

EXHIBIT A

FILE NO. SPU-99-06

Prepared By:



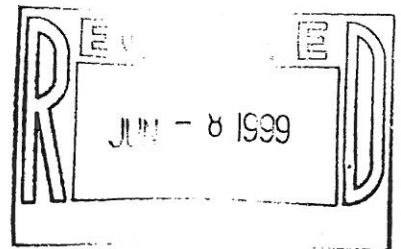
# Whitney Oaks Custom Lot

Specific Plan  
Use Permit

June 8, 1999

**OFFICIALLY APPROVED**

APPROVED BY Planning Commission  
ON June 15, 1999 SEA



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**WHITNEY OAKS  
CUSTOM LOT  
SPECIFIC PLAN USE PERMIT**

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**WHITNEY OAKS CUSTOM LOT  
SPECIFIC PLAN USE PERMIT**

**1. GOALS AND OBJECTIVES**

Within Whitney Oaks there are approximately 200+/- lots that are referred to as custom lots. Of these there are approximately 151 lots that are designated as "NG" non-graded lots. It is the "NG" lots, which are covered by this specific plan use permit.

The Whitney Oaks Custom Lot Specific Plan Use Permit serves to establish design parameters for a portion of the custom lots within the project. Due to the number of custom lots within the Whitney Oaks project, this permit process has been designed to establish design criteria that will be administered by staff in reviewing the design and development of individual custom lots. The design guidelines will address features above and beyond the general development guidelines established by the City of Rocklin and will augment the Whitney Oaks Design Guidelines previously adopted for the project.

Non-graded lots were designated to ensure that grading be kept to a minimum due to existing oak trees and/or slope conditions. The purpose of this Specific Plan Use Permit to identify lot development criteria so that the intent of the non-graded lot designation may be satisfied. The intent is described in the subdivision conditions as follows:

- House designs shall be customized to the site to preserve slopes and/or oak trees to the extent feasible.
- Lot grading shall be limited to foundation, garage pad, driveway, and a minimal amount of backyard immediately adjacent to the house.

The specific standards in this design handbook will focus on the overall design and development of the custom lots by addressing the issues of grading, home and driveway design, fencing, landscaping, and tree preservation. Each of these subjects will be expanded in the sections to follow. All development must also comply with the approved general development plan and tentative map for the project.

- Whitney Oaks General Development Plan (PDG - 96-03)
- Whitney Oaks Phase 2 Small Lot Tentative Map (SD-96-02)

**2. LOCATION**

These guidelines will govern the development of 151 lots that are located in Phase 2 of Whitney Oaks. These lots were designed as "NG" (non-graded) lots as part of the Phase 2 tentative maps for Whitney Oaks. A breakdown of the lots is as follows:

Unit 13	29 Lots
Unit 15	10 Lots
Unit 16	16 Lots
Unit 17	14 Lots
Unit 18	7 Lots
Unit 20	18 Lots
Unit 21	18 Lots
Unit 22	28 Lots
Unit 23A	9 Lots
Unit 30	2 Lots

*\*Per Whitney Oaks Site Composite Map Detail Dated November 2001.*

The location of these units within the project and the associated lots is shown on Exhibit A. These guidelines and the associated review process will only affect the lots as shown on Exhibit A unless amended by the Rocklin Planning Commission.

# WHITNEY OAKS

## SITE COMPOSITE MAP SHOWING NON-GRADED LOTS BY CATEGORY

% SLOPE	
0-8	MILD
9-20	MODERATE
21-30	STEEP
31+	SEVERE

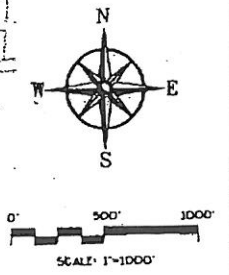
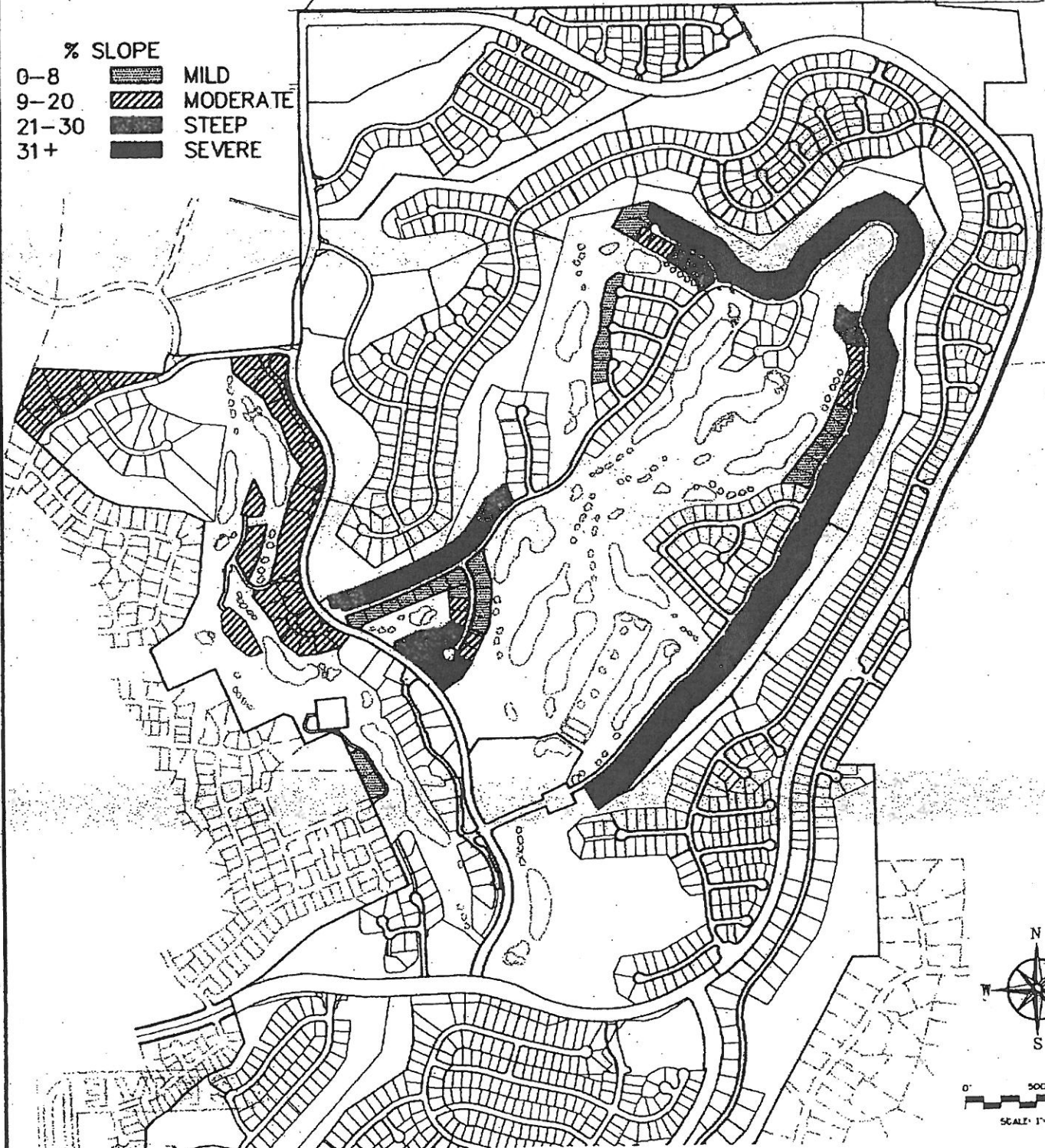


EXHIBIT A-3



### 3. SPECIFIC SITE PLANNING

Site planning for custom lots at Whitney Oaks must address both man-made and natural features. The challenge in this process is to achieve a final product that results in a "natural" look as opposed to a harsh engineered design. The final composition of landform, housing, and landscaping needs to complement and enhance the overall setting. The features that need to be focused on as part of the overall site plan and home design include the following:

#### Constructed

Street Orientation  
Drainage Facilities  
Golf Course  
Grading Patterns

#### Natural

Open Space Areas  
Oak Trees  
Topography (slope)  
View Scapes

### 4. PROCESSING

In an effort to protect and incorporate these features in the individual home site development process, these guidelines have been developed to assist homebuilders and City Staff with the design review, and ultimate development of these lots. The custom lot design review process consists of two elements that can occur simultaneously. One element is obtaining approval for the home design and site plan from the Whitney Oaks Community Association (WOCA). The other element is obtaining the same approvals from the City of Rocklin.

The submittal to the City of Rocklin is similar to any other residential building permit process in the City. Once the plans are submitted to the Building Department, they will be routed to the Planning Department for review concurrently with the Building Department's review of the construction drawings for the proposed residence. In addition to the Whitney Oaks General Plan and the Rocklin Zoning Ordinance, the Planning Department's review will rely on the standards in this Specific Plan Use Permit as a basis for their evaluation.

Application submittals to the City will need to include a site/grading plan showing proposed finished grading, tree removal, drainage and erosion control measures, driveway location, patios, pool, spa, and fence locations, as well as the construction drawings for the proposed residence. The staff will review this information against the information contained in this Specific Plan use permit and make a determination as to whether designs are consistent with the approved Specific Plan Use Permit. Staff will consult with the applicant and their architect or building designer in an effort to resolve any inconsistencies between the proposal and the guidelines. However, final approval of design rests with staff unless appealed to the Planning Commission.



5. **SITE PLAN GUIDELINES**

The design and ultimate development of individual lots governed by this process must take into consideration the topography or slope of the lot, the orientation to streets and natural open space, view scapes to open space areas and the golf course, views of the lot from other locations, the preservation of oak trees and the minimization of grading and impacts to the natural drainage shed that exists on site. To that end, the site plan design and evaluation process will be governed by the following guidelines:

A. Grading and Drainage

1. The grading plan prepared for the site shall identify all areas that are proposed to be disturbed as part of the grading operation. Grading is considered any cut or fill proposed on a site.
2. Grading for the home design shall be governed by the criteria listed in section 5.
3. Steep exposed cuts (2:1) visible from offsite are to be avoided wherever possible. The grading plan should incorporate either retaining walls or natural contouring to blend the developed site with the natural terrain of the lot. See exhibit B for an example of a conceptual grading plan. See section 5D for detail on retaining wall criteria.
4. The area to be graded or shaped will be kept to the minimum area necessary to accommodate the home, garage, and a minimal backyard, generally flat and approximately 20' in depth, directly adjacent to the house. Backyard areas may be located away from the house to take advantage of flatter areas on the site. Backyard areas must be located below the highest plate line of the home on site. The transitional edge of backyard areas will be achieved through contour grading or the use of retaining walls. See section 5D for detail on retaining wall criteria. See exhibits C for examples of appropriate siting of backyard areas.

B. Driveways

1. Driveway alignment and slope should conform to the natural topography as much as possible in order to minimize cut and fill slopes.
2. Driveways may be graded and/or constructed in advance of receiving site plan approval for a specific lot under one or more of the following conditions.
  - a. Driveways, with reciprocal easements, are designed to minimize grading by serving more than one lot or utilizing a common encroachment point for multiple driveways.
  - b. Driveways or driveway grading is proposed to be constructed as part of the subdivision improvements.
  - c. A driveway plan is approved by the Planning Department and a grading permit is issued.
  - d. No new encroachment points to streets.



# CONCEPTUAL GRADING PLAN FOR A "MODERATE" UPHILL LOT - EXHIBIT B

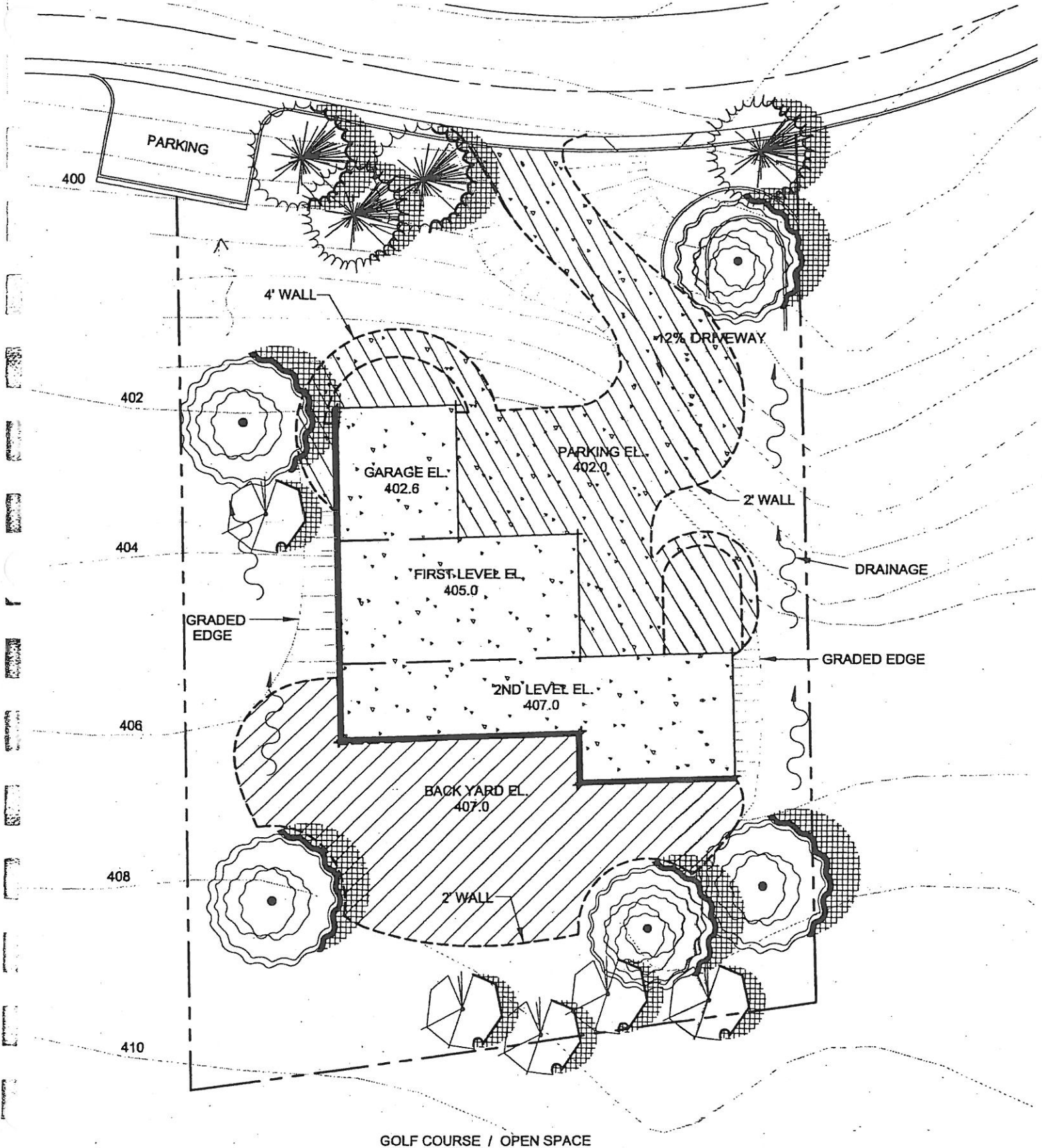
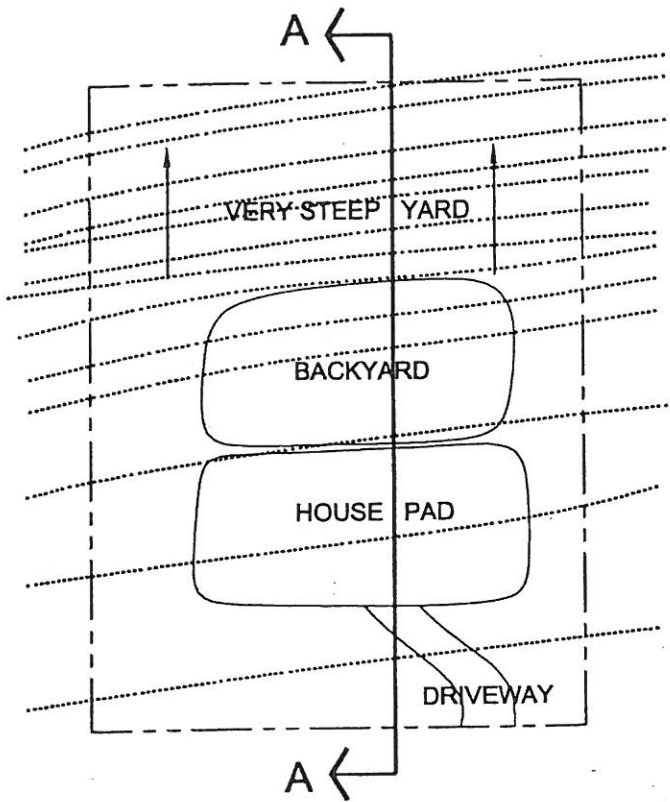
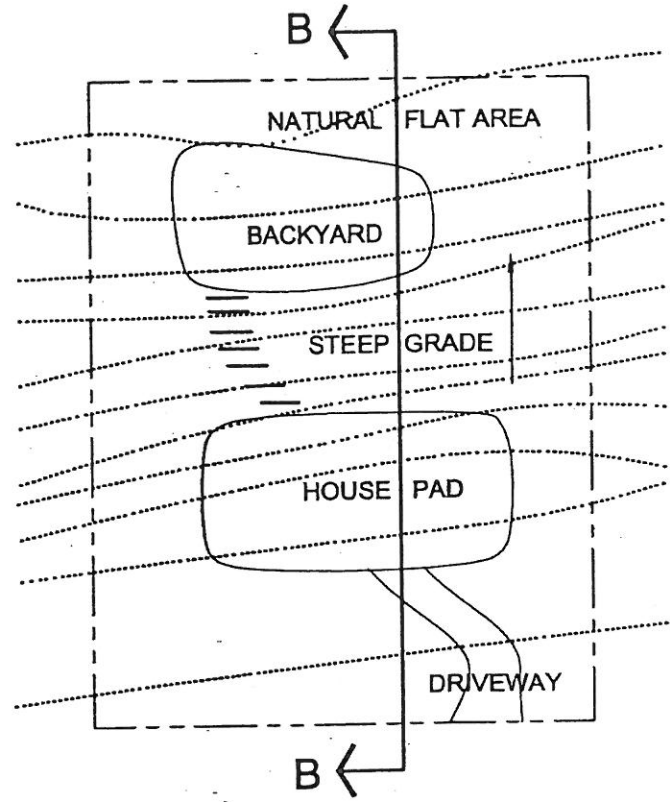


Exhibit C. Backyard Siting Options

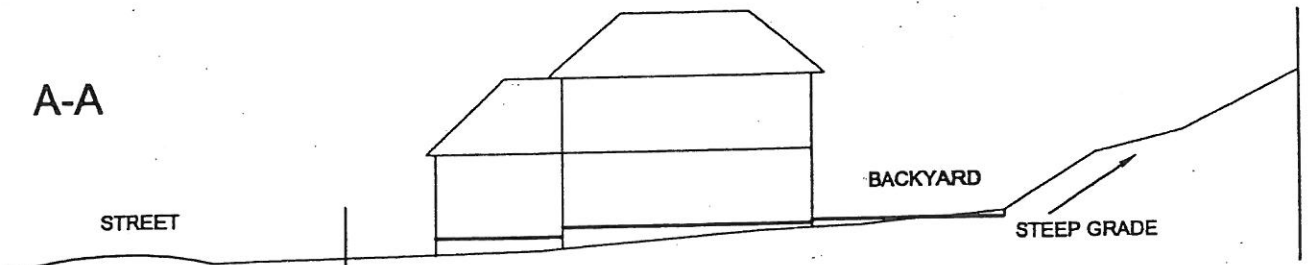
ADJACENT BACKYARD AREA



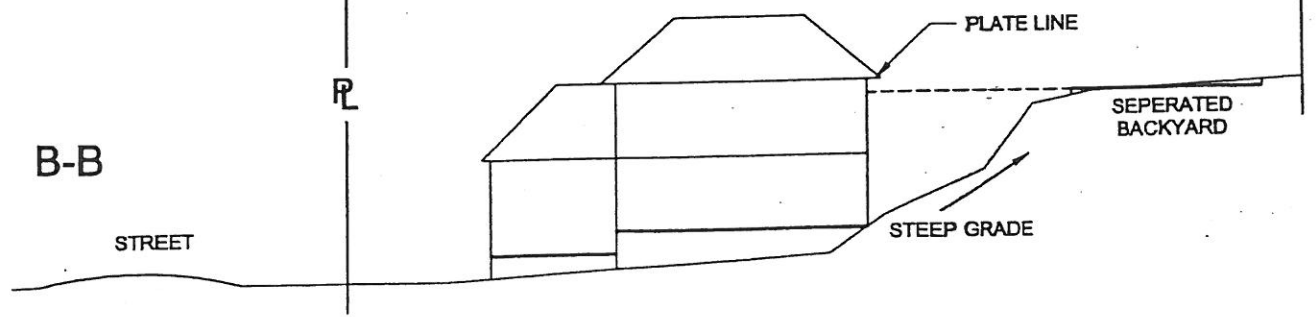
SEPERATED BACKYARD AREA



A-A



B-B



C. Building Design

1. Design of the home and the ultimate site plan will be driven by the topography (slope) on the individual lot. The goal is to design the structure to the lot and not the site to this structure.
2. The foundation criteria in section 6 shall be utilized in the design of homes on the lots covered by these guidelines.

D. Retaining Walls

1. Retaining walls are encouraged and in some cases required as a way of blending the graded or developed environment with the natural contours of the land.
2. The following table outlines the wall criteria that will be adhered to on NG lots at Whitney Oaks.

Grade of Lot	Max. wall height for a single wall	Max. wall height in series	Min. bench width between walls*	Max. number of walls in series
0-8%	4.5 feet	3 feet	1.5 feet	3
9-20%	6 feet	4 feet	4 feet	3
21-30%	8 feet	6 feet	6 feet	2**
30 % +	10 feet	8 feet	8 feet	2***

\* Or as approved by a soils or geotechnical engineer.

\*\* The maximum number of walls may be increased by 1 when the maximum wall height in series is 12 feet or less. Minimum bench requirements will be adjusted based on wall height.

\*\*\* The maximum number of walls may be increased by 1 when the maximum wall height in series is 15 feet or less. Minimum bench requirements will be adjusted based on wall height.

3. The Community Development Director or the Chief Building Inspector may grant minor variation to these standards for specific on-site topographic constraints.
4. Walls necessary for driveway encroachment cuts or fills into a parcel may exceed the maximum height for a single wall as follows:

0-8%	1.25 times higher than maximum single wall height.
9-20%	1.50 times higher than maximum single wall height.
21-30%	1.50 times higher than maximum single wall height.
31% +	1.50 times higher than maximum single wall height.

5. All walls over 3 feet or walls built in series will be constructed of masonry materials.

E. Landscaping and Fencing

1. All property fencing and front yard landscaping shall comply with the typical fencing and landscaping approved for the Whitney Oaks project.

F. Oak Trees

1. Oak trees shall be preserved to the extent feasible.
2. Oak tree removal permits for removal of oak trees on non-graded lots will not be issued until approval of a site plan by the Planning Department.

3. To the extent that grading is required around oak trees that are to be preserved, the designer/homebuilder shall retain the services of a certified arborist to prepare design details and recommendations for the preservation of any oak tree that could be impacted by grading operations on site. All recommendations of the arborist must be incorporated into the final design of the project.

**6. HOME DESIGN AND FOUNDATION CRITERIA**

The grading and foundation criteria set forth on the following exhibits are established to identify the conditions under which specific home designs and foundation types may be used. The topography or grade of a specific lot will guide the ultimate home design. It is intended that the following parameters guide the design and development of appropriate home designs for the individual lot. Specific site topographic information submitted with the application may alter the grade category of the lot.

<b>Grade</b>	<b>Home Design</b>	<b>Foundation</b>	<b>Exhibit</b>
0-8% Mild	1. Traditional 1 & 2 story 2. Split Level	1. Slab on Grade and Raised Floor 2. Stem Wall	B
9-20% Moderate	1. Split or Tri-level 2. Walk Out 2-Story	1. Stem Wall 2. Retaining Wall & Stem Wall	B
21-30% Steep	1. Walk Out 2-Story 2. Terraced 3. Tuck Under Garage	1. Retaining Wall & Stem Wall 2. Retaining Wall 3. Retaining Wall	C
30% + Severe	1. Terraced 2. Tuck Under Garage	1. Retaining Wall & Stem Wall 2. Retaining Wall	C

**Mild Slope 0-8%**

Lots with slopes in this range have the flexibility to accommodate a variety of home and foundation designs. Home designs will include single story ranch to conventional two story home designs on lots within this range.

**Moderate Slope 9-20%**

Lots with slope in this range begin to have topographic constraints that limit the range of foundation options and begin to dictate foundation and home designs that conform to the existing landform. Multi-level and 2-story home designs will be typical on slopes within this range. These lots could also include a walkout 2-story with garage over or under designs.

**Steep Slope 21-30 %**

Lots within this range are significantly constrained and typically require multi-level home designs in order to achieve all the concepts identified in these guidelines. Home design will include terraced, walk out 2-story and garage over or under designs that are shaped to the site.

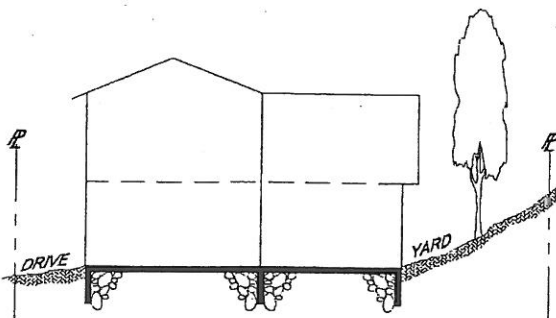
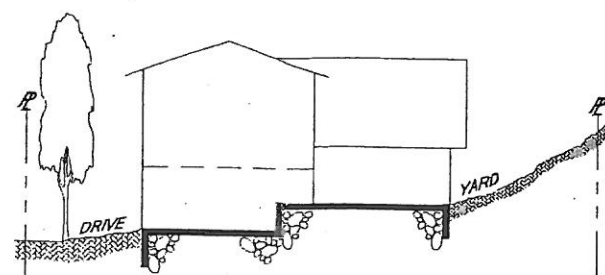
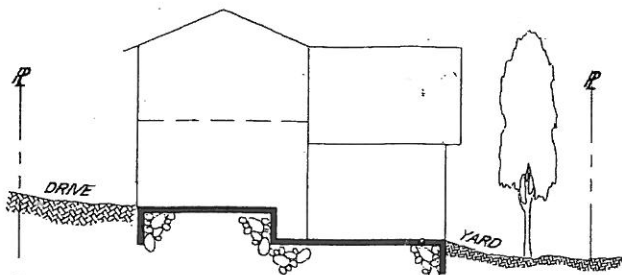
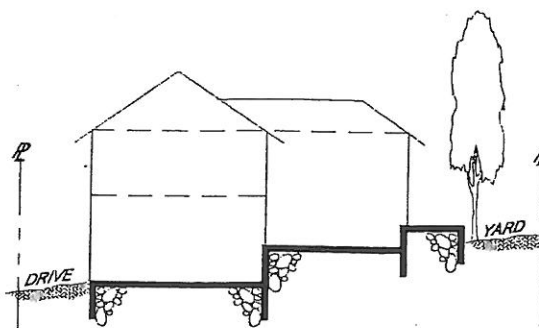
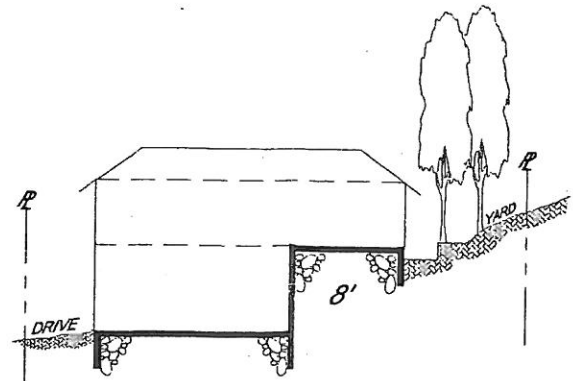
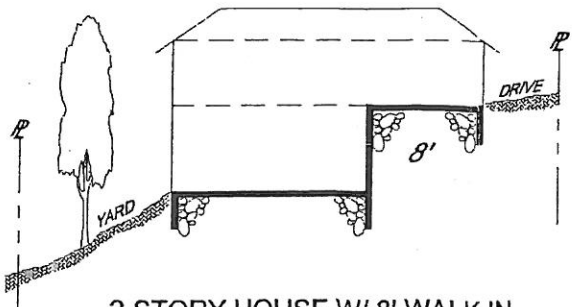
**Severe Slope 30% +**

Lots in this range are severely constrained and will require multi-story designs in order to minimize grading and achieve the other design criteria.

The following exhibits D and E, illustrate the slope criteria used in this permit and examples of appropriate foundation types that are to be utilized. Exhibit A identifies the slope ranges on the lots covered by the permit.

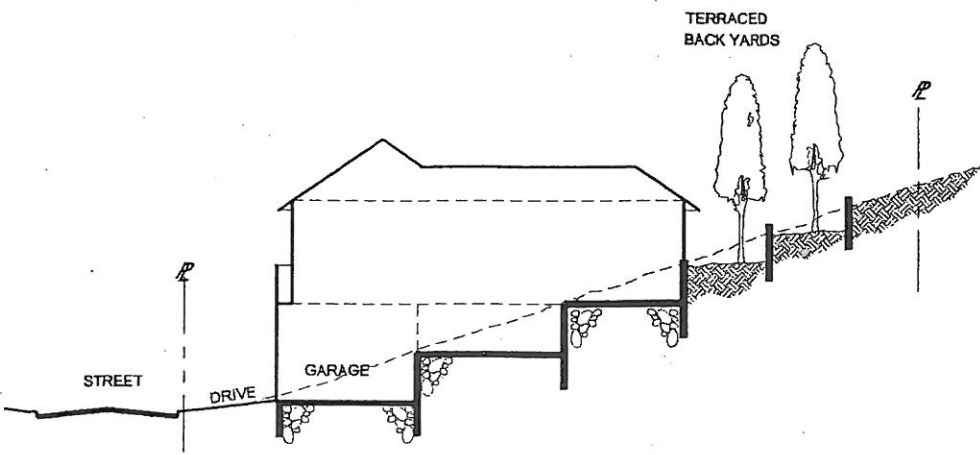
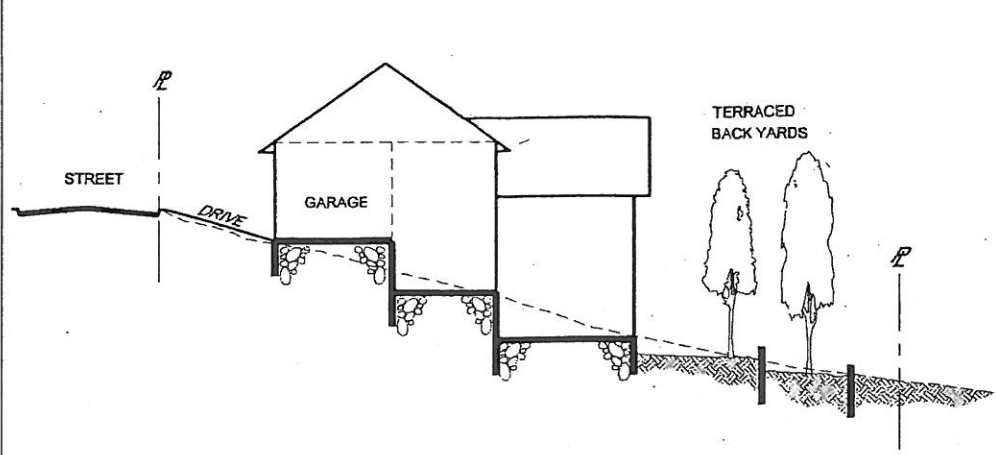
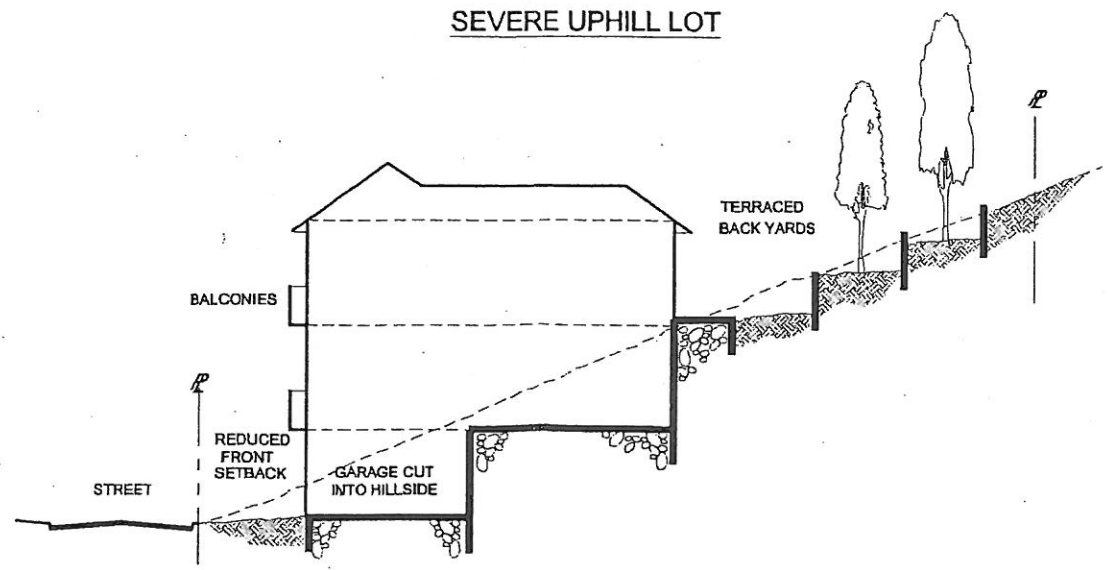
# Grading & Foundation Criteria

## Mild & Moderate Conditions

Grade of Existing Ground	House & Foundation Types Recommended			Comments
<p>0 - 8% MILD CONDITION</p>	<p><u>4% UPHILL LOT</u></p>  <p>1 OR 2 STORY HOUSE/LEVEL SLAB ON GRADE FOUNDATION PAD AREA GRADED 2-3 VARIANCE IN PAD AREA PRIOR TO GRADING</p>	<p><u>8% UPHILL LOT</u></p>  <p>1 OR 2 STORY HOUSE/SPLIT LEVEL WITH STEPPED SLAB FOUNDATION 4-6' OF VARIANCE IN FINISH FLOORS</p>	<p><u>8% DOWNHILL LOT</u></p>  <p>1 OR 2 STORY HOUSE/SPLIT LEVEL WITH STEPPED SLAB FOUNDATION 4-6' OF VARIANCE IN FINISH FLOORS</p> <p style="text-align: right;">N.T.S.</p>	<p>1) FOUNDATIONS SYSTEMS CAN BE A COMBINATION OF SLAB ON GRADE, STEM WALL &amp; PIER APPLICATIONS</p> <p>2) DECK &amp; PORCHES TO BE A CONTINUATION OF THE FOUNDATION SYSTEM W/ CONSISTENT MATERIALS</p> <p>3) DOWNHILL LOT W/ 8% SLOPE USE SLIGHT GRADING TO ESTABLISH PAD AREAS FOR SPLIT LEVELS, FRONT &amp; BACK YARD (UNGRADED)</p>
<p>9 - 20% MODERATE CONDITION</p>	<p><u>10% UPHILL LOT</u></p>  <p>2 STORY HOUSE W/ 4-6' WALK IN FRONT ENTRY WITH STEPPED &amp; TERRACE BACK DECK, 6-8' OF VARIANCE IN FINISH FLOOR ELEVATIONS</p>	<p><u>10% UPHILL LOT</u></p>  <p>2 STORY HOUSE W/ 8' WALK IN FRONT ENTRY WITH STEPPED &amp; TERRACE BACK YARD, 8-10' VARIANCE IN FINISH FLOOR ELEVATIONS</p>	<p><u>10% DOWNHILL LOT</u></p>  <p>2 STORY HOUSE W/ 8' WALK IN FRONT ENTRY WITH STEPPED &amp; TERRACE BACK YARD, 8-10' VARIANCE IN FINISH FLOOR ELEVATIONS</p> <p style="text-align: right;">N.T.S.</p>	<p>1) FOUNDATIONS &amp; STEM WALL COMBINATIONS ARE PERMITTED IN THIS CATEGORY</p> <p>2) CREATIVE SITE DESIGN W/ BENCHES &amp; TERRACE GRADING ARE REQUIRED</p> <p>3) DECKS, PORCHES &amp; YARDS NEED TO BE PART OF ENTIRE DESIGN SYSTEM</p>



# Grading & Foundation Criteria Steep & Severe Conditions

Grade of Existing Ground	House & Foundation Types Recommended	Comments
<p>21 - 30% STEEP CONDITIONS</p>	<div style="display: flex; justify-content: space-around;"> <div style="width: 45%;"> <p style="text-align: center;"><u>30% UPHILL LOT</u></p>  <p style="text-align: center;">2 STORY HOUSE WITH STEPPED FOUNDATION FRONT ENTRY WITH INTERIOR STAIR SYSTEM CREATIVE DESIGN &amp; TERRACED BACK YARDS</p> <p style="text-align: right;">N.T.S.</p> </div> <div style="width: 45%;"> <p style="text-align: center;"><u>25% DOWNHILL LOT</u></p>  <p style="text-align: center;">2 STORY HOUSE WITH MULTILEVEL INTERIOR STEEP DRIVEWAY &amp; FIRST FLOOR ENTRY TO MULTI-STAIRCASE INTERIOR</p> <p style="text-align: right;">N.T.S.</p> </div> </div>	<p>1) DOWNHILL LOT USING MULTI-STEPPED FOUNDATION</p> <p>2) TRI LEVEL INTERIORS WITH TERRACED BACK YARDS</p>
<p>30% ± SEVERE CONDITIONS</p>	<p style="text-align: center;"><u>SEVERE UPHILL LOT</u></p>  <p style="text-align: center;">2 STORY HOUSE, FRONT ENTRY WITH WALK UP TERRACED BACK YARDS SECOND &amp; THIRD STORY: LIVING AREAS</p> <p style="text-align: right;">N.T.S.</p>	<p>1) SITE TO BE DESIGNED WITH ARCHITECTURAL &amp; STRUCTURAL CHARACTERISTICS RATHER THAN GRADING</p> <p>2) LIVING AREAS WILL MOST LIKELY BE MOVED TO FRONT OF HOMES WITH BALCONIES &amp; DECKS OVER STRUCTURE</p>

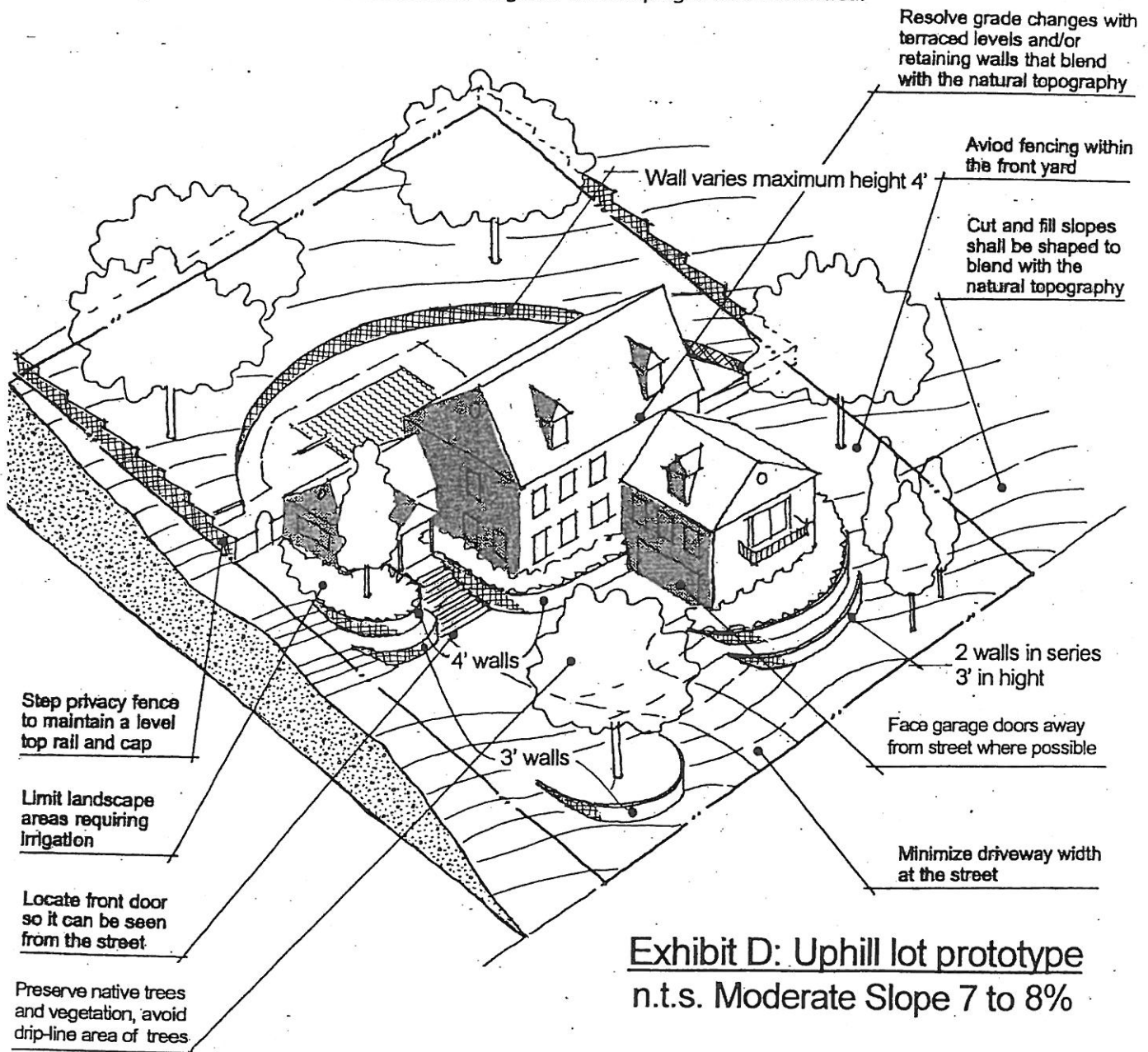


**7. PERSPECTIVE VIEWS OF UPHILL & DOWNHILL LOTS**

The following Exhibits F & G shown prototypical perspective views of two lots in a developed form that show how these guidelines are to be implemented.

**PERSPECTIVE VIEWS  
UPHILL UNIT (EXHIBIT F)**

The prototypical uphill unit siting provides a different set of challenges. A sweeping driveway design in conjunction with a home design with recessed garage provided for more length of run to accommodate grade. Low height retaining walls provide for the garage structure and walls are used to preserve the existing site trees. The placement of the home and foundation type are integrated with the slope of the site. A stepped foundation and floor plan is utilized to accent the grade. The actual front entry area is terraced with low walls used to retain existing trees. Terracing with limited grading creates the backyard area in this uphill situation. Low height retaining walls are used in a curvilinear pattern to create a backyard area with a pool and patio. Existing trees and natural grades are maintained to the rear property line. Fencing is used in a minimal fashion and irrigated landscaping is also minimized.

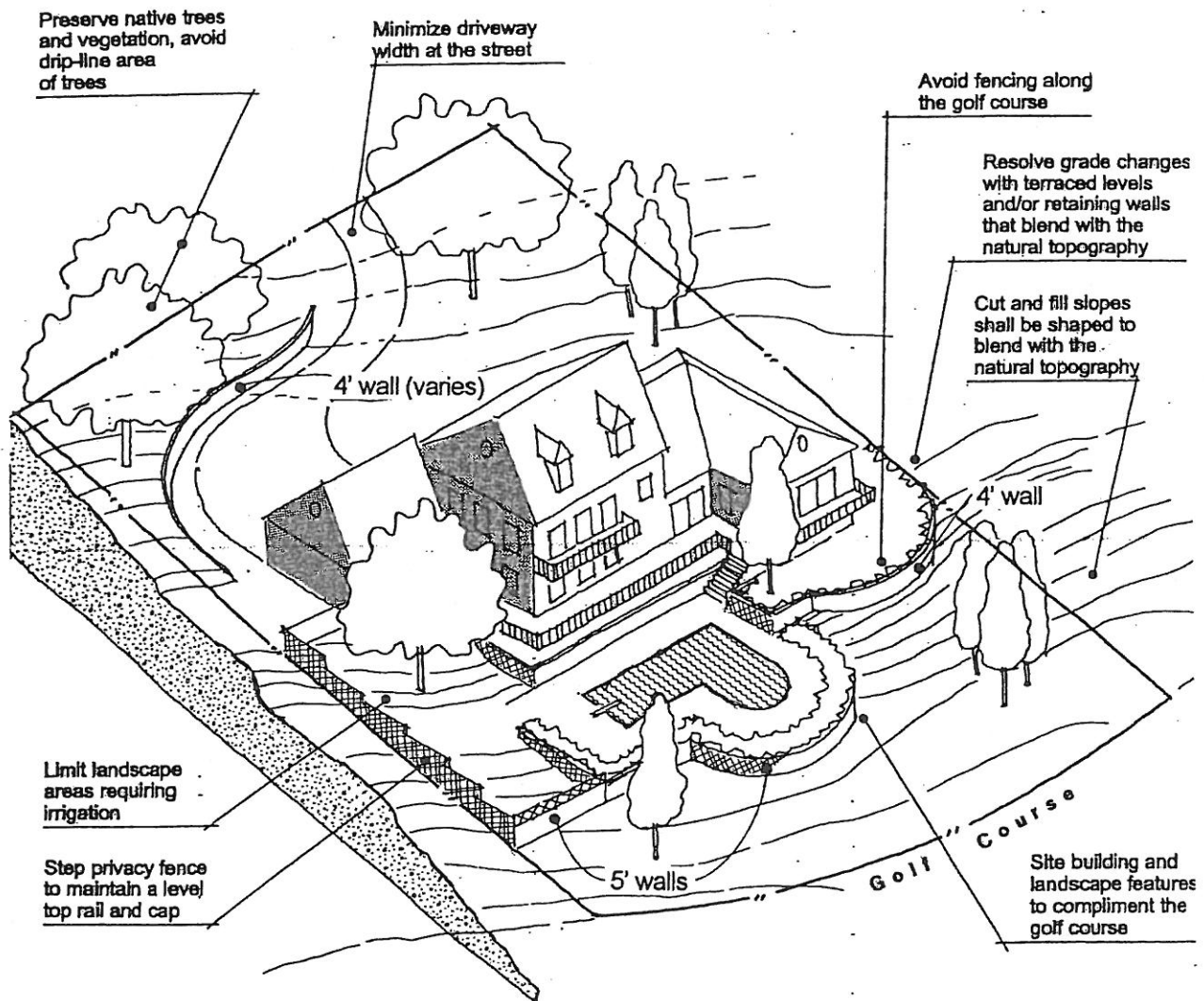


**Exhibit D: Uphill lot prototype  
n.t.s. Moderate Slope 7 to 8%**

**PERSPECTIVE VIEWS  
DOWNHILL UNIT (EXHIBIT G)**

As illustrated below the downhill example of a moderate class lot utilizes a sweeping driveway design that works with the lot natural contours. Low height retaining walls are required and grading is kept to a minimum. Existing trees in front yard are to be preserved, and 2:1 cut banks are avoided by incorporating contour grading to tie into the existing terrain.

The actual home siting requires minimal pad grading with the foundation type stepping downward to accommodate the grade. The prototype illustrates a golf-oriented lot with a rear yard pool. Backyard and pool terraced areas are accomplished with low height retaining walls. Surfaces of these walls are to match home materials and colors or be a natural rock.



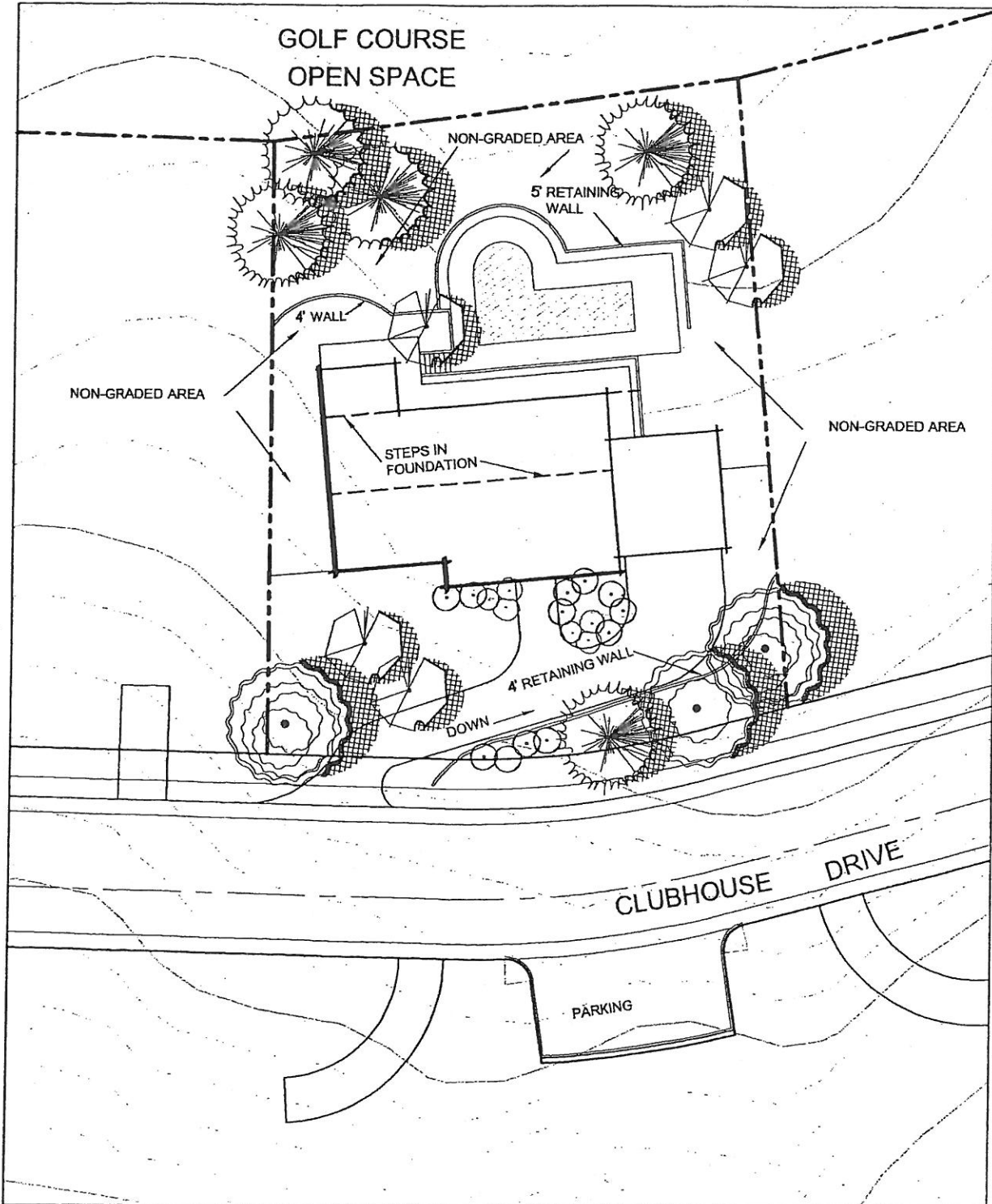
**Exhibit E: Downhill golf lot prototype  
n.t.s. Moderate Slope 9%**

**8. SITE PLAN**

**PROTOTYPICAL SITE PLAN**

The following exhibit H shows prototypical site plan and home configuration for downhill lot orientation. As a prototypical example, lot 54 has been designed per these guidelines and will represent a downhill lot example. This design shows the house placement; foundation type; driveway location; fencing; back & front yard design with all pertinent setbacks. Home front and back elevations are provided in context with the site and it's topography.

# TYPICAL SITE PLAN DOWNHILL LOT EXHIBIT-H



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