

ORDINANCE NO. 1036

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKLIN APPROVING A GENERAL DEVELOPMENT PLAN AND REZONE FROM RETAIL BUSINESS (C-2) TO MULTIPLE FAMILY RESIDENTIAL (PD-R) AND OPEN AREA (O-A)

(Sunset Hills Townhomes / PDG-2013-03 and Z-2013-04)

The City Council of the City of Rocklin does ordain as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

- A. The General Development Plan and Rezone (PDG-2013-03 and Z-2013-04) or an approximately 11.2 gross acre site generally located at the southwest corner of South Whitney Boulevard and Sunset Boulevard (APNs 016-210-011 and 016-240-044) would create a new residential zone district, apply the PD-R and OA zone districts to the property, and would establish development criteria for the proposed zoning designation.
- B. A Mitigated Negative Declaration has been approved for this project via City Council Resolution No. 2015-142.
- C. The proposed Rezone is consistent with the General Plan designations of the property and implements the policies of the City of Rocklin's General Plan, including the Housing Element.
- D. The area is physically suited to the uses authorized in the proposed general development plan and rezoning.
- E. The proposed general development plan and rezoning are compatible with the land uses existing and permitted on the properties in the vicinity.
- F. The land uses, and their density and intensity, allowed in the proposed Rezone are not likely to create serious health problems or create nuisances on properties in the vicinity.
- G. The City Council has considered the effect of the proposed general development plan and rezoning on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.
- H. The requested general development plan and zone changes would make the zoning of the property consistent with the General Plan designations; encourage a creative and more efficient approach to the use of land; maximize the choice in the type

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of housing available in Rocklin; and provide adequate protection of the environment and of the health, safety, and comfort of the residents of the City.

Section 2. The City Council of the City of Rocklin hereby approves the General Development Plan and Rezone (PDG-2013-03 and Z-2013-04), as shown on Exhibit A, attached hereto and incorporated by reference herein.

Section 3. Within 15 days of the passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Council members voting for and against the ordinance, to be published in the Placer Herald. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within 15 days, shall cause a summary of the ordinance, prepared by the City Attorney and with the names of the City Council members voting for and against the ordinance, to be published in the Placer Herald, and shall post in the office of the City Clerk a certified copy of the full text of the ordinance, along with the names of those City Council members voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code section 36933(c)(1) are met.

INTRODUCED at a regular meeting of the City Council of the City of Rocklin held on June 9, 2015, by the following vote:

AYES:	Councilmembers:	Janda, Ruslin, Butler, Yuill, Magnuson
NOES:	Councilmembers:	None
ABSENT:	Councilmembers:	None
ABSTAIN:	Councilmembers:	None

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Rocklin held on June 23, 2015, by the following vote:

AYES:	Councilmembers:	Ruslin, Butler, Janda, Yuill, Magnuson
NOES:	Councilmembers:	None
ABSENT:	Councilmembers:	None
ABSTAIN:	Councilmembers:	None



George Magnuson, Mayor

ATTEST:


Barbara Ivanusich, City Clerk

First Reading: 6/9/15
Second Reading: 6/23/15
Effective Date: 7/23/15

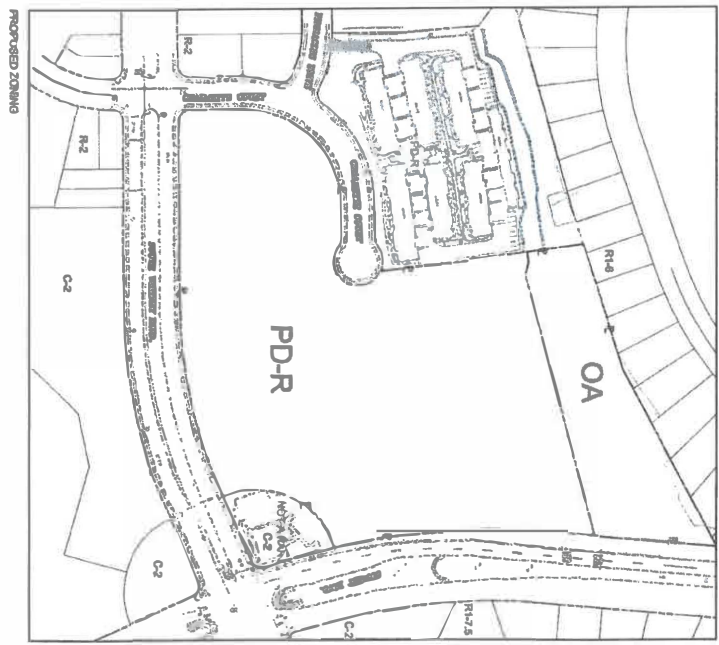
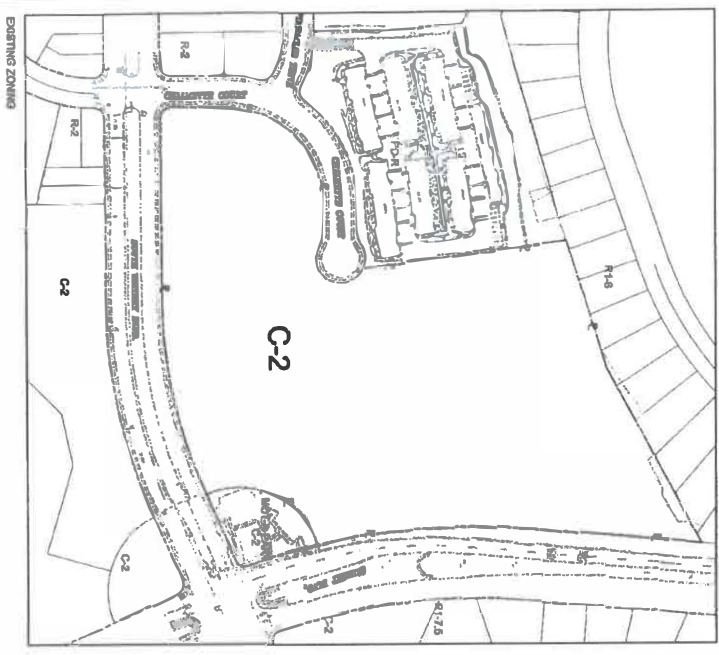
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EXHIBIT A

Sunset Hills Townhomes Z-2013-04

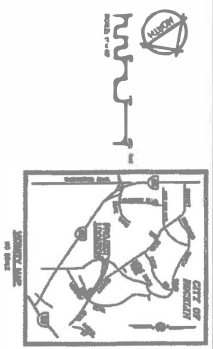
Map of Existing and Proposed Zoning

EXHIBIT A
PDG-2013-03



Land Use Summary:

Total Site Area:	11.2 Gross Acres (A)
Existing General Plan:	HD/R R-C
Existing Zoning:	C-2
Proposed Zoning:	PD-R Planned Development Min. 15.5 Units per Acre and OA (Open Area)
Proposed OA:	1.95 Gross Acres (A)
Proposed PD-R:	9.25 Gross Acres (A)
Proposed # of Units:	148 Units
Proposed Density:	16 Units per Acre



PROPOSED ZONING - PD-R

Permitted Uses

- A. Agriculture, horticulture, equestrianism (for residential use, including other developments)
- B. Accessory buildings subject to regulations in City Code Chapter 17.26
- C. Accessory uses as regulated by City Code Chapter 17.26
- D. Detached single-unit, subject to regulations in City Code Chapter 17.26

Conditional Uses

- A. Retail business
- B. Community care facility, day care center or residential facility

Height Regulations

- A. The maximum height for proposed buildings and structures shall be 35 feet, with the following exceptions: With the approval of the Planning Commission, the maximum allowable height may be increased up to 45 feet and five stories.
- B. The maximum height for accessory buildings or structures shall be 15 feet.

Lot Areas

See applicable City Code.

Lot Coverages

The maximum lot coverage by all structures and buildings shall not exceed 60% percent of the lot area.

Lot Widths

See applicable City Code.

Setbacks

- A. The front setback shall be the greater of 10 feet or 10% of the lot width.
- B. The rear setback shall be a bare minimum of 10 feet for the rear portion of the lot.
- C. The side setback shall be a bare minimum of 10 feet for the side portion of the lot.
- D. Street Side: There shall be a street side setback of not less than 10 feet.
- E. Front, Side, Street Side, or Rear Setback: Front, side, street side, or rear setbacks required for this zoning shall be the greater of 10 feet or 10% of the lot width, whichever is greater.
- F. Accessory Structures: Attached structures, pool areas, patios, utility structures, setbacks will be less than 10 feet.

Off-street Parking

- A. One-space parking shall be provided subject to the regulations in City Code Chapter 17.06.

PROPOSED ZONING - OA (OPEN AREA)

As defined by the City of Rocklin Zoning Code.

EXHIBIT B

Ordinance xxx Sunset Hills Townhomes General Development Plan PDG-2013-03

PURPOSE

The Sunset Hills Townhomes project area, located at the southwest corner of the intersection of Sunset Boulevard and South Whitney Boulevard, is an infill multiple family residential project adjacent to existing multiple family residential development and near existing single family and commercial development.

This General Development Plan is established per the provisions of Rocklin Municipal Code Chapter 17.60. PD Zone. Compatibility of this development with the surrounding residential and commercial projects is addressed by establishing design standards deemed to be compatible or potentially compatible with surrounding development.

1. MAP



Map indicating the area included in the Sunset Hills Townhomes General Development Plan, PDG-2013-03.

2. INTERPRETATION

All provisions and definitions of the Rocklin Municipal Code (R.M.C.) shall apply to ~~to~~ ^{BF1} this project unless otherwise specified in this General Development Plan. Whenever there is a conflict between Title 17 of the R.M.C. and this General Development Plan, the provisions of the General Development Plan shall prevail.

3. ZONING DISTRICTS

The following zoning districts are designated in the Sunset Hills Townhomes General Development Plan area:

PD-R Multi-Family Residential Development, 15.5 minimum dwelling units per acre.

Purpose: To provide areas for multi-family homes, conveniently located near commercial uses, employment centers, arterial and collector streets and other intensive uses.

4. ALLOWED USES

A. Permitted Uses – The following uses are permitted in the PD-R zone:

- i) Apartments, townhouses, condominiums (for residential use, including cluster developments)
- ii) Accessory structures and uses (subject to regulations in Zoning Ordinance Chapter 17.08.090 and 17.08.100)
- iii) Duplexes, triplexes, subject to regulations in Chapter 17.38.

B. Conditional Uses – The following uses are permitted in the PD-R zone subject to the issuance of a conditional use permit:

- i) Rest homes
- ii) Community care facilities, day care center, or residential facilities

5. RESIDENTIAL DEVELOPMENT STANDARDS

Minimum Lot Area	none
Minimum Lot Width	none
Principal Structure Building Setbacks	
Front	15 feet
Side, Interior	10 feet
Side, Street	12.5 feet
Rear	15 feet
Maximum Lot Coverage	60 %
Maximum Building Height	
Principal	40 feet
With Use Permit	50 feet
Accessory	20 feet