIAL REVIVAL GREEN STONE

FRONT DOOR



SW 9175  
DEEP FOREST BROWN



SW 7076  
CYBERSPACE



SW 6418  
RURAL GREEN



SW 9135  
WHIRLPOOL-

C - ELEVATIONS

9

10

11

12

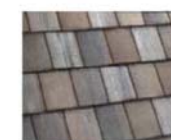
ROOF MATERIAL:  
FLAT SHAKE  
PROFILE



4697  
SLATE RANGE



4882  
MANTECA BLEND



4883  
HILLSBOUROUGH BLEND



4880  
SHASTA BLEND

SIDING



SW 2849  
WESTCHESTER GRAY



SW 0007  
DECOROUS AMBER



SW 7065  
ARGOS



SW 7566  
WESTHIGHLAND WHITE

STUCCO



SW 7005  
PURE WHITE



SW 6142  
MACADAMIA



SW 8917  
SHELL WHITE



SW 7566  
WESTHIGHLAND WHITE

FASCIA/EAVES/  
ALL TRIM/  
GARAGE DOOR



SW 7005  
PURE WHITE



SW 6142  
MACADAMIA



SW 8917  
SHELL WHITE



SW 7566  
WESTHIGHLAND WHITE

SHINGLE



SW 7005  
PURE WHITE



SW 2820  
DOWNING EARTH



SW 9163  
TIN LIZZIE



SW 6415  
HEARTS OF PALM

ENTRY DOOR



SW 6991  
BLACK MAGIC



SW 0047  
STUDIO BLUE GREEN



SW 6395  
ALCHEMY



SW 7598  
SIERRA REDWOOD

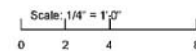


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 Oakland, CA 94607  
 510.272.2910  
 ktgy.com

Lewis Operating Corporation

**Sierra Pine - N3 - 40 x 80 Lots**  
 Rocklin, Ca. #2015-0461

**SCHEMATIC DESIGN**  
 03-27-2017

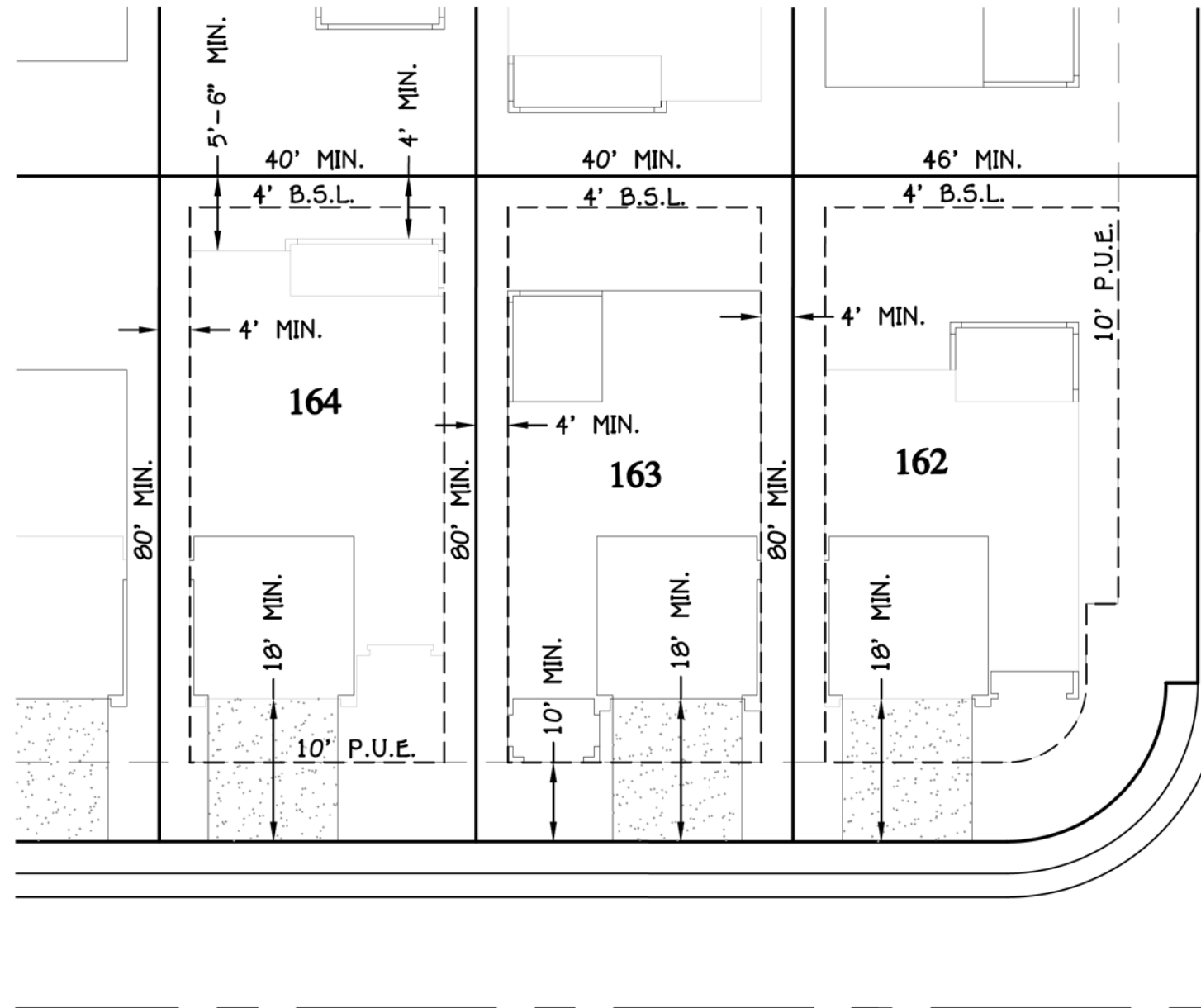
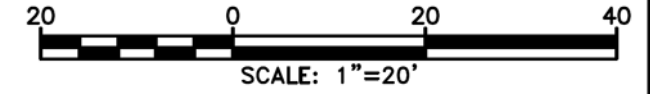
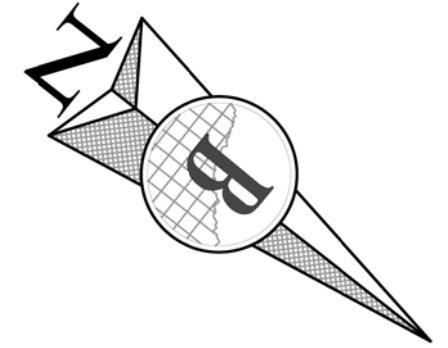


SITE PERSPECTIVE

SETBACK EXHIBIT FOR:  
**SIERRA PINE**

CITY OF ROCKLIN

CALIFORNIA



MAX. LOT COVERAGE = 56%

**LEGEND:**

BUILDING SETBACK LINE... - - - - -

**40 x 80 LOTS**

SETBACK EXHIBIT FOR:  
**SIERRA PINE**  
 SHEET 2 OF 3  
 MAY 5, 2017  
 REVISED - JUNE 6, 2017



1001 Enterprise Way, Suite 100 Roseville, CA 95678 (916) 783-8898





ELEVATION '1A'  
SCHEME 1

ELEVATION '1B'  
SCHEME 5

ELEVATION '1C'  
SCHEME 9

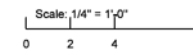


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Oakland, CA 94607  
510.272.2910  
ktgy.com

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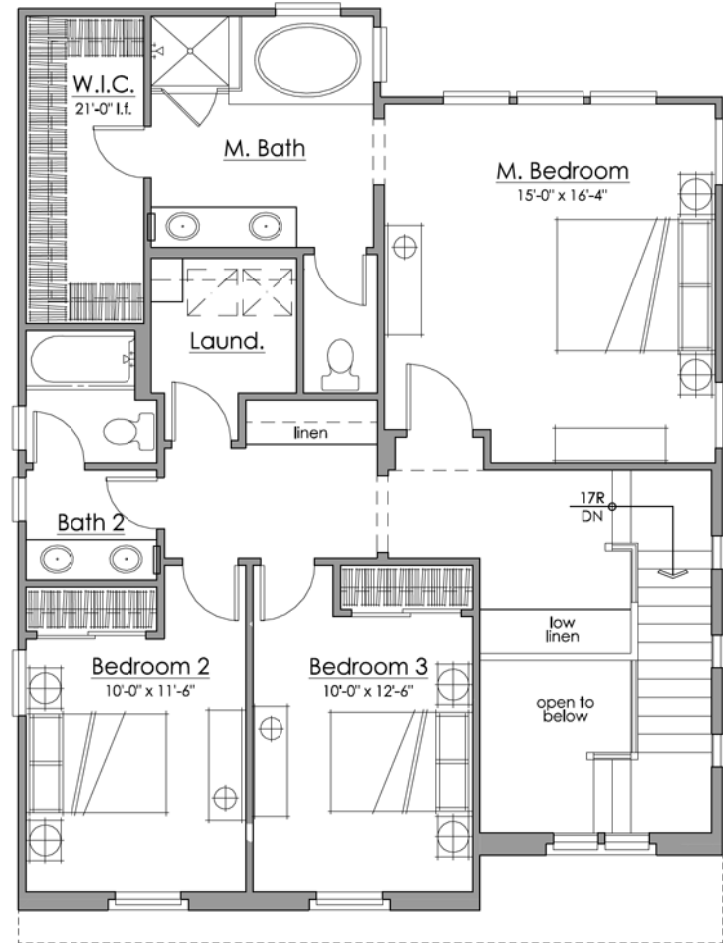
Sierra Pine - N3 - 40 x 80 Lots  
Rocklin, Ca. #2015-0461

SCHEMATIC DESIGN  
03-27-2017

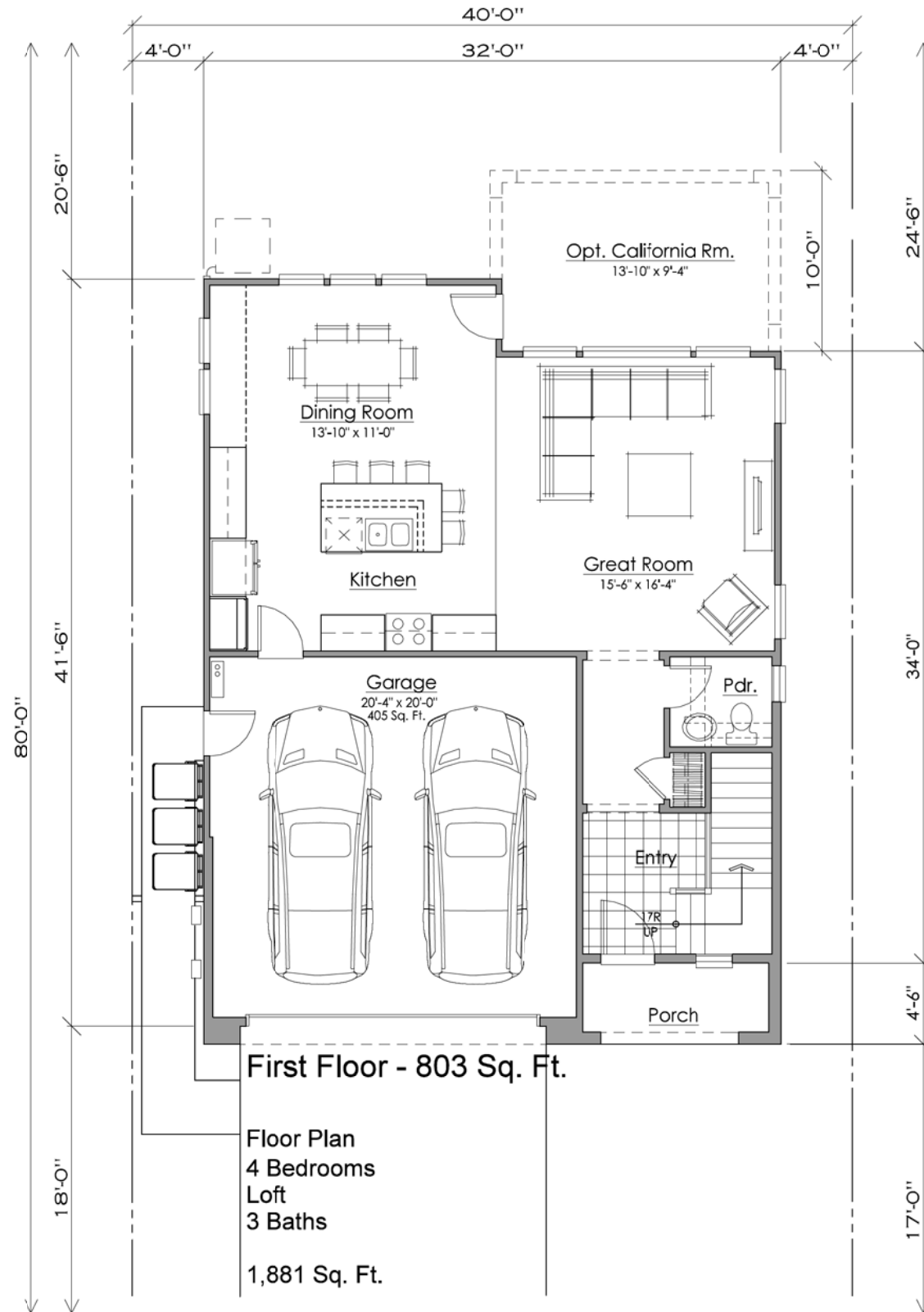


PLAN 1 FLOOR PLAN

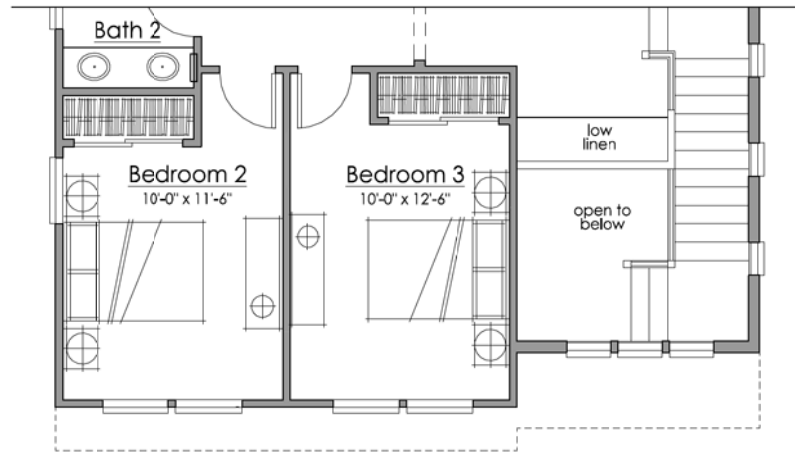
A3.0.1



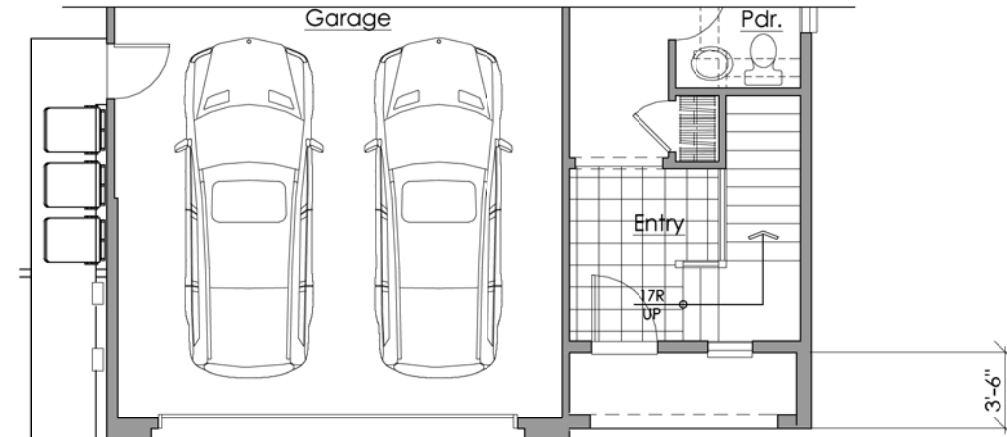
Second Floor  
1,078 Sq. Ft.



Floor Plan  
4 Bedrooms  
Loft  
3 Baths  
1,881 Sq. Ft.

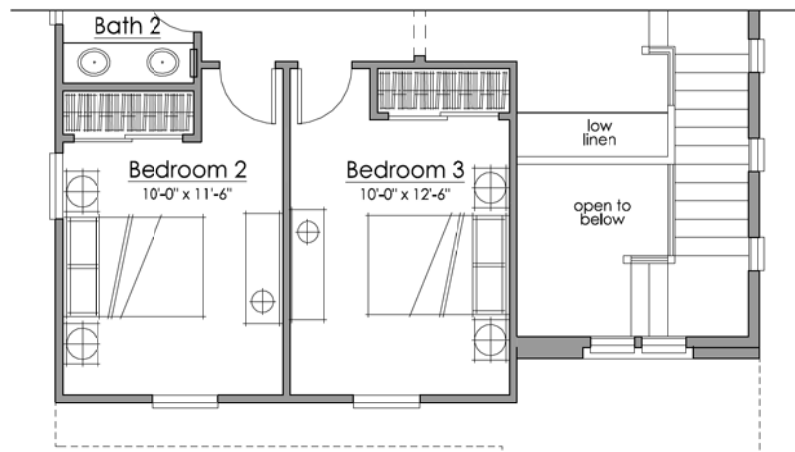


SECOND FLOOR

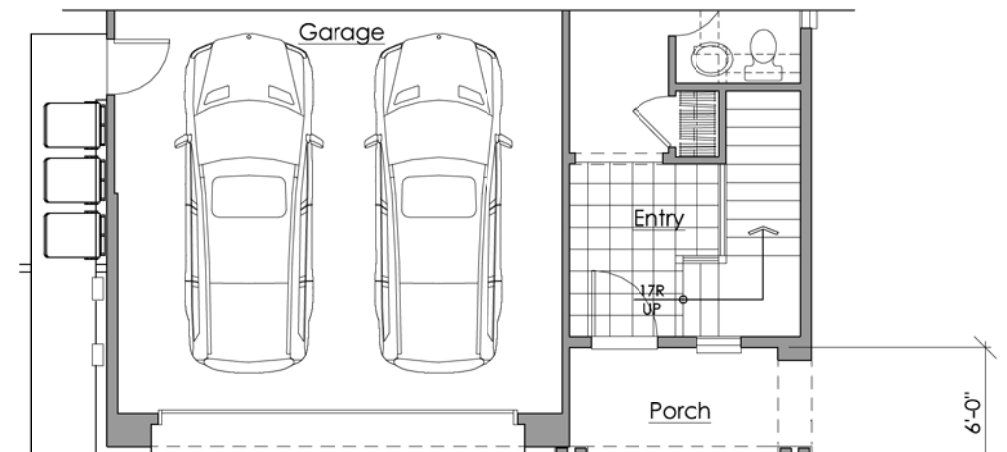


FIRST FLOOR

PLAN 1C ADDENDA



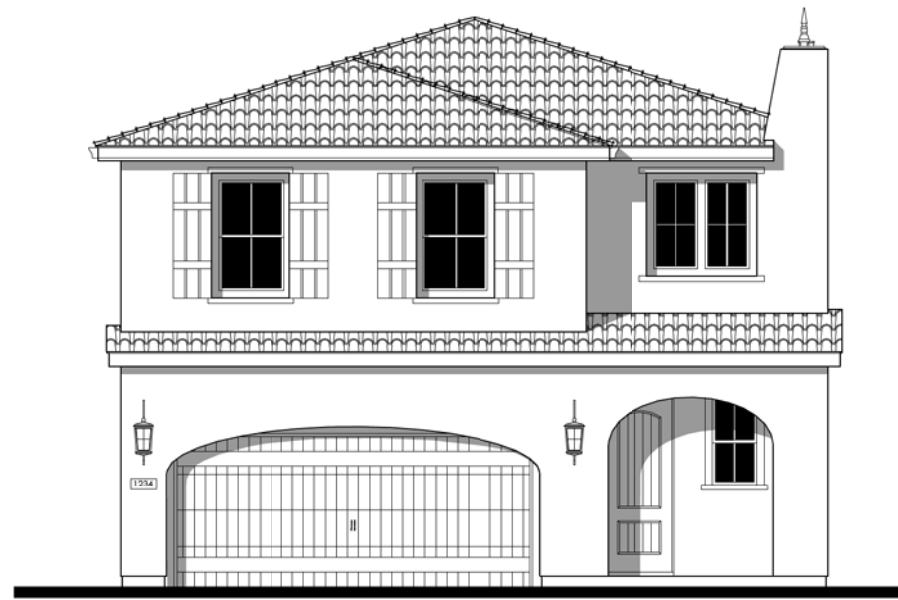
SECOND FLOOR



FIRST FLOOR

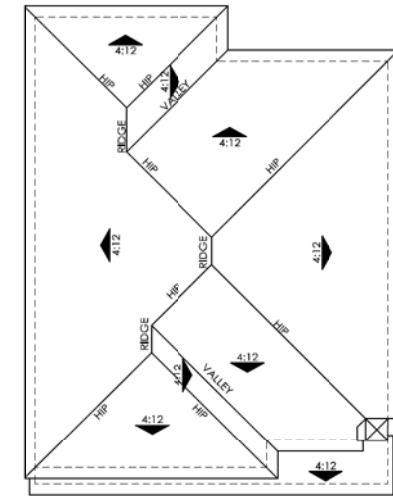
PLAN 1B ADDENDA

- 1A  
 Material Legend:  
 Concrete Low Profile 'S' Tile  
 Stucco Finish  
 Shutters  
 Decorative Finial Detail  
 Enhanced Sills  
 1x Stucco Finish Trim



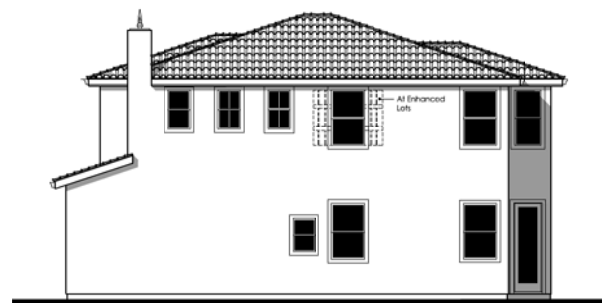
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 0 2 4 8

ELEVATION '1A'

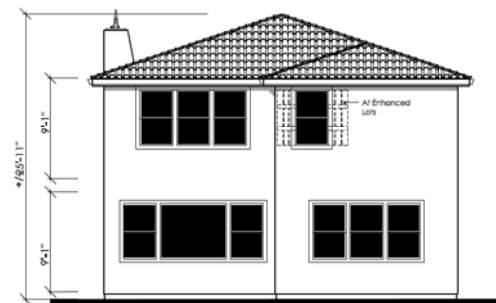


ROOF PLAN  
 OVERHANG: 12"  
 RAKE: 6"  
 ROOF PITCH: 4:12 U.N.O

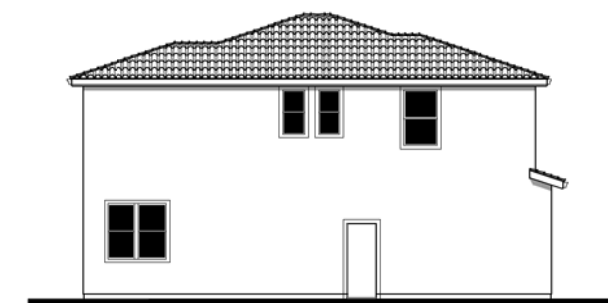
Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



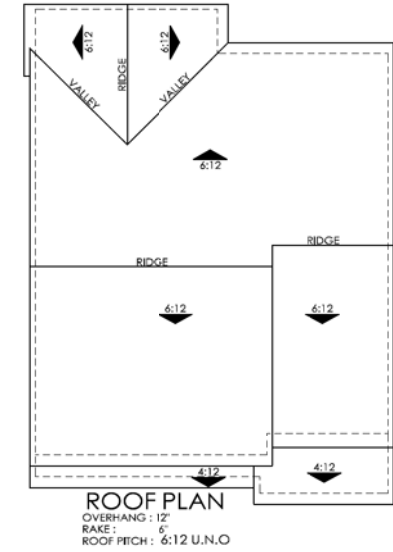
LEFT  
 Scale: 1/8" = 1'-0"  
 0 4 8 16

1B  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Stucco Finish  
 Board and Batt Siding  
 Shutters  
 Enhanced Sills  
 1x Stucco Finish Trim

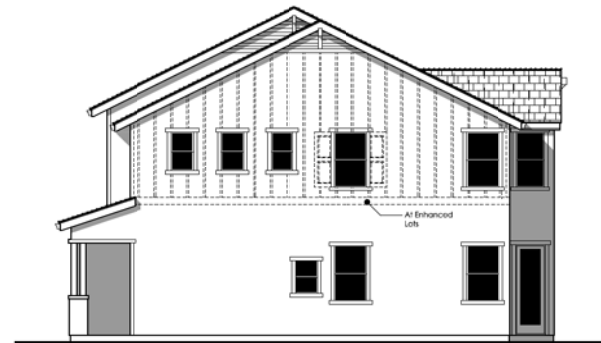


Scale: 1/4" = 1'-0"  
 0 2 4 8

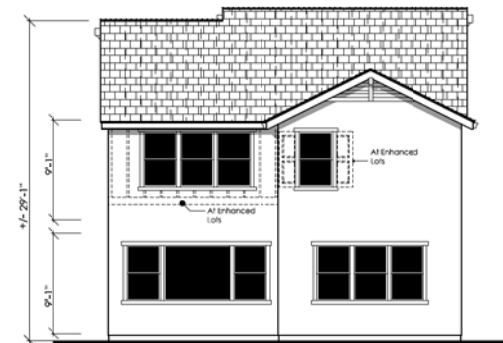
ELEVATION '1B'



Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



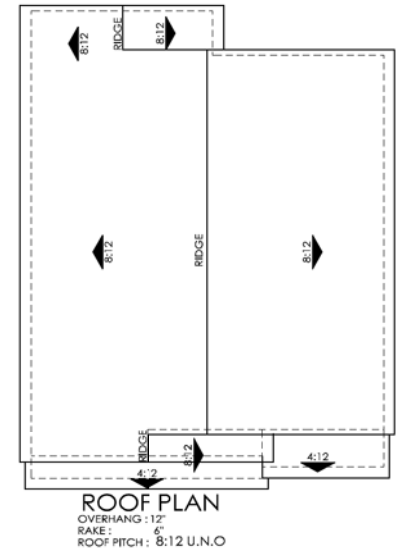
LEFT  
 Scale: 1/8" = 1'-0"  
 0 4 8 16

2C  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Shingles  
 Board and Batt Siding  
 Enhanced Sills  
 1x Stucco Finish Trim

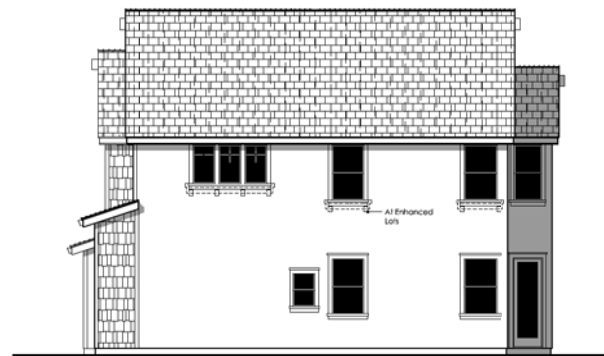


Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '1C'



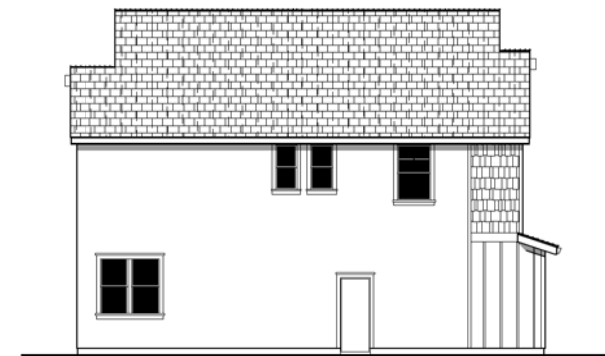
Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



ELEVATION '2A'  
SCHEME 2

ELEVATION '2B'  
SCHEME 6

ELEVATION '2C'  
SCHEME 10



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Sierra Pine - N3 - 40 x 80 Lots  
Rocklin, Ca. #2015-0461

SCHEMATIC DESIGN  
03-27-2017

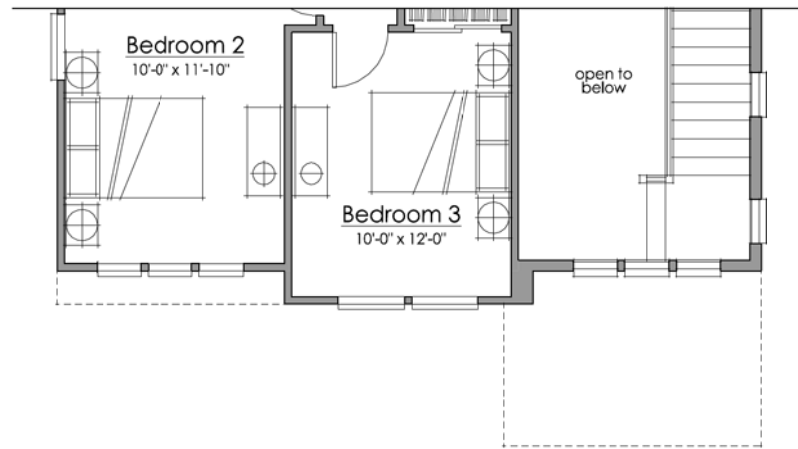
Scale: 1/4" = 1'-0"  
0 2 4 8

PLAN 2 FLOOR PLAN

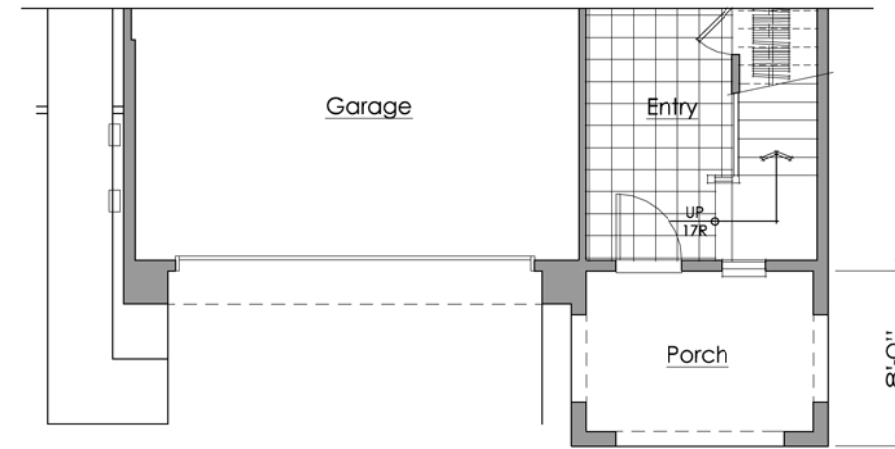
A3.0





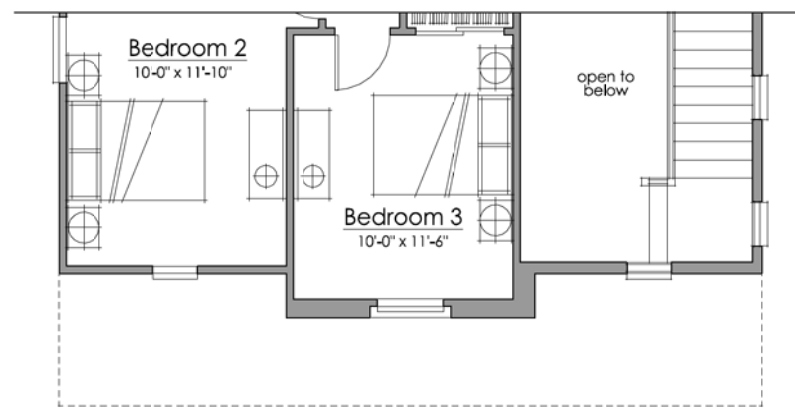


SECOND FLOOR

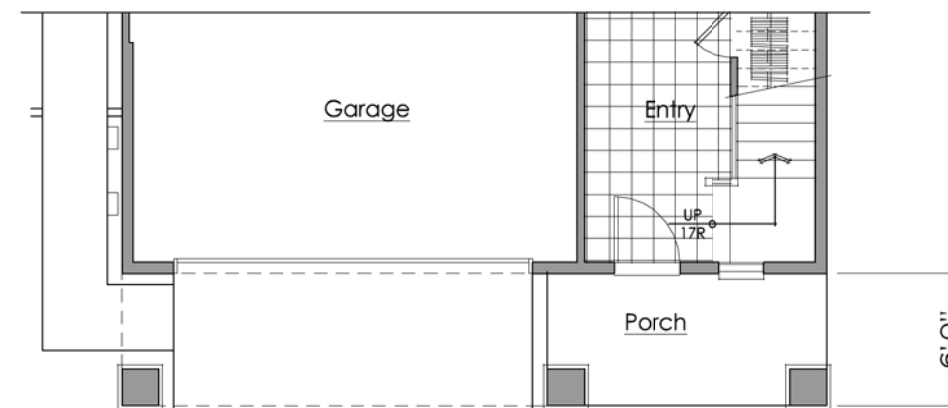


FIRST FLOOR

PLAN 2C ADDENDA



SECOND FLOOR



FIRST FLOOR

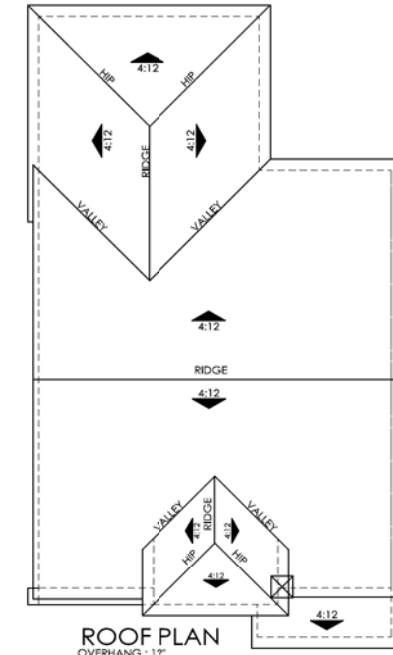
PLAN 2B ADDENDA

2A  
 Material Legend:  
 Concrete Low Profile 'S' Tile  
 Stucco Finish  
 Shutters  
 Decorative Finial Detail  
 Enhanced Sills  
 1x Stucco Finish Trim



Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '2A'



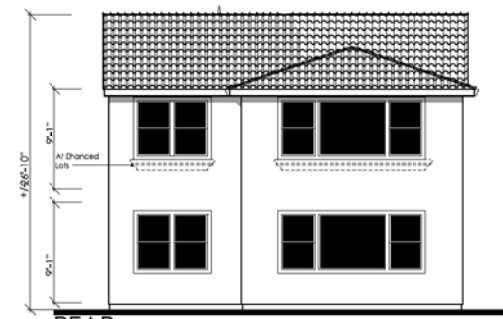
ROOF PLAN  
 OVERHANG: 12"  
 RAKE: 6"  
 ROOF PITCH: 4:12 U.N.O

Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

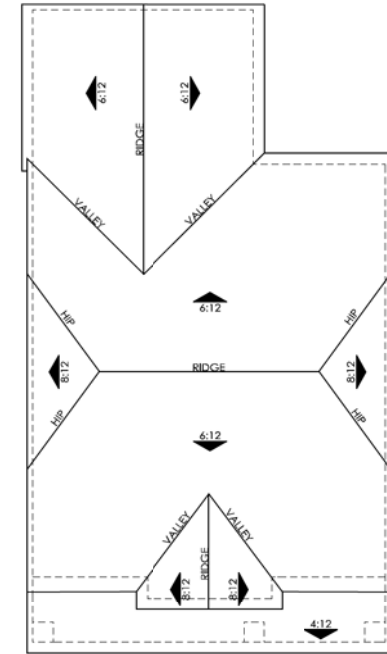
Scale: 1/8" = 1'-0"  
 0 4 8 16

2B  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Stucco Finish  
 Board and Batt Siding  
 Shutters  
 Enhanced Sills  
 1x Stucco Finish Trim



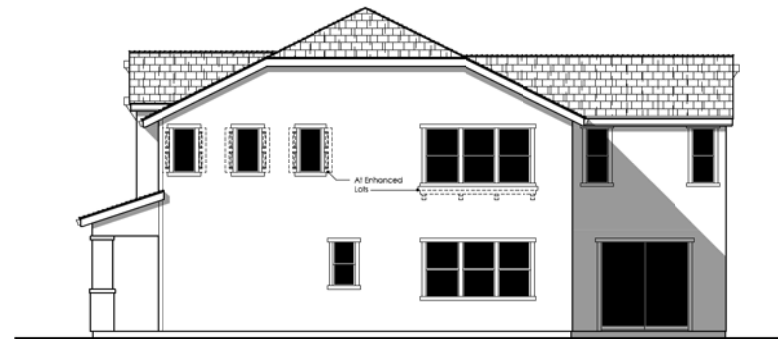
Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '2B'



ROOF PLAN  
 OVERHANG: 12"  
 RAISE: 6"  
 ROOF PITCH: 6:12 U.N.O.

Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

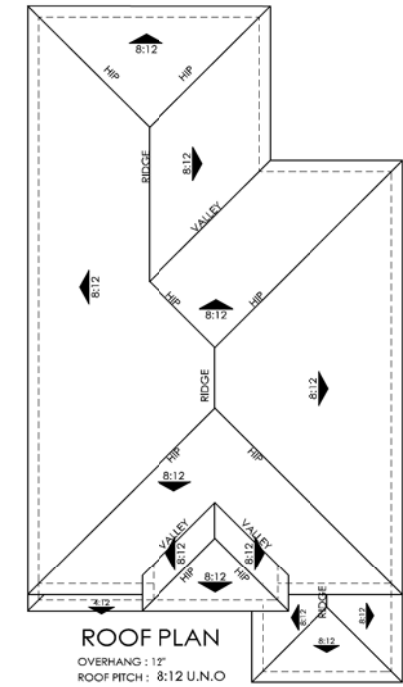
Scale: 1/8" = 1'-0"  
 0 4 8 16

2C  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Shingles  
 Board and Batt Siding  
 Enhanced Sills  
 1x Stucco Finish Trim



Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '2C'



Scale: 1/8" = 1'-0"  
 0 4 8 16

ROOF PLAN  
 OVERHANG: 12"  
 ROOF PITCH: 8:12 U.N.O



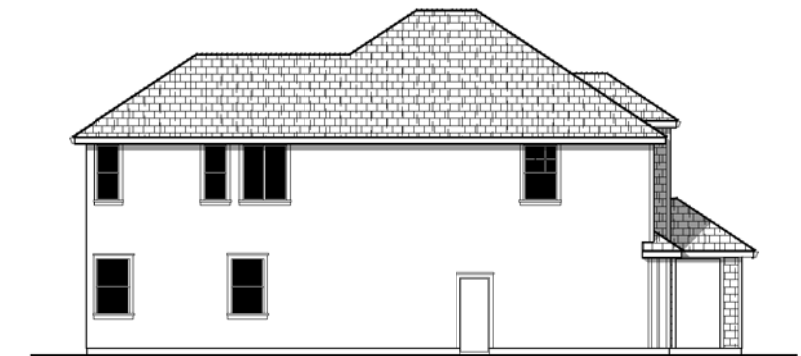
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

Scale: 1/8" = 1'-0"  
 0 4 8 16



ELEVATION '3A'  
SCHEME 3

ELEVATION '3B'  
SCHEME 7

ELEVATION '3C'  
SCHEME 11



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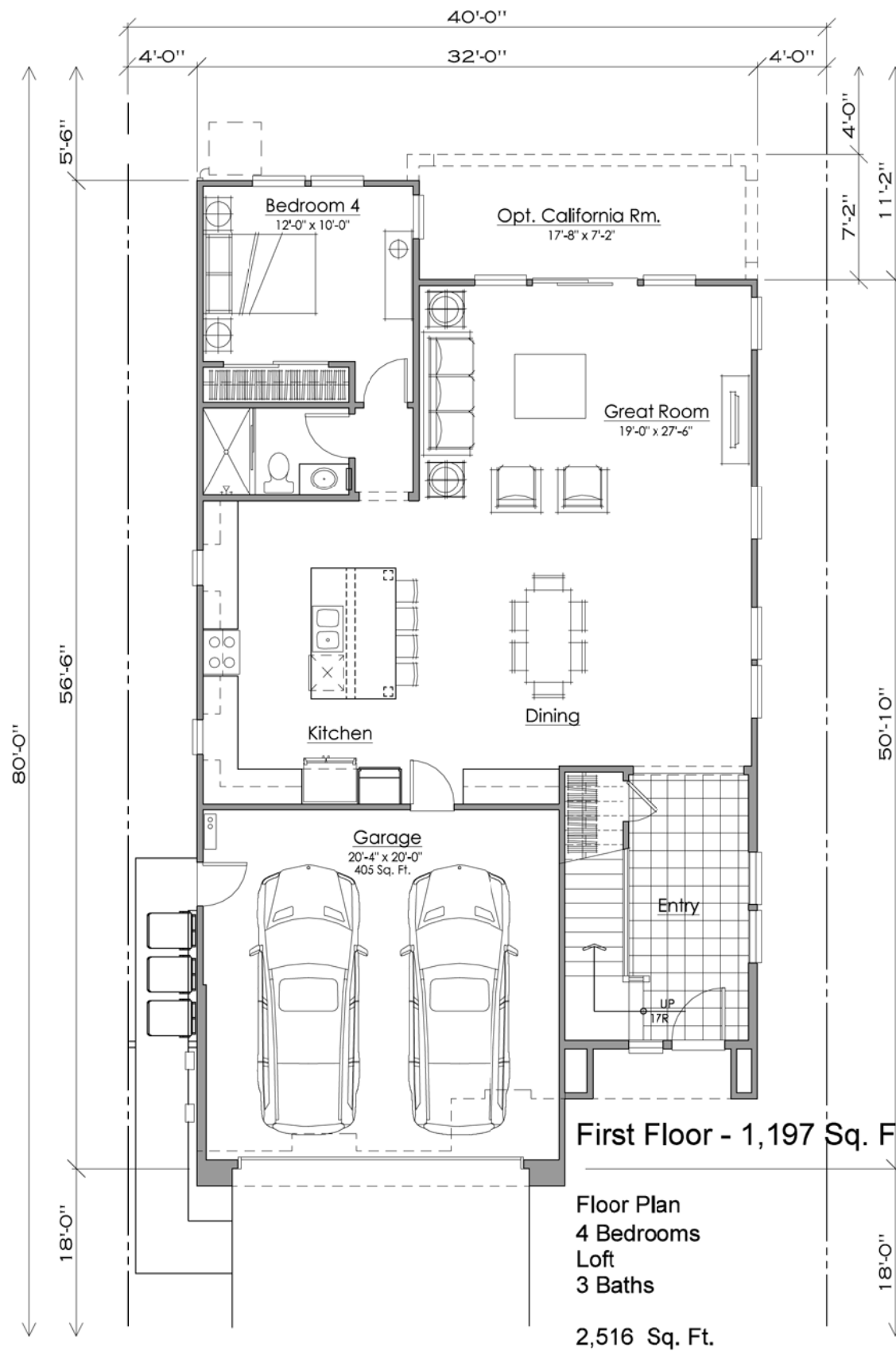
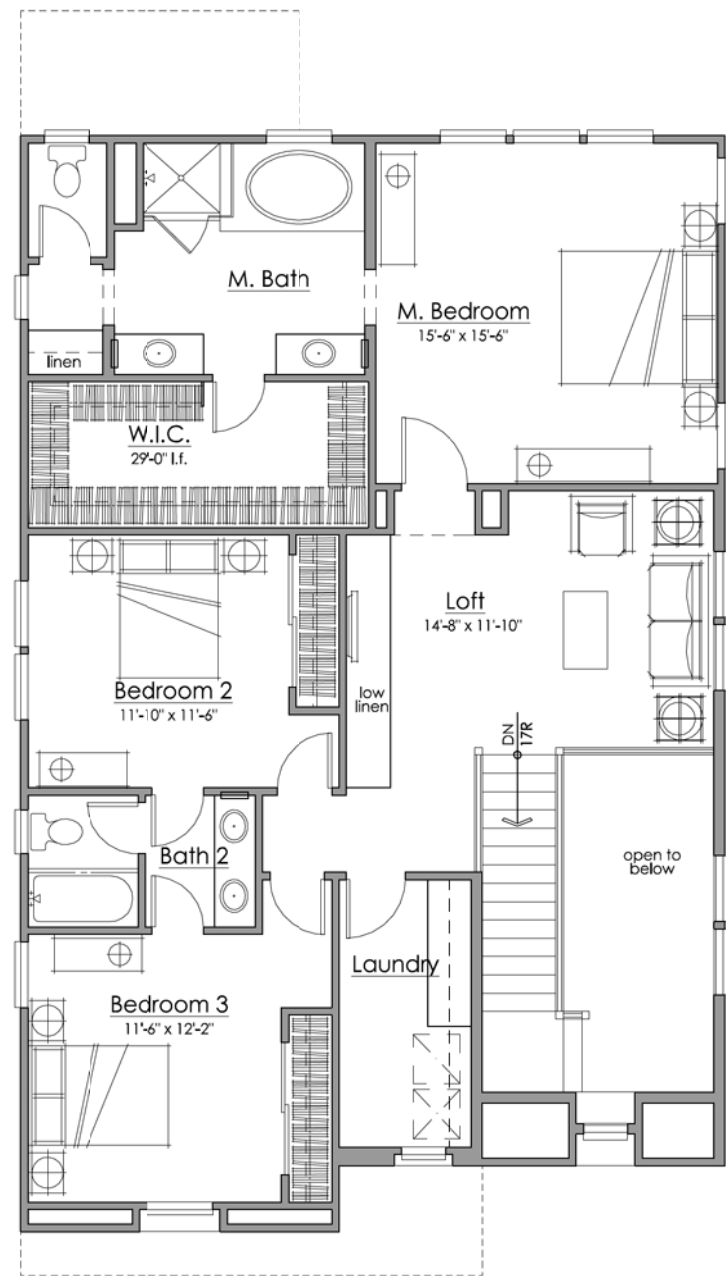
Sierra Pine - N3 - 40 x 80 Lots  
Rocklin, Ca. #2015-0481

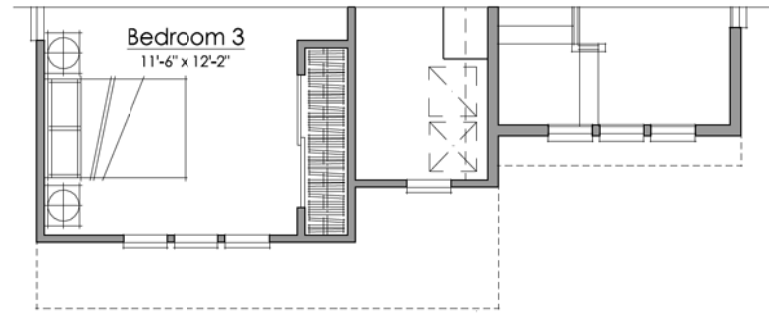
SCHEMATIC DESIGN  
03-27-2017

Scale: 1/4" = 1'-0"  
0 2 4 8

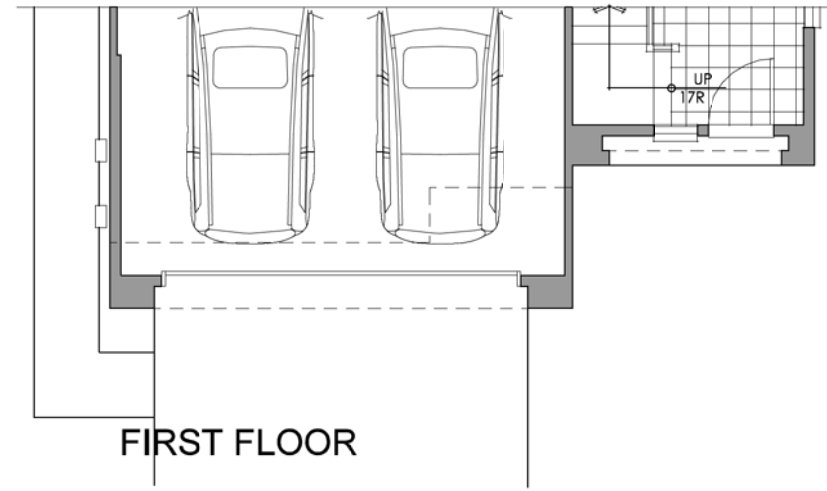
PLAN 3 FLOOR PLAN

A3.0.1



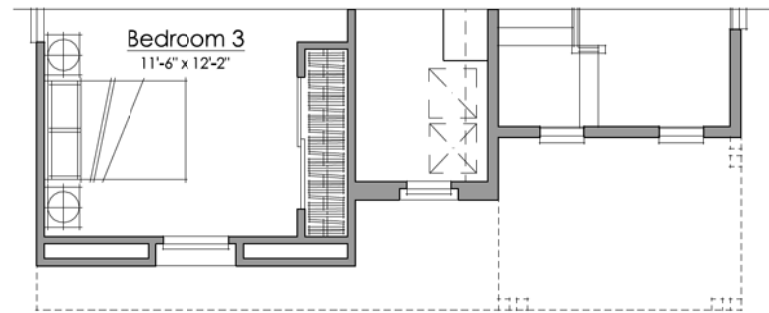


SECOND FLOOR

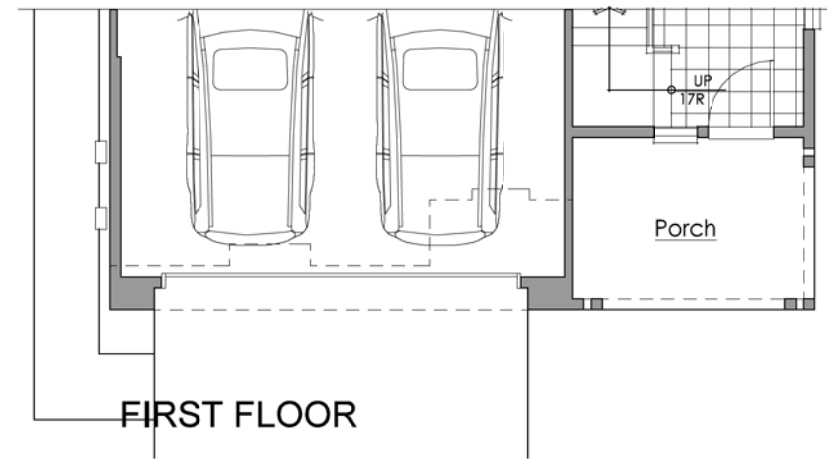


FIRST FLOOR

PLAN 3C ADDENDA



SECOND FLOOR



FIRST FLOOR

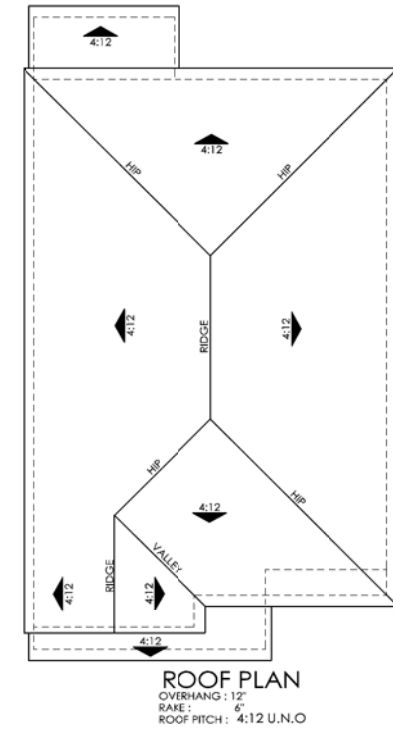
PLAN 3B ADDENDA

3A  
 Material Legend:  
 Concrete Low Profile 'S' Tile  
 Stucco Finish  
 Shutters  
 Enhanced Sills  
 1x Stucco Finish Trim



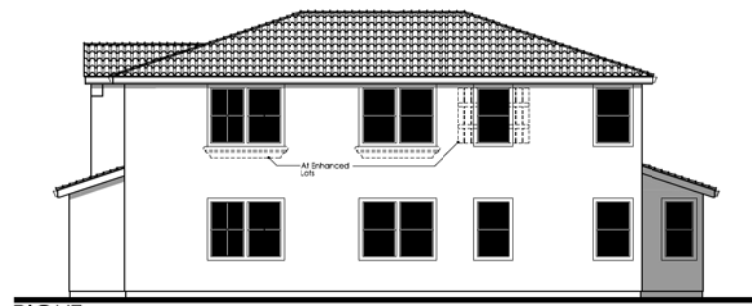
Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '3A'



Scale: 1/8" = 1'-0"  
 0 4 8 16

ROOF PLAN  
 OVERHANG: 12"  
 EASE: 6"  
 ROOF PITCH: 4:12 U.N.O



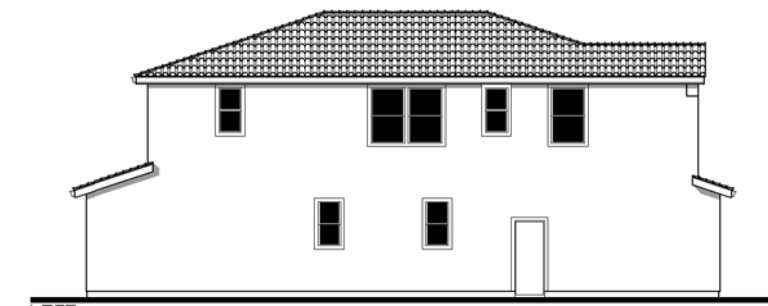
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

Scale: 1/8" = 1'-0"  
 0 4 8 16

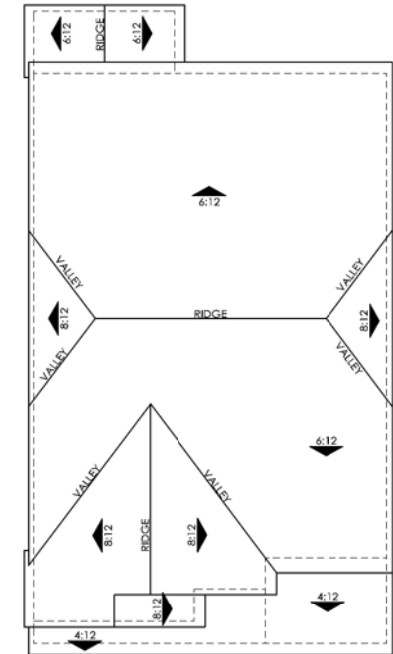


3B  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Stucco Finish  
 Board and Batt Siding  
 Shutters  
 Enhanced Sills  
 1x Stucco Finish Trim



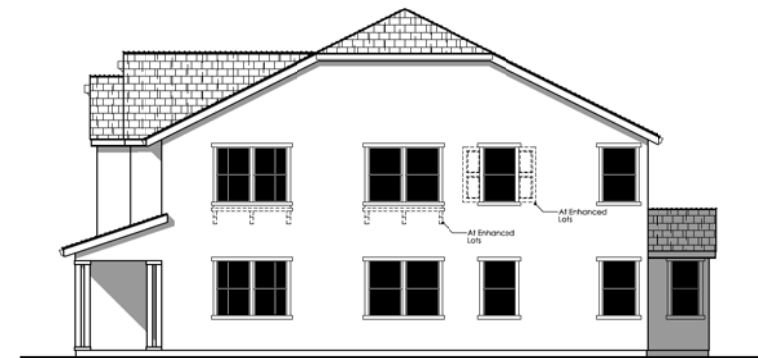
Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '3B'

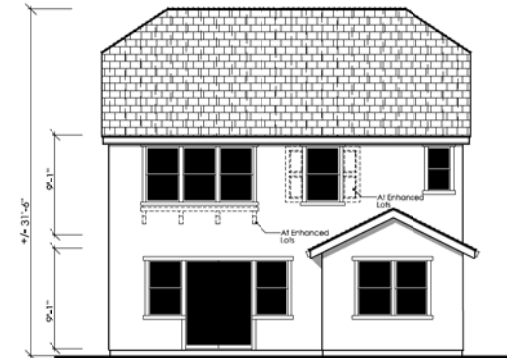


ROOF PLAN  
 OVERHANG: 12"  
 RAISE: 6"  
 ROOF PITCH: 6:12 U.N.O

Scale: 1/8" = 1'-0"  
 0 4 8 16



RIGHT  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR  
 Scale: 1/8" = 1'-0"  
 0 4 8 16



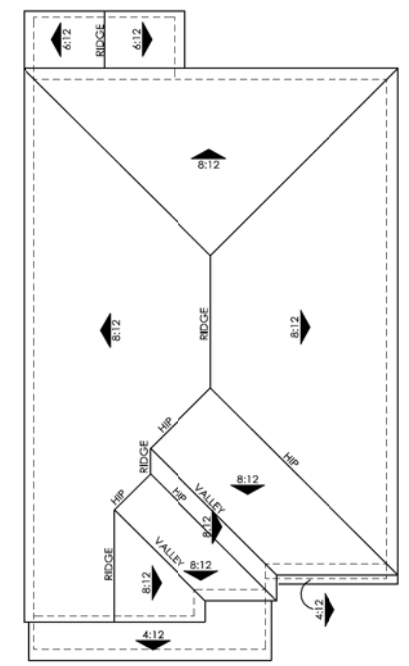
LEFT  
 Scale: 1/8" = 1'-0"  
 0 4 8 16

3C  
 Material Legend:  
 Flat Concrete Tile Roofing  
 Cementitious Shingles  
 Board and Batt Siding  
 Enhanced Sills  
 1x Stucco Finish Trim



Scale: 1/4" = 1'-0"  
 0 2 4 8

ELEVATION '3C'



ROOF PLAN  
 OVERHANG: 12"  
 EAVE: 6"  
 ROOF PITCH: 8:12 U.N.O

Scale: 1/8" = 1'-0"  
 0 4 8 16



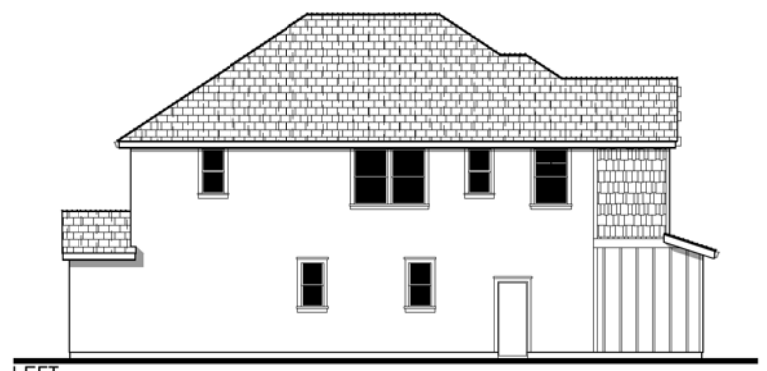
RIGHT

Scale: 1/8" = 1'-0"  
 0 4 8 16



REAR

Scale: 1/8" = 1'-0"  
 0 4 8 16



LEFT

Scale: 1/8" = 1'-0"  
 0 4 8 16

Scale: 1/4" = 1'-0"  
 0 2 4 8

