



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

## UNIVERSAL APPLICATION FORM

NAME OF PROJECT: Chapa-De Rocklin Health Center

LOCATION: West Stanford Ranch RD

ASSESSOR'S PARCEL NUMBERS: 378-010-015, 378-010-014, and 378-010-013.

DATE OF APPLICATION (STAFF): 12/14/23 RECEIVED BY (STAFF INITIALS): MC

FILE NUMBERS (STAFF): DR2023-0014, ENV2023-0016 FEES: \$21,117.00

RECEIPT NO.: R56872

### Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

DATE OF PRE-APPLICATION MEETING: 04-27-2023

### THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)

|   |  |   |
|---|--|---|
| <input type="checkbox"/> General Plan Amendment (GPA)<br>Fee:   | <input type="checkbox"/> Tentative Subdivision Map (SD)<br>Fee:  | <input type="checkbox"/> Use Permit (U)<br><input type="checkbox"/> Minor (PC Approval – New Bldg) Fee: n/a<br><input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee:<br><input type="checkbox"/> Major (CC Approval) Fee: |
| <input type="checkbox"/> BARRO Zone Application (BZ)<br>Fee:  | <input type="checkbox"/> Tentative Parcel Map (DL)<br>Fee: n/a   | <input type="checkbox"/> Variance (V)<br>Fee:   |
| <input type="checkbox"/> Rezone (Reclassification) (Z)<br>Fee:  | <input type="checkbox"/> Design Review (DR)<br><input checked="" type="checkbox"/> Commercial Fee: \$13,940.00<br><input type="checkbox"/> Residential Fee:<br><input type="checkbox"/> Signs Fee: | <input type="checkbox"/> Oak Tree Preservation Plan Permit<br><input type="checkbox"/> Planning Commission Fee:<br><input type="checkbox"/> City Council Fee:   |
| <input type="checkbox"/> General Development Plan*(PDG)<br>Fee:   |  | <input type="checkbox"/> Modification to Approved Projects<br>Fee:<br>File Number: _____  |
| <input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements)<br>Fee: \$17,293.00 |  |   |

Environmental Requirements: (STAFF)  Exempt -  Negative Declaration -  Mitigated Negative Declaration - \$7,325.00  EIR - See Fee Schedule

15162 Determination -

**UNIVERSAL APPLICATION FORM (CONT.)**

| GENERAL PLAN<br>DESIGNATION: | PROPERTY DATA:                        | UTILITIES:                                      |                                       |
|------------------------------|---------------------------------------|---|---------------------------------------|
|                              |                                       | EXISTING  | PROPOSED                              |
| Existing: <u>PD-BP/C/L</u>   | Acres: <u>13.1 Acres</u>              | <input checked="" type="checkbox"/> Pub. Sewer  | <input type="checkbox"/> Pub. Sewer   |
| Proposed: <u>PD-BP/C/L</u>   | Square Feet: <u>570,636</u>           | <input type="checkbox"/> Septic Sewer           | <input type="checkbox"/> Septic Sewer |
| <b>ZONING:</b>               | Dimensions: _____                     | <input checked="" type="checkbox"/> Pub. Water  | <input type="checkbox"/> Pub. Water   |
| Existing: <u>PD-BP/C/L</u>   | No. of Units: <u>n/a</u>              | <input type="checkbox"/> Well Water             | <input type="checkbox"/> Well Water   |
| Proposed: <u>PD-BP/C/L</u>   | Building Size: <u>61,596 SF</u>       | <input checked="" type="checkbox"/> Electricity | <input type="checkbox"/> Electricity  |
|                              | Proposed Parking: <u>Phase 1: 308</u> | <input checked="" type="checkbox"/> Gas         | <input type="checkbox"/> Gas          |
|                              | Required Parking: <u>Phase 1: 308</u> | <input type="checkbox"/> Cable                  | <input type="checkbox"/> Cable        |
|                              | Access: _____                         |   |                                       |

**PROJECT REQUEST:**

Chapa-De Indian Health requests approval of design review and minor use permit to construct and operate an approximately 96,000-square-foot health center built out over two phases to provide medical, dental, optometry services, related administrative functions, and a pharmacy on 13.1 acres of undeveloped land in the northern area of the City of Rocklin.

*(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)*

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.



UNIVERSAL APPLICATION FORM (CONT.)

PLEASE PRINT OR TYPE:

NAME OF PROPERTY OWNER: Chapa-De Indian Health Program, Inc.

ADDRESS: 2495 Bell Road

CITY: Auburn STATE: CA ZIP: 95630

PHONE NUMBER: 530-887-2800

EMAIL ADDRESS: ldavies@chapa-de.org

FAX NUMBER: \_\_\_\_\_

**SIGNATURE OF OWNER** \_\_\_\_\_

*(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)*

NAME OF APPLICANT  
(If different than owner): Jack Williams

CONTACT: \_\_\_\_\_

ADDRESS: 75 Natoma Street, Suite B1

CITY: Folsom STATE: CA ZIP: 95630

PHONE NUMBER: 916-704-6085

EMAIL ADDRESS: jack@jaxgc.us

FAX NUMBER: \_\_\_\_\_

**SIGNATURE OF APPLICANT** \_\_\_\_\_

**AGENT AUTHORIZATION FORM**

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Chapa-De Rocklin Health Center  
Location: West Stanford Ranch Road  
Assessors Parcel Number(s): 378-010-015, 378-010-014, and 378-010-013.  
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.):  
Design Review and minor use permit

Name of person and / or firm authorized to represent property owner (Please print):  
Jack Williams - JAX Construction, Inc

Address: 75 Natoma Street, Suite B1  
City: Folsom State: CA Zip: 95630  
Phone Number: 916-704-6085 Fax Number: \_\_\_\_\_  
Email Address: jack@jaxgc.us

The above named person or firm is authorized as:  
Agent () Buyer () Lessee ()

The above named person or firm is authorized to (check all that are applicable):  
 File any and all papers in conjunction with the aforementioned request, including signing the application  
 Speak on behalf of and represent the owner at any Staff meeting and/or public hearing.  
 Sign any and all papers in my stead, with the exception of the application form.  
The duration and validity of this authorization shall be:  
 Unrestricted  Valid until:

Owners Authorization Signature & Date:  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Owners Name (Please Print): Lisa Davies  
Owners Address: 2495 Bell Road  
City: Auburn State: CA Zip: 95603  
Phone Number: 530-887-2800  
Email Address: ldavies@chap-de.org

**NOTIFICATION OF OWNERS OF MINERAL RIGHTS**

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

**See page 24 of this application for instructions on how to submit mailing labels.**

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

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There are  / are not \_\_\_\_\_ (check one) owner(s) of record of preserved mineral rights on the subject property and I, Jack Williams, the applicant or applicant's representative, have  / have not \_\_\_\_\_ (check one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

**STATE OF CALIFORNIA  
DEPARTMENT OF FISH AND GAME  
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount *no later than* the day of the final scheduled public hearing for the proposed project.

**PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.**

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

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I, Jack Williams, the applicant or applicant's representative, have read the information above and understand its meaning.

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Signature

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Date

**HAZARDOUS WASTE AND SUBSTANCES STATEMENT**

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, \_\_\_\_\_ is,  is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: \_\_\_\_\_ Date of list: \_\_\_\_\_

Type of problem:

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: \_\_\_\_\_

Applicant: \_\_\_\_\_

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site: <http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

## MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

**MITIGATION FOR AIR QUALITY IMPACTS (CONT.)**

**MITIGATIONS**

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

**Jack Williams**

\_\_\_\_\_  
Applicant's Name (printed)

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date



City of Rocklin

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Rocklin, California 95677
Phone (916) 625-5160 FAX (916) 625-5195

ENVIRONMENTAL
INFORMATION SHEET
(To be completed by applicant)

LOCATION OF PROJECT (ADDRESS) West Stanford Ranch Road

CITY: Rocklin STATE: CA ZIP: 95765

ASSESSORS PARCEL #: 378-010-015, 378-010-014, and 378-010-013.

NAME OF PROJECT: Chapa-De Rocklin Health Center

CONTACT/APPLICANT NAME: Jack Williams

ADDRESS: 75 Natoma Street Suite B1

CITY: Folsom STATE: CA ZIP: 95630

PHONE: 916-704-6085 EMAIL: jack@jaxgc.us

Project Description - Describe in detail. Add separate sheet if necessary.

THE ROCKLIN HEALTH CENTER WILL BE LOCATED ON A 13-ACRE GREENFIELD SITE AT THE CORNER OF WEST STANFORD ROAD AND WILDCAT BLVD. THIS PROJECT WOULD FURTHER THE VITAL MISSION OF CHAPA-DE TO ADVANCE THE HEALTH AND WELL-BEING OF AMERICAN INDIANS AND LOW INCOME INDIVIDUALS LIVING IN OUR COMMUNITY BY PROVIDING CONVENIENT ACCESS TO HIGH QUALITY, COMPASSIONATE CARE. PHASE I WILL INCLUDE APPROX 62,000 GSF OF OSHPD-3 CLINIC AND SUPPORT SERVICES SPACES IN A TWO STORY BUILDING ON THE SITE (WITH 22,000 GSF ON LEVEL 1 AND 40,000 GSF ON LEVEL 2). THIS LOCATION WILL SUPPORT THE PROJECT NEEDS FOR MEDICAL AND DENTAL WITH PHARMACY AND ASSOCIATED DRIVE-THRU SERVICES, ADDITIONAL PATIENT SERVICES, OPTOMETRY, ADMINISTRATION AND RELATED SUPPORT AREAS. THE SITE PROGRAM INFORMATION IS SECTIONED TO SHOW THE EXTENT OF WORK THAT WILL HAPPEN AS PART OF PHASE I. THE FUTURE PHASES WILL INCLUDE BUILDING 2 AND BUILDING 3 AND PROVIDE ADDITIONAL SPACE FOR WELLNESS AND ADMINISTRATION PROGRAM.

Table with 2 columns: Property size (Square Feet/Acres) and Land Use (Existing/Proposed). Values: ~570,636 / 13.1, PD-BP/C/LI, Existing / Proposed.

RELATED PROJECTS: If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification:

PREVIOUS ENVIRONMENTAL DOCUMENTS: If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible:

OTHER REQUIRED PERMITS OR APPROVALS:

Table with 3 columns: Permit or Approval Agency, Address, Contact Person/Phone. Row 1: N/A, empty, empty.

PREVIOUS LAND USES: Describe existing and previous land uses of the site for the last 10 years or more:

The site is a green field site.



**SITE CHARACTERISTICS**

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?

Nothing

2. What are the surrounding land uses?

East PD-BP/C West PD-BP/C/L North PARK South PD-20 & PD-6B

3. Is the project proposed on land which contains fill or a slope of 10% or more? Yes

4. Are there any existing erosion problems? No

5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? No  
If so, describe in detail, or refer to attached soils report.

6. Grading, excavating or filling activities - Quantity of cubic yards to be:

- a. Moved within the site: 22,721
- b. Deposited on the site: 0
- c. Removed from the site: 0
- d. Disposal site: n/a

7. Are there any streams or permanent water courses on the site? No

Describe:

8. Will the proposed project change drainage patterns or the quality of groundwater? no

If so explain. If not, why not:

The proposed drainage plan follows the same drainage patterns as the existing site. Stormwater will be routed to bioretention basins where the stormwater will be treated before infiltrating into the soils below.

9. Will the project affect any drainage channel, creek, pond or any other water body? No

Describe below:

10. Is any portion of the property located in a flood plain? No

If so describe:

.Per the Nation Flood Hazard Layer FIRMette, 06061C0933H, the project site is located within Zone X, which is defined as an area of minimal flooding.

11. Are there any jurisdictional wetlands or vernal pools on the site? <sup>No</sup> \_\_\_\_\_  
If so how will they be impacted by the project?
12. Are there any trees or shrubs on the project site? <sup>No</sup> \_\_\_\_\_  
What types? \_\_\_\_\_  
Are any to be removed or transplanted? \_\_\_\_\_  
State the location of transplant site: \_\_\_\_\_  
State the number & species to be removed: \_\_\_\_\_
13. Will the project affect the habitat of any endangered, threatened, or other special status species?  
There is one special-status animal species with a moderate potential to occur on the overall project site: Swainson's hawk (*Buteo swainsoni*). Please see EIR for mitigation measures.
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source?  
No
15. What type of equipment will be associated with the project during construction?  
Excavating and heavy duty construction equipment.
- During permanent operation?  
None
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.  
Pollutants from excavating and heavy duty construction equipment consistent with a project of this scale.
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? <sup>No</sup> \_\_\_\_\_  
If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties:
18. Will the project create any new light source, other than street lighting? <sup>Yes</sup> \_\_\_\_\_  
If yes, describe below:  
New light sources will be used to adequately light, parking and pedestrian paths as well around the building perimeter.
19. Is this property covered by a Williamson Act contract? <sup>No</sup> \_\_\_\_\_
20. Has this property ever been used for agricultural purposes? <sup>No</sup> \_\_\_\_\_  
If so, for what purpose and when?
21. Does the project involve the use of routine transport or disposal of hazardous materials? <sup>No</sup> \_\_\_\_\_
22. Are there any known mineral resources of value to the region and the residents of the state located on the site?  
If so, what types? \_\_\_\_\_
23. How close is the nearest school? <sup>1.4mi to Maria Montessori Charter | 1.6mi to Sunset Ranch Elementary School</sup> \_\_\_\_\_

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 61

Building height measured from ground to highest point in feet: 38'-6" PER CBC

Number of floors/stories: 2

Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground:

Project site coverage: Building 78,807 sq.ft. 14 %

Landscaping 213,508 sq.ft. 38 %

Paving 277,733 sq.ft. 48 %

Exterior building materials: Masonry, Plaster, Architectural Metals, Standing Seam Metal Roof.

Exterior building colors: Spartan Bronze, Beige, White, Deep Rust

Wall and/or fencing material: Local Dry Stack Stone Retaining Walls and Custom Perforated Steel - Dark Bronze

Total number of off-street parking spaces required: Phase 1: 308 Provided: Phase 1: 308

Total number of bicycle parking spaces: Phase 1: 15 Short Term - 16 Long Term Bike Lockers

25. Is there any exposed mechanical equipment associated with the project? Yes  
 Location and screening method:

**Building parapet screens equipment on the roof**

26. RESIDENTIAL PROJECTS

Total lots \_\_\_\_\_ Total dwelling units \_\_\_\_\_  
 Density/acre \_\_\_\_\_ Total acreage \_\_\_\_\_

|                  | Single Family | Two Family | Multi-Family (More than 2 units) |
|------------------|---------------|------------|----------------------------------|
| Number of Units  |               |            |                                  |
| Size of lot/unit |               |            |                                  |
| Studio           |               |            |                                  |
| 1 Bedroom        |               |            |                                  |
| 2 Bedroom        |               |            |                                  |
| 3 Bedroom        |               |            |                                  |
| 4+ Bedroom       |               |            |                                  |

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): Business Professional - Community Health Clinic

Oriented to: Regional  City \_\_\_\_\_ Neighborhood \_\_\_\_\_

Hours of operation: M-F 7am-6pm

Total occupancy/Building capacity: 907

Gross floor area: 62,193 Number of fixed seats: n/a

Number of employees (total): 150 Employees per shift: 150 Number of Shifts: 1

Number of visitors/customers on site at busiest time (best estimate): 430 per day

Other occupants (specify): \_\_\_\_\_

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? <sup>258 tons</sup> \_\_\_\_\_
29. Will the proposed use involve any toxic or hazardous material? <sup>No</sup> \_\_\_\_\_  
Is the project site within 2,000 feet of an identified hazardous/toxic site? <sup>No</sup> \_\_\_\_\_  
Is the project site within 2,000 feet of a school or hospital? <sup>Yes</sup> \_\_\_\_\_  
If the project involves any hazardous material, explain: \_\_\_\_\_
30. How many new residents is the project estimated to generate? <sup>Zero</sup> \_\_\_\_\_
31. Will the project generate a demand for additional housing? <sup>No</sup> \_\_\_\_\_
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project?  
Current: \_\_\_\_\_ Estimated: \_\_\_\_\_
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? <sup>No</sup> \_\_\_\_\_  
If yes, explain: \_\_\_\_\_
34. How close is the project to the nearest public park or recreation area? <sup>0.9 Mi to Margaret Azevedo Park</sup> \_\_\_\_\_
35. What school districts will be affected by this project? <sup>None</sup> \_\_\_\_\_
36. Describe energy-efficient features included in the project  
The project will meet CalGreen building code and include photo voltaic panels in the parking lot, LED lighting throughout, double stud exterior walls, efficient low flow plumbing fixtures, and adequate access to daylighting.
37. Describe how the following services or utilities will be provided:  
Power and Natural Gas: <sup>PG&E</sup> \_\_\_\_\_  
Telephone: \_\_\_\_\_  
Water: <sup>Placer County Water Agency</sup> \_\_\_\_\_  
Sewer: <sup>South Placer Municipal Utility District</sup> \_\_\_\_\_  
Storm Drainage: <sup>South Placer Municipal Utility District</sup> \_\_\_\_\_  
Solid Waste: <sup>South Placer Municipal Utility District</sup> \_\_\_\_\_
38. Will the project block any vista or view currently enjoyed by the public? <sup>No</sup> \_\_\_\_\_
39. Are there any known historic or significant building features on or near the site? <sup>No</sup> \_\_\_\_\_  
If so, will the project result in any impact to the building? \_\_\_\_\_
40. Are there any archaeological features on the site? <sup>No</sup> \_\_\_\_\_  
If so, will the project result in any impact to these features? \_\_\_\_\_

**FORMATTING AND MINIMUM INFORMATION REQUIREMENTS**  
**To Be Completed By Applicant**

INSTRUCTIONS: The following are the formatting and minimum information requirements for the applicable exhibits and documents submitted as a part of all applications. Please check off the line indicating the information has been included and / or formatting requirements met and **submit this checklist with your application**. Mark the line *N/A* if the item is not applicable.

**EXHIBIT SETS (Copies of all project drawings stapled together as follows, except tentative maps)**

- 1. All project maps and drawings collated together
- 2. Sets stapled together along the left margin
- 3. Each set folded to 8-1/2" x 11" (If there are too many sheets to staple and fold to 8 1/2" x 11" in a single set the plan sets may be broken into two to three subsets, each subset to be stapled, folded to 8 1/2" x 11", and labeled as "1 of \_\_\_", "2 of \_\_\_", etc. as appropriate, and the subsets rubber banded together into units.)
- 4. Full sized and 11" x 17" reduced sets collated in the same order and including the same sheets
- 5. All sheets in the 11" x 17" reduced sets clearly legible
- 6. For the initial submittal and re-submittals, provide 2 sets of full size and 2 sets of 11" x 17" reduced size drawings (Additional copies to be provided when requested by the City for referral and final, pre-hearing submittals.)

**COLORED EXHIBITS (Full size drawings, colored)**

- 1. Exhibits rolled not mounted
- 2. Colors as close as possible to the true colors proposed to be used

**MATERIALS SAMPLE BOARD (Accurate samples of colors and materials for ALL finishes proposed)**

- 1. Maximum size not to exceed 8-1/2" x 14" (May be a series labeled with the project name and numbered "1 of \_\_\_", "2 of \_\_\_", etc.)
- 2. Actual chips, samples, and swatches (preferred) or colors shown as close as possible to the true colors proposed to be used
- 3. Manufacturer name and product name and identification number called out

**SITE PLAN (A plot plan drawn to scale showing the following)**

- 1. Proposed and existing structures (including those to be relocated or removed)
- 2. Square footage of structures and area of all parcels or pads
- 3. Dimensions (i.e. property lines, driveways, structures)
- 4. Natural features (Trees to stay and be removed, rock outcroppings, quarries, etc.)
- 5. All property lines, including those on-site, those immediately off-site and those across any street.
- 6. Circulation
- 7. All existing and proposed public right-of-way improvements
- 8. North arrow

- 9. Vicinity map
- 10. Reciprocal driveways, if appropriate
- 11. Trash enclosures. (Auburn Placer Disposal to approve location and size.)
- 12. Landscaped areas
- 13. Prominent features including structures and natural features of surrounding properties
- 14. All existing and proposed easements (i.e. open space, floodplain, scenic, proposed abandonments, etc., including name of person or group to own and maintain area)
- 15. Location, size, and height of pole lights, signs, street lights, flag poles
- 16. Scale (Scale shall be shown in printed text and with a bar scale).
- 17. Project notes including:
  - Owner;
  - Developer;
  - Engineer/Architect;
  - Service Providers;
  - General Plan and Zoning;
  - Assessors Parcel Number(s);
  - Land Area;
  - Building Area;
  - Parking including calculations for parking requirements (The general parking lot design shall be consistent with City of Rocklin Improvement Standards, including size, dimensions, driveway widths, and required landscaping)

**DISABLED ACCESS REQUIREMENTS FOR SITE PLANS**

- 1. Accessible route of travel requirements (per Title 24):
  - At least one accessible route within the boundary of the site shall be provided from public transportation stops, public streets, or sidewalks
  - The accessible route of travel shall be the most practical direct route between the accessible entrance to the site and accessible building entrance and accessible site facilities
  - The accessible route of travel shall be provided to all entrances and exterior ground floor exits along normal paths of travel, as well as to the trash enclosure(s)
  - When more than one building or facility is located on a site, the accessible route of travel shall be provided between buildings and accessible facilities
  - The accessible route of travel shall be at least 48 inches wide and have a cross slope no greater than 1/4 inch per foot (1 inch vertical per 50 inches horizontal)
  - The accessible route of travel shall be provided in such a way that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own
  - Clearly delineate all accessible routes and accessible parking areas and include sufficient grade call outs to assure compliance with required slopes
- 2. Accessible parking area requirements:
  - Accommodate required number of handicap spaces
  - One-quarter inch per foot slope in any direction, maximum
  - Reasonable distance to entrance
  - Equally dispersed throughout project for multiple buildings

Questions or clarification of the Disabled Access requirements should be addressed by the Building Department. Sites that require variation from the guidelines will be handled on a case by case basis.

**PHASING PLAN**

- 1. A complete phasing plan including improvements to be completed at each phase.
- 2. Interim dead-end streets more than 150' in length require a temporary turn-around.

**PRELIMINARY GRADING AND DRAINAGE PLANS**

- 1. Natural features, soils and geology studies as required by the City Engineer
- 2. Natural and finished contours and spot elevations where appropriate
- 3. Wetland and riparian delineation
- 4. Existing or proposed drainage facilities including detention basins
- 5. Standard utilities (i.e. storm drains, sewer, and water)
- \_\_\_ 6. Amount of cut and fill in cubic yards
- \_\_\_ 7. Identified archeological sites including mortar beds
- \_\_\_ 8. Typical street gradients in percentages
- \_\_\_ 9. Existing and proposed public right-of-way improvements
- \_\_\_ 10. Spot elevations immediately off-site
- \_\_\_ 11. 100 year flood plains
- \_\_\_ 12. Proposed retaining walls
- \_\_\_ 13. North arrow
- \_\_\_ 14. Scale (Scale shall be shown in printed text and with a bar scale)

**PRELIMINARY LANDSCAPING PLAN**

- \_\_\_ 1. Planting schedule that includes quantities, botanical and common names of all plants used, symbols for all plants, minimum container size (specify 15 gallon size for trees and 5 gallon for shrubs), and the average height range for trees in the specified container size (based on the American Standards for Nursery Stock).
- \_\_\_ 2. Detailed planting plans are required for entrances to multifamily residential, commercial, and industrial projects
- \_\_\_ 3. Indicate use of granite in landscaping/freestanding signage, plants will not block signs
- \_\_\_ 4. Parking lot shading provided at 1 tree located every 5 spaces
- \_\_\_ 5. Provide calculations demonstrating that at least 20% of a non-residential site is in landscaping
- \_\_\_ 6. Berming or masonry screening walls three feet high along rights-of-way where adjacent to proposed parking or driveway aisles. Provide line of sight cross sections from streets and parking areas including medians and entrances to assure traffic safety
- \_\_\_ 7. Year round color and screening
- \_\_\_ 8. Utility features such as manholes, pipes, and ditches are to be kept out of the landscape planter areas to the extent possible. In instances where such features are proposed in the landscape areas, they should be located in a way that minimizes impacts to anticipated tree locations or the establishment of trees, shrubs, and ground cover.
- \_\_\_ 9. Drought resistant plantings, use of appropriate plant materials, meets requirements of the Water Conservation in Landscaping Act
- \_\_\_ 10. Fencing, materials and location
- \_\_\_ 11. Indicate preserved oak trees and tree preservation techniques implemented
- \_\_\_ 12. Scale (Scale shall be shown in printed text and with a bar scale)

## BUILDING ELEVATIONS

- x   1. All four elevations of each proposed building labeled to include directional and other information to clarify orientation (i.e. North/Granite Drive Elevation). Designs should depict compatibility with neighboring structures and terrain
- x   2. Building height
- x   3. At least one elevation calling out colors and materials
- x   4. Location of mechanical equipment and screening (Cross sections and roof plan)
- x   5. Lighting specifications (manufacture name, fixture type and identification information, and proposed wattage). Submittal of cut sheets is encouraged
- x   6. Scale (Scale shall be shown in printed text and with a bar scale)
- x   7. For multi-building projects, provide a key plan on each sheet

## FLOOR PLAN

- x   1. Dimensions
- x   2. Square footage
- x   3. Intended uses
- x   4. Scale (Scale shall be shown in printed text and with a bar scale)

## OAK TREE PRESERVATION PLAN

- n/a   1. All existing oak trees located on site (Tree Survey)
- n/a   2. All trees labeled with corresponding number from arborist report
- n/a   3. Schedule of trees by number, type, size, condition, and removal information
- n/a   4. All trees to be removed should have an X through the center
- n/a   5. Spot elevation of tree at base
- n/a   6. Scale (Scale shall be shown in printed text and with a bar scale)

## SIGN ELEVATION

- x   1. Elevations of all signs (Freestanding and building-mounted)
- x   2. Location(s) of wall sign(s) on building(s)
- x   3. Sign height dimensioned
- x   4. Sign length dimensioned
- x   5. Call out all materials and colors
- x   6. Location of all freestanding signs on site plan
- x   7. Type of illumination specified
- x   8. Scale (scale shall be shown in printed text with a bar scale)



**TENTATIVE PARCEL MAP**

- \_\_\_ 1. The scale of the tentative parcel map should be 1" = 50 feet unless otherwise permitted by the City Engineer
- \_\_\_ 2. All dimensions shown in feet and hundredths of a foot
- \_\_\_ 3. If more than three sheets are necessary to show the entire subdivision, an index map shall be included on one of the sheets
- \_\_\_ 4. Scale (Scale shall be shown on each sheet in both printed text and with a bar scale)
- \_\_\_ 5. North arrow on each sheet
- \_\_\_ 6. Title sheet shall be provided except where the size of the subdivision permits the information required to be included on the same sheet as the map of the subdivision.
- \_\_\_ 7. All existing property lines with dimensions
- \_\_\_ 8. All proposed property lines with dimensions
- \_\_\_ 9. Parcel area (Square footage and/or acreage) for each proposed parcel
- \_\_\_ 10. The adjacent public rights-of-way, with dimension(s) of the right of way
- \_\_\_ 11. All existing structures
- \_\_\_ 12. All oak trees and granite outcroppings
- \_\_\_ 13. Riparian boundary (as identified by a qualified biologist)
- \_\_\_ 14. 100 year floodplain boundaries
- \_\_\_ 15. All existing and proposed easements
- \_\_\_ 16. Archeological features
- \_\_\_ 17. Surrounding land uses, particularly locations of structures and driveways

**TENTATIVE SUBDIVISION MAP**

- \_\_\_ 1. Project notes including:
  - Proposed subdivision name;
  - Service Providers;
  - General Plan and Zoning;
  - Assessors Parcel Number;
  - Land Area;
  - North Arrow;
  - Existing Land Use;
  - Proposed Land Use
- \_\_\_ 2. Names, addresses and telephone numbers of record owners and subdivider of the land.
- \_\_\_ 3. Name, address, and phone number of the persons, firm, or organization that prepared the map and the applicable registration or license number.
- \_\_\_ 4. A vicinity or key map of appropriate scale covering sufficient adjoining territory so as to clearly indicate the nearest street intersections, major access streets, property lines of other adjacent properties in the ownership of the subdivider, and other significant features which will have a bearing on the proposed subdivision and its location in relationship to surrounding areas.
- \_\_\_ 5. The scale of the map shall be at least one inch equals one hundred feet. The scale shall be shown as both printed text and with a bar scale on each page.
- \_\_\_ 6. No single sheet shall exceed 72 inches in length and 54 inches in width. The minimum sheet shall be 18 inches in width and 26 inches in width.
- \_\_\_ 7. Boundaries of the subdivision with sufficient information to locate the property

- \_\_\_ 8. The boundaries and dimensions of all lots, with all lots consecutively numbered.
- \_\_\_ 9. The minimum, maximum, and average lots sizes shall be stated.
- \_\_\_ 10. Name of all adjacent subdivisions, if any, and property lines sufficient to show their relationship to the proposed subdivision
- \_\_\_ 11. Contour lines at intervals of not more than 2 feet, unless waived by the City Engineer. Topographic information shall be sufficient to fully show the configuration of the land and any and all depressions that may present drainage problems, and shall extend beyond the tract boundaries where necessary to show drainage conditions on surrounding property which may affect the subdivision.
- \_\_\_ 12. Lots exceeding a 25% slope shall be so noted.
- \_\_\_ 13. The location of all railroad rights of way and grade crossings
- \_\_\_ 14. Approximate location of all existing wells, abandoned wells and sumps, including septic systems or other underground systems
- \_\_\_ 15. The location of any active or abandoned quarries
- \_\_\_ 16. An indication of any physical restriction or condition in the subdivision which affects the use of the property
- \_\_\_ 17. All structures, including fences and signs, within the subdivision, dimensioned and distanced to the other structures and to existing and proposed street and lot lines, present and future use of all structures to be noted
- \_\_\_ 18. The locations, widths, and purposes of all existing and proposed easements for utilities, drainage, and other public purposes, whether private or public, shown by dashed lines, within and adjacent to the subdivision, including proposed building setback lines
- \_\_\_ 19. The location of all potentially dangerous areas, including geologically hazardous areas, and areas subject to inundation or flood hazard adjacent to the property involved and the proposed method of providing storm water drainage and erosion control.
- \_\_\_ 20. The location of all ponds, reservoirs, streams and tributaries and their respective floodplains
- \_\_\_ 21. The location and general description of any trees with a diameter of 6 inches or greater with notations as to their retention or destruction. Where groves of trees exist, the perimeter of the canopy shall be shown symbolically on the map.
- \_\_\_ 22. The location of any significant natural features and/or possible historical or archeological site or remains, including but not limited to, natural springs, caves, Indian grinding rocks, petroglyphs, burial sites, historical buildings and/or their ruins, and significant rock outcroppings
- \_\_\_ 23. The boundaries and dimensions of all lots, a number assigned to each lot, and the total number of lots.
- \_\_\_ 24. The location, width, and existing/proposed names or designations of all existing or proposed streets, alleys, pedestrian ways and other rights of ways, including but not limited to bikeways, paths, etc. whether public or private. Any change in existing street names shall be specifically requested in writing
- \_\_\_ 25. Any modification being requested in accordance with the provisions of Rocklin Municipal Code 16.36 which is shown on the tentative map shall be clearly labeled and identified as to nature and purpose
- \_\_\_ 26. The location of all natural and man-made improvements to all properties surrounding the subdivision, including but not limited to off-site natural contours, finished grades, buildings, existing road improvements, and property lines. Cross sections are encouraged or may be required to illustrate elevation differences between the project and existing adjacent development.



**ECONOMIC & COMMUNITY  
DEVELOPMENT DEPARTMENT**

MARC MONDELL, *Director*

**PLANNING (916) 625-5120**

**Bret Finning, *Planning Services Manager***

Terry Stemple, *Department Specialist*

Laura Webster, *Director, Office of Long Range Planning*

Dara Dungworth, *Senior Planner*

Nathan Anderson, *Associate Planner*

Shauna Nauman, *Assistant Planner*

Jennifer Manzke, *Planning/Building Tech*

**ENGINEERING (916) 625-5120**

**DAVID PALMER, *City Engineer***

Lynn Toth, *Land Development Engineer*

Ashley Kettenhofen, *Planning/Building Tech*

**BUILDING & PERMIT SERVICES (916) 625-5120**

**FRED LUSTENBERGER, *Chief Building Official***

Kevin Ruybal, *Manager of Building Services*

Mike Kelly, *Building Inspector II*

John Schnaad, *Building Inspector II*

Russ Sneed, *Building Inspector I*

Elaine Clark, *Fire Prevention Plans Examiner*

Sherry Palmer, *Permit Services Supervisor*

Raquel Torneros, *Planning/Building Tech*

Janette Haley, *Planning/Building Tech*

Jacob Slipak, *Office Assistant II*

Gabby Sotir, *Office Assistant II*

John Carter, *Office Assistant II*

**HOUSING (916) 625-5592**

**SHARON COHEN, *Housing Specialist***

# City of Rocklin

Economic & Community Development  
Department

*Planning  
Engineering  
Building*

## REFERENCE DIRECTORY

Services/Agencies  
School Districts  
Health Department  
Contractor Information  
Mobile Homes in Trailer Parks



**ROCKLIN**  
CALIFORNIA

For more information,  
please visit our website at:

[www.rocklin.ca.us](http://www.rocklin.ca.us)

**August 18, 2017**

**ADDRESS: 3970 Rocklin Road, Rocklin, CA 95677**  
**FAX: (916) 625-5195 Planning/Building/Engineering**  
**TDD: (916) 632-4013 (all city offices)**

|  |   |  |  |   |  |
|--|---|--|--|---|--|
| <p><b>DISPOSAL</b></p> <p><b>RECOLOGY AUBURN PLACER DISPOSAL SERVICE</b><br/> 12305 Shale Ridge Road<br/> Auburn, CA 95602<br/> (530) 885-3735<br/> Customer Service: 1 (800) 573-5545<br/> <a href="http://www.fecologyauburnplacer.com">www.fecologyauburnplacer.com</a></p> | <p><b>WATER</b></p> <p><b>PLACER COUNTY WATER AGENCY</b><br/> 144 Ferguson Rd.<br/> P. O. Box 6570<br/> Auburn, CA 95604<br/> (530) 823-4850; 1 (800) 464-0030<br/> <a href="http://www.pcwva.net">www.pcwva.net</a></p>  | <p><b>SCHOOL DISTRICTS</b></p> <p><b>ROCKLIN UNIFIED SCHOOL DISTRICT</b><br/> 2615 Sierra Meadows Dr<br/> Rocklin, CA 95677<br/> (916) 624-2428<br/> <a href="http://www.rocklinusd.org">www.rocklinusd.org</a></p>  |  | <p><b>PLACER UNION HIGH SCHOOL DISTRICT</b><br/> <i>(DEL ORO HS)</i><br/> 13000 New Airport Rd.<br/> P. O. Box 5048<br/> Auburn, CA 95604<br/> (530) 886-4400<br/> <a href="http://www.puhisd.k12.ca.us">www.puhisd.k12.ca.us</a></p> |  |
| <p><b>SEWER</b></p> <p><b>SOUTH PLACER MUNICIPAL UTILITY DISTRICT</b><br/> 5807 Springview drive<br/> Rocklin, CA 95677<br/> (916) 786-8555<br/> <a href="http://www.spmud.ca.gov">www.spmud.ca.gov</a></p>  | <p><b>GAS &amp; ELECTRIC</b></p> <p><b>PACIFIC GAS &amp; ELECTRIC COMPANY</b><br/> 333 Sacramento Street<br/> Auburn, CA 95603<br/> (530) 889-3270; 1 (800) 743-5000<br/> <a href="http://www.pge.com">www.pge.com</a></p>  | <p><b>TELEPHONE COMPANIES</b></p> <p><b>A T &amp; T</b><br/> <i>(FORMERLY SBC/PACIFIC BELL)</i><br/> Residential Customer Service:<br/> 1 (800) 310-2355<br/> Business Customer Service:<br/> 1 (800) 750-2355<br/> <a href="http://www.att.com">www.att.com</a></p> |  | <p><b>SUREWEST</b><br/> <i>(FORMERLY ROSEVILLE TELEPHONE)</i><br/> 200 Vernon Street<br/> Roseville, CA<br/> (916) 786-6141; 1 (866) 787-3937<br/> <a href="http://www.surewest.com">www.surewest.com</a></p>                         |  |
| <p><b>HEALTH DEPARTMENT</b></p> <p><b>PLACER COUNTY ENVIRONMENTAL HEALTH DEPARTMENT</b><br/> 3091 Country Center Dr., #180<br/> Auburn, CA 95603<br/> (530) 745-2300<br/> <a href="http://www.placer.ca.gov">www.placer.ca.gov</a></p>   | <p><b>MOBILE HOMES IN TRAILER PARKS</b></p> <p><b>CA DEPT. OF HOUSING &amp; COMMUNITY DEV./DIV. OF CODES &amp; STANDARDS</b><br/> 9342 Tech Center Dr., #550<br/> Sacramento, CA 95826<br/> (916) 255-2501; (916) 255-2532<br/> <a href="http://housing.hcd.ca.gov/codes">http://housing.hcd.ca.gov/codes</a></p> | <p><b>CONTRACTOR'S LICENSE BOARD</b></p> <p><b>STATE OF CALIFORNIA CONTRACTORS STATE LICENSE BOARD</b><br/> 9821 Business Park Drive<br/> Sacramento, CA 95827<br/> (916) 255-3900; (800) 321-2752<br/> <a href="http://www.cslb.ca.gov">www.cslb.ca.gov</a></p>     | <p><b>PLACER COUNTY OFFICES</b></p> <p>Assessors: (530) 889-4300<br/> Recorder: (530) 886-5600<br/> Public Works: (530) 889-7500<br/> Building: (530) 886-3010<br/> <a href="http://www.placer.ca.gov">www.placer.ca.gov</a></p> |   |  |
| <p><b>CABLE TV</b></p> <p><b>WAVE BROADBAND</b><br/> <i>(FORMERLY STARSTREAM CABLE)</i><br/> 4120 Citrus Ave.<br/> Rocklin, CA 95677<br/> (916) 652-9479<br/> <a href="http://www.wavebroadband.com">www.wavebroadband.com</a></p>   | <p><b>MOSQUITO ABATEMENT</b></p> <p><b>PLACER MOSQUITO ABATEMENT DISTRICT</b><br/> P O Box 216 (150 Waverly Drive)<br/> Lincoln, CA 95648<br/> (916) 435-2140<br/> <a href="http://www.placermosquito.org">www.placermosquito.org</a></p>   | <p><b>POST OFFICE</b></p> <p><b>UNITED STATES POSTAL SERVICE</b><br/> 5515 Pacific Street<br/> Rocklin, CA 95677<br/> (800) 275-8777<br/> <a href="http://www.usps.com">www.usps.com</a></p>   | <p><b>CHAMBER OF COMMERCE</b></p> <p><b>CITY OF ROCKLIN CHAMBER OF COMMERCE</b><br/> 3700 Rocklin Road<br/> Rocklin, CA 95677<br/> (916) 624-2548<br/> <a href="http://www.rocklinchamber.com">www.rocklinchamber.com</a></p>    |   |  |

*Sherri A.*  
**COPY**



## CITY OF ROCKLIN

### MEMORANDUM

TO: All Engineers/Surveyors Doing Business with the City of Rocklin

FROM: Larry M. Wing, Engineering Services Manager *LMW*

SUBJECT: Final Maps, Parcel Maps, and Lot Line Adjustments

DATE: December 16, 2005

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Effective January 1, 2006, all final maps, parcel maps, and lot line adjustments shall require an electronic copy of the map or lot line adjustment prior to the City approval. This electronic copy shall be in a .pdf and either a .dwg format on CD or DVD or shape file.

Additionally, all improvement plans for residential and commercial projects shall require an electronic copy of the plans prior to the City approval. This electronic copy shall be in a .pdf format on CD or DVD.

The electronic copies shall be in addition to the City's requirement and the developer's responsibility to submit paper copies of final approved plans.

DATE 1-3-06  
REC'D BY SCA

e:\engineer\City Engineer\memo All Engrs n Survys reNeed Electric Copies...(LMWans12905)



# CHAPA-DE INDIAN HEALTH PROGRAM CHAPA DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

## PROJECT SUMMARY

OWNER: CHAPA-DE INDIAN HEALTH  
PROJECT LOCATION: WEST STANFORD RANCH ROAD  
ROCKLIN, CA

DREYFUSS + BLACKFORD ARCHITECTS (D+B) HAS BEEN RETAINED BY THE CHAPA DE INDIAN HEALTH PROGRAM (CDHP) TO DESIGN THE NEW SOUTH PLACER CLINIC AT THEIR ROCKLIN CAMPUS WHICH WILL BE LOCATED ON AN APPROXIMATELY 13-ACRE GREENFIELD SITE AT THE CORNER OF WEST STANFORD ROAD AND WILDCAT BLVD. IN ROCKLIN, CA. THE NEW SOUTH PLACER CLINIC WILL BE AN IMPORTANT HUB IN THE OVERALL CDHP SYSTEM. THIS PROJECT WOULD FURTHER THE VITAL MISSION OF CDHP TO ADVANCE THE HEALTH AND WELL-BEING OF AMERICAN INDIANS AND LOW-INCOME INDIVIDUALS LIVING IN OUR COMMUNITY BY PROVIDING CONVENIENT ACCESS TO HIGH QUALITY, COMPASSIONATE CARE. THE OWNER IS ANTICIPATING THIS TO BE A PHASED PROJECT OVER THE NEXT 10 YEARS.

PHASE I WILL INCLUDE APPROXIMATELY 62,000 GSF OF OSHPD-3 CLINIC AND SUPPORT SERVICES SPACES IN A TWO STORY BUILDING ON THE SITE (WITH 22,000 GSF ON LEVEL 1 AND 40,000 GSF ON LEVEL 2). THIS LOCATION WILL SUPPORT THE PROJECT NEEDS FOR MEDICAL AND DENTAL PODS WITH A PHARMACY AND ASSOCIATED DRIVE-THRU SERVICES, ADDITIONAL PATIENT SERVICES, OPTOMETRY, ADMINISTRATION AND RELATED SUPPORT AREAS. THE SITE PROGRAM INFORMATION IS SECTIONED TO SHOW THE EXTENT OF WORK THAT WILL HAPPEN AS PART OF PHASE I AS THE CAMPUS'S CORE PLANNING AND BUILDING. THE PROPOSED BUILDING AREA AND REQUIRED PARKING HAS BEEN INCLUDED AS PART OF THIS SUBMITTAL. THE FUTURE PHASES WILL INCLUDE BUILDING 2 AND BUILDING 3 AND PROVIDE ADDITIONAL SPACE FOR WELLNESS AND ADMINISTRATION SPACE.

IT IS NOTED THAT THE PARKING COUNTS IDENTIFIED INDICATE THE MINIMUM NUMBER OF PARKING SPACES REQUIRED TO BE PROVIDED ON THE SITE PER PHASE I. THE NEW SOUTH PLACER CLINIC PARKING REQUIREMENTS ARE BASED ON THE RATIO OF 5 PARKING SPACES PER 1,000 GSF BUILDING AREA. THIS PROJECT WILL NOT BE SEEKING ANY FORMAL SUSTAINABILITY DESIGNATIONS, BUT INTEGRATING THE CONCEPTS AND SYSTEMS THAT WILL PRODUCE A MORE SUSTAINABLE PROJECT WILL BE A POINT OF EMPHASIS FOR THE PROJECT, INCLUDING INCORPORATING SOLAR IN THE APPROPRIATE AREAS, INCREASED SHADING ON SITE, EFFICIENT HVAC AND LIGHTING DESIGN AS WELL AS SUSTAINABLE MATERIALS WHERE APPROPRIATE.

TYPE OF CONSTRUCTION: II-B

OCCUPANCY: B

BUILDING AREA:

LEVEL 01 (LOWER) = 21,864 SF

LEVEL 02 (UPPER) = 40,136 SF

TOTAL = 62,000 SF

FUTURE PHASES:

BUILDING 2 = 20,000 SF

BUILDING 3 = 15,000 SF

PHASE I BUILDING ENVELOPE:

EXT. WALLS = 0 HOUR

FLOORS = 0 HOUR

ELEVATOR SHAFT = 1 HOUR

PHASE I FIRE PROTECTION: FULLY SPRINKLERED - NFPA 13

PROJECT AREA:

TOTAL = 13.1 ACRES

APN'S: BOOK 378-01, PARCEL NUMBERS 13, 14 & 15

ALL WORK SHALL CONFORM TO THE FOLLOWING CODES:

2022 CBC CALIFORNIA BUILDING CODE

2022 CEC CALIFORNIA ELECTRIC CODE

2022 CMC CALIFORNIA MECHANICAL CODE

2022 CPC CALIFORNIA PLUMBING CODE

2022 CFC CALIFORNIA FIRE CODE

2022 CALgreen CALIFORNIA GREEN BUILDING STANDARDS CODE

2022 NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS

2022 NFPA 25 CALIFORNIA EDITION - STANDARD OF WATER BASED FIRE PROTECTION SYSTEMS

2022 NFPA 72 NATIONAL FIRE ALARM SIGNALING CODE, AS AMENDED BY THE STATE OF CALIFORNIA

2022 NFPA 99 HEALTHCARE FACILITIES CODE

DEFERRED SUBMITTALS:

ELEVATOR STAIRS & GUARD/HAND-RAILS

CURTAIN WALLS PHOTOVOLTAIC PANELS FIRE PROTECTION / SPRINKLERS FIRE ALARM

## PARKING CALCULATIONS

VEHICLE PARKING REQUIRED

PER ROCKLIN MUNICIPAL CODE 17.66.040 COMMERCIAL, BUSINESS AND PROFESSIONAL OFFICE AND PERSONAL SERVICE ESTABLISHMENTS:

FIVE PARKING SPACES FOR THE FIRST THOUSAND SQUARE FEET OF GROSS FLOOR AREA PLUS ONE ADDITIONAL SPACE FOR EACH TWO HUNDRED SQUARE FEET OF GROSS FLOOR AREA

PHASE I: 61,596 SF / 200 = 308 PARKING STALLS

FUTURE PHASES:

BUILDING 2: 20,000 SF / 200 = 100 PARKING STALLS

BUILDING 3: 15,000 SF / 200 = 75 PARKING STALLS

|         |                                    |          |                               |          |                                    |        |                            |        |                        |
|---------|------------------------------------|----------|-------------------------------|----------|------------------------------------|--------|----------------------------|--------|------------------------|
| #       | POUND/NUMBER                       | CPT.     | CARPET                        | FLUOR.   | FLUORESCENT                        | RTL.   | METAL                      | SMS.   | SHEET METAL SCREW      |
| (E)     | EXISTING                           | CTSK.    | COUNTERSINK                   | FRF.     | FIBROOF                            | RUL.   | MULLION                    | SPEC.  | SPECIFICATION          |
| (N)     | NEW                                | D.F.     | DRINKING FOUNTAIN             | FT.      | FOOT/FEET                          | R.     | NORTH                      | SQ.    | SQUARE                 |
| <       | ANGLE                              | D.O.     | DOOR OPENING                  | FTG.     | FOOTING                            | R.I.C. | NOT IN CONTRACT            | STA.   | STATION                |
| @       | AT                                 | D.S.P.   | DRY STANDPIPE                 | FUR.     | FURBING                            | R.T.S. | NOT TO SCALE               | STD.   | STANDARD               |
| ∅       | CENTERLINE                         | D.B.L.   | DRY BARRIER                   | FUT.     | FUTURE                             | NO.    | NUMBER                     | STL.   | STEEL                  |
| ∅/DIA.  | PLATE/PROPERTY LINE DIAMETER/ROUND | DEPT.    | DEPARTMENT                    | G.B.     | GRAB BAR/GRADE BREAK               | NOM.   | NOMINAL                    | STOR.  | STORAGE                |
| A.B.    | AGGREGATE BASE                     | DET.     | DETAIL                        | G.F.R.G. | GLASS FIBER REINFORCED GYPSUM      | OV.    | OVERHANG                   | STRUC. | STRUCTURAL             |
| A.C.    | ASHPHALT CONCRETE                  | GA.      | GALVANIZED                    | G.I.     | GALVANIZED IRON                    | O.C.   | ON CENTER                  | SUSP.  | SUSPENDED              |
| A.D.    | AREA DRAIN                         | DISP.    | DISPENSER                     | GA.      | Gauge                              | O.D.   | OUTSIDE DIAMETER/DIMENSION | SYM.   | SYMMETRICAL            |
| A.F.F.  | ABOVE FINISHED FLOOR               | DN.      | DOWN                          | GLV.     | GALVANIZED                         | O.H.   | OVERHEAD                   | T.A.B. | TOP AND BOTTOM         |
| ACOUS.  | ACOUSTICAL                         | DR.      | DOOR                          | GL.      | GLASS                              | O.V.   | OVER                       | T.A.G. | TONGUE AND GROOVE      |
| ADJ.    | ADJUSTABLE                         | DS.      | DOWNSPOUT                     | GRD.     | GROUND                             | O.F.   | OFFICE                     | T.C.   | TOP OF CURB            |
| AHJ.    | AIR HANDLING UNIT                  | DWS.     | DRAWING                       | GR.      | GRADE                              | OPNG.  | OPENING                    | T.O.   | TOP OF                 |
| ALUM.   | ALUMINUM                           | DWR.     | DRAWER                        | GYP.     | GYPSUM                             | OPP.   | OPPOSITE                   | T.O.F. | TOP OF FRAMING         |
| APPROX. | APPROXIMATE                        | E.       | EACH                          | H.B.     | HOSE BIBB                          | P.C.   | PRECAST                    | T.O.S. | TOP OF STEEL           |
| ARCH.   | ARCHITECTURAL                      | E.J.     | EXPANSION JOINT               | H.C.     | HOLLOW CORE/ACCESSIBLE CURB RAMP   | P.I.V. | POST INDICATOR VALVE       | T.S.   | TUBE STEEL             |
| ASE.    | ASBESTOS                           | E.P.     | ELECTRICAL PANELBOARD         | H.V.     | HOLLOW CORE/ACCESSIBLE CURB RAMP   | P.M.   | PRESSED METAL              | T.V.   | TELEVISION             |
| AUTO.   | AUTOMATIC                          | E.W.C.   | ELECTRIC WATER COOLER         | H.G.     | HARDWARE GROUP                     | P.O.C. | POINT OF CONNECTION        | T.W.   | TOP OF WALL            |
| B.D.F.  | BUILDING DISTRIBUTION FACILITY     | EA.      | EACH                          | H.M.     | HOLLOW METAL                       | P.P.   | PRESSURE TREATED           | TEL.   | TELEPHONE              |
| B.F.P.  | BACK FLOW PREVENTER                | EL.      | ELEVATION                     | H.W.     | HARDWARE                           | P.T.   | PRESSURE TREATED           | TER.   | TERAZZO                |
| BD.     | BAND                               | ELEC.    | ELECTRICAL                    | HOWE.    | HARDWARE                           | R.     | RAIL                       | THK.   | THICK                  |
| BIT.    | BITUMINOUS                         | ELEV.    | ELEVATION                     | HORIZ.   | HORIZONTAL                         | R.A.S. | PLASTER/PLASTIC            | TYP.   | TYPICAL                |
| BLDG.   | BUILDING                           | ENCL.    | ENCLOSURE                     | HR.      | HORIZONTAL                         | R.W.D. | REDWOOD                    | U.O.N. | UNLESS OTHERWISE NOTED |
| BLK.    | BLOCK                              | EQ.      | EQUAL                         | HT.      | HEIGHT                             | R.     | RISER/RADIUS               | UR.    | URINAL                 |
| BLK.    | BLOCKING                           | EQU.     | EQUIPMENT                     | I.D.     | INSIDE DIAMETER/DIMENSION          | R.D.   | ROOF DRAIN                 | VCT.   | VINYL COMPOSITION TILE |
| BM.     | BEAM                               | EXST.    | EXISTING                      | I.D.F.   | INTERMEDIATE DISTRIBUTION FACILITY | R.L.   | RAIN WATER LEADER          | VERT.  | VERTICAL               |
| BTH.    | BOTTOM                             | EXP.     | EXPANSION                     | INSUL.   | INSULATION                         | R.     | RISER/RADIUS               | VEST.  | VESTIBULE              |
| BW.     | BACK OF WALK                       | EXT.     | EXTERIOR                      | INT.     | INTERIOR                           | R.D.   | ROOF DRAIN                 | VI     | VENDOR INSTALLED       |
| C.B.    | CATCH BASIN                        | F.A.     | FIRE ALARM                    | JAN.     | JANITOR                            | R.O.U. | ROUGH OPENING              | W.     | WEST                   |
| C.G.    | CORNER GUARD                       | F.A.N.   | FIRE ALARM REMOTE ANNUNCIATOR | JNT.     | JOINT                              | R.W.L. | RAIN WATER LEADER          | W.C.   | WATER CLOSET           |
| C.I.    | CAST IRON                          | F.B.     | FLOOR DRAIN                   | KIT.     | KITCHEN                            | R.     | RAIL                       | W.     | WITH                   |
| C.I.D.  | CLEAR INSIDE DIMENSION             | F.D.     | FLOOR DRAIN                   | KIT.     | KITCHEN                            | R.E.F. | REFRIGERATOR               | W/O    | WITHOUT                |
| C.J.    | CONTROL JOINT                      | F.D.C.   | FIRE DEPARTMENT CONNECTION    | L.A.B.   | LABORATORY                         | R.E.F. | REFRIGERATOR               | WO.    | WOOD                   |
| C.L.    | CENTERLINE                         | F.E.     | FIRE EXTINGUISHER CABINET     | L.A.M.   | LABORATORY                         | R.E.S. | RESILIENT                  | W.P.   | WETWORK/WORK POINT     |
| C.M.U.  | CONCRETE MASONRY UNIT              | F.E.C.   | FIRE EXTINGUISHER CABINET     | L.A.V.   | LABORATORY                         | R.H.   | ROOM                       | WCST.  | WAINSCOT               |
| C.O.    | CASED OPENING/CLEAN OUT            | F.F.     | FINISH FLOOR                  | L.A.V.   | LABORATORY                         | R.W.D. | REDWOOD                    | WT.    | WEIGHT                 |
| C.A.    | CENTERLINE                         | F.F.E.   | FINISH FLOOR ELEVATION        | L.K.     | LOCKER                             | S.     | SOUTH                      | XMR.   | TRANSFORMER            |
| CAB.    | CABINET                            | F.H.     | FIRE HYDRANT                  | L.T.     | LIGHT                              | S.C.   | SOLID CORE                 |        |                        |
| CBM.    | CERAMIC                            | F.H.V.C. | FIRE HOSE VALVE CABINET       | M.C.     | MEDICINE CABINET                   | S.S.   | STAINLESS STEEL            |        |                        |
| CEL.    | CEILING                            | F.O.C.   | FACE OF CONCRETE/CURB         | M.D.     | MASONRY OPENING                    | S.V.   | SHEET VINYL                |        |                        |
| CLG.    | CLADDING                           | F.O.F.   | FACE OF FRESH                 | M.F.     | MEDIUM DENSITY FIBERBOARD          | SCHED. | SCHEDULE                   |        |                        |
| CLD.    | CLOSET                             | F.O.M.   | FACE OF MASONRY               | M.F.     | MEDIUM DENSITY FIBERBOARD          | SECT.  | SECTION                    |        |                        |
| CLR.    | CLEAR                              | F.O.S.   | FACE OF STUDS                 | M.F.     | MEDIUM DENSITY FIBERBOARD          | SH.    | SHELF                      |        |                        |
| CTR.    | COUNTER                            | F.R.T.   | FIRE RETARDANT TREATED        | M.E.     | MECHANICAL                         | SHT.   | SHEET                      |        |                        |
| COL.    | COLUMN                             | F.S.     | FULL SIZE                     | M.E.     | MEMBRANE                           | SHWR.  | SHOWER                     |        |                        |
| CONC.   | CONCRETE                           | FN.      | FOUNDATION                    | M.F.     | MANUFACTURER                       | SH.    | SHOWER                     |        |                        |
| CON.    | CONNECTION                         | FN.      | FOUNDATION                    | M.H.     | MANHOLE                            | SH.    | SHOWER                     |        |                        |
| CONSTR. | CONSTRUCTION                       | FL.      | FLOW LINE                     | M.H.     | MANHOLE                            | SH.    | SHOWER                     |        |                        |
| CONT.   | CONTINUOUS                         | FLASH.   | FLASHING                      | M.H.     | MANHOLE                            | SH.    | SHOWER                     |        |                        |
| COORD.  | COORDINATE                         | FLK.     | FLOOR                         | MISC.    | MISCELLANEOUS                      | SH.    | SEWER MANHOLE              |        |                        |
| CORR.   | CORRIDOR                           | MTD.     | MOUNTED                       |          |                                    |        |                            |        |                        |

## SYMBOLS

|  |  |
|--|--|
|  | GRID LINE TYPICAL                                      |
|  | WORK POINT, CONTROL POINT OR DATUM POINT               |
|  | ROOM NAME  |
|  | ROOM NUMBER  |
|  | KEYNOTE TAG - CSI PREFIX SEE NOTES ON SIDE OF SHEET    |
|  | DEMOLITION KEYNOTE TAG SEE NOTES ON SIDE OF SHEET      |
|  | DOOR TAG SEE DOOR SCHEDULE SHEET                       |
|  | WINDOW TAG SEE WINDOW SCHEDULE SHEET                   |
|  | EQUIPMENT DESIGNATION SEE EQUIPMENT SCHEDULE SHEET     |
|  | ACCESSORIES DESIGNATION SEE EQUIPMENT SCHEDULE SHEET   |
|  | MILLWORK TYPE TAG                                      |
|  | FINISH MATERIAL TAG                                    |
|  | FINISH MATERIAL TAG (CEILING)                          |
|  | FINISH MATERIAL TAG (FLOOR)                            |
|  | SIGNAGE TYPE TAG SEE DETAILS                           |
|  | WALL TYPE TAG SEE DETAILS                              |
|  | REVISION TAG   |
|  | REFERENCE NO. SHEET NO. SEE SHEET INDICATED            |
|  | INTERIOR ELEVATION TAG SEE SHEET INDICATED             |
|  | SECTION CUT/EXTERIOR ELEVATION TAG SEE SHEET INDICATED |

## VICINITY MAP



## PROJECT TEAM

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CIVIL

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STRUCTURAL

SIEGFRIED  
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SACRAMENTO, CALIFORNIA 95825  
TELEPHONE: 916 520-2777

LANDSCAPE

RANA  
26382 CARMEL RANCHO LANE, 2ND  
FLOOR  
CARMEL, CA 93923

| Sheet Number | Sheet Name                                |
|--------------|---|
| G0.0         | COVER SHEET                               |
| A1.0         | OVERALL SITE PLAN                         |
| A1.1         | ENLARGED SITE PLAN - ENCLOSURES           |
| A1.2         | ENLARGED SITE PLAN - CANOPY               |
| A1.3         | SITE DETAILS                              |
| A2.0         | PHASE 1 FLOOR PLAN - LEVEL 01             |
| A2.1         | PHASE 1 FLOOR PLAN - LEVEL 02             |
| A2.2         | OVERALL ROOF PLAN - PHASE 1               |
| A3.0         | OVERALL EXTERIOR ELEVATIONS - PHASE 1     |
| A3.1         | PARTIAL EXTERIOR ELEVATIONS - PHASE 1     |
| A3.2         | PARTIAL EXTERIOR ELEVATIONS - PHASE 1     |
| A3.3         | PARTIAL EXTERIOR ELEVATIONS - PHASE 1     |
| A3.4         | EXTERIOR ELEVATIONS - FUTURE PHASE BLDG 2 |
| A3.5         | EXTERIOR ELEVATIONS - FUTURE PHASE BLDG 3 |
| A3.6         | BUILDING SECTIONS - PHASE 1               |
| A3.7         | BUILDING SECTIONS - PHASE 1               |
| A3.8         | BUILDING SECTIONS - PHASE 1               |
| L1.00        | LANDSCAPE SITE PLAN                       |
| L1.01        | PLANT LIST                                |

| Sheet Number | Sheet Name                             |
|--------------|--|
| C1.00        | GENERAL NOTES, LEGEND, & ABBREVIATIONS |
| C1.01        | FIRE ACCESS PLAN                       |
| C2.00        | TOPOGRAPHIC & DEMOLITION PLAN          |
| C3.00        | OVERALL PAVING & DIMENSIONING PLAN     |
| C3.01        | PAVING & DIMENSIONING PLAN I           |
| C3.02        | PAVING & DIMENSIONING PLAN II          |
| C3.03        | PAVING & DIMENSIONING PLAN III         |
| C4.00        | OVERALL GRADING PLAN                   |
| C4.01        | GRADING PLAN I                         |
| C4.02        | GRADING PLAN II                        |
| C4.03        | GRADING PLAN III                       |
| C4.04        | GRADING DETAILS I                      |
| C4.05        | GRADING DETAILS II                     |
| C4.06        | GRADING DETAILS III                    |
| C5.00        | OVERALL UTILITY PLAN                   |
| C5.01        | UTILITY PLAN I                         |
| C5.02        | UTILITY PLAN II                        |
| C5.03        | UTILITY PLAN III                       |
| C5.04        | STORMWATER MANAGEMENT PLAN             |
| C6.00        | EROSION CONTROL PLAN                   |
| C7.00        | DETAILS I                              |
| C7.01        | DETAILS II                             |
| C7.02        | DETAILS III                            |

## ENTITLEMENTS SUBMITTAL

REVISION BY DATE

CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

COVER SHEET

C2098.00

12/08/23

GO.0

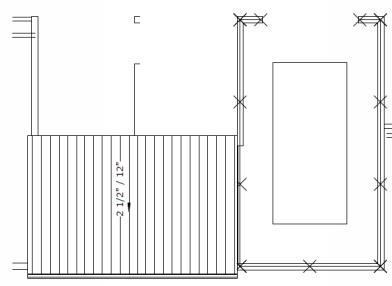




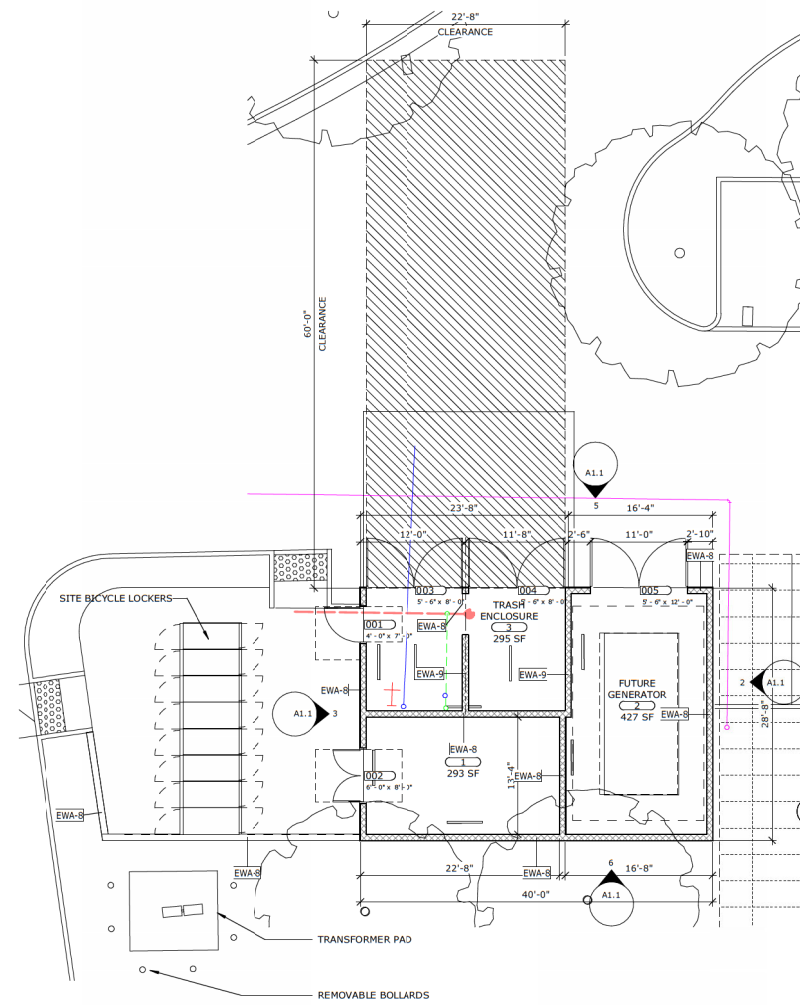


EXTERIOR FINISH LEGEND

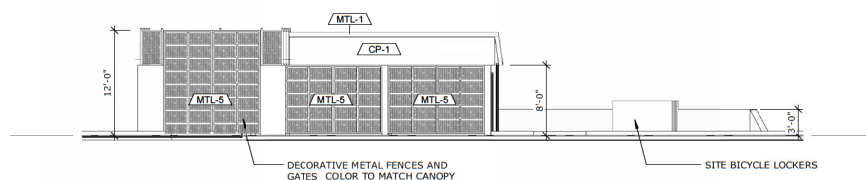
- /MTL-1 STANDING SEAM METAL ROOFING
- /MTL-2 ZAHNER SOLANUM STEEL
- /MTL-3 ZAHNER STAR BLUE COPPER
- /MTL-4 STEEL TO MATCH STOREFRONT SYSTEM
- /MTL-5 CUSTOM PERFORATED STEEL - DARK BRONZE
- /BK-1 CORSO TERRA LONG FORMAT BRICK
- /CON-1 CAST IN PLACE CONCRETE
- /CP-1 CEMENT PLASTER - LIGHT
- /CP-2 CEMENT PLASTER - DARK



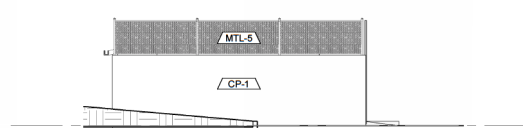
4 ENLARGED SITE PLAN - ROOF  
1/8" = 1'-0" REF 2/A1.1



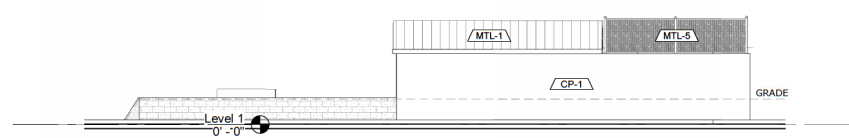
1 ENLARGED SITE PLAN  
1/8" = 1'-0" REF 1/A1.0



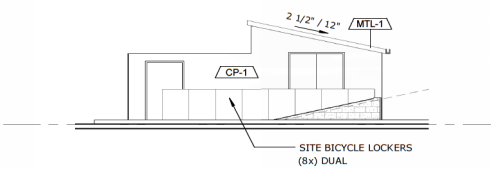
5 Trash Enclosure - North  
1/8" = 1'-0" REF 1/QA-Walls Types



2 Trash Enclosure - East  
1/8" = 1'-0" REF 1/QA-Walls Types



6 Trash Enclosure - South  
1/8" = 1'-0" REF 1/QA-Walls Types



3 Trash Enclosure - West  
1/8" = 1'-0" REF 1/QA-Walls Types

CITY APPROVAL STAMP  
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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

ENLARGED SITE PLAN - ENCLOSURES



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A1.1

EXTERIOR FINISH LEGEND

- /MTL-1 STANDING SEAM METAL ROOFING
- /MTL-2 ZÄHNER SOLANUM STEEL
- /MTL-3 ZÄHNER STAR BLUE COPPER
- /MTL-4 STEEL TO MATCH STOREFRONT SYSTEM
- /MTL-5 CUSTOM PERFORATED STEEL - DARK BRONZE
- /BK-1 CORSO TERRA LONG FORMAT BRICK
- /CON-1 CAST IN PLACE CONCRETE
- /CP-1 CEMENT PLASTER - LIGHT
- /CP-2 CEMENT PLASTER - DARK

CITY APPROVAL STAMP

HCAI #

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CHAPA DE ROCKLIN HEALTH CENTER

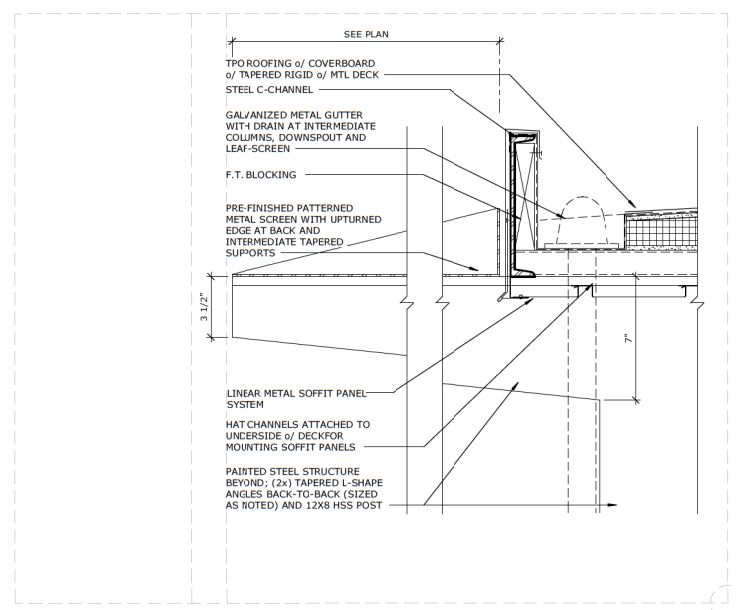
WEST STANFORD RANCH ROAD  
ROCKLIN, CA

ENLARGED SITE PLAN -  
CANOPY

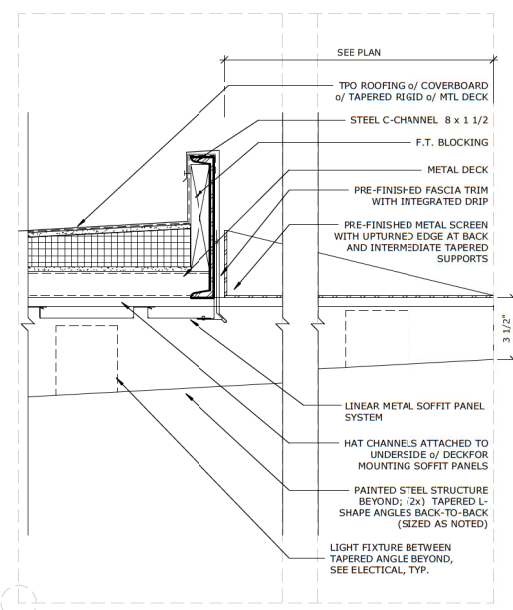


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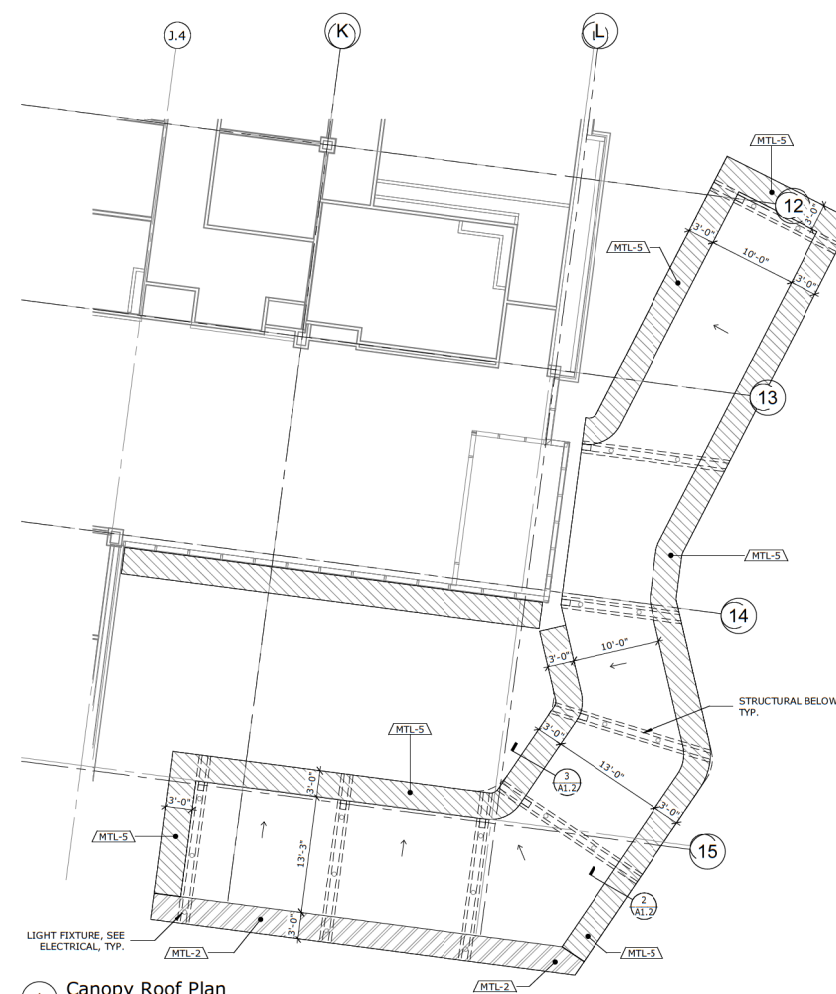
A1.2



3 CANOPY BACK FASCIA WITH GUTTER DETAIL - ENTITLEMENTS  
3" = 1'-0"

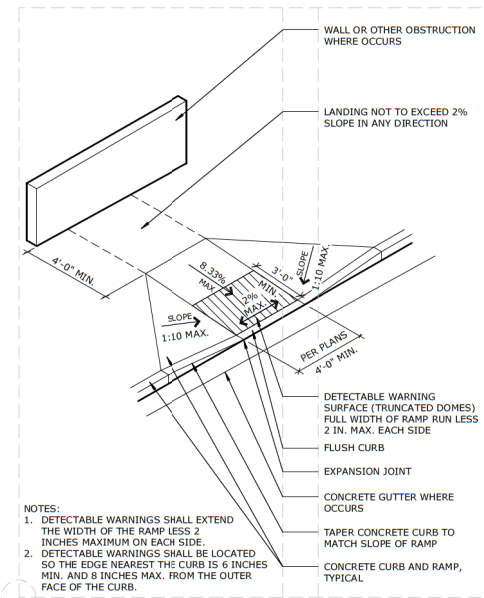


2 CANOPY FRONT FASCIA DETAIL - ENTITLEMENTS  
3" = 1'-0"

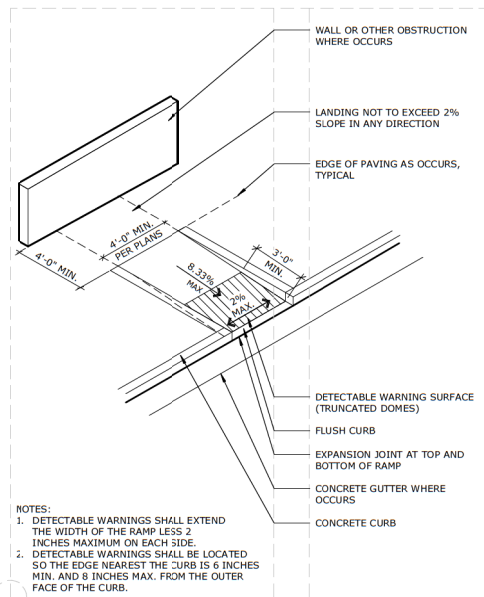


1 Canopy Roof Plan  
1/8" = 1'-0"

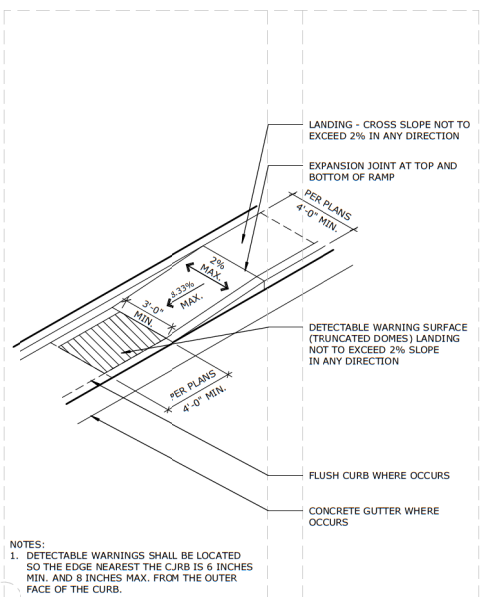
12/11/2023 4:25:28 PM AUDOBEN.DWG: \\C:\HHY\30411\PLASTER CLINIC\2023\08-09-CLINIC SOUTH FRONT CLINIC.AIA.DWG



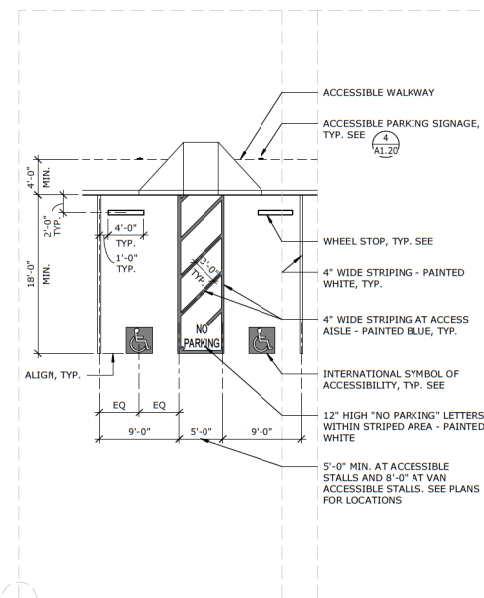
6 ACCESSIBLE CURB-CUT RAMP (TYPE 1)



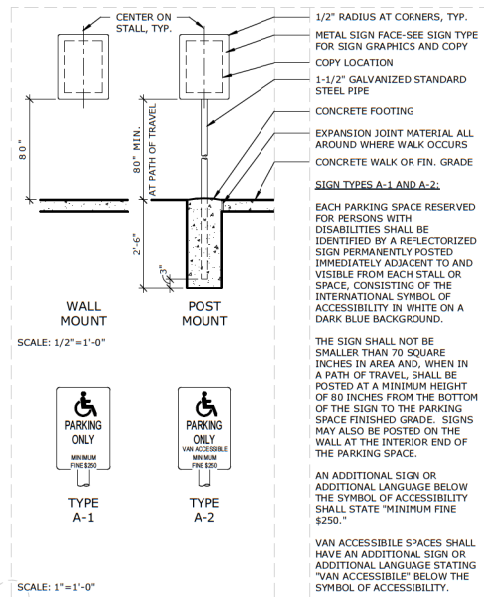
5 ACCESSIBLE CURB-CUT RAMP (TYPE 2)



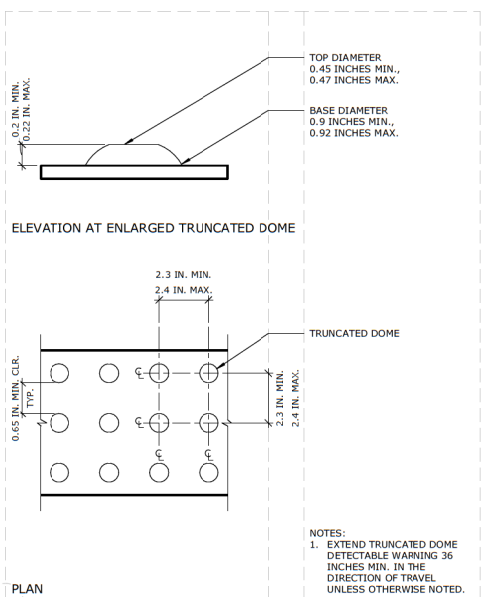
4 ACCESSIBLE CURB-CUT RAMP (TYPE 3)



3 ACCESSIBLE PARKING STALL



2 ACCESSIBLE PARKING SIGNAGE - TYPE A



1 TRUNCATED DOME DETECTABLE WARNING

CITY APPROVAL STAMP  
HCAI #

ENTITLEMENTS SUBMITTAL

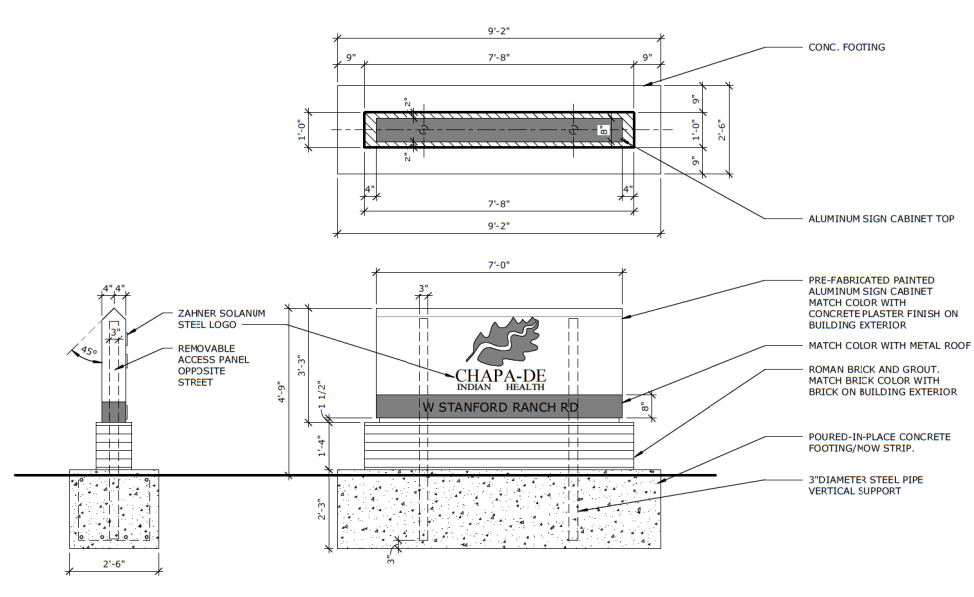
REVISION BY DATE

CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

SITE DETAILS

C2098.00  
AS SHOWN  
12/08/23  
NORTH  
A1.3



7 BUILDING I.D. MONUMENT SIGN  
1/2" = 1'-0"

12/11/2023 4:25:29 PM  
AUDOBREI.DOC/17/18187 SOUTH PLASTER CLINICAL/2098.00-CLINICAL SOUTH MONUMENT CLINICAL.A1.3.DWG

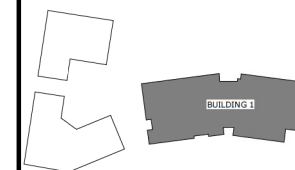
FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO CENTER LINE OF COLUMN OR FACE OF STUD, UNLESS OTHERWISE NOTED.
- PROVIDE BLOCKING AND SUPPORT AS REQUIRED FOR ALL CASEWORK, HARDWARE AND MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, SEE DETAIL XX.XX
- PROVIDE INTERIOR SIGNAGE PER SPECIFICATIONS AND SCHEDULE, SEE SHEET AX.XX
- ALL DOORS ADJACENT TO A PERPENDICULAR WALL SHALL BE 4" FROM SUCH WALL TO BUTT FACE OF DOOR FRAME UNLESS NOTED OTHERWISE.
- OPERABLE PARTS, INCLUDING BUT NOT LIMITED TO DOOR HARDWARE AND CABINET HARDWARE, SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.
- PROVIDE RATED ENCLOSURES AROUND ALL OUTLETS, BOXES, PIPING, DUCTWORK ETC. WHEN RECESSED IN FIRE RATED WALLS, ENCLOSURE TO PROVIDE THE SAME RATING AS THE WALL WHERE IT IS LOCATED.
- OUTLETS IN SOUND PARTITIONS SHALL BE SEPARATED BY A STUD AND SEALED WITH ACOUSTIC PUTTY.
- SEE SHEET GX.XX FOR ACCESSIBILITY DETAILS AND STANDARD MOUNTING HEIGHTS.
- SEE SHEET AX.XX FOR ENLARGED FLOOR PLANS.
- SEE SHEET A2.50 FOR FINISH SCHEDULE AND LEGEND.
- SEE SHEET A2.40 FOR DOOR SCHEDULE AND FRAME TYPES.
- SEE SHEET AX.XX FOR REFLECTED CEILING PLANS.
- SEE SHEET AX.XX FOR FIRE STOPPING DETAILS.

KEYNOTES:

CITY APPROVAL STAMP

HCAI # \_\_\_\_\_



SITE KEY PLAN

ENTITLEMENTS SUBMITTAL

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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

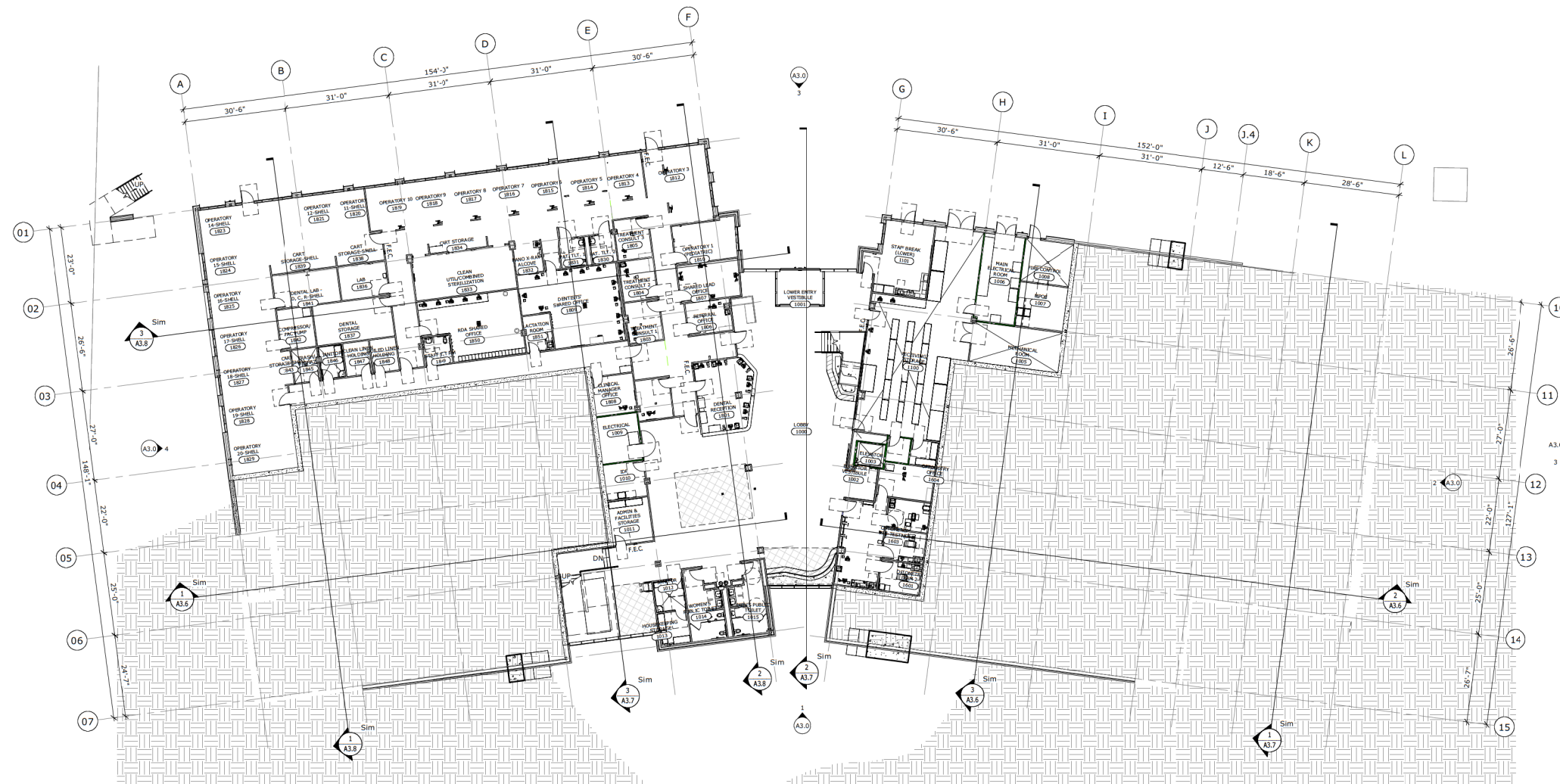
PHASE 1 FLOOR PLAN - LEVEL 01



NORTH

C2098.00  
AS SHOWN  
12/08/23

A2.0



WALL LEGEND

WALL LEGEND ORDER DENOTES PRIORITY FROM LOWEST TO HIGHEST, USED AT ALL INTERSECTIONS.

- NON RATED CONSTRUCTION
- 1 HOUR RATED FIRE BARRIER
- WALL TAG, SEE PARTITION DETAILS ON SHEET A9.00
- NOT IN SCOPE

FLOOR PLAN SYMBOLS

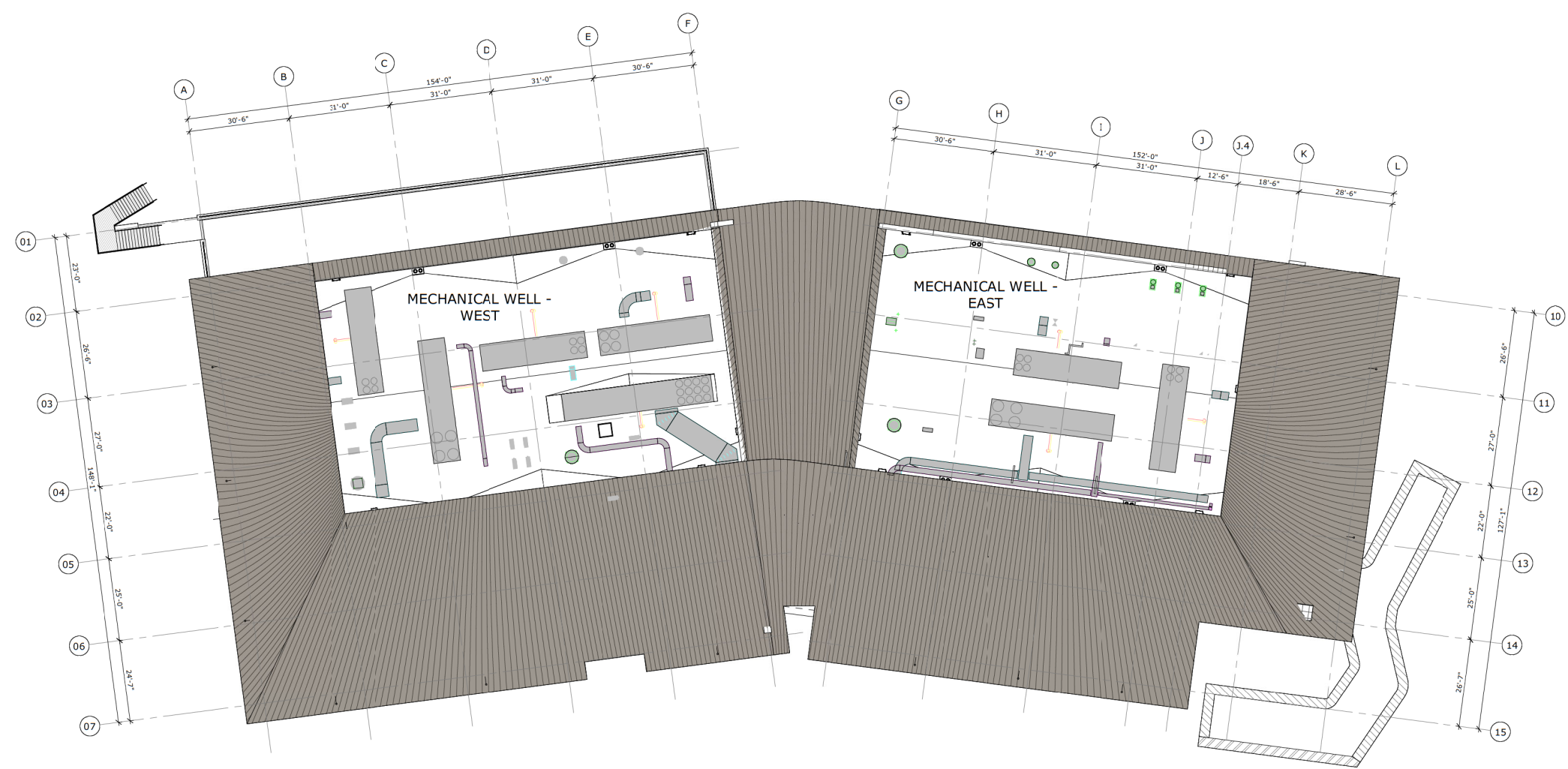
- ROOM NAME
- ROOM NUMBER
- DOOR TAG, SEE SHEET A2.XX
- ACCESSORY TAG, SEE SHEET A2.XX
- EQUIPMENT TAG, SEE SHEET A2.XX
- WALL TAG
- KEYNOTE
- ALIGN SYMBOL
- FLOOR FINISH, SEE SHEET A2.50

1 OVERALL FIRST FLOOR PLAN Copy 2  
1/16" = 1'-0"

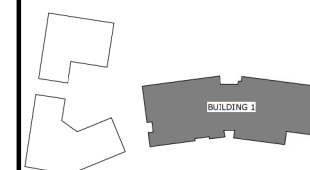




- ROOF PLAN NOTES**
1. ALL DIMENSIONS ARE TO CENTER LINE OF COLUMN OR FACE OF STUD, UNLESS OTHERWISE NOTED.
  2. FOR TYPICAL PIPE PENETRATION, SEE XXX.XX
  3. FOR TYPICAL ROOF CURB FLASHING, SEE X/XXX.XX
  4. FOR ROOF EQUIPMENT INFORMATION, SEE MECHANICAL DRAWINGS.
  5. FOR ROOF EQUIPMENT SUPPORT, SEE STRUCTURAL DRAWINGS.
  6. COORDINATE ROOF TOP UTILITIES LOCATIONS WITH FACILITIES WALK PATH
  7. ALL ROOF GUTTERS TO BE A MIN. 1/4" / 12" SLOPE TO DRAIN.
- KEYNOTES:**



**CITY APPROVAL STAMP**  
HCAI #



**SITE KEY PLAN**

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**1 ROOF PLAN Copy 1**  
1/16" = 1'-0"

CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

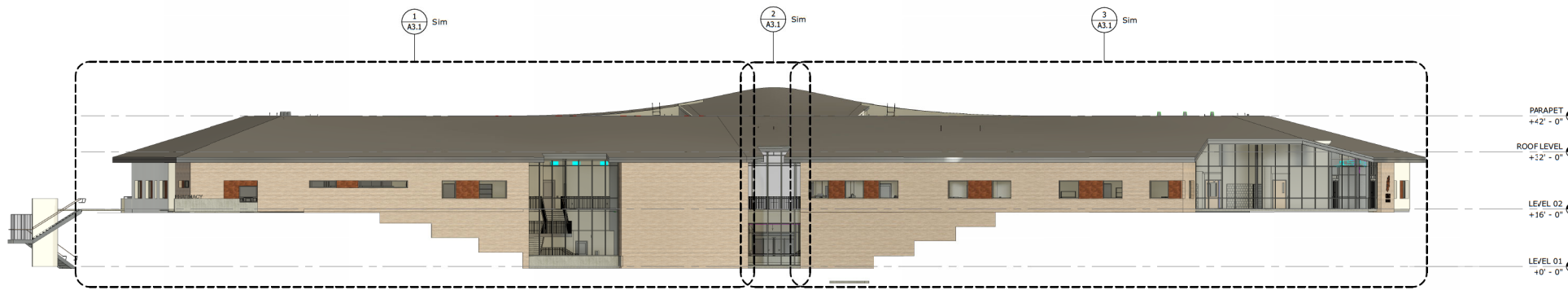
**OVERALL ROOF PLAN - PHASE 1**

EXTERIOR ELEVATION NOTES

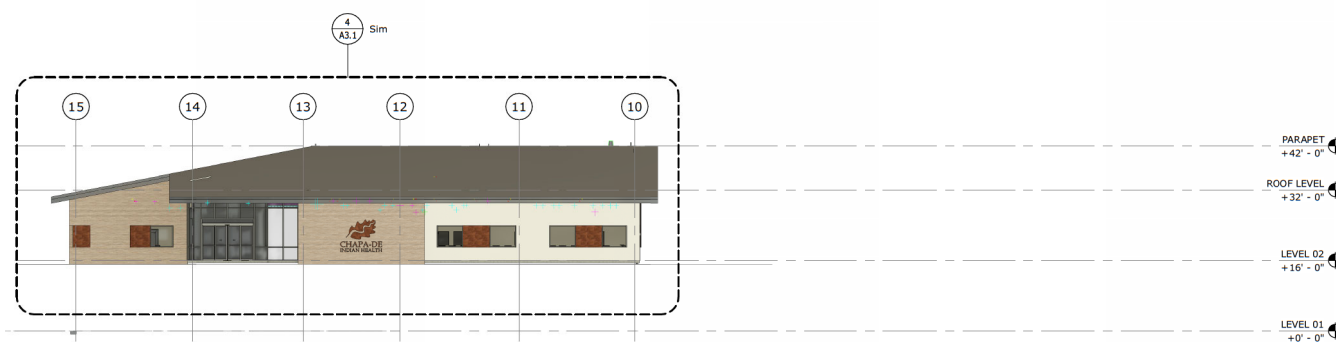
- EXTERIOR ELEVATION GENERAL NOTE NUMBER ONE.
- EXTERIOR ELEVATION GENERAL NOTE NUMBER TWO.

EXTERIOR FINISH LEGEND

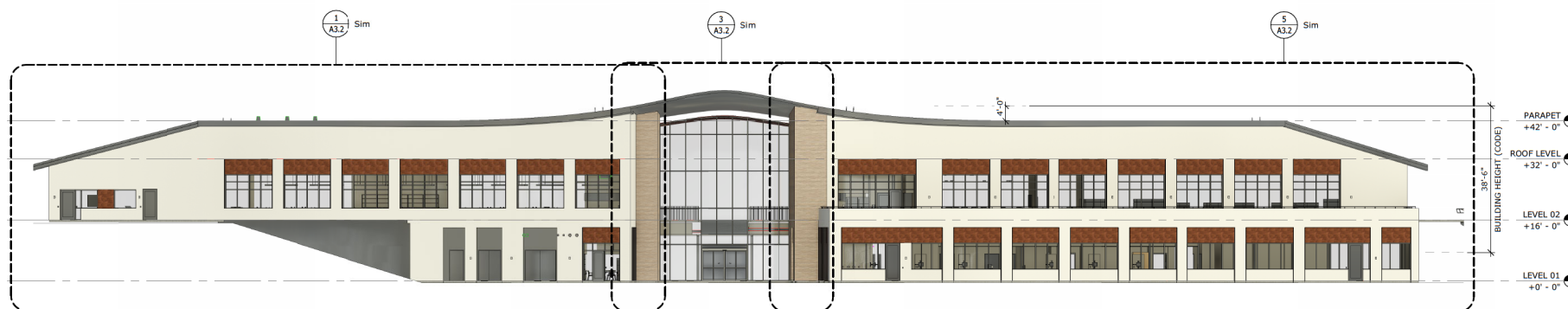
- MTL-1 STANDING SEAM METAL ROOFING
- MTL-2 ZAHNER SOLANUM STEEL
- MTL-3 ZAHNER STAR BLUE COPPER
- MTL-4 STEEL TO MATCH STOREFRONT SYSTEM
- MTL-5 CUSTOM PERFORATED STEEL - DARK BRONZE
- BK-1 CORSO TERRA LONG FORMAT BRICK
- CON-1 CAST IN PLACE CONCRETE
- CP-1 CEMENT PLASTER - LIGHT
- CP-2 CEMENT PLASTER - DARK



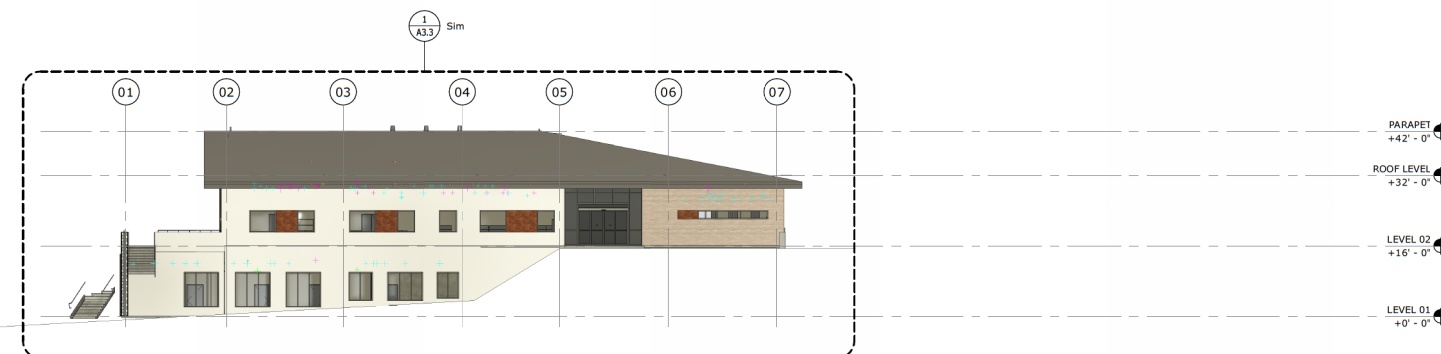
1 SOUTH ELEVATION - W STANFORD RANCH RD  
1/16" = 1'-0"



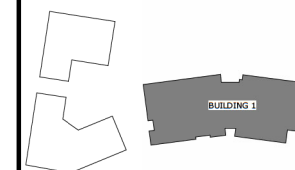
2 EAST ELEVATION - WILDCAT BLVD  
1/16" = 1'-0"



3 NORTH ELEVATION - MARGARET AZEVEDO PARK  
1/16" = 1'-0"



4 WEST ELEVATION - ORACLE BUSINESS PARK  
1/16" = 1'-0"



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WEST STANFORD RANCH ROAD  
ROCKLIN, CA

OVERALL EXTERIOR ELEVATIONS - PHASE 1

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12/08/23

A3.0





EXTERIOR ELEVATION NOTES  
 1. EXTERIOR ELEVATION GENERAL NOTE NUMBER ONE.  
 2. EXTERIOR ELEVATION GENERAL NOTE NUMBER TWO.

EXTERIOR FINISH LEGEND

- MTL-1 STANDING SEAM METAL ROOFING
- MTL-2 ZAHNER SOLANUM STEEL
- MTL-3 ZAHNER STAR BLUE COPPER
- MTL-4 STEEL TO MATCH STOREFRONT SYSTEM
- MTL-5 CUSTOM PERFORATED STEEL - DARK BRONZE
- BK-1 CORSO TERRA LONG FORMAT BRICK
- CON-1 CAST IN PLACE CONCRETE
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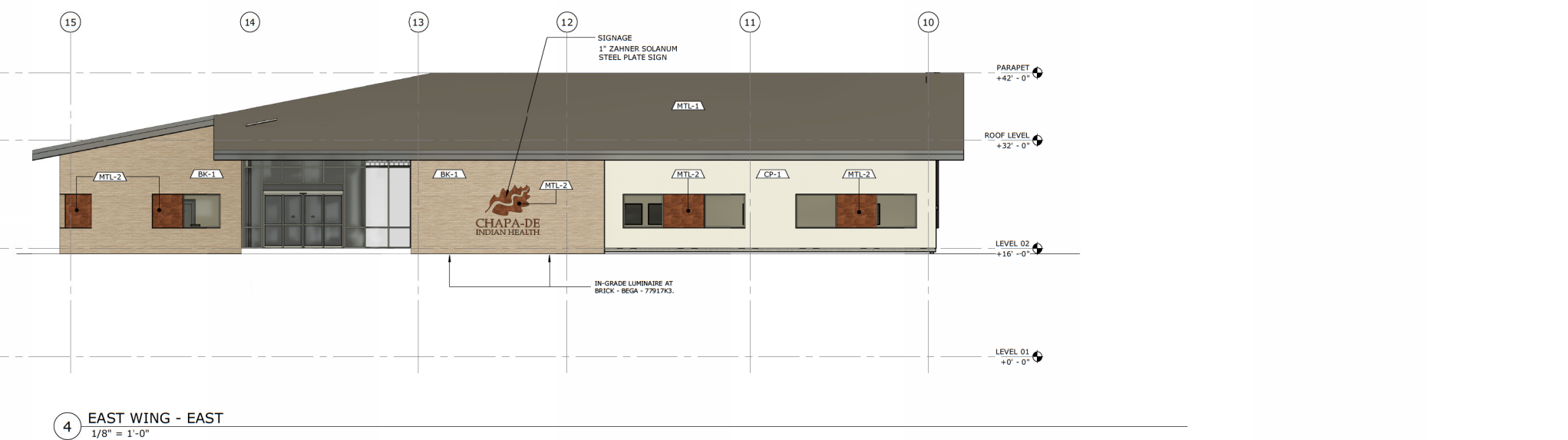


1 WEST WING - SOUTH  
1/8" = 1'-0"

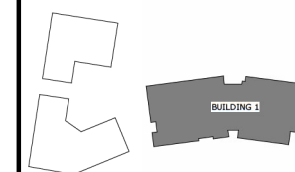
2 LOBBY - SOUTH  
1/8" = 1'-0"



3 EAST WING - SOUTH  
1/8" = 1'-0"



4 EAST WING - EAST  
1/8" = 1'-0"



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 CHAPA DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
 ROCKLIN, CA

PARTIAL EXTERIOR ELEVATIONS - PHASE 1

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 12/08/23

A3.1





**EXTERIOR ELEVATION NOTES**  
 1. EXTERIOR ELEVATION GENERAL NOTE NUMBER ONE.  
 2. EXTERIOR ELEVATION GENERAL NOTE NUMBER TWO.

**EXTERIOR FINISH LEGEND**

- MTL-1 STANDING SEAM METAL ROOFING
- MTL-2 ZAHNER SOLANUM STEEL
- MTL-3 ZAHNER STAR BLUE COPPER
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- BK-1 CORSO TERRA LONG FORMAT BRICK
- CON-1 CAST IN PLACE CONCRETE
- CP-1 CEMENT PLASTER - LIGHT
- CP-2 CEMENT PLASTER - DARK



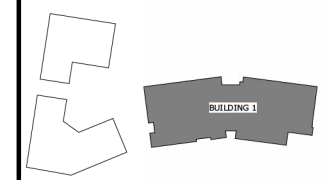
1 EAST WING - NORTH  
1/8" = 1'-0"



2 LOBBY - WEST  
1/8" = 1'-0"

3 LOBBY - NORTH  
1/8" = 1'-0"

4 LOBBY - EAST  
1/8" = 1'-0"



SITE KEY PLAN

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 ROCKLIN, CA

PARTIAL EXTERIOR ELEVATIONS - PHASE 1

C2098.00  
 AS SHOWN  
 12/08/23

A3.2



5 WEST WING - NORTH  
1/8" = 1'-0"

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EXTERIOR ELEVATION NOTES

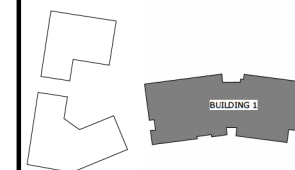
1. EXTERIOR ELEVATION GENERAL NOTE NUMBER ONE.
2. EXTERIOR ELEVATION GENERAL NOTE NUMBER TWO.

EXTERIOR FINISH LEGEND

- MTL-1 STANDING SEAM METAL ROOFING
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- MTL-5 CUSTOM PERFORATED STEEL - DARK BRONZE
- BK-1 CORSO TERRA LONG FORMAT BRICK
- CON-1 CAST IN PLACE CONCRETE
- CP-1 CEMENT PLASTER - LIGHT
- CP-2 CEMENT PLASTER - DARK



1 WEST WING - WEST  
1/8" = 1'-0"



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| REVISION | BY | DATE |
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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA DE ROCKLIN HEALTH CENTER

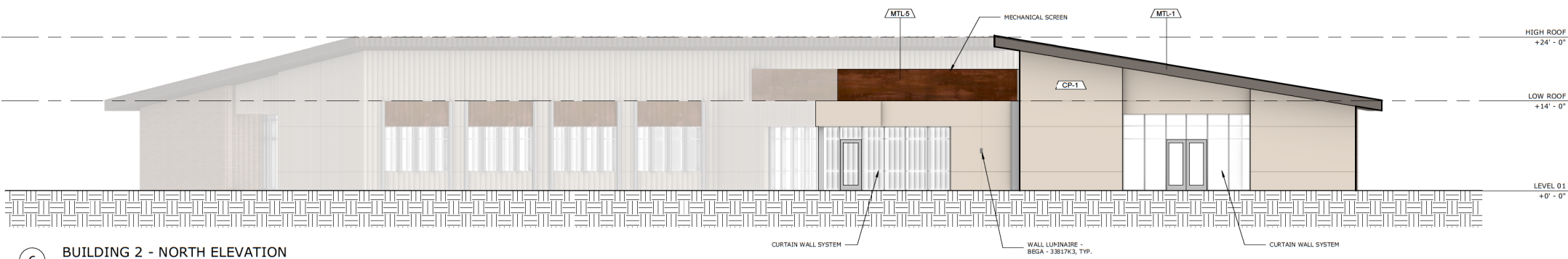
WEST STANFORD RANCH ROAD  
ROCKLIN, CA

PARTIAL EXTERIOR ELEVATIONS - PHASE 1

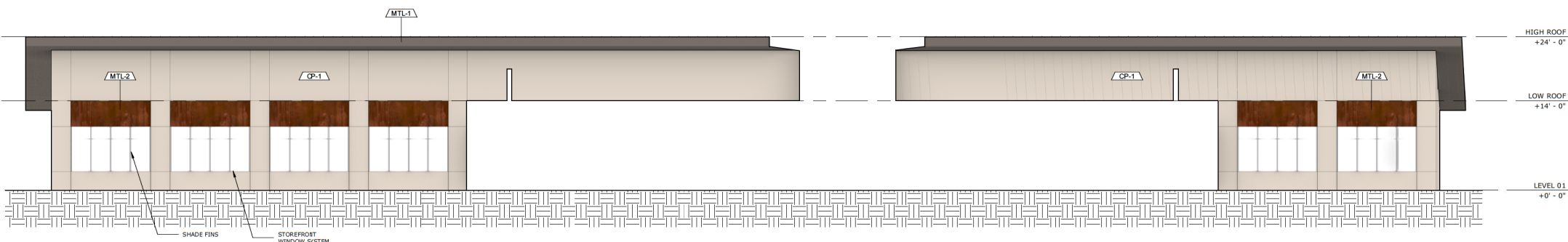
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12/08/23

A3.3



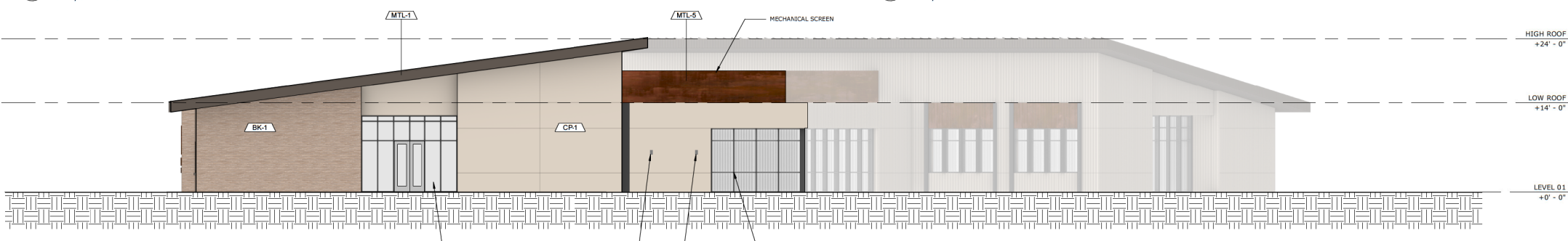


6 BUILDING 2 - NORTH ELEVATION  
1/8" = 1'-0"

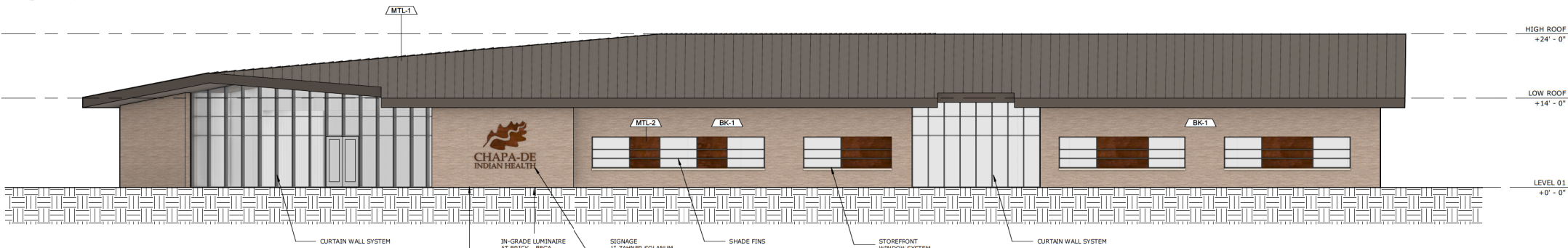


5 BUILDING 2 - NORTH WEST/COURTYARD ELEVATION  
1/8" = 1'-0"

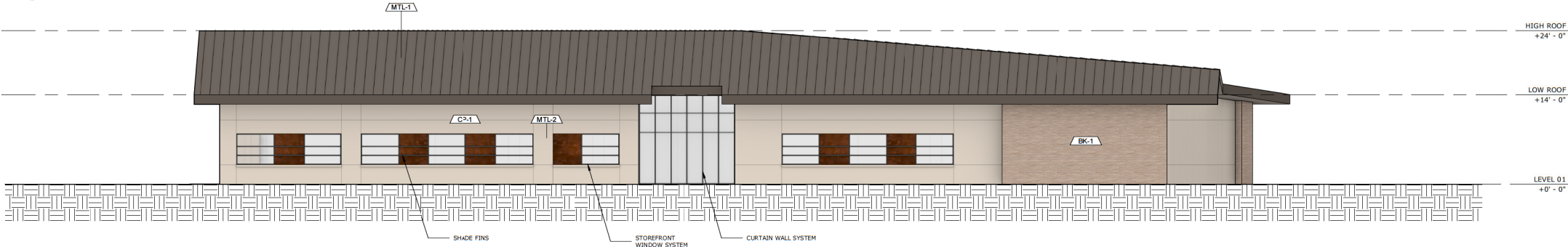
4 BUILDING 2 - SOUTH-EAST/COURTYARD ELEVATION  
1/8" = 1'-0"



3 BUILDING 2 - EAST ELEVATION  
1/8" = 1'-0"



2 BUILDING 2 - SOUTH/STANFORD RANCH ELEVATION  
1/8" = 1'-0"



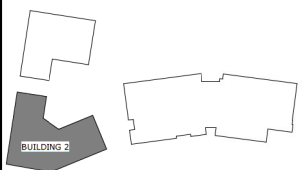
1 BUILDING 2 - WEST/ORACLE ELEVATION  
1/8" = 1'-0"

EXTERIOR FINISH LEGEND

- MTL-1 STANDING SEAM METAL ROOFING
- MTL-2 ZAHNER SOLANUM STEEL
- MTL-3 ZAHNER STAR BLUE COPPER
- MTL-4 STEEL TO MATCH STOREFRONT SYSTEM
- MTL-5 CUSTOM PERFORATED STEEL - DARK BRONZE
- BK-1 CORSO TERRA LONG FORMAT BRICK
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CITY APPROVAL STAMP

HCAI #



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CHAPA DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

EXTERIOR ELEVATIONS -  
FUTURE PHASE BLDG 2

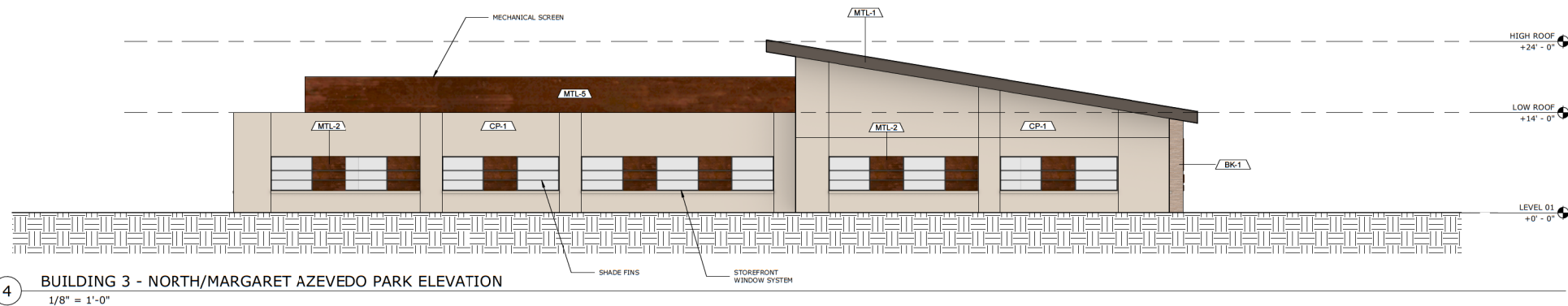
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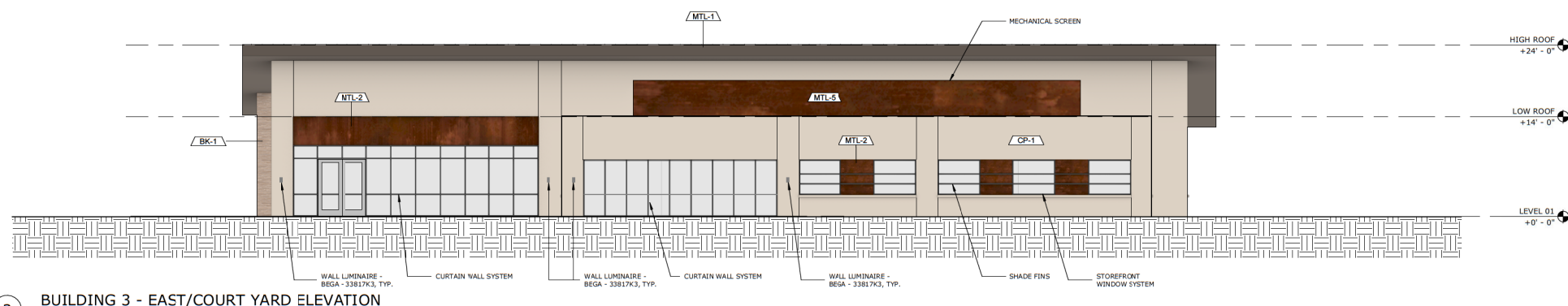
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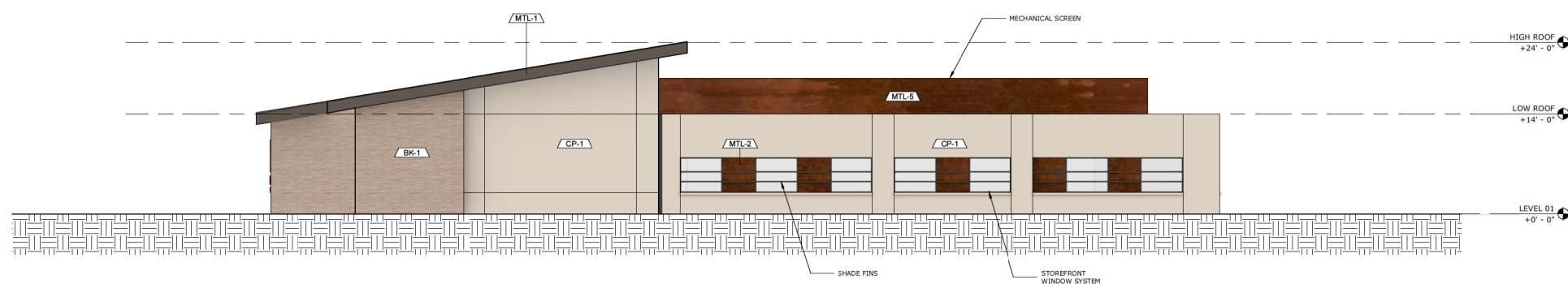


4 BUILDING 3 - NORTH/MARGARET AZEVEDO PARK ELEVATION  
1/8" = 1'-0"

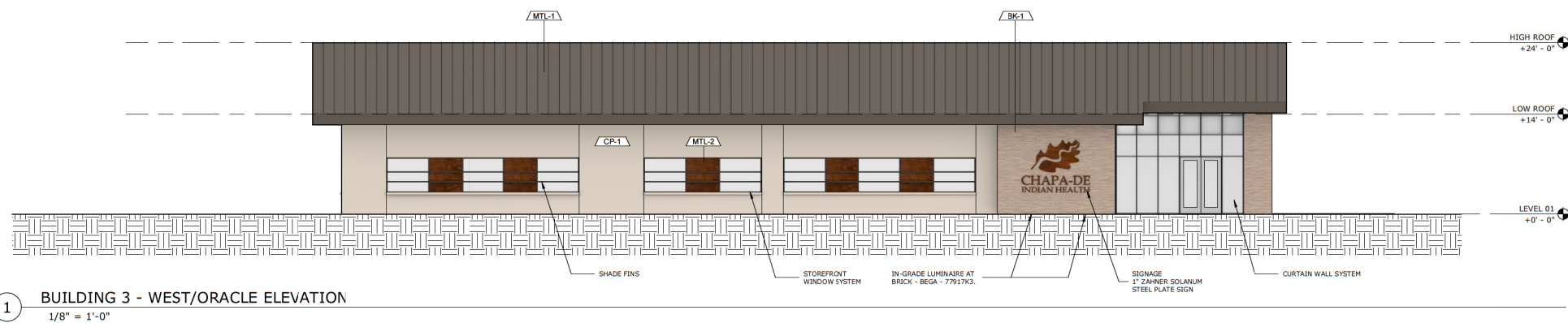
- EXTERIOR FINISH LEGEND**
- MTL-1 STANDING SEAM METAL ROOFING
  - MTL-2 ZAHNER SOLANUM STEEL
  - MTL-3 ZAHNER STAR BLUE COPPER
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  - MTL-5 CUSTOM PERFORATED STEEL - DARK BRONZE
  - BK-1 CORSO TERRA LONG FORMAT BRICK
  - CON-1 CAST IN PLACE CONCRETE
  - CP-1 CEMENT PLASTER - LIGHT
  - CP-2 CEMENT PLASTER - DARK



3 BUILDING 3 - EAST/COURT YARD ELEVATION  
1/8" = 1'-0"

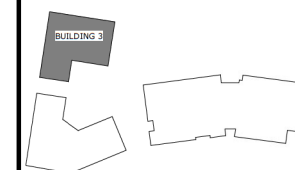


2 BUILDING 3 - SOUTH/COURT YARD ELEVATION  
1/8" = 1'-0"



1 BUILDING 3 - WEST/ORACLE ELEVATION  
1/8" = 1'-0"

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HCAI #



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CHAPA DE ROCKLIN HEALTH CENTER

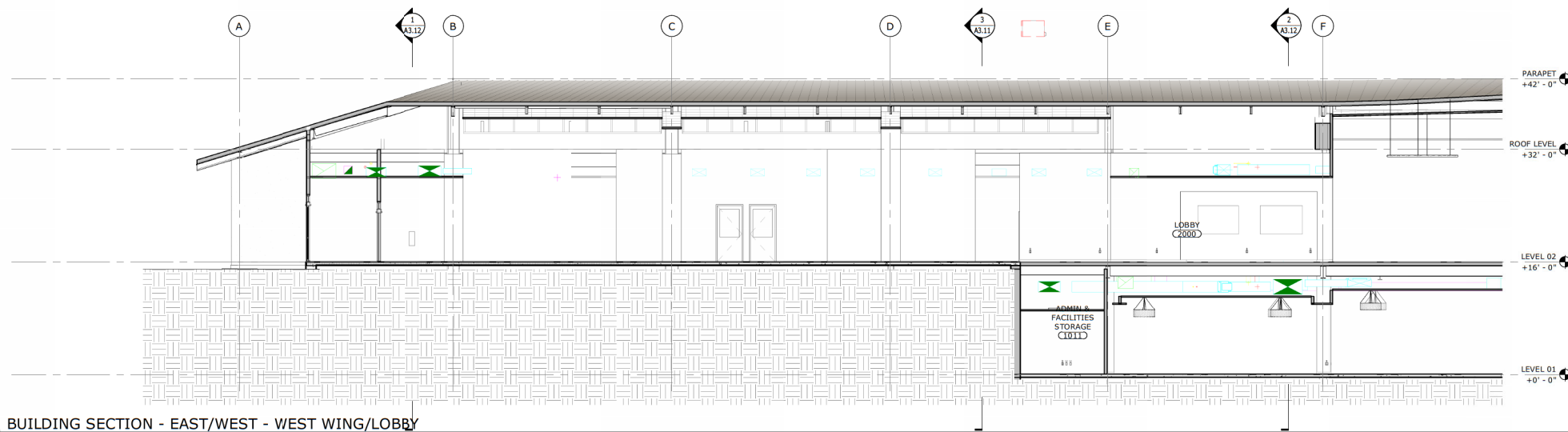
WEST STANFORD RANCH ROAD  
ROCKLIN, CA

EXTERIOR ELEVATIONS -  
FUTURE PHASE BLDG 3

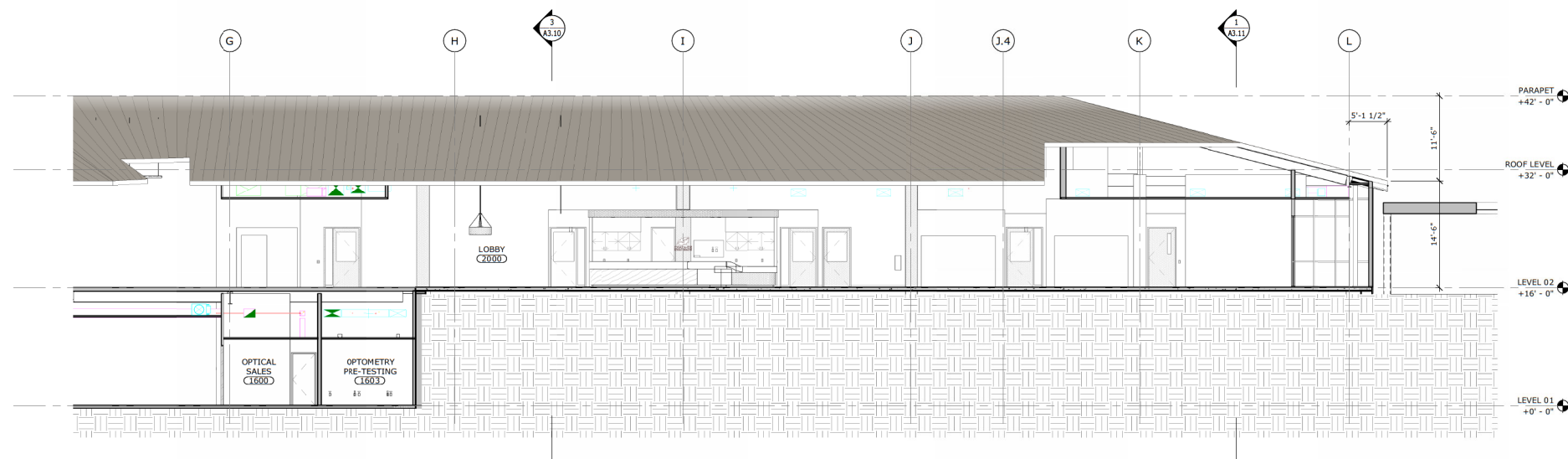
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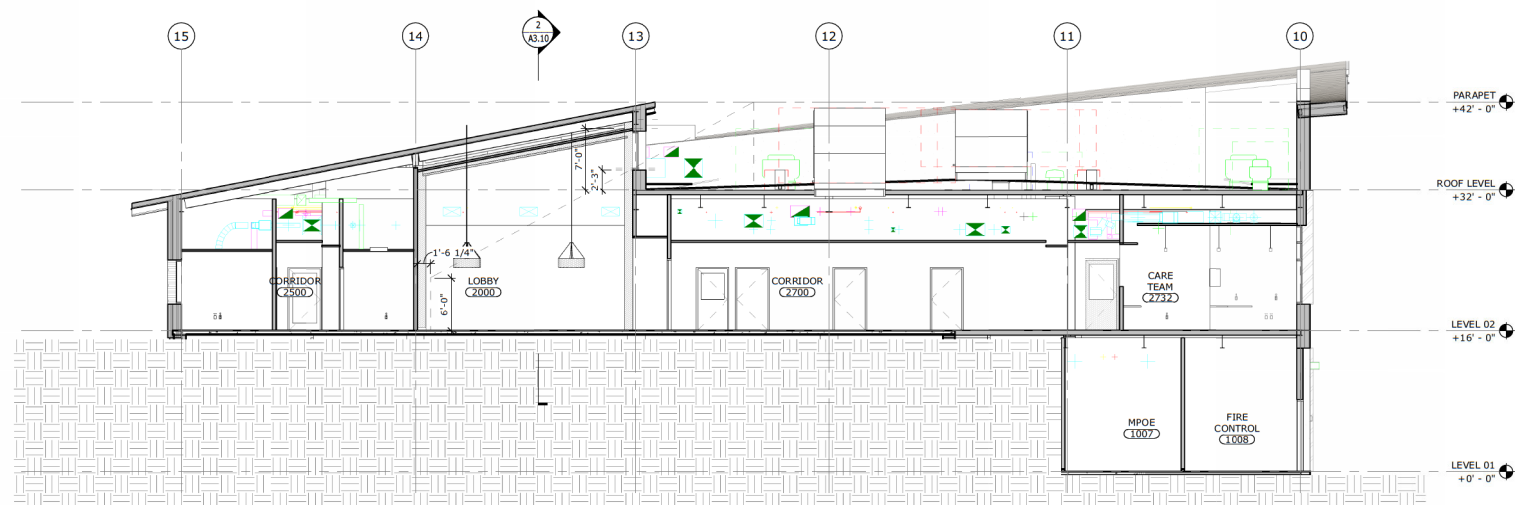
0 8'



1 BUILDING SECTION - EAST/WEST - WEST WING/LOBBY  
1/8" = 1'-0"

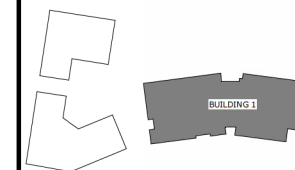


2 BUILDING SECTION - EAST/WEST - EAST WING/LOBBY  
1/8" = 1'-0"



3 BUILDING SECTION - NORTH/SOUTH - EAST WING  
1/8" = 1'-0"

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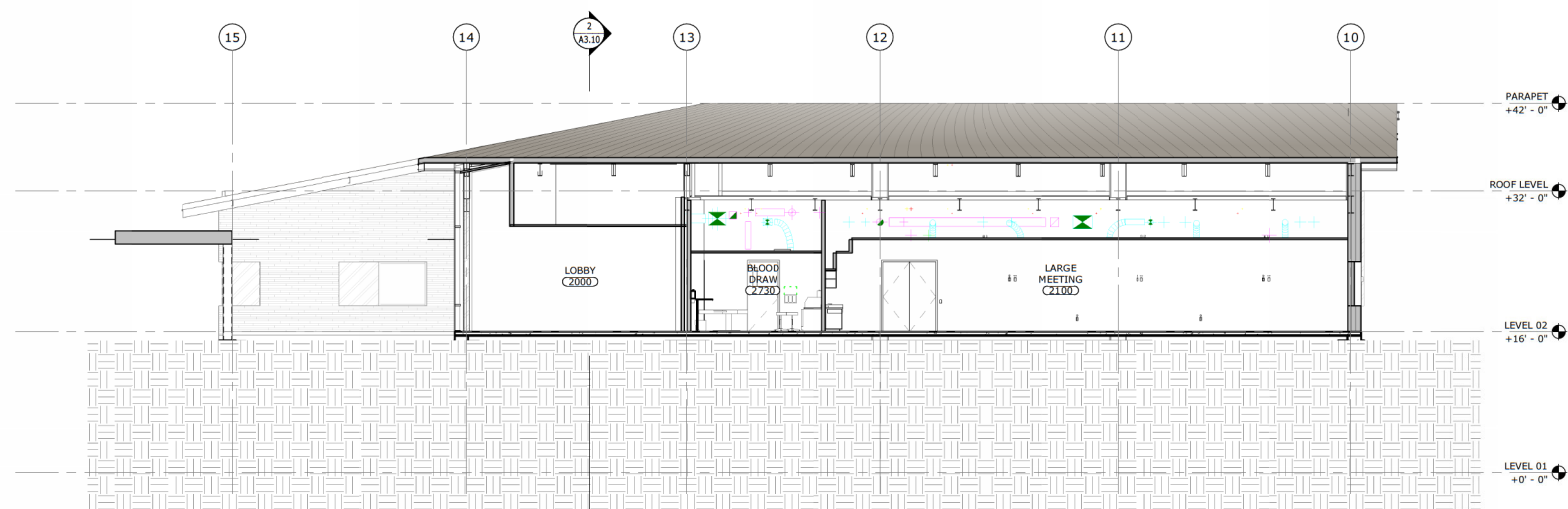
CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

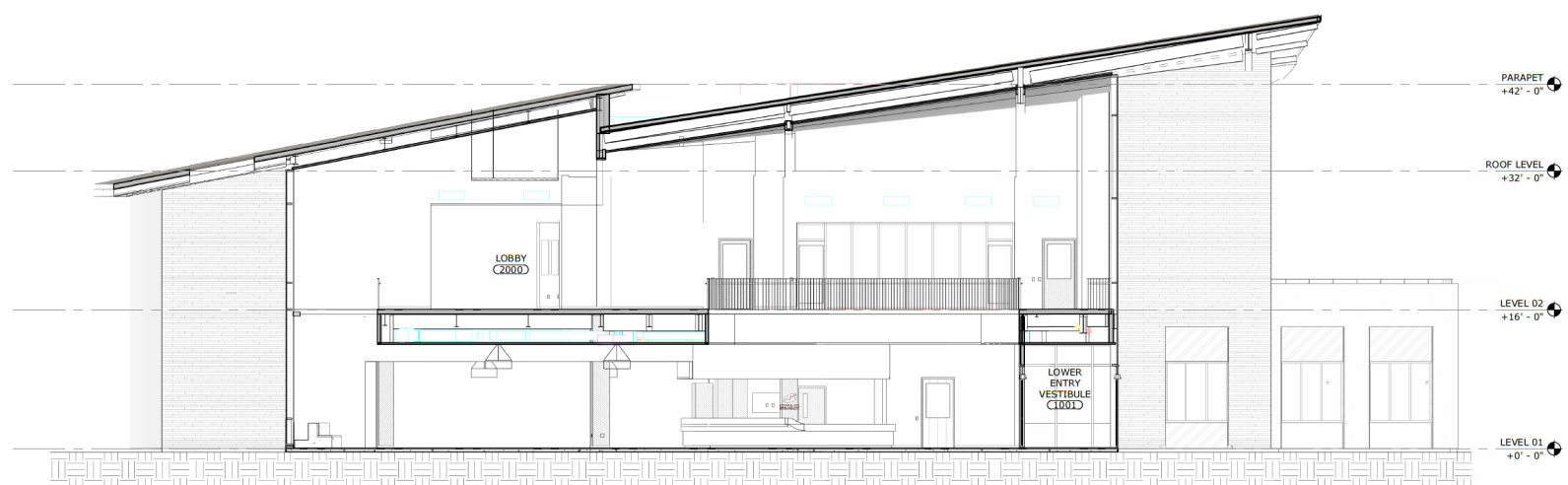
BUILDING SECTIONS - PHASE 1

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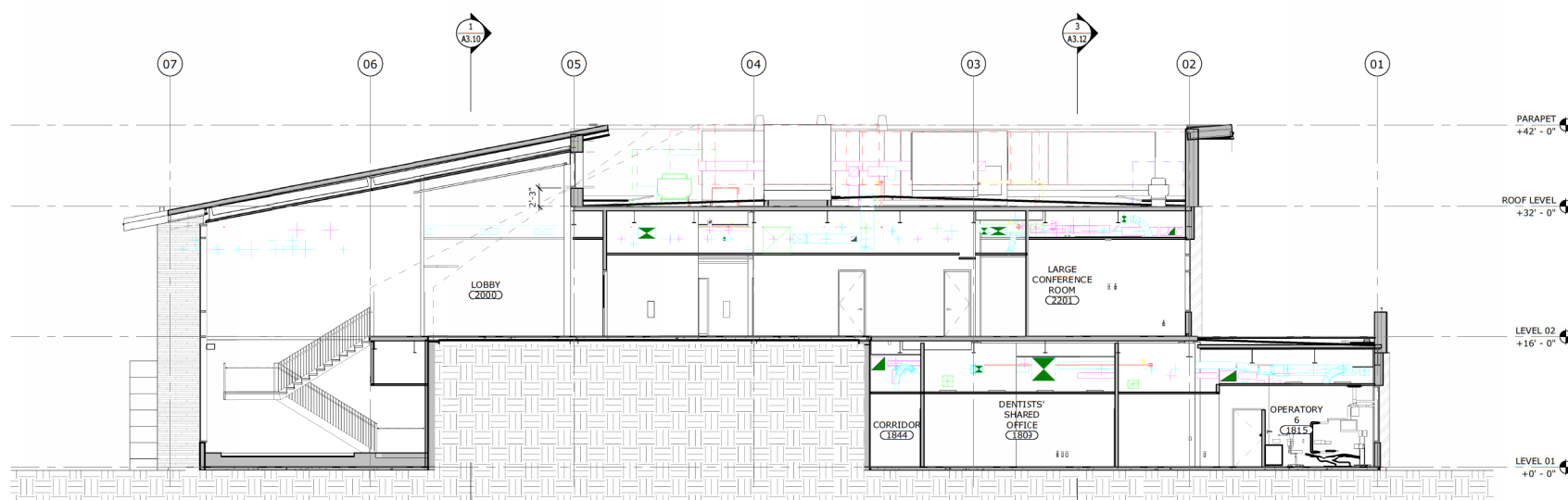
A3.6



1 BUILDING SECTION - NORTH/SOUTH - EAST WING ENTRY  
1/8" = 1'-0"

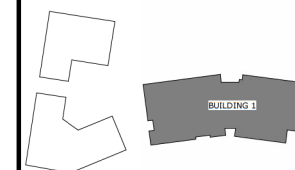


2 BUILDING SECTION - NORTH/SOUTH - MAIN LOBBY  
1/8" = 1'-0"



3 BUILDING SECTION - NORTH/SOUTH - WEST WING  
1/8" = 1'-0"

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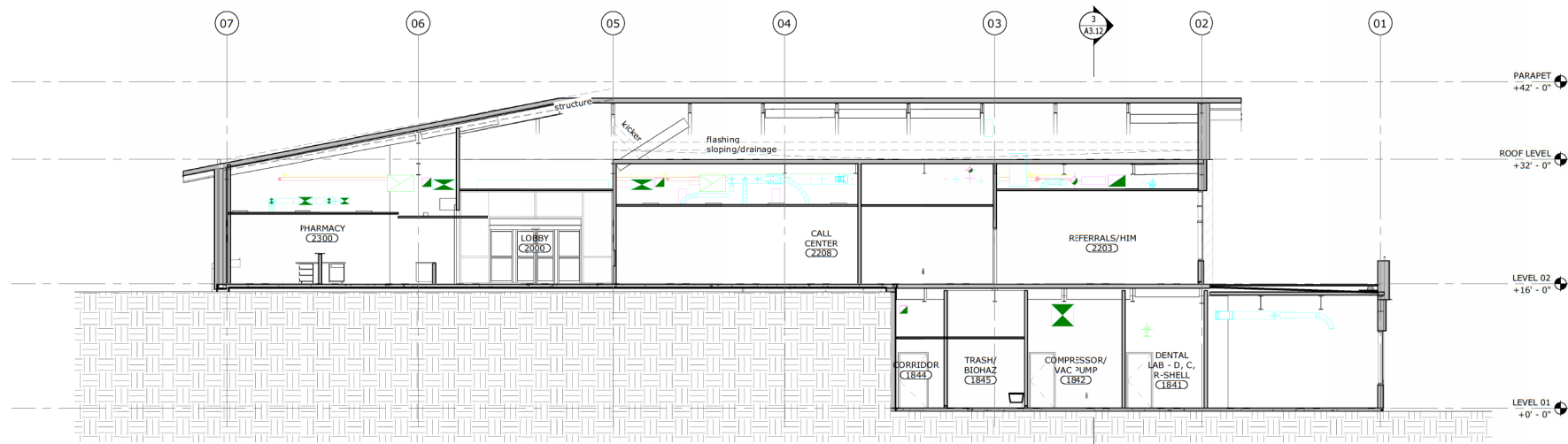
CHAPA-DE INDIAN HEALTH PROGRAM  
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WEST STANFORD RANCH ROAD  
ROCKLIN, CA

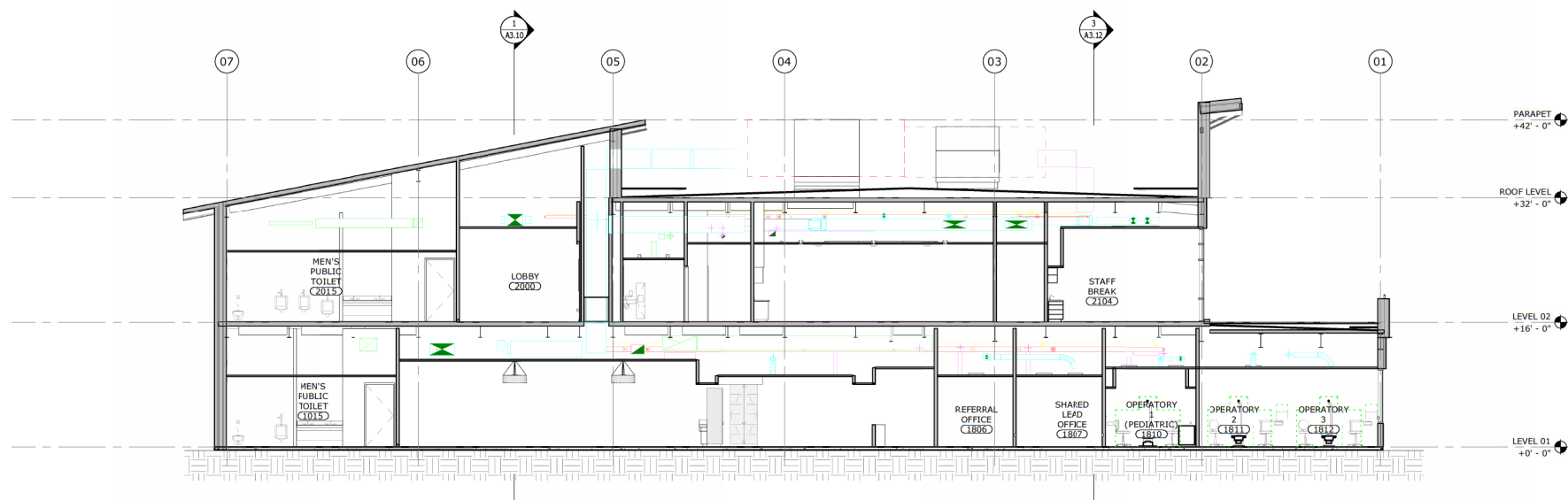
BUILDING SECTIONS - PHASE 1

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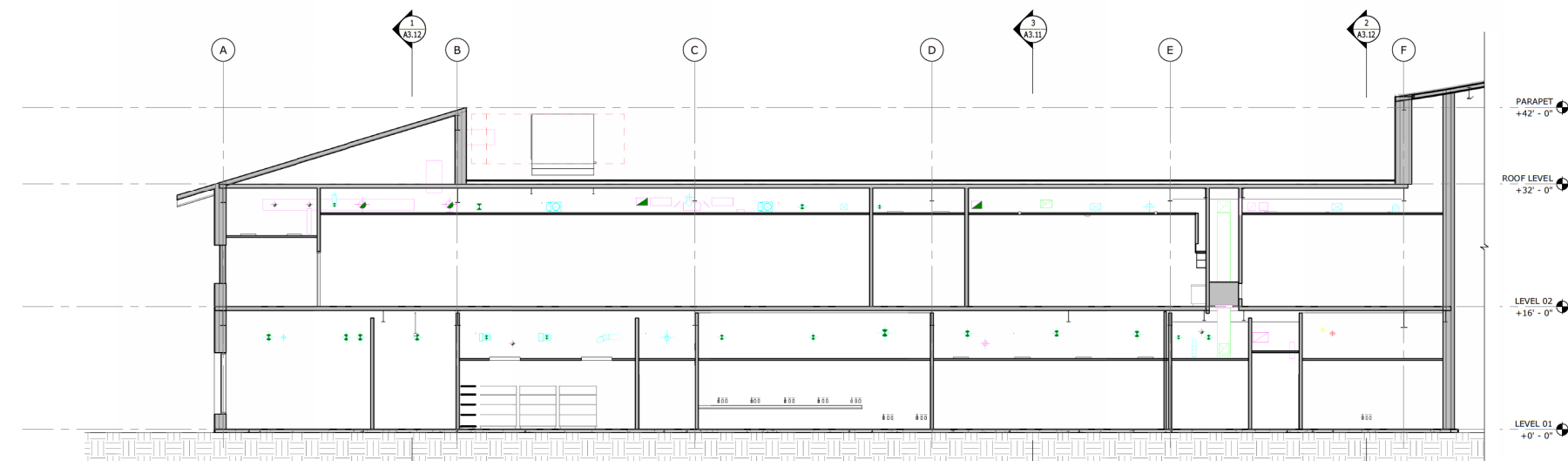
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1 BUILDING SECTION - NORTH/SOUTH - WEST WING / PHARMACY  
1/8" = 1'-0"

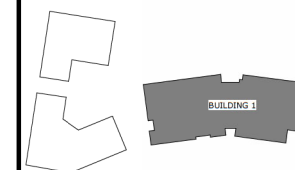


2 BUILDING SECTION - NORTH/SOUTH - WEST WING/RESTROOMS  
1/8" = 1'-0"



3 BUILDING SECTION - EAST/WEST - WEST WING/TERRACE  
1/8" = 1'-0"

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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

BUILDING SECTIONS - PHASE 1

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26382 CARMEL RANCHO LANE, 2nd FLOOR  
CARMEL, CA 93923 phone (831)659.3820

CITY APPROVAL STAMP

HCAI # \_\_\_\_\_

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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

LANDSCAPE  
SITE PLAN



1" = 40'-0"  
12/11/2023

L1.00



- PROPERTY LINE
- FUTURE PHASE: BUILDING 3
- STAFF DECK
- SEATING AREA
- BICYCLE LOCKERS
- TERRACED GARDEN PATH
- DRY STACKED STONE RETAINING WALLS
- RECLAIMED WOOD BENCH, TYP.
- BICYCLE PARKING, TYP.

- SEATING AREA
- DRY STACKED STONE RETAINING WALLS
- SEATING AREA
- RECLAIMED WOOD BENCH, TYP.
- MAINTENANCE ACCESS
- PHASE 1
- FUTURE PHASE: BUILDING 2

**LEGEND**

- PLANTING AREA
- BIO-RETENTION AREA PLANTING
- CONCRETE PAVING
- FLAGSTONE PAVING
- CONCRETE UNIT PAVING
- DIMENSIONAL STONE PAVING
- PEDESTAL CONCRETE UNIT PAVERS

**BASIS FOR DESIGN**

**HARDSCAPE:**  
EXTERIOR HARDSCAPE SURFACES WILL PRIMARILY CONSIST OF CONCRETE UNIT PAVERS WITH A SAND BEDDING. IN FOCAL AREAS (BUILDING ENTRIES), HARDSCAPE WILL ALSO INCLUDE ACCENTS OF MORTAR SET DIMENSIONAL STONE PLANKS. STAIRS OR STEPS WILL BE FINISHED WITH POURED CONCRETE.

**WALLS:**  
RETAINING WALLS WILL BE CONSTRUCTED WITH DRY STACK NATURAL STONE.

**FURNISHINGS**  
FURNISHINGS INCLUDING BENCHES, TABLES, BICYCLE PARKING, AND TRASH RECEPTACLES WILL BE PROVIDED IN KEY AREAS. BENCHES WILL BE CUSTOM RECLAIMED SOLID WOOD UNITS. OTHER FURNISHING WILL BE MARKET RATE COMPONENTS PROVIDED BY SUPPLIERS.

**PLANTING:**  
PLANTING WILL CONSIST OF THREE LAYERS, INCLUDING A TREE CANOPY, A MIDDLE LAYER OF WOODY SHRUBS, AND A GROUND COVER LAYER OF PERENNIALS AND HERBACEOUS GRASSES. TREES WILL CONSIST PRIMARILY OF NATIVE OAKS, MIXED WITH REDBUD, OREGON ASH, DOGWOOD, AND AUSTRALIAN WILLOW. 15, 5, AND 1 GALLON SHRUBS WILL COMPOSE THE UNDERSTORY. A HYDROSEED APPLICATION WILL BE USED AROUND PERIMETER AREAS OF THE PARKING LOTS.

**IRRIGATION:**  
THE IRRIGATION SYSTEM WILL BE A COMBINATION OF POP-UP SPRAY HEADS FOR MEADOW APPLICATIONS, AND ROOT WATERING BUBBLERS FOR TREES AND SHRUBS. EQUIPMENT WILL INCLUDE IRRIGATION MAINLINE AND LATERAL LINE, BACKFLOW PREVENTERS, FLOW SENSORS, AND A CONTROLLER.





PLANT SCHEDULE

| BOTANICAL / COMMON NAME  | CONT   | WUCOLS   | REMARKS           | SEASON OF BLOOM  | PERENNIALS  |       |          |           |   |  |
|--|--------|----------|-------------------|--|---|-------|----------|-----------|---|--|
| <b>TREES</b>   |        |          |                   |  |   |       |          |           |   |  |
| AESCULUS CALIFORNICA / CALIFORNIA BUCKEYE                            | 24"BOX | LOW      |                   |  | ACHILLEA MILLEFOLIUM / COMMON YARROW                                    | 1 GAL | LOW      | PERENNIAL | Early Summer, Mid-summer, Late Summer                             |  |
| CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD       | 36"BOX | MEDIUM   |                   | Mid-spring   | ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW                               | 1 GAL | LOW      | PERENNIAL | Late Spring, Early Summer, Mid-summer                             |  |
| CERCIS OCCIDENTALIS / WESTERN REDBUD                                 | 24"BOX | LOW      |                   | Mid-spring   | ASCLEPIAS FASCICULARIS / NARROWLEAF MILKWEED                            | 1 GAL | LOW      | PERENNIAL |   |  |
| CHILOPSIS LINEARIS 'MONHEWS' / TIMELESS BEAUTY® DESERT WILLOW        | 24"BOX | LOW      |                   | Mid-spring, Late Spring, Early Summer, Mid-summer              | ASCLEPIAS SPECIOSA / SHOWY MILKWEED                                     | 1 GAL | LOW      | PERENNIAL | Late Spring, Early Summer, Mid-summer, Late Summer, Early Fall    |  |
| CORNUS FLORIDA / FLOWERING DOGWOOD                                   | 36"BOX | MEDIUM   |                   | Mid-spring, Late Spring  | CHONDRPETALUM ELEPHANTINUM / LARGE CAPE RUSH                            | 5 GAL | LOW      | PERENNIAL |   |  |
| FRAXINUS LATIFOLIA / OREGON ASH                                      | 36"BOX | MEDIUM   |                   |  | CHONDRPETALUM TECTORUM 'EL CAMPO' / EL CAMPO CAPE RUSH                  | 1 GAL | LOW      | PERENNIAL | Mid-summer, Late Summer, Early Fall, Mid-fall                     |  |
| GEIJERA PARVIFLORA / AUSTRALIAN WILLOW                               | 36"BOX | MEDIUM   |                   |  | DIPLOCLADUS AURANTIACUS / BUSH MONKEY FLOWER                            | 1 GAL | LOW      | PERENNIAL |   |  |
| PISTACIA CHINENSIS 'KEITH DAVEY' / KEITH DAVEY CHINESE PISTACHE      | 36"BOX | LOW      |                   | Mid-spring   | ECHINACEA PURPUREA / CONEFLOWER   | 1 GAL | MEDIUM   | PERENNIAL | Early Summer, Mid-summer, Late Summer, Early Fall, Mid-fall       |  |
| QUERCUS AGRIFOLIA / COAST LIVE OAK                                   | 36"BOX | LOW      |                   |  | EPILOBIUM CANUM / CALIFORNIA FUCHSIA                                    | 1 GAL | LOW      | PERENNIAL | Mid-summer, Late Summer, Early Fall                               |  |
| QUERCUS DOUGLASII / BLUE OAK   | 36"BOX | LOW      |                   |  | EPILOBIUM CANUM 'SUMMER SNOW' / SUMMER SNOW CALIFORNIA FUCHSIA          | 1 GAL | LOW      | PERENNIAL | Mid-summer, Late Summer, Early Fall                               |  |
| QUERCUS WISLIZENI / INTERIOR LIVE OAK                                | 36"BOX | LOW      |                   | Early Spring, Mid-spring, Late Spring                          | ERIOGONUM UMBELLATUM POLYANTHUM / SULFURFLOWER BUCKWHEAT                | 1 GAL | MEDIUM   | PERENNIAL | Late Spring, Early Summer, Mid-summer                             |  |
| SALIX LUCIDA / PACIFIC WILLOW  | 24"BOX |          |                   |  | GERANIUM SANGUINEUM 'MAX FREI' / MAX FREI BLOODRED GERANIUM             | 1 GAL | MEDIUM   | PERENNIAL | Late Spring, Early Summer, Mid-summer, Late Summer                |  |
| SAMBUCUS MEXICANA / MEXICAN ELDERBERRY                               | 24"BOX | LOW      |                   | Mid-spring, Late Spring, Early Summer                          | HEUCHERA MAXIMA / ISLAND ALLM ROOT                                      | 1 GAL | LOW      | PERENNIAL | Early Spring, Mid-spring, Late Spring, Early Summer               |  |
|  |        |          |                   |  | HIBISCUS LASIOCARPUS / ROSEMALLOW                                       | 1 GAL | MEDIUM   | PERENNIAL |   |  |
| <b>SHRUBS</b>  |        |          |                   |  | IRIS DOUGLASIANA / DOUGLAS IRIS   | 1 GAL | LOW      | PERENNIAL | Early Spring, Mid-spring, Late Spring, Early Summer               |  |
| ARCTOSTAPHYLOS UVA-URSI 'GREEN SUPREME' / GREEN SUPREME KINNIKINNICK | 1 GAL  | LOW      |                   | Mid-spring, Late Spring  | LAVANDULA ANGUSTIFOLIA 'HIDCOTE' / HIDCOTE ENGLISH LAVENDER             | 1 GAL | LOW      | PERENNIAL | Late Spring, Early Summer, Mid-summer, Late Summer                |  |
| ARCTOSTAPHYLOS X 'AUSTIN GRIFFITHS' / AUSTIN GRIFFITHS MANZANITA     | 5 GAL  | LOW      | SHRUB             |  | LAVANDULA DENTATA / FRENCH LAVENDER                                     | 1 GAL | LOW      | PERENNIAL |   |  |
| ARCTOSTAPHYLOS X 'EMERALD CARPET' / EMERALD CARPET MANZANITA         | 5 GAL  | LOW      | SHRUB             |  | LINUM LEWISII / LEWIS FLAX  | 1 GAL | VERY LOW | PERENNIAL |   |  |
| ARCTOSTAPHYLOS X 'HOWARD MCMINN' / HOWARD MCMINN MANZANITA           | 5 GAL  | LOW      | SHRUB             | Late Winter, Early Spring, Mid-spring                          | LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH                           | 1 GAL | LOW      | PERENNIAL | Mid-spring, Late Spring, Early Summer, Mid-summer                 |  |
| ARTEMISIA DOUGLASIANA / SAGEWORT                                     | 1 GAL  | LOW      | SHRUB             | Early Summer, Mid-summer, Late Summer, Early Fall, Mid-fall    | MIMULUS CARDINALIS / SCARLET MONKEYFLOWER                               | 1 GAL | HIGH     | PERENNIAL |   |  |
| BACCHARIS PILULARIS 'PIGEON POINT' / PIGEON POINT COYOTE BRUSH       | 5 GAL  | LOW      | SHRUB             | Early Winter   | MIMULUS GUTTATUS / SEEP MONKEYFLOWER                                    | 1 GAL | HIGH     | PERENNIAL |   |  |
| CEANOTHUS LEMMONII / LEMMON'S CEANOTHUS                              | 5 GAL  |          | SHRUB             |  | MONARDELLA VILLOSA / COYOTE MINT  | 1 GAL | VERY LOW | PERENNIAL | Early Summer, Mid-summer, Late Summer                             |  |
| CEANOTHUS X 'CONCHA' / CONCHA CEANOTHUS                              | 5 GAL  | LOW      | SHRUB             |  | PENSTEMON 'MARGARITA BOP' / MARGARITA BOP PENSTEMON                     | 1 GAL | VERY LOW | PERENNIAL |   |  |
| CEANOTHUS X 'JOYCE COULTER' / JOYCE COULTER WILD LILAC               | 5 GAL  | MEDIUM   | SHRUB             |  | PENSTEMON NEWBERRYI / NEWBERRY PENSTEMON                                | 1 GAL | LOW      | PERENNIAL |   |  |
| CLINOPODIUM DOUGLASII / YERBA BUENA                                  | 1 GAL  | MEDIUM   | SHRUB             |  | RUBRIBECKIA HIRTA 'INDIAN SUMMER' / INDIAN SUMMER BLACK-EYED SUSAN      | 1 GAL | MEDIUM   | PERENNIAL | Early Summer, Mid-summer, Late Summer, Early Fall                 |  |
| CORNUS SERICEA / RED TWIG DOGWOOD                                    | 5 GAL  | HIGH     | SHRUB             | Late Spring, Early Summer, Mid-summer, Mid-fall                | SALVIA APIANA / WHITE SAGE  | 1 GAL | LOW      | PERENNIAL | Early Summer, Mid-summer  |  |
| ERIOGONUM FASCICULATUM / CALIFORNIA BUCKWHEAT                        | 1 GAL  | LOW      | SHRUB             | Mid-spring, Late Spring, Early Summer, Mid-summer, Late Summer | SALVIA APIANA COMPACTA / COMPACT WHITE SAGE                             | 1 GAL | LOW      | PERENNIAL | Early Summer, Mid-summer  |  |
| FRANGULA CALIFORNICA / CALIFORNIA COFFEEBERRY                        | 5 GAL  | LOW      | SHRUB             |  | SALVIA CLEVELANDII 'WINNIFRED GILMAN' / WINNIFRED GILMAN CLEVELAND SAGE | 1 GAL | LOW      | PERENNIAL |   |  |
| FRANGULA CALIFORNICA 'LEATHERLEAF' / LEATHERLEAF COFFEEBERRY         | 5 GAL  | LOW      |                   |  | SALVIA NEMOROSA 'CARADONNA' / CARADONNA MEADOW SAGE                     | 1 GAL |          | PERENNIAL | Mid-summer, Late Summer   |  |
| FRANGULA CALIFORNICA 'MOUND SAN BRUNO' / MOUND SAN BRUNO COFFEEBERRY | 5 GAL  | LOW      | SHRUB             |  | SALVIA SONOMENSIS 'MRS. BEARD' / MRS. BEARD CREEPING SAGE               | 1 GAL | LOW      | PERENNIAL | Late Spring, Early Summer   |  |
| HETEROMELES ARBUTIFOLIA / TOYON                                      | 5 GAL  | VERY LOW | SHRUB             | Late Spring, Early Summer                                      | SISYRINCHIUM BELLUM / BLUE-EYED GRASS                                   | 1 GAL | LOW      | PERENNIAL |   |  |
| OLEA EUROPAEA 'LITTLE OLLIE' / DWARF OLIVE                           | 5 GAL  | VERY LOW | SHRUB             | Mid-spring   | SOLIDAGO CALIFORNICA / CALIFORNIA GOLDENROD                             | 1 GAL | LOW      | PERENNIAL |   |  |
| RHAMNUS ILICIFOLIA / HOLLYLEAF REDBERRY                              | 5 GAL  | LOW      | SHRUB             |  | SPHAERALCEA AMBIGUA / DESERT GLOBEMALLOW                                | 1 GAL | LOW      | PERENNIAL |   |  |
| RIBES SANGUINEUM GLUTINOSUM 'INVERNESS WHITE' / WHITE ICICLE         | 5 GAL  | MEDIUM   |                   |  | SYMPHYOTRICHUM CHILENSE 'PURPLE HAZE' / PURPLE HAZE PACIFIC ASTER       | 1 GAL | LOW      | PERENNIAL | Mid-summer, Late Summer, Early Fall, Mid-fall, Late Fall          |  |
|  |        |          |                   |  | VERBENA BONARIENSIS / TALL VERBENA                                      | 1 GAL | LOW      | PERENNIAL | Mid-summer, Late Summer, Early Fall, Mid-fall, Late Fall          |  |
| <b>ANNUALS</b>   |        |          |                   |  | <b>SUCCULENTS</b>   |       |          |           |   |  |
| ESCHSCHOLZIA CALIFORNICA / CALIFORNIA POPPY                          | SEED   | LOW      | ANNUAL            |  | AGAVE X 'BLUE FLAME' / BLUE FLAME AGAVE                                 | 1 GAL | LOW      | SUCCULENT |   |  |
| LAYIA PLATYGLOSSA / TIDY TIPS  | SEED   | LOW      | ANNUAL            |  | AGAVE X 'RAY OF LIGHT' / RAY OF LIGHT AGAVE                             | 1 GAL | LOW      | SUCCULENT |   |  |
| LUPINUS BICOLOR / MINIATURE LUPINE                                   | SEED   | LOW      | ANNUAL            | Early Spring, Mid-spring, Late Spring, Early Summer            | ALOE X 'BLUE ELF' / BLUE ELF ALOE                                       | 1 GAL | LOW      | SUCCULENT | Early Winter, Mid-winter, Late Winter, Early Spring               |  |
| NEMOPHILA MENZIESII / BABY BLUE EYES                                 | 4" PDT | LOW      | ANNUAL            |  | ECHEVERIA X 'AFTERGLOW' / AFTERGLOW ECHEVERIA                           | 1 GAL | LOW      | SUCCULENT |   |  |
|  |        |          |                   |  | HESPERALOE PARVIFLORA / RED YUCCA                                       | 1 GAL | LOW      | SUCCULENT | Mid-spring, Late Spring, Early Summer, Mid-summer, Late Summer, t |  |
| <b>FERNS</b>   |        |          |                   |  |   |       |          |           |   |  |
| DRYOPTERIS FILIX-MAS / MALE FERN                                     | 5 GAL  |          |                   | Non-blooming   |   |       |          |           |   |  |
| <b>GRASSES &amp; SEDGES</b>  |        |          |                   |  |   |       |          |           |   |  |
| BOUTELOUA GRACILIS / BLUE GRAMA GRASS                                | 1 GAL  | LOW      | WARM SEASON GRASS | Mid-summer, Late Summer  |   |       |          |           |   |  |
| BOUTELOUA GRACILIS / BLUE GRAMA GRASS                                | SEED   | LOW      | WARM SEASON GRASS | Mid-summer, Late Summer  |   |       |          |           |   |  |
| CAREX DIVULSA / EUROPEAN GREY SEDGE                                  | 1 GAL  | LOW      |                   | Late Spring  |   |       |          |           |   |  |
| CAREX PRAEGRACILIS / CLUSTERED FIELD SEDGE                           | 1 GAL  | MEDIUM   | SEDGE             | Early Spring, Mid-spring, Late Spring                          |   |       |          |           |   |  |
| ELYMUS GLAUCUS / BLUE WILD RYE                                       | SEED   | LOW      | COOL SEASON GRASS | Early Summer, Mid-summer, Late Summer                          |   |       |          |           |   |  |
| FESTUCA CALIFORNICA / CALIFORNIA FESCUE                              | 1 GAL  | LOW      |                   |  |   |       |          |           |   |  |
| JUNCUS EFFUSUS / SOFT RUSH   | 1 GAL  | MEDIUM   | RUSH              | Late Spring  |   |       |          |           |   |  |
| JUNCUS PATENS / COMMON RUSH  | 1 GAL  | MEDIUM   | RUSH              | Late Spring, Early Summer                                      |   |       |          |           |   |  |
| KOELERIA MACRANTHA / PRAIRIE JUNEGRASS                               | 1 GAL  | LOW      |                   |  |   |       |          |           |   |  |
| LEYMUS CONDENSATUS 'CANYON PRINCE' / CANYON PRINCE GIAN™ WILD RYE    | 1 GAL  | LOW      | COOL SEASON GRASS | Early Summer   |   |       |          |           |   |  |
| LEYMUS TRITICOIDES 'GREY DAWN' / GREY CREEPING WILD RYE              | SEED   | LOW      | COOL SEASON GRASS |  |   |       |          |           |   |  |
| MISCANTHUS SINENSIS 'MORNING LIGHT' / MORNING LIGHT EULALIA GRASS    | 5 GAL  | MEDIUM   | WARM SEASON GRASS | Early Fall   |   |       |          |           |   |  |
| MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS                           | 1 GAL  | LOW      | WARM SEASON GRASS | Late Summer, Early Fall, Mid-fall                              |   |       |          |           |   |  |
| MUHLENBERGIA CAPILLARIS 'WHITE CLOUD' / WHITE CLOUD MUHLY GRASS      | 1 GAL  | LOW      | WARM SEASON GRASS | Late Summer, Early Fall, Mid-fall                              |   |       |          |           |   |  |
| MUHLENBERGIA DUBIA / PINE MUHLY                                      | 1 GAL  | LOW      | WARM SEASON GRASS | Early Summer   |   |       |          |           |   |  |
| MUHLENBERGIA RIGENS / DEER GRASS                                     | 1 GAL  | LOW      | WARM SEASON GRASS | Late Summer  |   |       |          |           |   |  |
| MUHLENBERGIA RIGENS / DEER GRASS                                     | SEED   | LOW      | WARM SEASON GRASS | Late Summer  |   |       |          |           |   |  |
| NASSELLA PULCHRA / PURPLE NEEDLEGRASS                                | 1 GAL  | LOW      | COOL SEASON GRASS |  |   |       |          |           |   |  |
| NASSELLA PULCHRA / PURPLE NEEDLEGRASS                                | SEED   | LOW      | COOL SEASON GRASS |  |   |       |          |           |   |  |
| PENNISSETUM SPATHIOLATUM / SLENDER VELD™ GRASS                       | 1 GAL  | LOW      | WARM SEASON GRASS | Late Spring, Early Summer, Mid-summer, Late Summer             |   |       |          |           |   |  |
| SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS                              | 1 GAL  | MEDIUM   | COOL SEASON GRASS | Mid-summer, Late Summer  |   |       |          |           |   |  |
| SPOROBOLUS AIROIDES / ALKALI SACATON                                 | SEED   | LOW      | WARM SEASON GRASS |  |   |       |          |           |   |  |



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CITY APPROVAL STAMP

HCAI # \_\_\_\_\_

THESE DOCUMENTS ARE COMPOSITES OF THE ORIGINAL CONSTRUCTION DRAWINGS AND CONTRACTOR MARK-UPS. THEY DO NOT NECESSARILY REFLECT ACTUAL BUILT CONDITIONS AND HAVE NOT BEEN FIELD VERIFIED.

THIS DRAWING IS NOT FINAL OR TO BE USED FOR CONSTRUCTION UNTIL IT IS SIGNED BY THE ARCHITECT/ENGINEER.

ENTITLEMENTS SUBMITTAL

REVISION BY DATE

CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

PLANT LIST

AS SHOWN  
12/11/2023

L1.01

**GENERAL NOTES**

- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE CITY OF ROCKLIN STANDARD SPECIFICATIONS AND PLANS, LATEST EDITION, AND ALL AMENDMENTS THERE TO DATE.
- FOR ELEVATIONS REFER TO THE FOLLOWING BENCHMARK: A GPS RTK 30" (SECOND) OBSERVATION WAS MEASURED ON CITY OF ROCKLIN BENCHMARK NO. 103 AS PER APPROVED CITY OF ROCKLIN BENCHMARK LIST PROVIDED BY THE CITY OF ROCKLIN. THE ELEVATION WAS ESTABLISHED VIA LEICA SMART GPS NETWORK AND IS ON NAVD 83 DATUM. BENCH MARK 103 IS A 3/4" BRASS DISK STAMPED MAY 2001 L.S. 9584 OVER FALSE RAVINE TRAIL ON SECRET RAVINE PARKWAY, NORTHWEST END OF BRIDGE ON TOP OF CONCRETE BARRIER END OF METAL HANDRAIL. PUBLISHED CITY ELEVATION - 297.84 FEET (NVD 29 DATUM) GPS ELEVATION - 299.6 FEET (NVD 88 DATUM, REFERENCE ELEVATION USED FOR THESE PLANS)
- PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH THE CURRENT CITY OF ROCKLIN STANDARDS AND ALL UPDATES AND REVISIONS MADE TO ANY OF THE CITY OF ROCKLIN STANDARD DETAILS SHOWN ON THESE PLANS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR BEING FAMILIAR WITH THE WRITTEN SPECIFICATIONS AND/OR OTHER STANDARD DETAILS NOT SHOWN BUT WHICH ARE INCLUDED IN THE "CITY OF ROCKLIN STANDARD SPECIFICATIONS AND PLANS".
- DRAWING NUMBERS SHOWN ON THE PLANS REFER TO CITY OF ROCKLIN STANDARD PLANS, SHOWN THUS: C.O.R. DETAIL NO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING FROM DAMAGE ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN. SUCH IMPROVEMENTS THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED AT HIS EXPENSE.
- ALL TRENCH EXCAVATION SHALL BE IN ACCORDANCE WITH CITY OF ROCKLIN STANDARD SPECIFICATIONS.
- EXCAVATION OF 5 FEET OR MORE IN DEPTH WILL REQUIRE AN EXCAVATION PERMIT FROM THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL SAFETY.
- THE CONTRACTOR SHALL DEMOLISH, EXCAVATE, REMOVE AND DISPOSE OF ALL EXISTING CONCRETE CURB, GUTTER OR SIDEWALK, ASPHALT CONCRETE PAVING, AND DELETERIOUS MATERIAL AS REQUIRED TO CONSTRUCT THE CONTRACT WORK. ALL SUCH EXCESS MATERIAL, GENERATED SHALL BE DISPOSED OF FROM THE SITE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE WITHIN THE CITY RIGHT-OF-WAY FROM THE CITY OF ROCKLIN PUBLIC WORKS DEPARTMENT, AND NOTIFY THE CITY 48 HOURS IN ADVANCE OF STARTING ANY WORK TO BE ACCEPTED FOR OWNERSHIP AND MAINTENANCE BY THE CITY OF ROCKLIN.
- EXISTING UTILITIES ARE SHOWN AS THEY ARE BELIEVED TO EXIST. THE OWNER AND THE ENGINEER DO NOT ACCEPT RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO COMMENCING ANY WORK, THE CONTRACTOR SHALL HAVE EACH UTILITY COMPANY ACCURATELY LOCATE IN THE FIELD THEIR MAINS AND SERVICE LINES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES.
- ATTENTION IS CALLED TO SECTION 1540 (A) (1) OF THE CONSTRUCTION SAFETY ORDERS (TITLE 8 CALIFORNIA ADMINISTRATION CODE SECTION 1540), ISSUED BY THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS BOARD PURSUANT TO THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ACT OF 1973, AS AMENDED, WHICH STATES:
 

"PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATION (I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC.), WILL BE ENCOUNTERED AND, IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING AND WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION."
- THE CONTRACTOR SHALL CONTACT THE CITY OF ROCKLIN AT LEAST 72 HOURS IN ADVANCE OF THE CONTRACTOR'S INTENT TO CONNECT TO PUBLIC UTILITIES TO COORDINATE THE CONNECTION TO PUBLIC WATER, SEWER AND STORM DRAINAGE SYSTEMS.
- PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD THEIR MAIN SERVICE LINES. THE CONTRACTOR SHALL NOTIFY MEMBERS OF THE UNDERGROUND SERVICE ALERT (U.S.A.) 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (800-227-2665).
- THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES AND VERIFY ALL UTILITY LOCATIONS. IT SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF HIS CONTRACT. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICES TO THE DEVELOPMENT.
- WHenever existing pavement is broken or cut during the installation of the work covered by these plans and specifications, the pavement shall be replaced with pavement materials equal to or better than the materials used in the original paving. The finished pavement shall be subject to the approval of the city engineer if located within city right-of-way.
- PAYMENT FOR PAVEMENT WILL BE MADE FOR THE AREAS SHOWN ON THE PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT IN THE INSTALLATION OF THE IMPROVEMENTS COVERED BY THESE PLANS AND SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE STREET CONTRACTORS UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK.
- THE CONTRACTOR SHALL EXPOSE EXISTING STORM DRAINS, WATER MAINS, AND SANITARY SEWERS WHERE CONNECTIONS AND CROSSINGS ARE TO BE MADE SO EXISTING FLOWLINES AND LOCATIONS CAN BE VERIFIED BEFORE THE START OF CONSTRUCTION.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- CONSTRUCTION STAKING: CONSTRUCTION STAKING IS NORMALLY PERFORMED BY THE ENGINEER WHO PREPARED THE PLAN. THIS PERMITS APPROPRIATE ON-SITE INTERPRETATION AND ADJUSTMENT OF THE PLANS. IF NECESSARY, CONTRACTOR SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS PRIOR TO THE ACTUAL NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR HIS SUBCONTRACTORS WHICH EXTENDS BEYOND THE ORIGINAL SCOPE OF WORK DEFINED IN THESE PLANS SHALL BE SUBJECT TO AN EXTRA WORK CHARGE TO THE CONTRACTOR. THIS NOTE GIVES FORMAL NOTICE THAT THE FIRM OF SIEGFRIED ENGINEERING, INC. CANNOT AND WILL NOT, TAKE RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED OR DETECTED AND/OR CORRECTED OR MITIGATED HAD SIEGFRIED ENGINEERING, INC. PERFORMED THE CONTRACT STAKING WORK.
- THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF ROCKLIN FOR USE OF WATER FROM FIRE HYDRANTS FOR CONSTRUCTION PURPOSES. THE PERMIT SHALL BE APPROVED BY THE CITY OF ROCKLIN FIRE DEPARTMENT.
- THE PROPERTY OWNERS, DEVELOPERS, AND/OR SUCCESSORS IN INTEREST SHALL COMPLY WITH THE PROVISIONS OF THE CALIFORNIA GENERAL CONSTRUCTION ACTIVITY STORM WATER PERMIT AND STATE WATER RESOURCES CONTROL BOARD ORDER NUMBER 9946-DWQ COMPLIANCE IS MANDATORY PER THE CITY OF ROCKLIN'S GRADING AND EROSION CONTROL STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT AND A GRADING AND EROSION CONTROL PERMIT PRIOR TO STARTING ANY WORK, UNLESS OTHERWISE APPROVED BY THE CITY.
- DUST CONTROL SHALL BE PERFORMED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH SECTION 10 OF CALTRANS STANDARD SPECIFICATIONS AND THE REQUIREMENTS OF THE CITY OF ROCKLIN.
- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION, AND SHALL DEWATER AND DISPOSE OF THE WATER SO AS TO NOT CAUSE INJURY TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THE GROUNDWATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COSTS FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATION OF ANY FILL TO THE SPECIFIED DENSITY. DISPOSAL OF WATER SHALL BE IN ACCORDANCE WITH THE APPROVED SWPPP AND SHALL NOT DAMAGE PROPERTY, CREATE A PUBLIC NUISANCE OR VIOLATE THE LAW. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. THE DEWATERING SYSTEM SHALL OPERATE CONTINUOUSLY UNTIL BACK-FILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.
- SITE PREPARATION SHALL INCLUDE STRIPPING AND REMOVAL OF ALL VEGETATION AND ANY DEBRIS FROM THE CONSTRUCTION AREAS. THE DEPTH OF STRIPPING ON-SITE SHALL BE EVALUATED BY THE OWNER'S SOILS ENGINEER.
- ANY Voids LEFT BY THE REMOVAL OF UNDERGROUND UTILITIES OR OTHER BURIED OBJECTS SHALL BE CLEANED OF ALL LOOSE SOILS AND SHALL BE PROPERLY BACKFILLED WITH ENGINEERED FILL THAT THE OWNER'S SOILS ENGINEER APPROVES, MONITORS, TESTS, AND APPROVES.
- THE SUBGRADE SOILS BENEATH ALL PAVING AREAS SHOULD BE COMPACTED TO A MINIMUM OF 96% OF THE DRY DENSITY WHICH THE OWNER'S SOILS ENGINEER SPECIFIES.
- ANY SOFT OF LOOSE SOIL POCKETS FOUND ON-SITE DURING THE STRIPPING OR RECOMPACTION PROCESS, THEY SHALL BE OVER EXCAVATED AND RECOMPACTED.
- ENGINEERED FILL SHALL BE PLACED IN HORIZONTAL LAYERS A MAXIMUM OF 8 INCHES IN THICKNESS AND BE COMPACTED TO A MINIMUM OF 90 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY THE OWNER'S SOILS ENGINEER.
- SUBGRADE SOILS UNDER EXTERIOR CONCRETE SHALL BE MOISTURE CONDITIONED AS APPROVED, TESTED AND INSPECTED BY THE OWNER'S SOILS ENGINEER.
- CONTRACTOR SHALL MAINTAIN MOISTURE CONDITION RIGHT UP TO POURING OF CONCRETE.

**GRADING NOTES**

- GRADING AND LAND STABILIZATION SHALL INCLUDE EXCAVATION AND FILL OF STREETS IN ACCORDANCE WITH THE SPECIFICATIONS OF THE SOILS ENGINEER AND UNDER THE DIRECTION, SUPERVISION, MONITORING, TESTING AND APPROVAL OF THE OWNER AND OWNER'S SOILS ENGINEER.
- GRADING AND LAND STABILIZATION SHALL INCLUDE COST OF DEWATERING, REMOVING FROM THE SITE ALL STRIPPED VEGETATION, DEBRIS, STRUCTURES, POWER POLES, EXISTING PAVEMENT, BUILDINGS, TREES, AND OTHER DELETERIOUS MATERIALS.
- STOCKPILES OF EXISTING DELETERIOUS MATERIAL SHALL BE DISPOSED OF UNDER THE DIRECTION AND SUPERVISION OF THE OWNER AND OWNER'S SOILS ENGINEER.
- ALL IMPORTED FILL SHALL BE APPROVED BY THE SOILS ENGINEER.
- TOPOGRAPHICAL INFORMATION SHOWN REFLECTS A TOPOGRAPHY SURVEY PERFORMED BY SIEGFRIED ENGINEERING AND RECORD INFORMATION, CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
- ANY AND ALL SEDIMENT AND/OR EROSION CONTROL DETAILS CONTAINED WITHIN THESE PLANS ARE TO BE CONSIDERED AS "REFERENCE DETAILS" ONLY AND THE CITY'S APPROVAL OF THESE PLANS AND "REFERENCE DETAILS" DOES NOT RELIEVE THE OWNER/DEVELOPER FROM COMPLIANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN AS APPROVED BY THE CITY'S STORM WATER DIVISION.

**UTILITY NOTES**

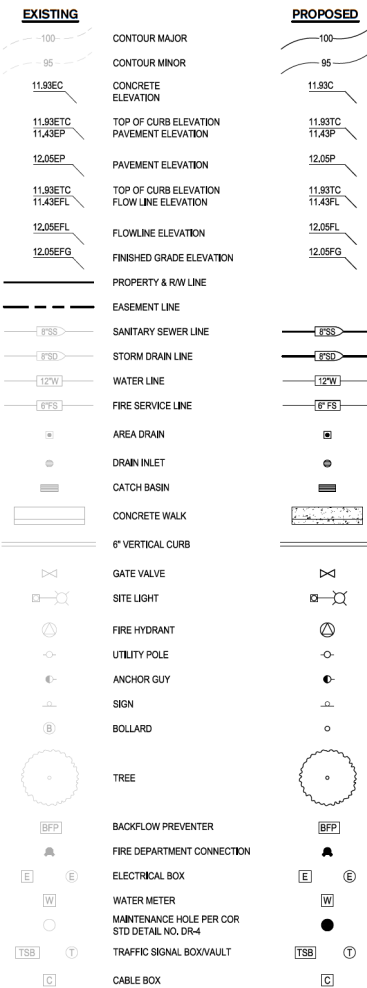
- WATER
- ALL WATER LINES SHALL BE PRESSURE-TESTED, DISINFECTED, FLUSHED, AND TESTED FOR BACTERIA IN CONFORMANCE WITH THE CITY OF ROCKLIN SPECIFICATIONS PRIOR TO FINAL ACCEPTANCE BY THE CITY.
  - ALL WATER SERVICES SHALL BE 1" MINIMUM WATER SERVICE SHALL BE CONNECTED TO WATER MAINS WITH TWO-STRAP BRONZE SADDLES. CITY SHALL MAKE ALL TAPS ON EXISTING WATER MAINS ONLY.
  - ALL VALVES, TEES AND CROSSSES TO BE FLANGED TO THEIR RESPECTIVE FITTINGS. WATER VALVES TO BE RESILIENT SEAT ONLY.
  - WATER LINES, VALVES, BACKFLOW PREVENTER DEVICES, FIRE HYDRANTS, ETC. SHALL BE IN ACCORDANCE WITH CITY OF ROCKLIN STANDARDS.
  - ALL VALVE STEMS MUST BE BROUGHT TO A MINIMUM OF 4' BELOW FINISH GRADE WITH STEM EXTENSION UNITS.
  - THRUST BLOCKS SHALL BE PROVIDED AT ALL REQUIRED LOCATIONS ON WATER LINE IN ACCORDANCE WITH THE CITY OF ROCKLIN SPECIFICATIONS AND DETAILS.
- STORM DRAIN
- STORM DRAIN PIPE SIZES SHALL NOT BE CHANGED WITHOUT THE APPROVAL OF THE CITY ENGINEER AND THE DESIGN ENGINEER.
  - STORM DRAIN PIPE ALTERNATIVES:
    - PRECAST REINFORCED CONCRETE PIPE (RCP), PER CITY OF ROCKLIN STANDARD
    - HIGH DENSITY POLYETHYLENE PIPE (HDPE), PER CITY OF ROCKLIN STANDARD
    - POLYVINYL CHLORIDE PIPE (PVC), PER CITY OF ROCKLIN STANDARD
    - STEEL REINFORCED HIGH DENSITY POLYETHYLENE PIPE (SRHDPE), PER CITY OF ROCKLIN STANDARD
    - CAS-IN-PLACE CONCRETE PIPE, PER CITY OF ROCKLIN STANDARD
  - CATCH BASINS TO BE CONSTRUCTED PER CITY STANDARD DETAILS.
  - ALL CONSTRUCTION SITE ACTIVITIES, REGARDLESS OF PROJECT SIZE, SHALL CONFORM TO CHAPTER 16 OF THESE STANDARDS. PROJECTS GREATER THAN ONE (1) ACRE SHALL ALSO CONFORM TO THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) GENERAL CONSTRUCTION ACTIVITY STORM WATER PERMIT.
- SANITARY SEWER
- SANITARY SEWER MANHOLES AND PIPE SHALL BE IN ACCORDANCE WITH CITY OF ROCKLIN STANDARDS.

**ABBREVIATION**

|          |  |
|----------|--|
| @        | AT   |
| #B       | AGGREGATE BASE                               |
| ABS      | ACRYLONITRILE-BUTADIENE-STYRENE              |
| AC       | ASPHALT CONCRETE                             |
| BCR      | BEGINNING OF CURB RETURN BLOWOFF             |
| BO       | BACK OF CURB                                 |
| BQC      | BACK OF WALK                                 |
| BOW      | CURB, GUTTER, AND SIDEWALK CENTERLINE        |
| C & G    | CATCH BASIN                                  |
| C, G & W | CONSTRUCTION JOINT                           |
| CL       | CLEANOUT                                     |
| CB       | CITY OF ROCKLIN DIAMETER                     |
| CO       | DUCTILE IRON PIPE DRAWINGS                   |
| CJ       | EXISTING BACK OF WALK                        |
| CD       | END OF CURB RETURN ELEVATION                 |
| DIA      | EXISTING GROUND                              |
| DIP      | EDGE OF PAVEMENT, EXISTING PAVEMENT EASEMENT |
| DWG      | EXISTING                                     |
| EBOW     | EXISTING FLOWLINE                            |
| ECL      | FIRE HYDRANT                                 |
| EG       | FACE OF CURB                                 |
| EP       | FEET   |
| ESMT     | GROUND                                       |
| EX       | GRADE BREAK                                  |
| FL       | HIGH POINT                                   |
| PH       | INSIDE DIAMETER                              |
| FOC      | INCH   |
| FT       | LINAL FEET                                   |
| FC       | LAMP HOLE                                    |
| G        | LOW POINT                                    |
| GB       | LEFT   |
| HP       | LINE TREATED SUB-BASE                        |
| ID       | MAXIMUM                                      |
| IN       | MAINTENANCE HOLE                             |
| LF       | MINIMUM                                      |
| LH       | NUMBER                                       |
| LP       | NON-REINFORCED CONCRETE PIPE                 |
| LT       | NOT TO SCALE                                 |
| LTS      | OUTSIDE DIAMETER                             |
| MAX      | PAVEMENT                                     |
| MB       | POINT OF CURVATURE                           |
| MIN      | POINT OF COMPOUND CURVATURE                  |
| NO       | POINT OF TANGENCY                            |
| NRCP     | POWER POLE                                   |
| NTS      | POINT OF REVERSE CURVATURE                   |
| NTS      | POINT  |
| P        | PUBLIC UTILITY EASEMENT                      |
| PC       | POLYVINYL CHLORIDE                           |
| PCC      | PROPERTY LINE                                |
| POT      | RADIAL OR RADIUS                             |
| PP       | RIGHT-OF-WAY                                 |
| PRC      | ROLL-CURB                                    |
| PT       | REINFORCED CONCRETE PIPE                     |
| PUE      | RESTRAINED LENGTH                            |
| PVC      | RADIUS POINT                                 |
| PL       | RIGHT  |
| R        | STORM DRAIN                                  |
| RW       | SANITARY SEWER                               |
| RC       | STREET LIGHT                                 |
| RCP      | SIDEWALK                                     |
| RL       | STORM DRAIN MAINTENANCE HOLE                 |
| RP       | SHEET  |
| RT       | SANITARY SEWER MAINTENANCE HOLE              |
| SD       | STANDARD                                     |
| SS       | TOP OF CURB                                  |
| SL       | TOP OF WALL                                  |
| SW       | THROUGH                                      |
| SDMH     | TRAFFIC INDEX                                |
| SHT      | VERTICAL                                     |
| SMH      | WATER  |
| STA      | WEAKENED PLANE                               |
| STD      | EAST   |
| TC       | (E)  |
| TW       | (S)  |
| THRU     | (N)  |
| TI       | NORTH  |
| TYP      | PLUS OR MINUS                                |
| VERT     |  |
| W        |  |
| WP       |  |
| (W)      |  |
| (E)      |  |
| (S)      |  |
| (N)      |  |
| ±        |  |

**DESCRIPTION**

**LEGEND**



**CITY APPROVAL STAMP**

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**ENTITLEMENTS SUBMITTAL**

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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

GENERAL NOTES,  
LEGEND, &  
ABBREVIATIONS

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AS SHOWN  
11/17/23

**C1.00**





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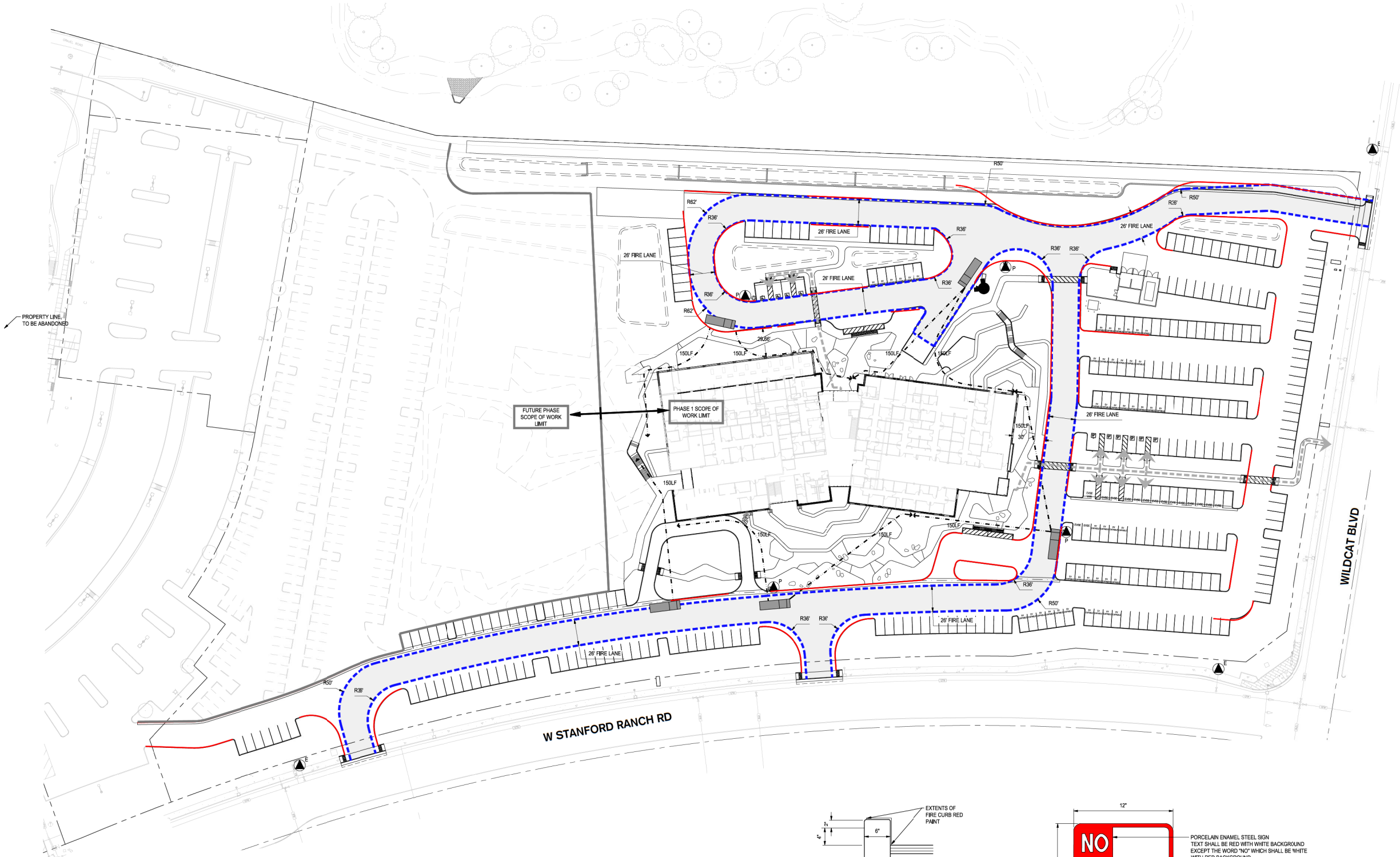
CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
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ROCKLIN, CA

FIRE ACCESS PLAN

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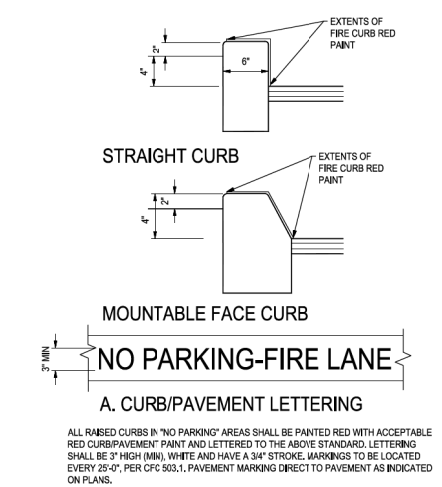
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**FIRE DEPARTMENT ACCESS REQUIREMENTS (CFC 503 AND APPENDIX D):**

1. FIRE DEPARTMENT ACCESS (CFC 503)
  - A. FIRE DEPARTMENT SITE ACCESS MUST COMPLY WITH CFC 503 AND CITY OF ROCKLIN FIRE DEPARTMENT REQUIREMENTS. CITY OF ROCKLIN MUNICIPAL CODE AMENDMENTS TO CFC FIRE DEPARTMENT ACCESS REQUIREMENTS WILL ALSO BE APPLICABLE TO THE EXTENT ENFORCED BY RFD UNDER THE LOCAL FIRE AUTHORITY PROVISIONS.
  - B. A FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FT OF ALL PORTIONS OF THE FIRST STORY EXTERIOR WALLS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING (CFC 503.1.1).
  - C. BUILDINGS EXCEEDING 3 STORES OR 30 FT HEIGHT MUST HAVE AT LEAST TWO MEANS OF FIRE APPARATUS ACCESS. BUILDINGS HAVING A GROSS AREA GREATER THAN 124,000 SQ. FT. SHALL BE PROVIDED WITH TWO FIRE ACCESS ROADS. THE TWO ACCESS ROADS MUST BE PLACED A DISTANCE APART OF AT LEAST ONE-HALF OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED (CFC D104).
  - D. ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH NOT LESS THAN 20 FT (OR 18 FT FOR AERIAL APPARATUS ACCESS ROADS) AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF AT LEAST 13 FT 6 IN.
  - E. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS (75,000 LBS. PER CFC D102.1). APPARATUS LOADS SHOULD BE CONFIRMED WITH THE CITY OF ROCKLIN FIRE DEPARTMENT.
  - F. FIRE ACCESS LANE TURNS MUST HAVE A MINIMUM INSIDE RADIUS OF 36 FT AND MINIMUM OUTSIDE RADIUS OF 50 FT
  - G. THE GRADE OF THE FIRE APPARATUS ACCESS ROAD SHALL BE WITHIN THE LIMITS ESTABLISHED BY THE FIRE CODE OFFICIAL.
  - H. DEAD-END FIRE APPARATUS ACCESS ROADS LONGER THAN 150 FT IN LENGTH SHALL BE PROVIDED WITH AN APPROVED TURNAROUND AREA. TYPICAL TURNAROUND FEATURES AND INFORMATION ARE PROVIDED IN CFC APPENDIX D (FIGURE D103.1 AND TABLE D103.4).

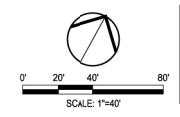
| LEGEND: | DESCRIPTION:  |
|---------|---|
|         | FIRE LANE SIGNAGE PER DETAIL 2, THIS SHEET                              |
|         | FIRE HYDRANT HOSE PULL: 150LF MAX                                       |
|         | EGRESS PATH OF TRAVEL   |
|         | FIRE LANE CURB MARKING PER DETAIL 1, THIS SHEET                         |
|         | FIRE HYDRANT: (P) PROPOSED (E) EXISTING                                 |
|         | FIRE ACCESS LANE: (20' WIDE MIN. INSIDE RADIUS 36', OUTSIDE RADIUS 50') |
|         | FIRE ACCESS: INNER AND OUTER TURNING CLEARANCE                          |
|         | PROPOSED FDC  |



1 FIRE LANE CURB / PAVEMENT MARKING  
NO SCALE



2 FIRE LANE SIGNAGE  
NO SCALE



F:\3\PROJECTS\2255 CHAPA-DE INDIAN HEALTH SOUTH PLAZER CLINIC\IMPROVEMENT PLANS\2255-CL.D1 FIRE ACCESS PLAN.DWG 2/6/2023 12:28:59 PM



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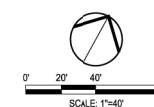
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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

TOPOGRAPHIC &  
DEMOLITION PLAN



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C2.00

**DEMOLITION NOTES:**

- PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL HAVE THE EXISTING DRY UTILITIES POT HOLED FOR VERIFICATION OF LOCATION AND DEPTH. AT SUCH TIME, POT HOLE DATA SHALL BE PROVIDED TO THE ENGINEER FOR DETERMINATION OF ADEQUATE CLEARANCE AND SEPARATION.
- ALL EXCAVATIONS SPOILS, INCLUDING, BUT NOT LIMITED TO CONCRETE AND PAVEMENT EXCAVATION, SHALL BE EXPORTED AND DISPOSED OF BY THE CONTRACTOR.
- EXISTING STRUCTURES, CONCRETE, PAVEMENT, FENCES, CURBS, UTILITY BOXES, LIGHTS, GATES, ETC. NOT CALLED OUT IN PLANS TO BE REMOVED OR TO REMAIN SHALL BE PROTECTED IN PLACE.
- CONTRACTOR TO PROVIDE TREE PROTECTION AS NECESSARY DURING CONSTRUCTION TO PRESERVE EXISTING TREES. TREES NOT IDENTIFIED AS TO BE REMOVED OR TO REMAIN ARE ASSUMED TO REMAIN.
- EXISTING CONCRETE AND PAVEMENT UNDER TEMPORARY PORTABLE BUILDINGS/TRAILER TO BE REMOVED WITH OTHER AREAS.

**DEMOLITION LEGEND:**

|  |  |  |   |
|--|--|--|---|
|  | CLEAR AND GRUB EXISTING UNDEVELOPED AREAS. REMOVAL DEPTH SHALL ACCOMMODATE DEPTH OF PROPOSED IMPROVEMENTS.       |  | TREE TO BE REMOVED, REMOVE STUMP AND ROOTS 1" AND LARGER      |
|  | REMOVE AND DISPOSE OF EXISTING CONCRETE. REMOVAL DEPTH SHALL ACCOMMODATE DEPTH OF PROPOSED IMPROVEMENTS.         |  | EXISTING TREES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION |
|  | REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT. REMOVAL DEPTH SHALL ACCOMMODATE DEPTH OF PROPOSED IMPROVEMENTS. |  | EXISTING SHRUBS TO BE REMOVED                                 |
|  | EXISTING CONCRETE TO REMAIN  |  | EXISTING CONTOUR  |
|  | EXISTING PAVERS TO REMAIN  |  | EXISTING FENCE  |
|  | EXISTING STORM DRAIN LINE  |  | EXISTING CABLE LINE   |
|  | EXISTING SANITARY SEWER LINE   |  | EXISTING OVERHEAD TELEPHONE LINE                              |
|  | EXISTING WATER LINE  |  | EXISTING TELEPHONE POLE                                       |
|  |  |  | EXISTING GUY ANCHOR   |
|  |  |  | PROPERTY LINE   |
|  |  |  | EXISTING TOP  |

**DEMOLITION KEY NOTES:**

- REMOVE AND DISPOSE OF EXISTING CONCRETE PER LEGEND, THIS SHEET
- REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT PER LEGEND, THIS SHEET
- SAWCUT TO A NEAT AND CLEAN LINE, OR TO NEAREST JOINT
- PROTECT IN PLACE EXISTING WATER LINE/STRUCTURE
- PROTECT IN PLACE EXISTING STORM DRAIN LINE/STRUCTURE
- PROTECT IN PLACE EXISTING SANITARY SEWER LINE/STRUCTURE



CITY APPROVAL STAMP

HCAI #



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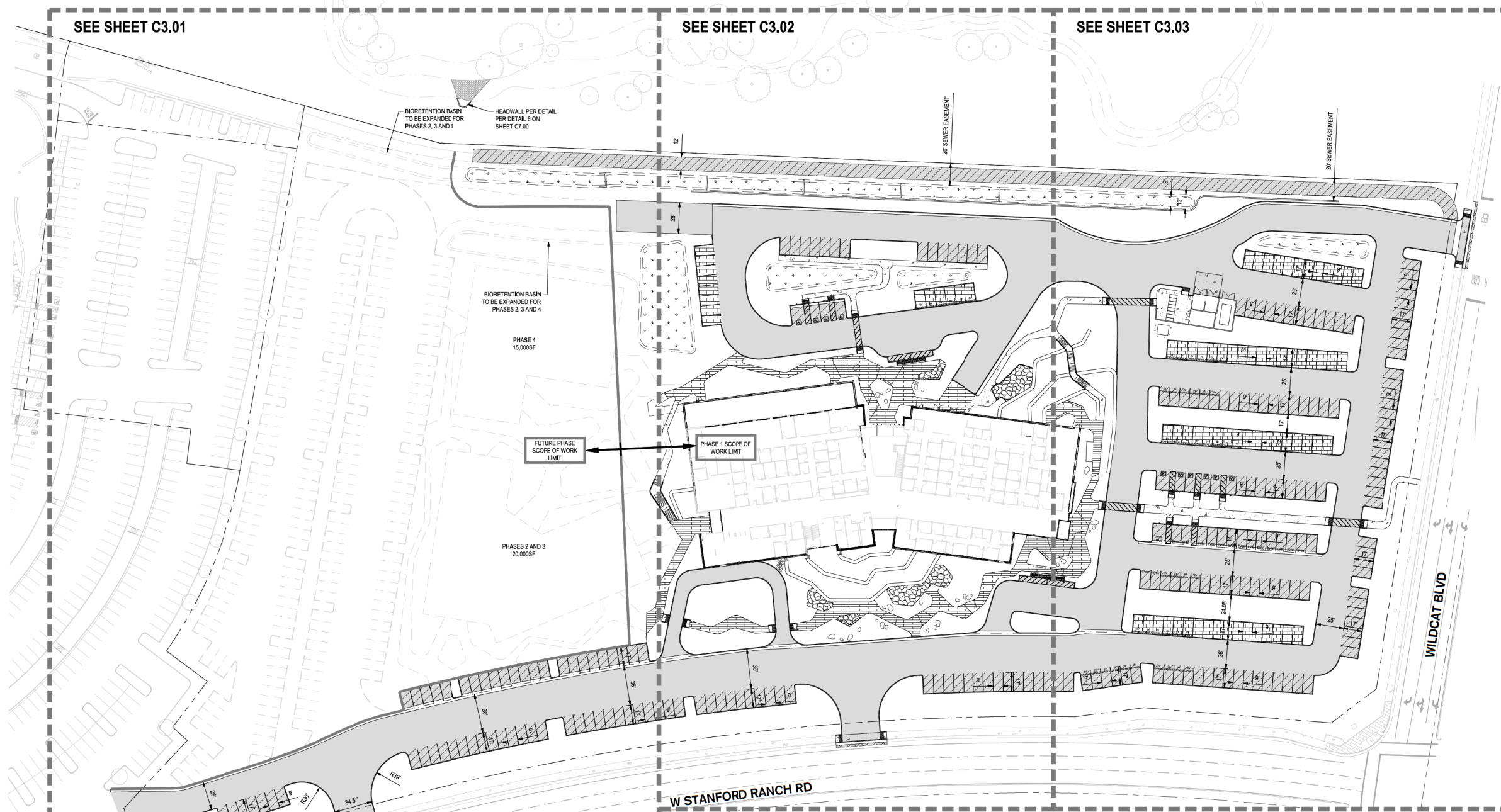
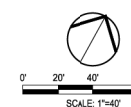
CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

OVERALL PAVING &  
DIMENSIONING PLAN

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11/17/23

C3.00



**PAVING LEGEND:**

- HEAVY DUTY CONCRETE  
7" PORTLAND CEMENT CONCRETE (3,000 PSI) WITH #4 BARS @ 18" O.C., EACH WAY OVER 6" CLASS II AB COMPACTED TO 95% R.C. OVER 12" SUBGRADE COMPACTED TO 90% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- PEDESTRIAN CONCRETE  
4.5" PORTLAND CEMENT CONCRETE (3,000 PSI) WITH #4 BARS @ 18" O.C. OVER 6" CLASS II AB COMPACTED TO 95% R.C. OVER 12" SUBGRADE COMPACTED TO 90% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- HEAVY DUTY ASPHALT PAVEMENT (T.L. = 5.0) (R=15)  
5" HMA OVER 1.5" CLASS II AGGREGATE BASE OVER 12" SUBGRADE COMPACTED TO 95% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- LIGHT DUTY ASPHALT PAVEMENT (T.L. = 5.0) (R=15)  
3" HMA OVER 1" CLASS II AGGREGATE BASE OVER 12" SUBGRADE COMPACTED TO 95% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- ASPHALT DEEPLIFT  
11" ASPHALT DEEPLIFT OVER EXISTING SUBGRADE
- PERMEABLE PAVEMENT SYSTEM  
60MM PERMEABLE PAVEMENT OVER 8" CLASS II PERMEABLE ROCK OVER SUBGRADE COMPACTED TO 95% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- PAVERS  
SEE LANDSCAPE PLANS
- TRUNCATED DOMES  
TRUNCATED DOMES PER DETAIL 11 ON SHEET C7.00
- BIORETENTION AREA
- EXISTING CONCRETE  
CONCRETE TO REMAIN

**CIVIL BASIS OF DESIGN - FUTURE PHASE**

**SITE PLAN**  
THE FUTURE PHASE INCLUDES THE ADDITION OF TWO NEW BUILDINGS COMPLEMENTARY TO THE CHAPA-DE SOUTH PLACER CLINIC, WITH THE ADDITIONAL BUILDINGS BEING PROPOSED FOR THE FUTURE PHASE. ASSOCIATED SITE WORK INCLUDING WALKWAYS AND PARKING ARE BEING PROPOSED. THE SITE PAVING WILL CONSIST OF CONCRETE, ASPHALT AND POROUS PAVERS. THE SITE WILL HAVE ACCESSIBLE PARKING IN COMPLIANCE WITH 2022 CBC SECTION 11B-208.

**GRADING AND DRAINAGE**  
THE EXISTING SITE GENERALLY SLOPES FROM THE SOUTH TO NORTH. THE PROPOSED GRADING DESIGN WILL FOLLOW THE EXISTING SLOPING OF THE SITE, WITHIN DRIVE AISLES, AND PARKING STALLS. THE MINIMUM SLOPE SHALL BE 1.50% ALONG PEDESTRIAN WALKWAYS. THE MAXIMUM SLOPE IN THE DIRECTION OF TRAVEL SHALL BE NO MORE THAN 5.00% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.00%, WHERE LANDINGS AND CHANGES IN DIRECTION OCCUR. THE SLOPE SHALL BE 2.00% MAXIMUM IN ALL DIRECTIONS, DUE TO THE DIFFERENCE IN GRADE BETWEEN THE SOUTH END OF THE SITE AND NORTH END OF THE SITE. RAMPS AND RETAINING WALLS ARE ANTICIPATED. RAMPS SHALL NOT EXCEED 30' IN LENGTH AND 8.33% IN SLOPE, AND SHALL HAVE TOP AND BOTTOM LANDINGS.

**SITE DRAINAGE** WILL BE CONVEYED TO BIORETENTION BASINS LOCATED ON THE SITE THROUGH CURB-CUTS, SWALES AND STRATEGICALLY PLACED INLETS AT LOW POINTS AMONG THE SITE WHERE CURB-CUTS AND SWALES ARE NOT FEASIBLE. THE REQUIRED AREA NEEDED FOR SIZING BIORETENTION BASINS IS DEFINED AS 4 PERCENT OF THE ADJUSTED TRIBUTARY AREA OF THE DMA PER THE CITY OF ROCKLIN POST CONSTRUCTION MANUAL. DESIGN GUIDANCE FOR STORMWATER TREATMENT AND CONTROL FOR PROJECTS IN THE CITY OF ROCKLIN, CHAPTER 4, BASED OFF THE ADJUSTED RUNOFF COEFFICIENT. PHASE 1 REQUIRES A TOTAL BIORETENTION VOLUME OF 10,433SF. A TOTAL BIORETENTION AREA OF 12,484SF HAS BEEN PROVIDED FOR PHASE 1, GOING INTO THE FUTURE PHASE, THE TWO BIORETENTION FACILITIES LOCATED AT THE NORTHERNMOST PORTION OF THE SITE WILL BE EXPANDED TO PROVIDE AN ADDITIONAL 4,722SF OF BIORETENTION AREA THIS ADDITIONAL AREA MAKES FOR A TOTAL BIORETENTION AREA OF 17,146SF THROUGHOUT THE SITE. THE FUTURE PHASE WILL HAVE AN AREA OF APPROXIMATELY 180,000SF AND AN ASSUMED RUNOFF COEFFICIENT OF 0.75. GIVEN THESE CRITERIA, AN ADDITIONAL 5,400SF OF STORAGE WILL BE REQUIRED TO MAINTAIN COMPLIANCE WITH THE CITY OF ROCKLIN POST CONSTRUCTION MANUAL. THE 12,424SF OF STORAGE CURRENTLY BEING PROVIDED AND 4,722SF OF STORAGE BEING PLANNED FOR WILL SUFFICE FOR THE TOTAL 15,833SF NEEDED TO SATISFY THE CITY OF ROCKLIN REQUIREMENTS.

**UTILITIES**

**STORM**  
STORMWATER WILL MAKE ITS WAY TO THE BIORETENTION FACILITIES BY WAY OF CURB-CUTS, SWALES, AND INLETS PIPED DIRECTLY TO THE BIORETENTION BASINS. UPON ENTERING THE BASINS, STORMWATER WILL INFILTRATE THROUGH THE AMENDED SOIL AND GRAVEL WHERE IT WILL ENTER A PERFORATED PIPE AND EVENTUALLY LEAVE THE BASIN THROUGH A SERIES OF STORM PIPES AND DISCHARGE INTO THE WETLANDS NORTH OF THE PROJECT SITE. STORM PIPE SIZES WILL VARY FROM 8" TO 24".

**SEWER**

SEWER SERVICE FOR THE FUTURE PHASE WILL BE COLLECTED INTO A 6" SEWER LINE AND CONNECT TO A CITY MAINTENANCE HOLE, LOCATED WITHIN THE SEWER ACCESS EASEMENT NORTH OF THE PROPERTY. SANITARY SEWER CLEANOUTS WILL BE PLACED AT 100' ON CENTER TO MAINTAIN SERVICEABILITY.

**DOMESTIC WATER**

A 4" WATER SERVICE LINE WILL SERVE BOTH PROPOSED BUILDINGS FOR THE FUTURE PHASE. THE 4" WATER SERVICE LINE WILL TIE INTO THE 4" STUB FROM PHASE 1.

**FIRE WATER**

A 12" FIRE SERVICE LINE WILL BE TAPPED OFF OF THE EXISTING 12" WATER MAIN LOCATED ON W. STANFORD RANCH ROAD, OFF OF THE 12" FIRE SERVICE LINE FROM THE PROPOSED TAP. 8" FIRE SPRINKLER LINES WILL FEED BOTH PROPOSED BUILDINGS. FIRE HYDRANT COVERAGE WILL BE MAINTAINED ON THE SITE AND THE HYDRANTS WILL BE FED OFF OF THE SAME 12" FIRE SERVICE LINE.



FOR CONTINUATION SEE SHEET C3.02

**PAVING LEGEND:**

- HEAVY DUTY CONCRETE**  
7" PORTLAND CEMENT CONCRETE (3,000 PSI) WITH #4 BARS @ 18" O.C. EACH WAY OVER 6" CLASS II AG COMPACTED TO 95% R.C. OVER 12" SUBGRADE COMPACTED TO 90% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- PEDESTRIAN CONCRETE**  
4.5" PORTLAND CEMENT CONCRETE (3,000 PSI) WITH #4 BARS @ 18" O.C. OVER 6" CLASS II AG COMPACTED TO 95% R.C. OVER 12" SUBGRADE COMPACTED TO 90% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- HEAVY DUTY ASPHALT PAVEMENT (T.I. = 8.0) (R=15)**  
5" HMA OVER 15" CLASS I AGGREGATE BASE OVER 12" SUBGRADE COMPACTED TO 95% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- LIGHT DUTY ASPHALT PAVEMENT (T.I. = 5.0) (R=15)**  
3" HMA OVER 8" CLASS II AGGREGATE BASE OVER 12" SUBGRADE COMPACTED TO 95% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- ASPHALT DEEPLIFT**  
11" ASPHALT DEEPLIFT OVER EXISTING SUBGRADE
- PERMEABLE PAVER SYSTEM**  
60MM PERMEABLE PAVER OVER 8" CLASS II PERMEABLE ROCK OVER SUBGRADE COMPACTED TO 95% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- PAVERS**  
SEE LANDSCAPE PLANS
- TRUNCATED DOMES**  
TRUNCATED DOMES PER DETAIL 11 ON SHEET C7.00
- BIORETENTION AREA**
- EXISTING CONCRETE**  
CONCRETE TO REMAIN

**PAVING KEY NOTES:**

- 1 INSTALL 6" VERTICAL CURB AND GUTTER PER DETAIL 2 ON SHEET C7.00
- 2 INSTALL 6" VERTICAL CURB PER DETAIL 1 ON SHEET C7.00
- 3 INSTALL 4" VALLEY GUTTER PER DETAIL 4 ON SHEET C7.00
- 4 INSTALL 30" MAXIMUM RETAINING WALL PER DETAIL 1 ON SHEET C7.02
- 5 INSTALL 36" MAXIMUM RETAINING WALL PER DETAIL 1 ON SHEET C7.02
- 6 INSTALL 51" MAXIMUM RETAINING WALL PER DETAIL 2 ON SHEET C7.02
- 7 INSTALL TRASH ENCLOSURE PER ARCHITECTURAL PLANS
- 8 INSTALL BOLLARD PER DETAIL 5 ON SHEET C7.00
- 9 INSTALL 4" WIDE WHITE STRIPE, HATCHING SHOWN AT 36" O.C. WHERE OCCURS
- 10 INSTALL ACCESSIBLE PARKING STALL PER DETAIL 7 ON SHEET C7.00
- 11 INSTALL CONCRETE SEAT WALL, SEE ARCHITECTURAL PLANS
- 12 INSTALL DRIVEWAY PER CITY OF ROCKLIN STANDARD DETAILS AND SPECIFICATIONS
- 13 INSTALL BIORETENTION AREA PER DETAIL 15 ON SHEET C7.00
- 14 INSTALL PAVER EDGE ALONG LANDSCAPED AREA, SEE LANDSCAPE PLANS
- 15 ACCESSIBLE PARKING SIGNAGE PER DETAIL 10 ON SHEET C7.00
- 16 24" CURB CUT PER DETAIL 16 ON SHEET C7.00



**CITY APPROVAL STAMP**

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**ENTITLEMENTS SUBMITTAL**

| REVISION | BY | DATE |
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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

PAVING &  
DIMENSIONING PLAN I

C2098.00  
AS SHOWN  
11/17/23

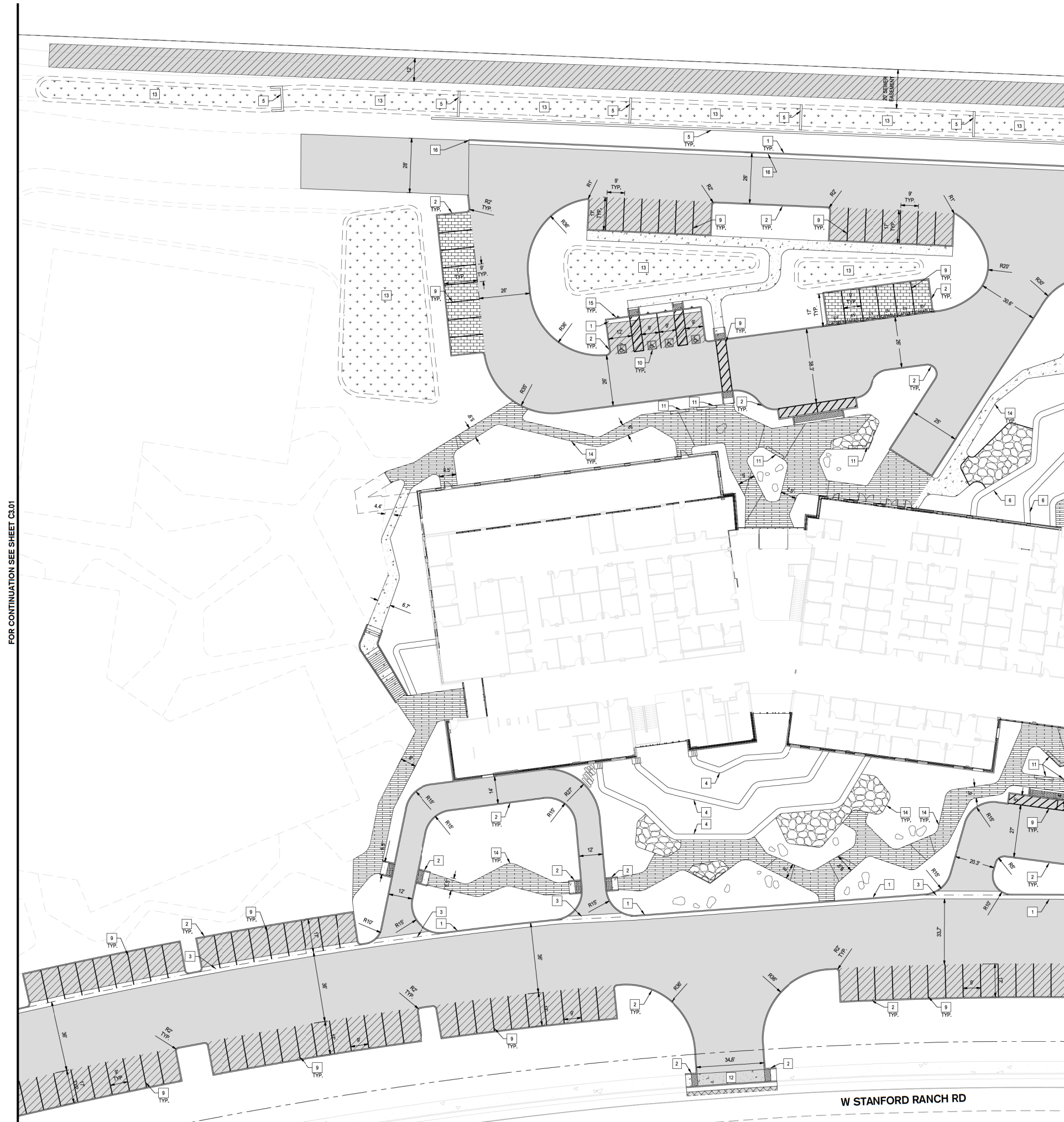
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FOR CONTINUATION SEE SHEET C3.01



FOR CONTINUATION SEE SHEET C3.03

**PAVING LEGEND:**

- HEAVY DUTY CONCRETE  
7" PORTLAND CEMENT CONCRETE (3,000 PSI) WITH #4 BARS @ 18" O.C. EACH WAY OVER 6" CLASS II AB COMPACTED TO 95% R.C. OVER 12" SUBGRADE COMPACTED TO 90% R.C. PER THE PROJECT GEOTECHNICAL REPORT
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- HEAVY DUTY ASPHALT PAVEMENT (T.I. = 8.0) (R=15)  
5" HMA OVER 1.5" CLASS II AGGREGATE BASE OVER 12" SUBGRADE COMPACTED TO 95% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- LIGHT DUTY ASPHALT PAVEMENT (T.I. = 5.0) (R=15)  
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60MM PERMEABLE PAVER OVER 8" CLASS II PERMEABLE ROCK OVER SUBGRADE COMPACTED TO 95% R.C. PER THE PROJECT GEOTECHNICAL REPORT
- PAVERS  
SEE LANDSCAPE PLANS
- TRUNCATED DOMES  
TRUNCATED DOMES PER DETAIL 11 ON SHEET C7.00
- BIORETENTION AREA
- EXISTING CONCRETE  
CONCRETE TO REMAIN

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- 4 INSTALL 30" MAXIMUM RETAINING WALL PER DETAIL 1 ON SHEET C7.02
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- 8 INSTALL BOLLARD PER DETAIL 5 ON SHEET C7.00
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- 13 INSTALL BIORETENTION AREA PER DETAIL 15 ON SHEET C7.00
- 14 INSTALL PAVER EDGE ALONG LANDSCAPED AREA, SEE LANDSCAPE PLANS
- 15 ACCESSIBLE PARKING SIGNAGE PER DETAIL 10 ON SHEET C7.00
- 16 24" CURB CUT PER DETAIL 16 ON SHEET C7.00



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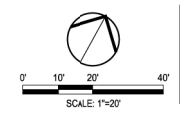


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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

PAVING &  
DIMENSIONING PLAN  
II



C2098.00  
AS SHOWN  
11/17/23

**C3.02**

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**PAVING LEGEND:**

- HEAVY DUTY CONCRETE  
7" PORTLAND CEMENT CONCRETE (3,000 PSI) WITH #4 BARS @ 18" O.C. EACH WAY OVER 6" CLASS II AB COMPACTED TO 95% R.C. OVER 12" SUBGRADE COMPACTED TO 90% R.C. PER THE PROJECT GEOTECHNICAL REPORT
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SEE LANDSCAPE PLANS
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- EXISTING CONCRETE  
CONCRETE TO REMAIN

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- 15 ACCESSIBLE PARKING SIGNAGE PER DETAIL 10 ON SHEET C7.00
- 16 24" CURB CUT PER DETAIL 16 ON SHEET C7.00

**Dreyfuss+Blackford**  
architecture

**SIEGFRIED**  
REGISTERED PROFESSIONAL ENGINEER  
No. 42498  
Exp. 09/30/25  
CIVIL  
STATE OF CALIFORNIA

**CITY APPROVAL STAMP**  
HCAT # \_\_\_\_\_



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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

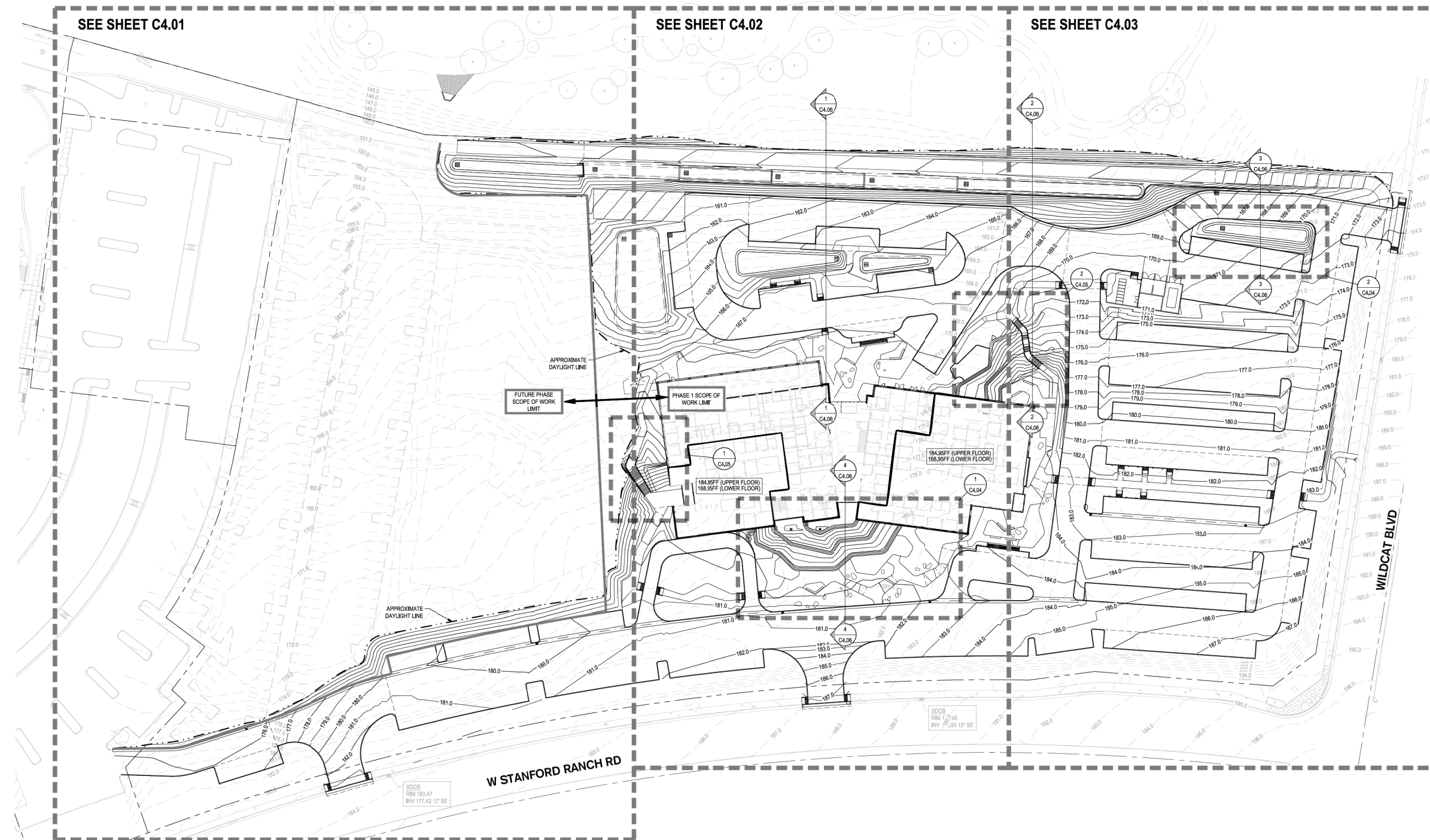
PAVING &  
DIMENSIONING PLAN  
III



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AS SHOWN  
11/17/23

**C3.03**





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REVISION BY DATE

**TRENCH EXCAVATION SAFETY PROTECTION:**

CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS, AND / OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND / OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

**GRADING AND DRAINAGE NOTES:**

- WHERE THERE IS LANDSCAPE ADJACENT TO THE BUILDING EXTERIOR, THE FINISHED GRADE SHALL BE 6" MINIMUM BELOW THE FINISHED FLOOR ELEVATION OF THE BUILDING WITH THE TOP OF 3" BARK MULCH, PER LANDSCAPE PLANS, BEING 3" MINIMUM BELOW FINISHED FLOOR ELEVATION.
- BEST MANAGEMENT PRACTICES (SILT FENCE, ETC.) CAN BE INSTALLED IN CONTOURS AND SPOT ELEVATIONS ON THIS PLAN REFLECT FINAL TOP OF PAVEMENT ELEVATIONS.
- CONTOURS AND SPOT ELEVATIONS ON THIS PLAN REFLECT FINAL TOP OF PAVEMENT ELEVATIONS.
- SITE PREPARATION, GRADING, AND FILL SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- ALL FILL MATERIAL PROVIDED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING AND COMPACTING.
- NATURAL SUBGRADES TO SUPPORT FILL SHALL BE STRIPPED OF ALL VEGETATION OR ORGANIC TOPSOIL. ALL FILL SHALL BE CONSIDERED AS CONTROLLED FILL SUBJECT TO THE GEOTECHNICAL ENGINEERING REPORT FOR THIS PROJECT AND IS SUBJECT TO TESTING AND INSPECTION REQUIREMENTS AS APPROPRIATE FOR THE MATERIALS INVOLVED. A GEOTECHNICAL ENGINEER IS TO PERFORM ON-SITE INSPECTION AND COMPACTION TESTING DURING THE COURSE OF FILL PLACEMENT. ANY MATERIAL DEEMED TO BE UNSUITABLE SHALL BE HAULED OFF THE SITE BY THE CONTRACTOR AT HIS EXPENSE. THE GEOTECHNICAL ENGINEER WILL DETERMINE THE FREQUENCY AND TYPE OF TESTING AND INSPECTION REQUIRED IN ORDER TO PROPERLY CONTROL COMPACTION OF FILL.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
- ALL DISTURBED AREAS SHALL BE REVEGETATED, BY THE CONTRACTOR, IN ACCORDANCE WITH PROJECT SPECIFICATIONS, AND ARCHITECTURAL LANDSCAPING PLANS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR BETTER, CONDITION ANY DAMAGES DONE TO EXISTING SIGNS, UTILITIES, PAVEMENT, CURBS, SIDEWALKS OR DRIVEWAYS.
- DUE TO FEDERAL REGULATION TITLE 49, PART 192.161, THE GAS UTILITY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, AND APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL EXCAVATION IS UNCLASSIFIED.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED IN COMPLIANCE WITH TREE PERMIT.
- TOPSOIL STRIPPING MATERIALS TO BE RE-USED FOR REVEGETATION SHALL BE MAINTAINED IN ACCORDANCE WITH APPLICABLE POLLUTION PREVENTION PLANS OR PERMITS.
- WASTE MATERIALS, OR EXCESS TOPSOIL, GENERATED AS A RESULT OF CLEARING AND GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL OF ALL SPOIL SHALL BE AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS, THE CONTRACTOR SHALL IDENTIFY THE SITE WHERE THE EXCESS/BORROW EARTHEN MATERIAL SHALL BE IMPORTED/DEPOSITED. IF THE BORROW/DEPOSIT SITE IS WITHIN THE CITY OF ROCKLIN, THE CONTRACTOR SHALL PRODUCE A REPORT ISSUED BY A GEOTECHNICAL ENGINEER TO VERIFY THAT THE EXPORTED MATERIALS ARE SUITABLE FOR THE INTENDED FILL, AND SHALL SHOW PROOF OF ALL APPROVED GRADING PLANS, HAUL ROUTES TO BE USED SHALL BE SPECIFIED.

**LEGEND**

|  |                         |
|--|-------------------------|
|  | GRADE SLOPE PERCENTAGE  |
|  | EXISTING GROUND CONTOUR |
|  | PROPOSED GROUND CONTOUR |
|  | GRADE BREAK             |
|  | RIDGE                   |

**GRADING LEGEND**

| ABBREVIATION | DESCRIPTION              |
|--------------|--------------------------|
| BW           | BACK OF WALK             |
| BOW          | BOTTOM OF WALL           |
| C            | CONCRETE                 |
| DG           | DECOMPOSED GRANITE       |
| EC           | EXISTING CONCRETE        |
| EFL          | EXISTING FLOWLINE        |
| EG           | EXISTING GROUND          |
| EL           | ELEVATION                |
| EP           | EXISTING PAVEMENT        |
| EX           | EXISTING                 |
| FF           | FINISHED FLOOR ELEVATION |
| FG           | FINISH GROUND            |
| FP           | FINISH PAD ELEVATION     |
| FL           | FLOWLINE                 |
| G            | GROUND                   |
| GB           | GRADE BREAK              |
| HP           | HIGH POINT               |
| LB           | LIGHT BASE               |
| LP           | LOW POINT                |
| MAX          | MAXIMUM                  |
| MIN          | MINIMUM                  |
| P            | PAVEMENT                 |
| TC           | TOP OF CURB              |
| TOW          | TOP OF WALL              |
| TYP          | TYPICAL                  |



CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

OVERALL GRADING  
PLAN

C2098.00  
AS SHOWN  
11/17/23

C4.00

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FOR CONTINUATION SEE SHEET C4.02

**LEGEND**

|  |      |                         |
|--|------|-------------------------|
|  | 3.0  | GRADE SLOPE PERCENTAGE  |
|  | -    | EXISTING GROUND CONTOUR |
|  | -    | PROPOSED GROUND CONTOUR |
|  | G.B. | GRADE BREAK             |
|  | -    | RIDGE                   |

**GRADING LEGEND**

| ABBREVIATION | DESCRIPTION              |
|--------------|--------------------------|
| BW           | BACK OF WALL             |
| BOW          | BOTTOM OF WALL           |
| C            | CONCRETE                 |
| DG           | DECOMPOSED GRANITE       |
| EC           | EXISTING CONCRETE        |
| EFL          | EXISTING FLOWLINE        |
| EG           | EXISTING GROUND          |
| EL           | ELEVATION                |
| EP           | EXISTING PAVEMENT        |
| EX           | EXISTING                 |
| FF           | FINISHED FLOOR ELEVATION |
| FG           | FINISH GROUND            |
| FP           | FINISH PAD ELEVATION     |
| FL           | FLOWLINE                 |
| G            | GRADE                    |
| GB           | GRADE BREAK              |
| HP           | HIGH POINT               |
| LB           | LIGHT BASE               |
| LP           | LOW POINT                |
| MAX          | MAXIMUM                  |
| MIN          | MINIMUM                  |
| P            | PAVEMENT                 |
| TC           | TOP OF CURB              |
| TOW          | TOP OF WALL              |
| TYP          | TYPICAL                  |

**GRADING AND DRAINAGE NOTES:**

- WHERE THERE IS LANDSCAPE ADJACENT TO THE BUILDING EXTERIOR, THE FINISHED GRADE SHALL BE 6" MINIMUM BELOW THE FINISHED FLOOR ELEVATION OF THE BUILDING WITH THE TOP OF 3" BARK MULCH, PER LANDSCAPE PLANS, BEING 3" MINIMUM BELOW FINISHED FLOOR ELEVATION.
- BEST MANAGEMENT PRACTICES (SILT FENCE, ETC.) CAN BE INSTALLED IN STAGES TO COINCIDE WITH DISTURBANCE OF UPGRADIENT AREAS.
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**TRENCH EXCAVATION SAFETY PROTECTION:**

CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS, AND / OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND / OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

**GRADING KEY NOTES:**

- 2% MAXIMUM SLOPE IN ALL DIRECTIONS
- 5% MAXIMUM SLOPE IN DIRECTION OF TRAVEL, 2% MAXIMUM CROSS SLOPE
- 8.33% MAXIMUM SLOPE IN DIRECTION OF TRAVEL, 2% MAXIMUM CROSS SLOPE



**CITY APPROVAL STAMP**

HCAI # \_\_\_\_\_



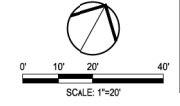
**ENTITLEMENTS SUBMITTAL**

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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

GRADING PLAN I



C2098.00  
AS SHOWN  
11/17/23

**C4.01**



**LEGEND**

|  |                         |
|--|-------------------------|
|  | GRADE SLOPE PERCENTAGE  |
|  | EXISTING GROUND CONTOUR |
|  | PROPOSED GROUND CONTOUR |
|  | GRADE BREAK             |
|  | RIDGE                   |

**GRADING LEGEND**

| ABBREVIATION | DESCRIPTION               |
|--------------|---------------------------|
| BW           | BACK OF WALK              |
| BOW          | BOTTOM OF WALL            |
| C            | CONCRETE                  |
| DG           | DECOMPOSED GRANITE        |
| EC           | EXISTING CONCRETE         |
| EFL          | EXISTING FLOWLINE         |
| EG           | EXISTING GROUND ELEVATION |
| EL           | EXISTING ELEVATION        |
| EP           | EXISTING PAVEMENT         |
| EX           | EXISTING                  |
| FF           | FINISHED FLOOR ELEVATION  |
| FG           | FINISH GROUND             |
| FP           | FINISH PAD ELEVATION      |
| FL           | FLOWLINE                  |
| G            | GRADE AND GRADE BREAK     |
| GB           | GRADE BREAK               |
| HP           | HIGH POINT                |
| LB           | LIGHT BASE                |
| LP           | LOW POINT                 |
| MAX          | MAXIMUM                   |
| MIN          | MINIMUM                   |
| P            | PAVEMENT                  |
| TC           | TOP OF CURB               |
| TOW          | TOP OF WALL               |
| TYP          | TYPICAL                   |

**GRADING AND DRAINAGE NOTES:**

- WHERE THERE IS LANDSCAPE ADJACENT TO THE BUILDING EXTERIOR, THE FINISHED GRADE SHALL BE 6" MINIMUM BELOW THE FINISHED FLOOR ELEVATION OF THE BUILDING WITH THE TOP OF 3" BARK MULCH, PER LANDSCAPE PLANS, BEING 3" MINIMUM BELOW FINISHED FLOOR ELEVATION.
- BEST MANAGEMENT PRACTICES (SILT FENCE, ETC.) CAN BE INSTALLED IN STAGES TO COINCIDE WITH DISTURBANCE OF UPGRADIENT AREAS.
- CONTOURS AND SPOT ELEVATIONS ON THIS PLAN REFLECT FINAL TOP OF PAVEMENT ELEVATIONS.
- SITE PREPARATION, GRADING, AND FILL SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- ALL FILL MATERIAL PROVIDED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING AND COMPACTING.
- NATURAL SUBGRADES TO SUPPORT FILL SHALL BE STRIPPED OF ALL VEGETATION OR ORGANIC TOPSOIL. ALL FILL SHALL BE CONSIDERED AS CONTROLLED FILL SUBJECT TO THE GEOTECHNICAL ENGINEERING REPORT FOR THIS PROJECT AND IS SUBJECT TO TESTING AND INSPECTION REQUIREMENTS AS APPROPRIATE FOR THE MATERIALS INVOLVED. A GEOTECHNICAL ENGINEER IS TO PERFORM COMPACTION INSPECTION AND COMPACTION TESTING DURING THE COURSE OF FILL PLACEMENT. ANY MATERIAL DEEMED TO BE UNSUITABLE SHALL BE HALLED OFF THE SITE BY THE CONTRACTOR AT HIS EXPENSE. THE GEOTECHNICAL ENGINEER WILL DETERMINE THE FREQUENCY AND TYPE OF TESTING AND INSPECTION REQUIRED IN ORDER TO PROPERLY CONTROL, COMPACTION OF FILL.
- POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
- ALL DISTURBED AREAS SHALL BE REVEGETATED, BY THE CONTRACTOR, IN ACCORDANCE WITH PROJECT SPECIFICATIONS, AND ARCHITECTURAL LANDSCAPING PLANS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS AND PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR BETTER, CONDITION ANY DAMAGES DONE TO EXISTING SIGNS, UTILITIES, PAVEMENT, CURBS, SIDEWALKS OR DRIVEWAYS.
- DUE TO FEDERAL REGULATION TITLE 49, PART 192.101, THE GAS UTILITY MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS, OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, AND APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL EXCAVATION IS UNCLASSIFIED.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED IN COMPLIANCE WITH TREE PERMIT.
- TOPSOIL STRIPPING MATERIALS TO BE RE-USED FOR REVEGETATION SHALL BE MAINTAINED IN ACCORDANCE WITH APPLICABLE POLLUTION PREVENTION PLANS OR PERMITS.
- WASTE MATERIALS, OR EXCESS TOPSOIL, GENERATED AS A RESULT OF CLEARING AND GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL OF ALL SPOIL SHALL BE AT THE CONTRACTOR'S EXPENSE.
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**TRENCH EXCAVATION SAFETY PROTECTION:**

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**GRADING KEY NOTES:**

- 1% MAXIMUM SLOPE IN ALL DIRECTIONS
- 2% MAXIMUM SLOPE IN DIRECTION OF TRAVEL, 2% MAXIMUM CROSS SLOPE
- 8.33% MAXIMUM SLOPE IN DIRECTION OF TRAVEL, 2% MAXIMUM CROSS SLOPE

**CITY APPROVAL STAMP**

HCAI #



**ENTITLEMENTS SUBMITTAL**

REVISION BY DATE

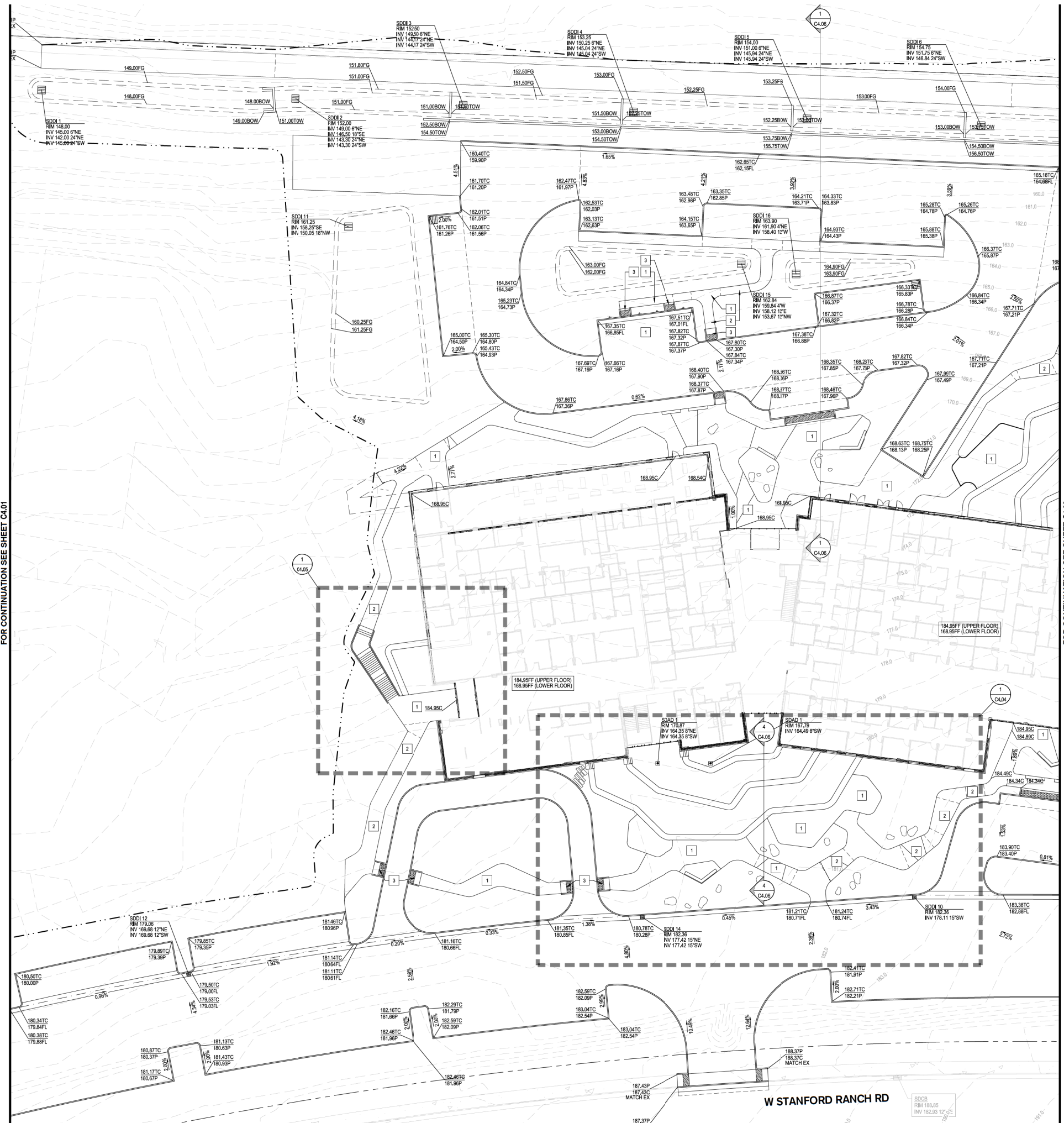
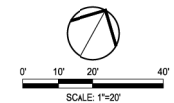
CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

GRADING PLAN II

C2098.00  
AS SHOWN  
11/17/23

C4.02



W STANFORD RANCH RD





**LEGEND**

|  |                         |
|--|-------------------------|
|  | GRADE SLOPE PERCENTAGE  |
|  | EXISTING GROUND CONTOUR |
|  | PROPOSED GROUND CONTOUR |
|  | GRADE BREAK             |
|  | RIDGE                   |

**GRADING LEGEND**

| ABBREVIATION | DESCRIPTION              |
|--------------|--------------------------|
| BW           | BACK OF WALL             |
| BOW          | BOTTOM OF WALL           |
| C            | CONCRETE                 |
| DG           | DECOMPOSED GRANITE       |
| EG           | EXISTING GROUND          |
| EFL          | EXISTING FLOWLINE        |
| EL           | EXISTING ELEVATION       |
| EP           | EXISTING PAVEMENT        |
| EX           | EXISTING                 |
| FF           | FINISHED FLOOR ELEVATION |
| FG           | FINISH GROUND            |
| FP           | FINISH PAD ELEVATION     |
| FL           | FLOWLINE                 |
| G            | GRASS AND                |
| GB           | GRADE BREAK              |
| HP           | HIGH POINT               |
| LB           | LIGHT BASE               |
| LP           | LOW POINT                |
| MAX          | MAXIMUM                  |
| MIN          | MINIMUM                  |
| P            | PAVEMENT                 |
| TC           | TOP OF CURB              |
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**GRADING KEY NOTES:**

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- 5% MAXIMUM SLOPE IN DIRECTION OF TRAVEL, 2% MAXIMUM CROSS SLOPE
- 8.33% MAXIMUM SLOPE IN DIRECTION OF TRAVEL, 2% MAXIMUM CROSS SLOPE

**CITY APPROVAL STAMP**

HCAI #



**ENTITLEMENTS SUBMITTAL**

THIS DRAWING IS NOT FINAL OR TO BE USED FOR CONSTRUCTION UNTIL IT IS SIGNED BY THE ARCHITECT/ENGINEER

REVISION BY DATE

CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

GRADING PLAN III

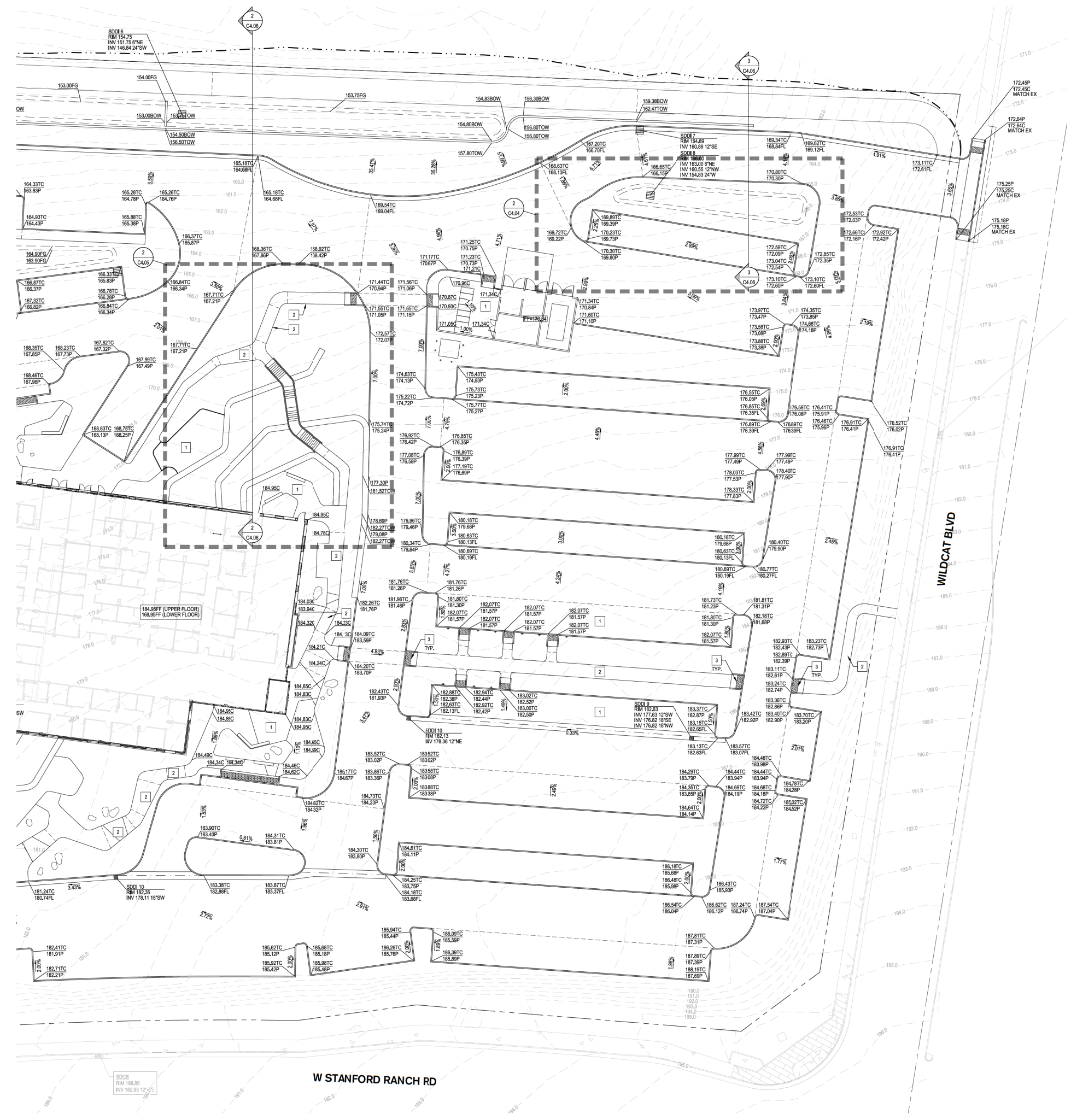
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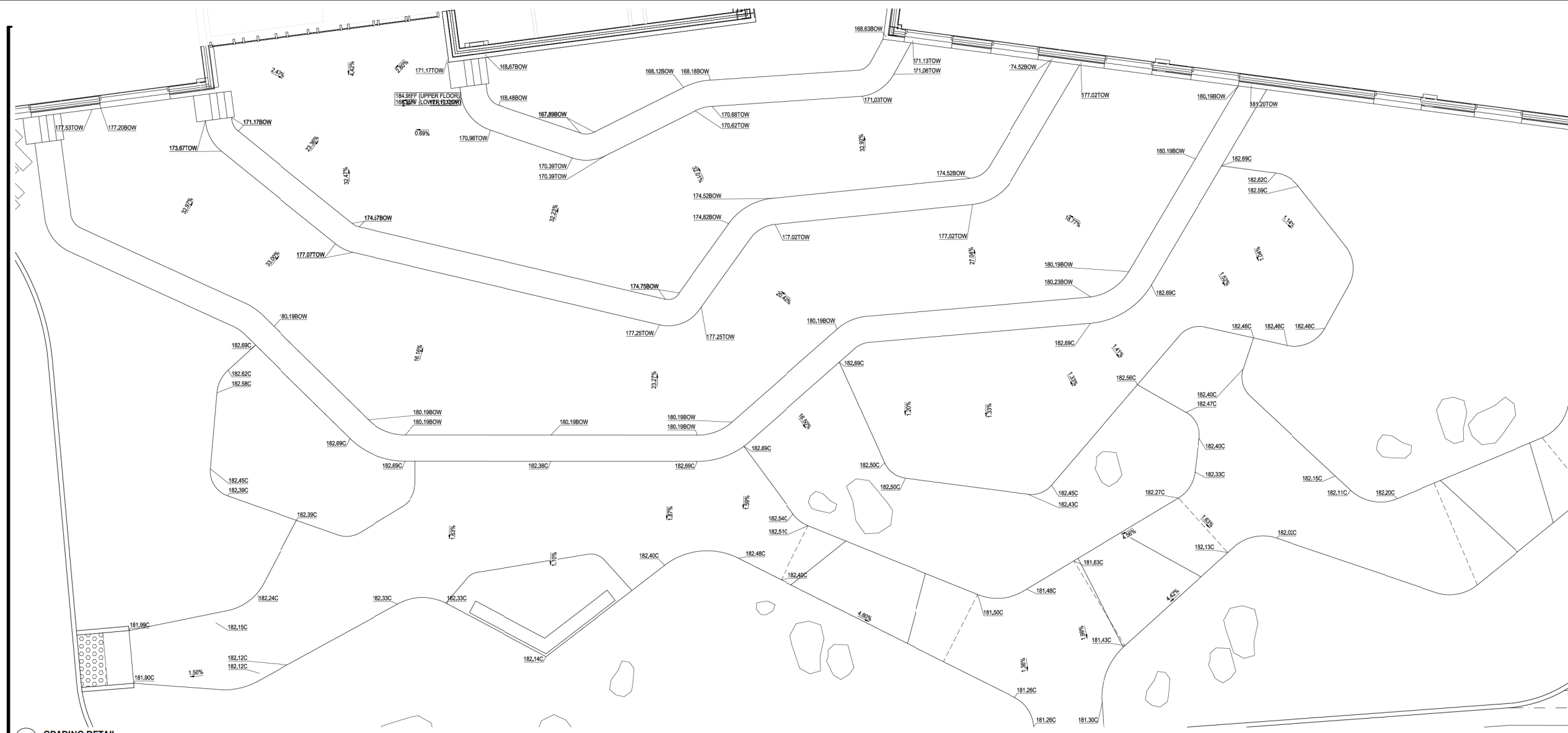
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W STANFORD RANCH RD

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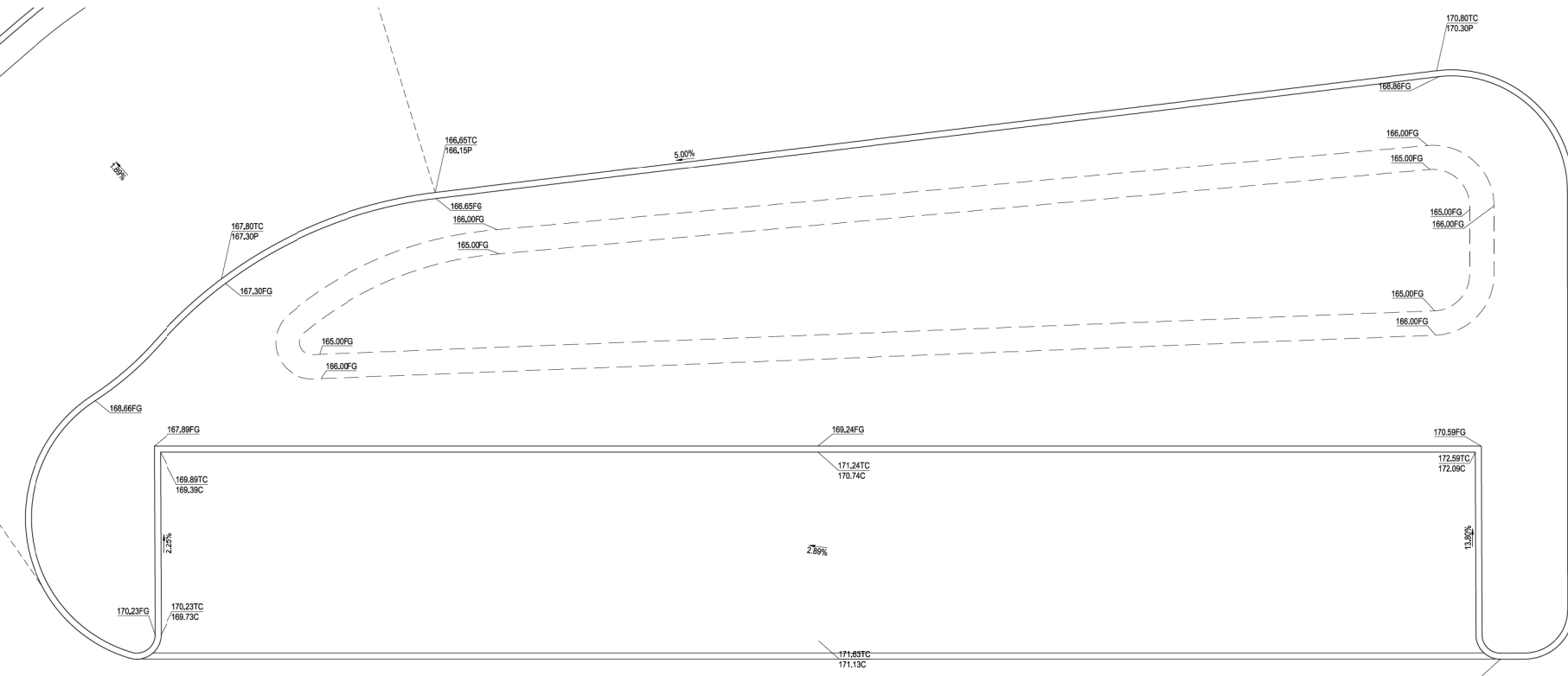


**1 GRADING DETAIL**  
SCALE: 1"=10'

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**2 GRADING DETAIL**  
SCALE: 1"=8'



CITY APPROVAL STAMP

HCAT # \_\_\_\_\_



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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

GRADING DETAILS I

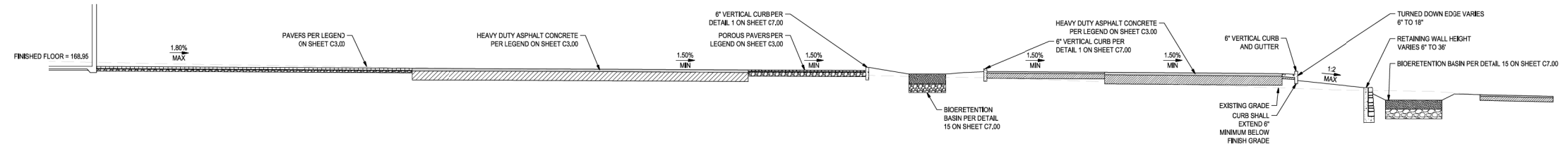


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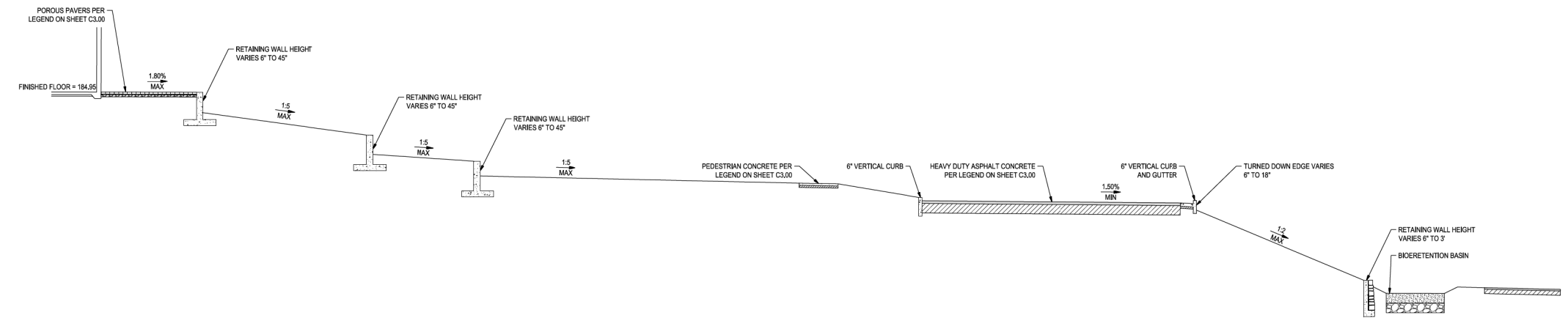
**C4.04**



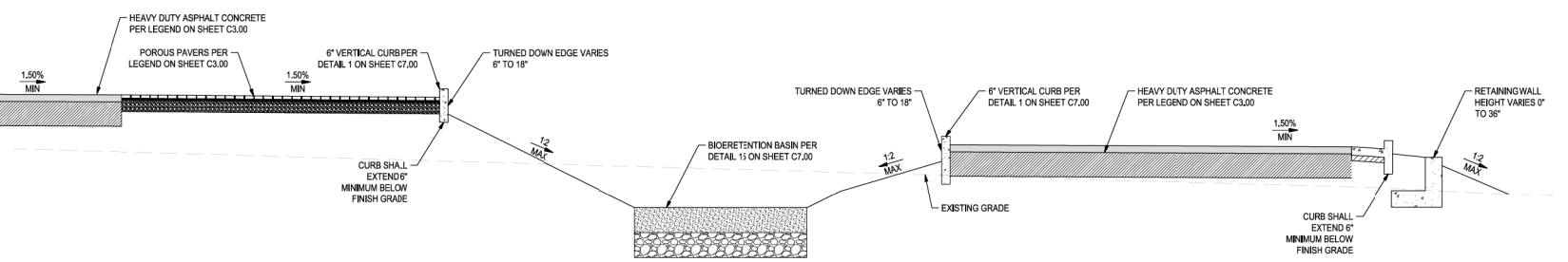




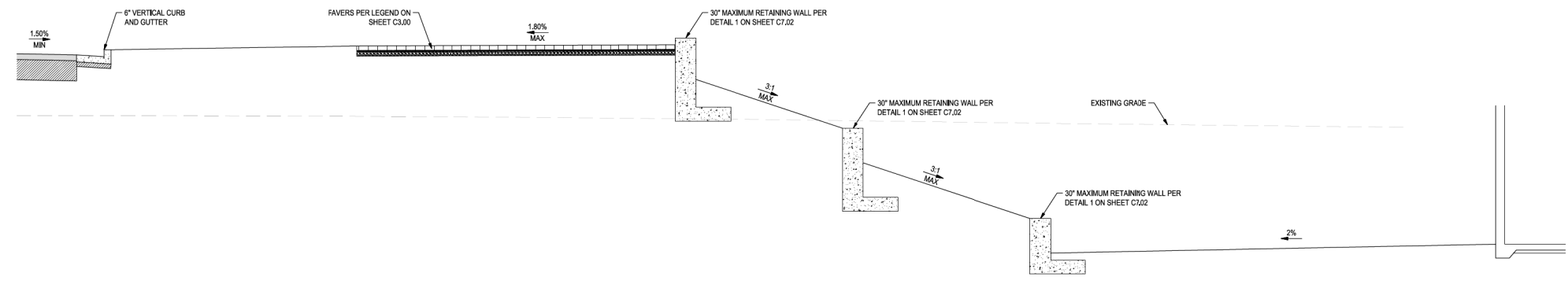
1 SECTION A-A  
SCALE: 1"=8'



2 SECTION B-B  
SCALE: 1"=8'



3 SECTION C-C  
SCALE: 1"=4'



4 SECTION D-D  
SCALE: 1"=4'

CITY APPROVAL STAMP

HCAI # \_\_\_\_\_



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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

GRADING DETAILS III



C2098.00  
AS SHOWN  
11/17/23

C4.06

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FOR CONTINUATION SEE SHEET C5.02

**UTILITY LEGEND:**

|                                       |                                  |
|---------------------------------------|----------------------------------|
| ● PROPOSED MANHOLE                    | —S— PROPOSED SANITARY SEWER LINE |
| ○ PROPOSED DRAIN INLET                | —SD— PROPOSED STORM DRAIN PIPE   |
| ⊕ SHUT OFF VALVE                      | —W— PROPOSED WATER LINE          |
| ⊕ WATER METER                         | —FS— PROPOSED FIRE SERVICE LINE  |
| ▲ PROPOSED FIRE DEPARTMENT CONNECTION | —FH— PROPOSED FIRE HYDRANT LINE  |
| ⊕ PROPOSED FIRE HYDRANT               | —RR— PROPOSED IRRIGATION LINE    |
| □ PROPOSED BACKFLOW PREVENTION DEVICE | —SD— EXISTING STORM DRAIN PIPE   |
| ○ EXISTING MANHOLE                    | —S— EXISTING SANITARY SEWER PIPE |
| □ EXISTING UTILITY BOX/VAULT          | —W— EXISTING WATER LINE          |
| □ EXISTING STORM DRAIN CATCH BASIN    | —OH— EXISTING OVERHEAD LINE      |
| ○ EXISTING STORM DRAIN INLET          | —AT&T— EXISTING AT&T LINE        |

- UTILITY CONSTRUCTION NOTES:**
1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT SHALL CONFORM TO ALL APPLICABLE CITY OF ROCKLIN STANDARD SPECIFICATIONS (LATEST EDITION) AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION).
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
  3. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON PLANS OR NOT.
  4. ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
  5. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CITY PUBLIC SERVICE MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
  6. ALL SPOIL AND OTHER UNSUITABLE MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR, AT HIS EXPENSE.
  7. EXTREME CAUTION SHALL BE USED WHEN NEAR PG&E FACILITIES. EXACT DEPTH AND LOCATION OF PG&E GAS MAIN UNKNOWN.
  8. WATER SERVICES NOT USED SHALL BE REMOVED AT THE MAIN. CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMIT FROM CITY OF STOCKTON FOR THIS WORK.
  9. PROVIDE AN 18 GAUGE (BLUE) TRACER WIRE WITH SITE PVC PIPING.

- EXISTING UTILITIES:**
1. EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.
  2. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WITHIN 48 HOURS PRIOR TO CONSTRUCTION TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
  3. THE CONTRACTOR NEEDS TO ALLOW FOR THE POSSIBILITY OF UNDETECTED UNDERGROUND UTILITIES. ALSO, THE CONTRACTOR MUST ALLOW FOR CHANGES DUE TO UTILITIES BEING IN LOCATIONS DIFFERENT FROM THOSE SHOWN ON THE UTILITY RECORD DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING CONFLICTS PRIOR TO CONSTRUCTION.
  4. THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS OF UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS IMMEDIATELY. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.

**TRENCH EXCAVATION SAFETY PROTECTION:**

CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN / GEOTECHNICAL / SAFETY / EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS, AND / OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND / OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND / OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

- UTILITY KEY NOTES:**
1. INSTALL 18"x18" STORM DRAIN INLET PER DETAIL 1, SHEET C7.01
  2. INSTALL STORM AREA DRAIN PER DETAIL 1, SHEET C7.01
  3. INSTALL STANDARD PRECAST STORM DRAIN MANHOLE PER CITY OF ROCKLIN STANDARD DRAWING NO. 44
  4. OUTFALL
  5. INSTALL 24" X 24" SQUARE STORM DRAIN INLET PER DETAIL 2, SHEET C7.01
  6. INSTALL 30" X 30" SQUARE STORM DRAIN INLET PER DETAIL 2, SHEET C7.01
  7. INSTALL SANITARY SEWER CLEANOUT
  8. HEADWALL PER DETAIL 5 ON SHEET C7.01
  9. CONNECT TO EXISTING WATER LINE PER PLACER COUNTY WATER AGENCY
  10. CONNECT TO EXISTING SANITARY SEWER MANHOLE PER CITY OF ROCKLIN STANDARDS
  11. INSTALL THRUST BLOCK PER SHEET 19, DETAIL C7.00
  12. INSTALL GATE VALVE AND BOX PER PLACER COUNTY WATER AGENCY STANDARD DRAWING NO. 5109
  13. INSTALL FIRE HYDRANT PER DETAIL 16, SHEET C7.20
  14. INSTALL 8" BACKFLOW PREVENTION DEVICE PER DETAIL X, SHEET X
  15. INSTALL 12" BACKFLOW PREVENTION DEVICE PER DETAIL X, SHEET X
  16. STUB 4" DOMESTIC WATER LINE TO BUILDING. SEE PLUMBING PLANS BY OTHERS FOR CONTINUATION
  17. SANITARY SEWER POINT OF CONNECTION TO BUILDING
  18. INSTALL STORM DRAIN CLEANOUT
  19. INSTALL FIRE DEPARTMENT CONNECTION
  20. INSTALL 4" BACKFLOW PREVENTION DEVICE AND WATER METER PER DETAIL X, SHEET X
  21. INSTALL BACKFLOW PREVENTION DEVICE AND WATER METER PER DETAIL X, SHEET X. SEE LANDSCAPE PLANS FOR CONTINUATION



**CITY APPROVAL STAMP**  
HCAT #



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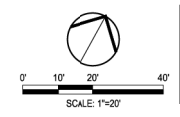
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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

UTILITY PLAN I

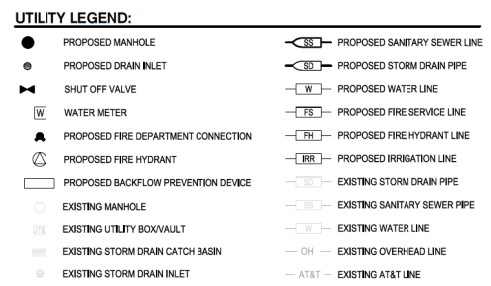


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AS SHOWN  
11/17/23

**C5.01**

FOR CONTINUATION SEE SHEET C5.01

FOR CONTINUATION SEE SHEET C5.03



- UTILITY CONSTRUCTION NOTES:**
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  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
  - CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON PLANS OR NOT.
  - ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
  - DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.181, CITY PUBLIC SERVICE MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
  - ALL SPOIL AND OTHER UNSUITABLE MATERIAL FROM THIS WORK SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR, AT HIS EXPENSE.
  - EXTREME CAUTION SHALL BE USED WHEN NEAR PG&E FACILITIES. EXACT DEPTH AND LOCATION OF PG&E GAS MAIN UNKNOWN.
  - WATER SERVICES NOT USED SHALL BE REMOVED AT THE MAIN. CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMIT FROM CITY OF STOCKTON FOR THIS WORK.
  - PROVIDE AN 18 GAUGE (BLUE) TRACER WIRE WITH SITE PVC PIPING.

- EXISTING UTILITIES:**
- EXISTING UTILITY DATA SHOWN ON THIS LAYOUT WAS OBTAINED FROM A SURVEY OF THE VISIBLE FEATURES AT THE SITE AND PUBLIC RECORD MAPS OBTAINED FROM UTILITY COMPANIES.
  - THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WITHIN 48 HOURS PRIOR OF CONSTRUCTION TO LOCATE AND TAG THEIR UNDERGROUND FACILITIES PRIOR TO EXCAVATION.
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  - OUTFALL
  - INSTALL 24" X 24" SQUARE STORM DRAIN INLET PER DETAIL 2, SHEET C7.01
  - INSTALL 30" X 30" SQUARE STORM DRAIN INLET PER DETAIL 2, SHEET C7.01
  - INSTALL SANITARY SEWER CLEANOUT
  - HEADWALL PER DETAIL 5 ON SHEET C7.01
  - CONNECT TO EXISTING WATER LINE PER PLACER COUNTY WATER AGENCY
  - CONNECT TO EXISTING SANITARY SEWER MANHOLE PER CITY OF ROCKLIN STANDARDS
  - INSTALL THRUST BLOCK PER SHEET 19, DETAIL C7.00
  - INSTALL GATE VALVE AND BOX PER PLACER COUNTY WATER AGENCY STANDARD DRAWING NO. 5109
  - INSTALL FIRE HYDRANT PER DETAIL 16, SHEET C7.00
  - INSTALL 8" BACKFLOW PREVENTION DEVICE PER DETAIL X, SHEET X
  - INSTALL 12" BACKFLOW PREVENTION DEVICE PER DETAIL X, SHEET X
  - STUB 4" DOMESTIC WATER LINE TO BUILDING. SEE PLUMBING PLANS BY OTHERS FOR CONTINUATION
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  - INSTALL BACKFLOW PREVENTION DEVICE AND WATER METER PER DETAIL X, SHEET X. SEE LANDSCAPE PLANS FOR CONTINUATION



**CITY APPROVAL STAMP**  
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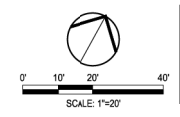
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CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

UTILITY PLAN II



C2098.00  
AS SHOWN  
11/17/23

C5.02



**UTILITY LEGEND:**

- PROPOSED MANHOLE
- PROPOSED DRAIN INLET
- ⊘ SHUT OFF VALVE
- ⊘ WATER METER
- ⊘ PROPOSED FIRE DEPARTMENT CONNECTION
- ⊘ PROPOSED FIRE HYDRANT
- ⊘ PROPOSED BACKFLOW PREVENTION DEVICE
- EXISTING MANHOLE
- EXISTING UTILITY BOX/VAULT
- EXISTING STORM DRAIN CATCH BASIN
- EXISTING STORM DRAIN INLET
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM DRAIN PIPE
- PROPOSED WATER LINE
- PROPOSED FIRE SERVICE LINE
- PROPOSED FIRE HYDRANT LINE
- PROPOSED IRRIGATION LINE
- EXISTING STORM DRAIN PIPE
- EXISTING SANITARY SEWER PIPE
- EXISTING WATER LINE
- EXISTING OVERHEAD LINE
- EXISTING AT&T LINE

**UTILITY CONSTRUCTION NOTES:**

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13. INSTALL FIRE HYDRANT PER DETAIL 16, SHEET C7.20
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15. INSTALL 12" BACKFLOW PREVENTION DEVICE PER DETAIL X, SHEET X
16. STUB 4" DOMESTIC WATER LINE TO BUILDING. SEE PLUMBING PLANS BY OTHERS FOR CONTINUATION
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**CITY APPROVAL STAMP**

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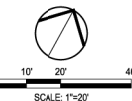
CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

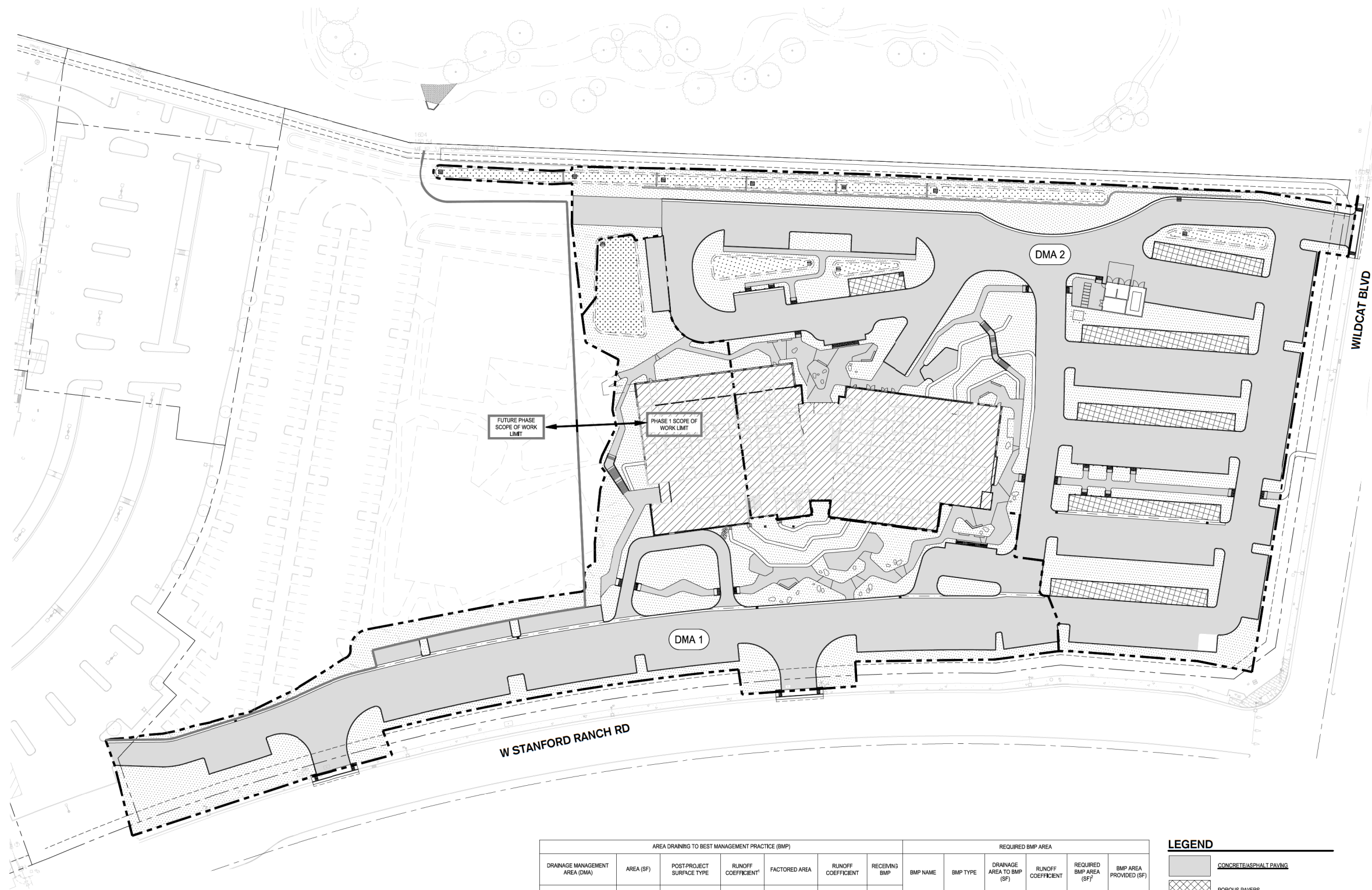
WEST STANFORD RANCH ROAD  
ROCKLIN, CA

UTILITY PLAN III

C2098.00  
AS SHOWN  
11/17/23

C5.03





CITY APPROVAL STAMP

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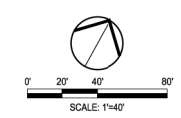
REVISION BY DATE

| AREA DRAINING TO BEST MANAGEMENT PRACTICE (BMP) |           |                           |                                 |               |                    |               | REQUIRED BMP AREA |              |                           |                    |                                     |                        |
|---|-----------|---------------------------|---------------------------------|---------------|--------------------|---------------|-------------------|--------------|---------------------------|--------------------|-------------------------------------|------------------------|
| DRAINAGE MANAGEMENT AREA (DMA)                  | AREA (SF) | POST-PROJECT SURFACE TYPE | RUNOFF COEFFICIENT <sup>1</sup> | FACTORED AREA | RUNOFF COEFFICIENT | RECEIVING BMP | BMP NAME          | BMP TYPE     | DRAINAGE AREA TO BMP (SF) | RUNOFF COEFFICIENT | REQUIRED BMP AREA (SF) <sup>2</sup> | BMP AREA PROVIDED (SF) |
| DMA 1   | 3911      | BIORETENTION BASIN        | 1.00                            | 3911          | 0.66               | BMP 1-B       | DMA 1             | BIORETENTION | 141215                    | 0.66               | 3728                                | 3908                   |
|   | 69907     | CONCRETE/ASPHALT          | 1.00                            | 69907         |                    |               |                   |              |                           |                    |                                     |                        |
|   | 0         | POROUS PAVERS             | 0.00                            | 0             |                    |               |                   |              |                           |                    |                                     |                        |
|   | 14347     | ROOF                      | 1.00                            | 14347         |                    |               |                   |              |                           |                    |                                     |                        |
|   | 53050     | LANDSCAPE                 | 0.10                            | 5305          |                    |               |                   |              |                           |                    |                                     |                        |
| DMA 2   | 8513      | BIORETENTION BASIN        | 1.00                            | 8513          | 0.72               | BMP 2-B       | DMA 2             | BIORETENTION | 232825                    | 0.72               | 6705                                | 8513                   |
|   | 122193    | CONCRETE/ASPHALT          | 1.00                            | 122193        |                    |               |                   |              |                           |                    |                                     |                        |
|   | 12618     | POROUS PAVERS             | 0.00                            | 0             |                    |               |                   |              |                           |                    |                                     |                        |
|   | 30918     | ROOF                      | 1.00                            | 30918         |                    |               |                   |              |                           |                    |                                     |                        |
|   | 58583     | LANDSCAPE                 | 0.10                            | 5858          |                    |               |                   |              |                           |                    |                                     |                        |

NOTES:  
1. RUNOFF COEFFICIENTS PER THE CITY OF ROCKLIN POST CONSTRUCTION MANUAL: DESIGN GUIDANCE FOR STORMWATER TREATMENT AND CONTROL FOR PROJECTS IN THE CITY OF ROCKLIN, TABLE 4.1 SHEET 16.  
2. THE REQUIRED AREA IS DEFINED AS 4 PERCENT OF THE ADJUSTED TRIBUTARY AREA OF THE DMA PER THE CITY OF ROCKLIN POST CONSTRUCTION MANUAL: DESIGN GUIDANCE FOR STORMWATER TREATMENT AND CONTROL, FOR PROJECTS IN THE CITY OF ROCKLIN, CHAPTER 4.

**LEGEND**

- CONCRETE/ASPHALT PAVING
- POROUS PAVERS
- ROOF
- BIORETENTION AREA: BMP 1-B
- BIORETENTION AREA: BMP 2-B
- LANDSCAPE
- DRAINAGE MANAGEMENT AREA (DMA)
- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY



CHAPA-DE INDIAN HEALTH PROGRAM  
CHAPA-DE ROCKLIN  
HEALTH CENTER

WEST STANFORD RANCH ROAD  
ROCKLIN, CA

STORMWATER  
MANAGEMENT PLAN

C2098.00  
AS SHOWN  
11/17/23

C5.04



**EROSION CONTROL GENERAL NOTES**

- PLANS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW ALL OFFSETS. THE SITE IS DYNAMIC AND CHANGES ON A DAILY BASIS. CHANGES SHOULD BE MADE ACCORDING TO EXISTING CONDITIONS. BECAUSE IT IS IMPOSSIBLE TO PREDICT ALL POSSIBLE SITUATIONS, CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES TO ENSURE QUALITY CONTROL.
- THE CONTRACTOR SHALL REVIEW THE CURRENT STORM WATER POLLUTION PREVENTION PLAN (SWPPP). IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY FOR CONDUCTING HISHER OPERATIONS IN ADHERENCE TO THE SWPPP. THE CONTRACTOR IS RESPONSIBLE FOR ANY FINES, DELAYS, AND/OR DAMAGES RESULTING FROM ANY STATE WATER QUALITY CONTROL BOARD SANCTIONS CAUSED BY THE OPERATION OF THE CONTRACTOR OR HISHER SUBCONTRACTORS.
- THE FOLLOWING PLANS ARE ACCURATE FOR EROSION CONTROL PURPOSES ONLY. THE CONTRACTOR SHALL FOLLOW THESE PLANS UNLESS FIELD CONDITIONS DICTATE MODIFICATION. IF MODIFICATION IS NECESSARY, A SWPPP AMENDMENT MUST BE DONE. THIS MAY REQUIRE MODIFICATION TO THESE DRAWINGS AND ENGINEER CONFORMANCE.
- INSPECT AND REPAIR FILTERS AFTER EACH STORM EVENT. REMOVE SEDIMENT WHEN 1/2 OF THE FILTER DEPTH HAS BEEN FILLED. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA TRIBUTARY TO A SEDIMENT BASIN OR OTHER FILTERING MEASURE. SEDIMENT AND GRAVEL SHALL BE IMMEDIATELY REMOVED FROM PAVEMENT OF ROAD.
- UNFINISHED AND DISTURBED ARE TO BE PROTECTED WITH AN APPLICATION OF BLOWN STRAW AND ORGANIC BINDER.
 

| ITEM           | SI/ACRE |
|----------------|---------|
| STRAW          | 1,000   |
| ORGANIC BINDER | 200     |
- ALTERNATE INLET PROTECTION SHALL BE USED ON ROADS OPEN TO THE PUBLIC IF ANY HAZARDOUS MATERIALS OR WASTES WHICH HAVE BEEN TREATED, STORED, DISPOSED, SPILLED, OR LEAKED IN SIGNIFICANT QUANTITIES ONTO THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE THEM FROM THE SITE AND DISPOSE OF PROPERLY.
- CHLORINATED OR DECHLORINATED WATER SHALL NOT BE DISCHARGED INTO THE STORM DRAIN SYSTEM. THE CONTRACTOR MAY DISPOSE THIS WATER INTO THE SANITARY SEWER SYSTEM UPON APPROVAL BY THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL KEEP MAINTENANCE, INSPECTION, AND REPAIR PROCEDURES TO ENSURE THAT ALL GRADED SURFACES, WALLS, BERMS, DRAINAGE STRUCTURES, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER CONTROLS ARE MAINTAINED IN GOOD AND EFFECTIVE CONDITION AND ARE PROMPTLY REPAIRED OR RESTORED WHEN NECESSARY. ANY DEWATERING WATER SHALL NOT BE DISCHARGED DIRECTLY INTO THE STORM WATER SYSTEM, AND SHALL NOT BE DISCHARGED INTO THE SEWER SYSTEM.
- ALL DEWATERING WATER MUST BE CHANNELLED THROUGH AN APPROVED SEDIMENT BARRIER PRIOR TO THE WATER ENTERING THE STORM SYSTEM.
- PAVEMENT CLEANING- FLUSHING OF STREETS/ PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS SHALL BE CONTROLLED AND PROHIBITED FROM ENTERING THE STORM DRAIN SYSTEM. PREFERABLY, AREAS REQUIRING CLEANING SHOULD BE SEWPT.
- ALL STOCKPILES OF MATERIALS THAT ARE NOT GOING TO BE USED FOR 14 DAYS SHALL BE COVERED.
- REFER TO SECTION 01 57 23 STORM WATER POLLUTION PREVENTION FOR EROSION CONTROL REQUIREMENTS.
- CONTRACTOR TO USE BEST MANAGEMENT PRACTICES (BMPs) THROUGHOUT CONSTRUCTION. USE ALL BMPs THAT APPLY TO THE PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING BMPs:
  - DRAIN INLET PROTECTION - CALIFORNIA STORMWATER BMP HANDBOOK SECTION SE-10
  - SOLID WASTE MANAGEMENT - CALIFORNIA STORMWATER BMP HANDBOOK SECTION WM-5
  - MATERIAL STORAGE - CALIFORNIA STORMWATER BMP HANDBOOK SECTION WM-1
  - PAVING - CALIFORNIA STORMWATER BMP HANDBOOK SECTION IS-3
  - DUST CONTROL, SEDIMENT CONTROL, EROSION CONTROL AND CONCRETE WASHOUT AREAS - SHOWN ON THIS SHEET WITH DETAILS
- ALL TEMPORARY ROADWAY ROCK SHALL BE REMOVED PRIOR TO COMMENCING LANDSCAPE WORK ON SITE.

**EROSION CONTROL LEGEND**

| SYMBOL | DESCRIPTION  |
|--------|--|
|        | FIBER ROLLED WATTLE. REFER TO DETAIL 1, THIS SHEET.              |
|        | DRAIN INLET PROTECTION TYPE 3. REFER TO DETAIL 3, THIS SHEET     |
|        | STABILIZED CONSTRUCTION ENTRANCE. REFER TO DETAIL 4, THIS SHEET. |
|        | CONCRETE WASHOUT. REFER TO DETAIL 2, THIS SHEET.                 |

**CITY APPROVAL STAMP**

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CHAPA-DE ROCKLIN  
HEALTH CENTER

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ROCKLIN, CA

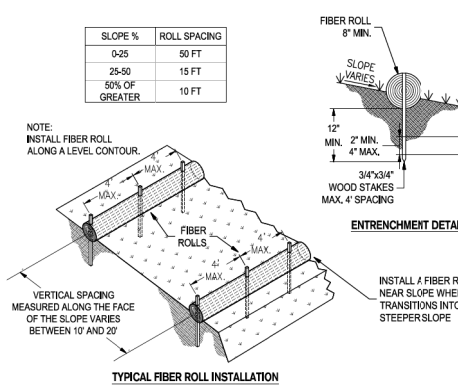
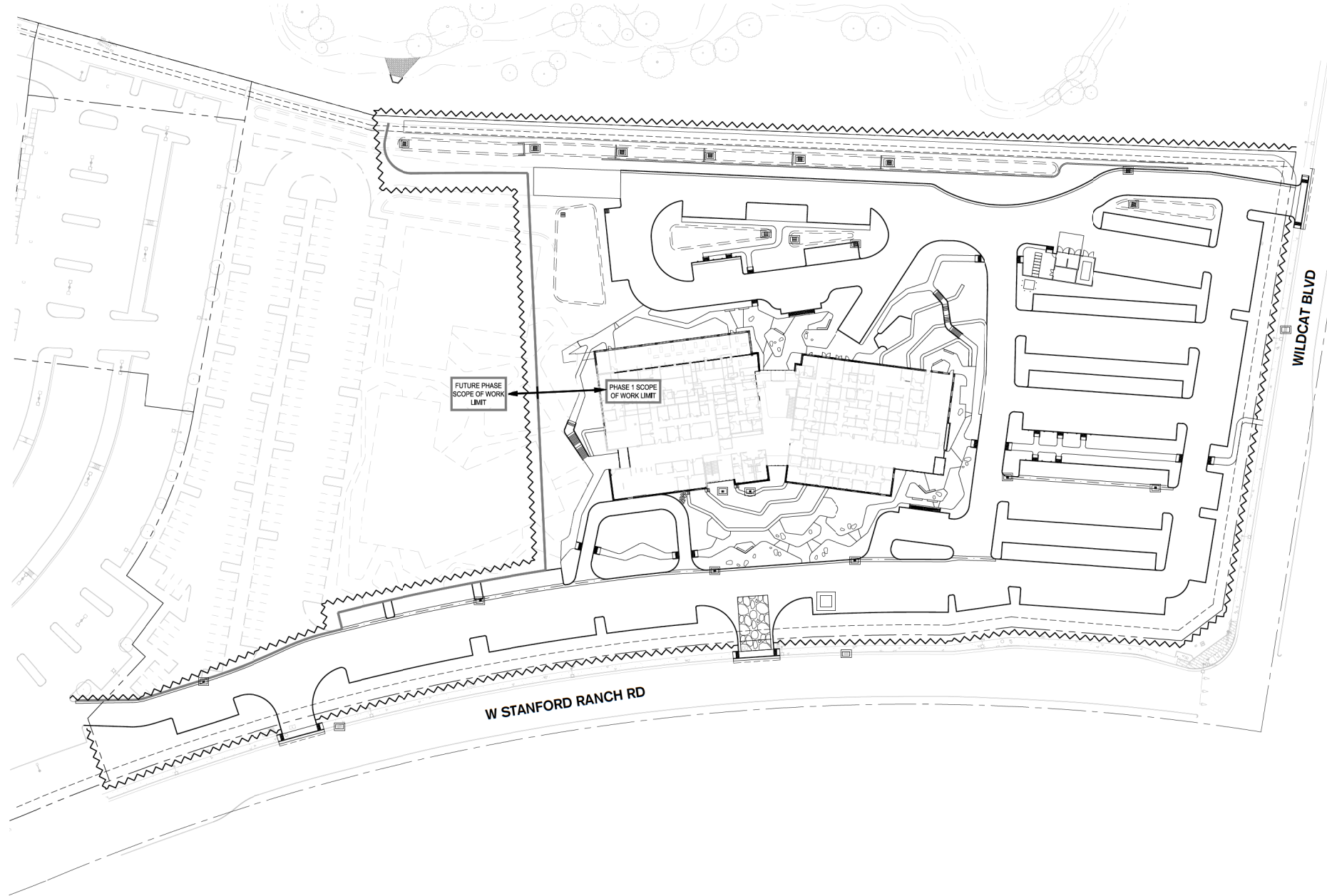
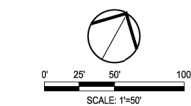
**EROSION CONTROL PLAN**

C2098.00  
AS SHOWN  
11/17/23

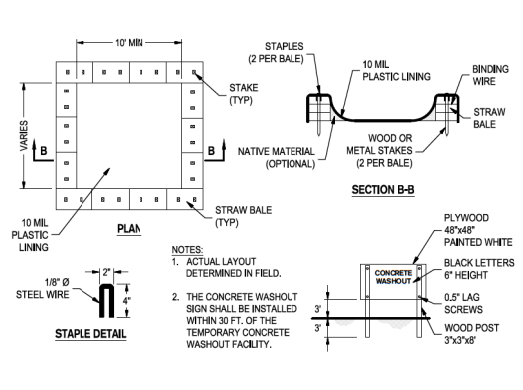
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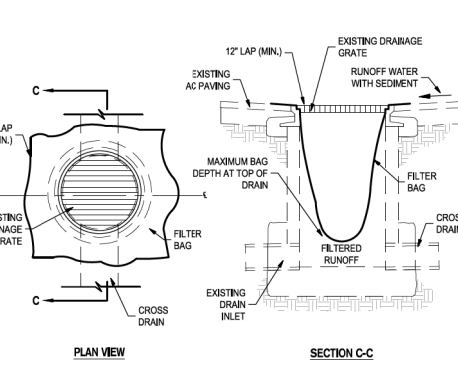
Know what's below.  
Call before you dig.



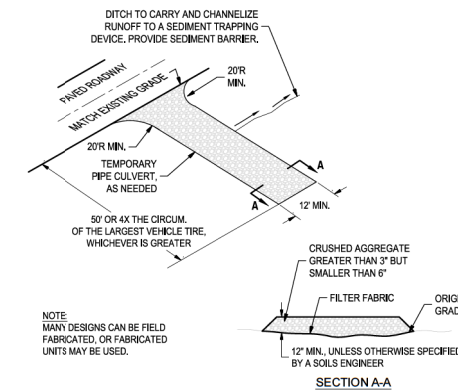
**1 FIBER ROLLS**  
NO SCALE



**2 CONCRETE WASHOUT**  
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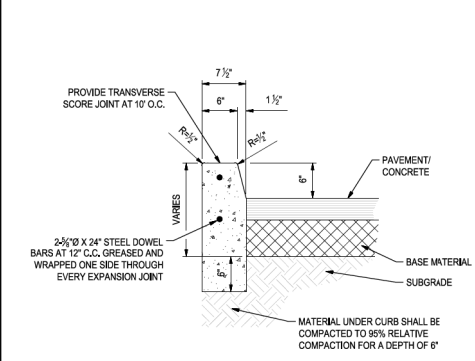


**3 TEMPORARY GRAVEL BAG FILTER AT DROP INLET**  
NO SCALE

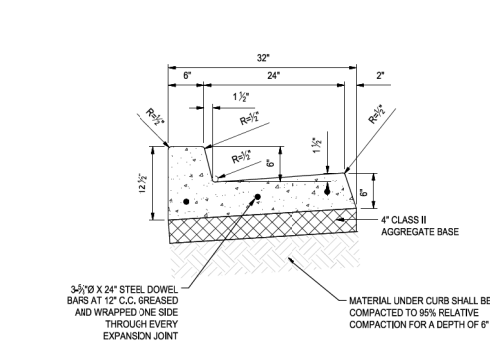


**4 STABILIZED CONSTRUCTION ENTRANCE/EXIT**  
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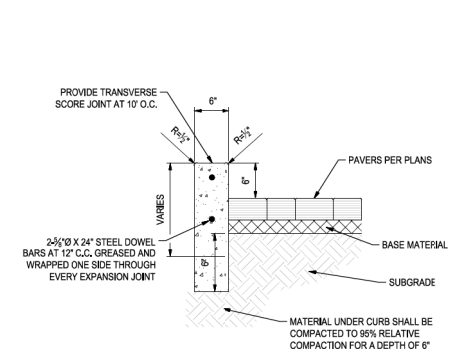
F:\23PROJECTS\22555 CHAPA-DE INDIAN HEALTH SOUTH PLAZER CLINIC\PLANS AND GRAPHICS\IMPROVEMENT PLANS\22555-C6-00 EROSION CONTROL PLAN.DWG 2/6/2023 12:28:59 PM



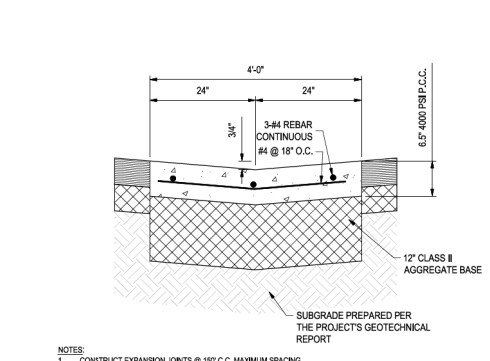
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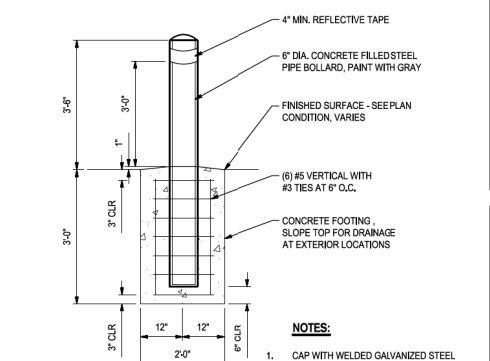
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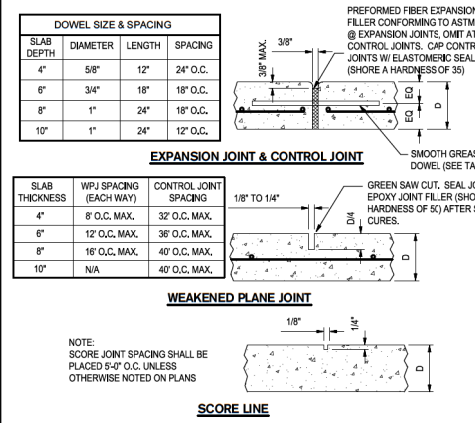
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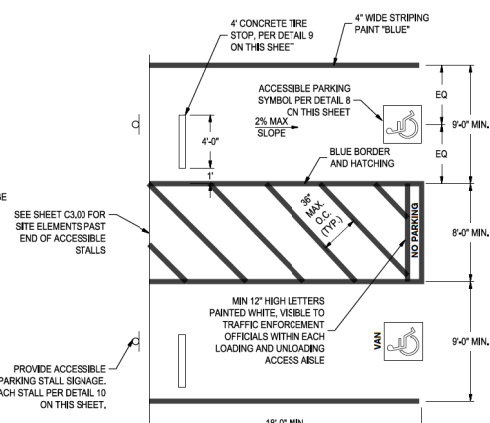
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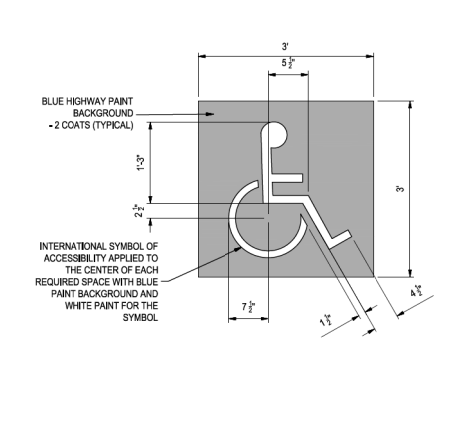
**5 STEEL BOLLARD**  
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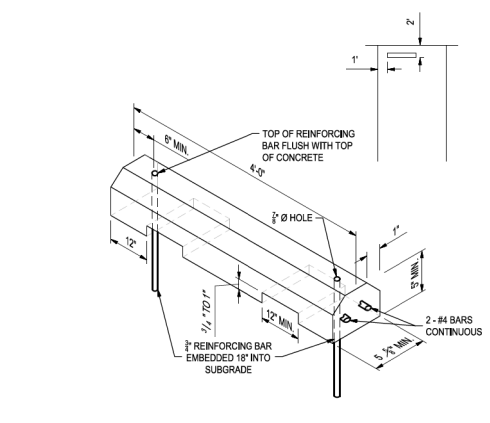
**6 TYPICAL CONCRETE JOINT DETAILS**  
NO SCALE



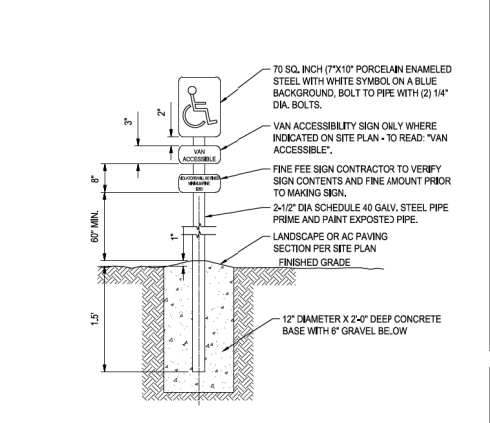
**7 ACCESSIBLE PARKING DETAIL**  
NO SCALE



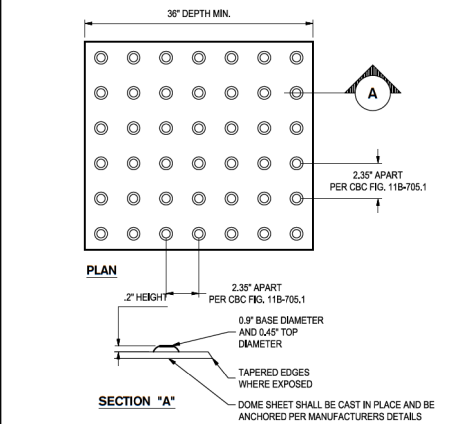
**8 ACCESSIBLE PARKING SYMBOL**  
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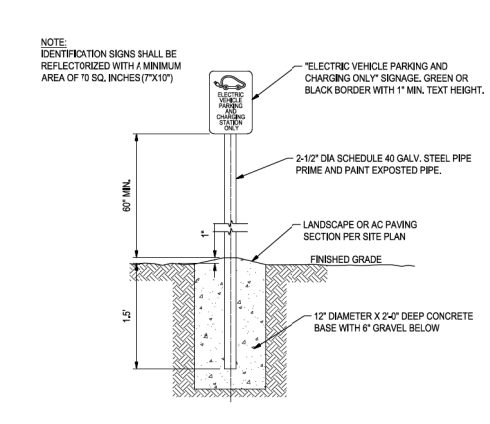
**9 4\"/>**



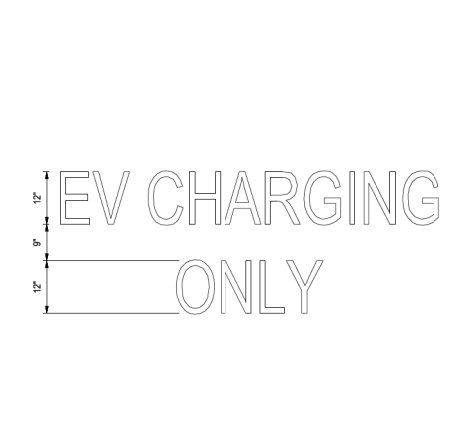
**10 ACCESSIBLE PARKING SIGNAGE**  
NO SCALE



**11 TRUNCATED DOMES**  
NO SCALE



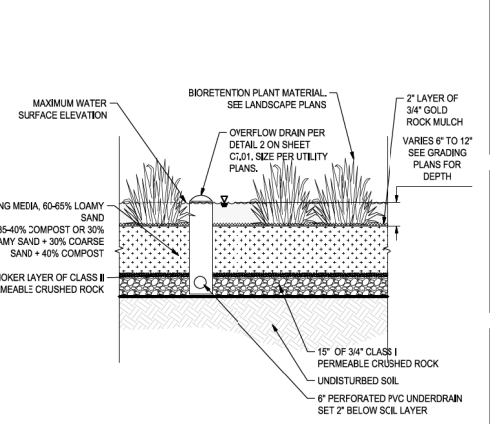
**12 ELECTRIC VEHICLE PARKING SIGNAGE**  
NO SCALE



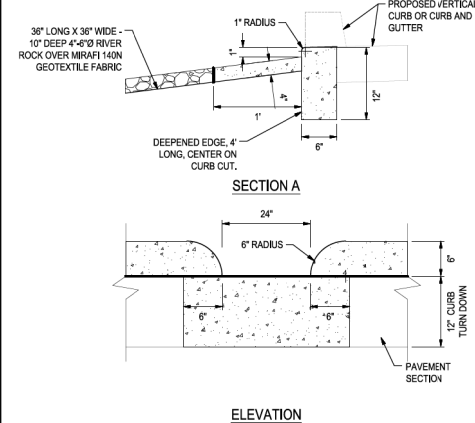
**13 EV PARKING STALL PAVEMENT MARKING**  
NO SCALE



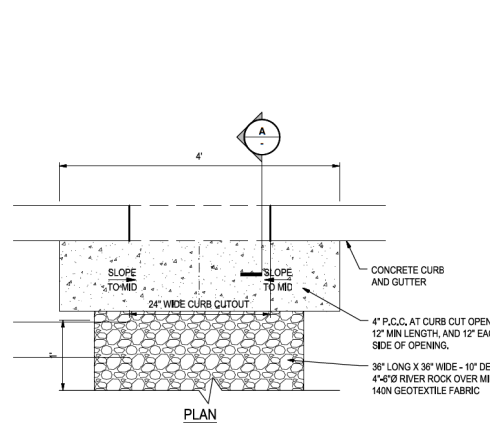
**14 CLEAN AIR/EV/VANPOOL PARKING STALL PAVEMENT MARKING**  
NO SCALE



**15 BIO-RETENTION SECTION**  
NO SCALE



**16 CONCRETE CURB CUT**  
NOT TO SCALE



**16 CONCRETE CURB CUT**  
NOT TO SCALE

**CITY APPROVAL STAMP**  
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DETAILS I



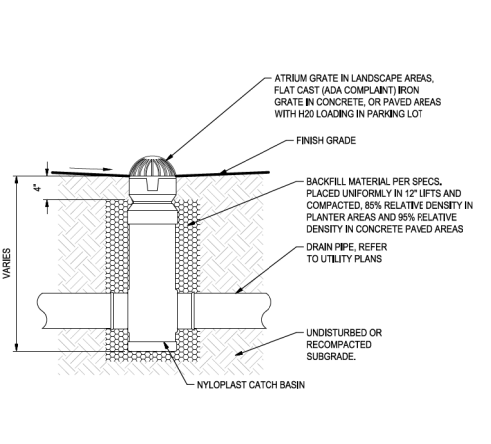
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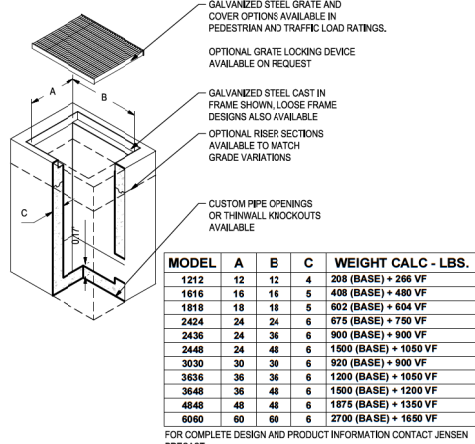
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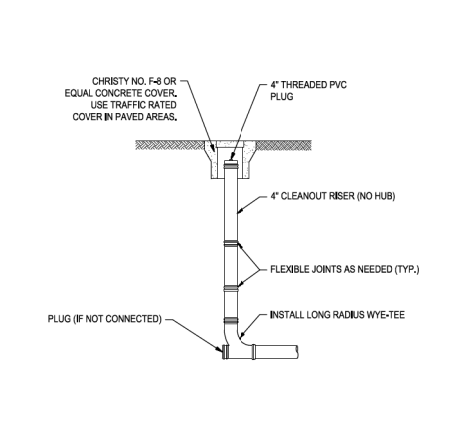




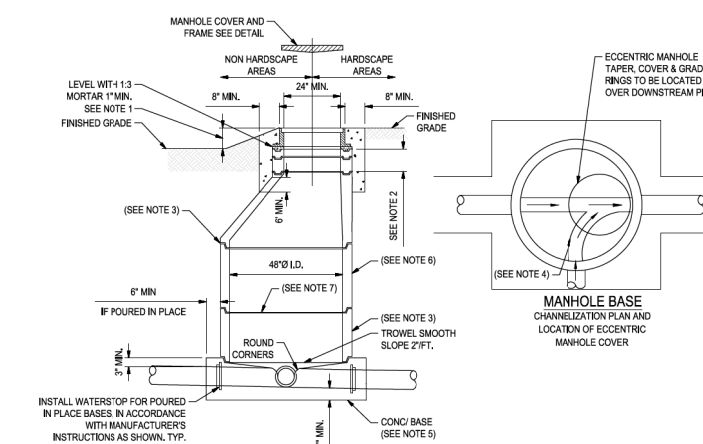
**1 AREA DRAIN**  
NOT TO SCALE



**2 SQUARE DRAIN INLET**  
NO SCALE

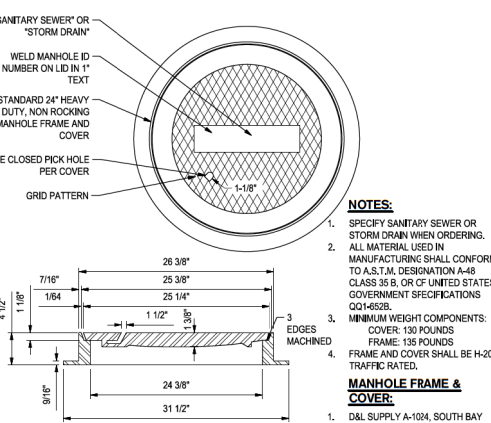


**3 CLEANOUT**  
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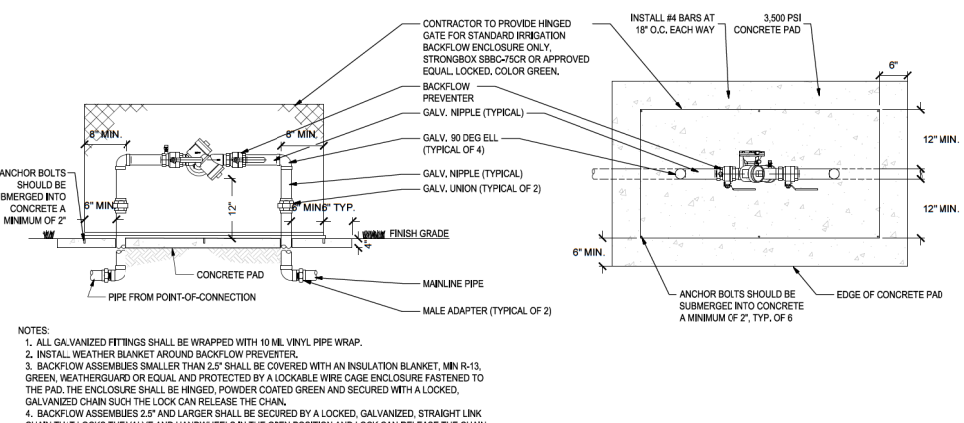


**4 MANHOLE**  
NO SCALE

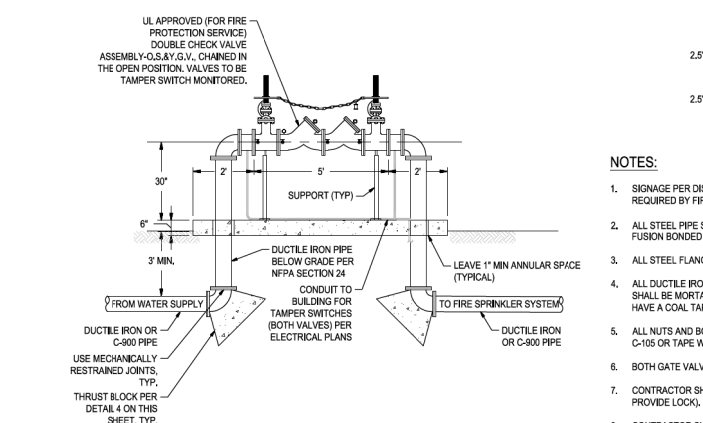
- NOTES:**
- WHEN MANHOLES ARE INSTALLED IN UNIMPROVED AREAS, THE TOP OF THE COVER SHALL BE A MIN. OF 6" ABOVE GRADE (1.5 IN DG AREAS). SLOPE @ 1:2 TO MATCH FINISH GRADE.
  - MIN. OF ONE 3" GRADE ADJUSTMENT RING, MAX. HEIGHT OF GRADE ADJUSTMENT RINGS = 2". ALTERNATIVELY, CONTRACTOR MAY CAST GRADE ADJUSTMENT RINGS IN PLACE.
  - SET ALL BARREL SECTIONS & TAPER SECTIONS IN PLASTIC GASKET, RAMMEK OR EQUAL TYPICAL JOINT USE (1) 3/4"x1/2" RAMMEK SEAL, OR EQUAL 6" WIDE GROUT BAND ON INSIDE & OUTSIDE.
  - AFTER LOWER RING SECTION IS SET, CUT OUT TOP HALF OF PIPE FLUSH WITH INSIDE FACE OF M.W. WALL AND CONSTRUCT SHELF & U-SHAPED CHANNEL. MAKE ELEVATION CHANGES GRADUALLY AND DIRECTIONAL CHANGES WITH SMOOTH CURVES. SLOPE AND SIZE OF CHANNELS SHALL MATCH UPSTREAM AND DOWNSTREAM PIPES. MANHOLE CHANNELS WITH A HORIZONTAL CHANGE IN DIRECTION OF 30° OR MORE SHALL HAVE A MIN. DROP OF 0.1' ACROSS THE MANHOLE OR SHALL MATCH THE SLOPE OF THE PIPE, WHICHEVER IS GREATER.
  - POURED-IN-PLACE BASE SHALL BE POURED FULL THICKNESS ON UNDISTURBED SOIL. PRECAST BASE SHALL BE PLACE ON 6" MIN. OF 3/4" DRAIN ROCK INSTALLED AGAINST UNDISTURBED EARTH.
  - STANDARD MANHOLE BARREL SECTION PER ASTM C478.
  - 48" I.D. M.H. TO BE USED FOR ALL MAINS LESS THAN 21" Ø. 60" I.D. M.H. TO BE USED FOR ALL MAINS 21" Ø TO 48" Ø OR WHERE INSIDE DROP FITTINGS ARE USED.



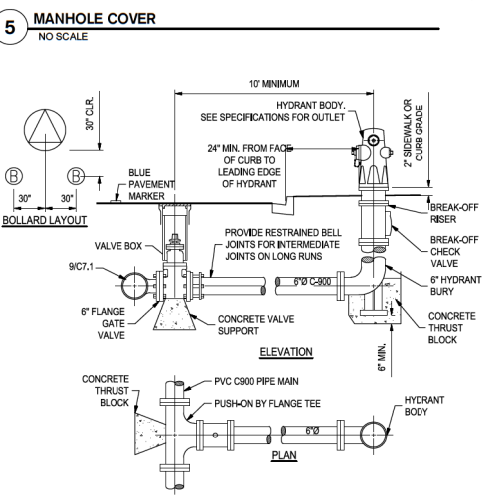
**5 MANHOLE COVER**  
NO SCALE



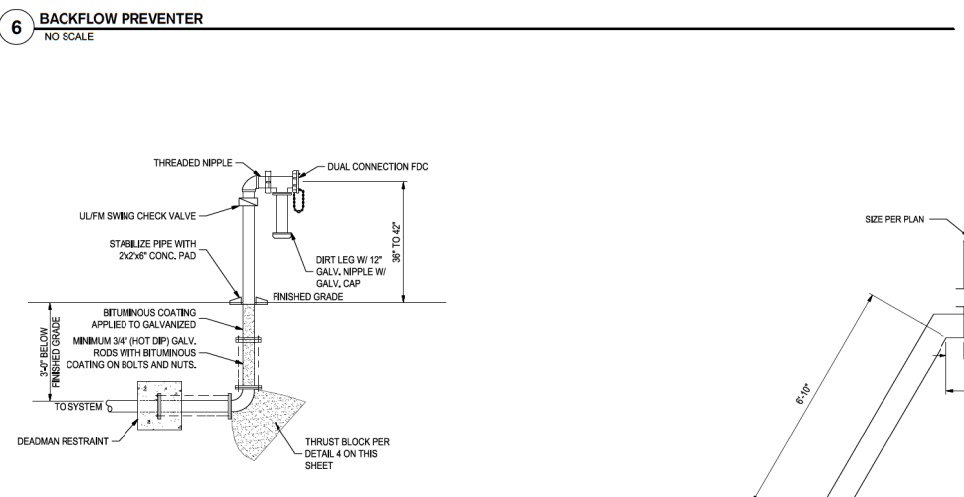
**6 BACKFLOW PREVENTER**  
NO SCALE



**7 DOUBLE CHECK DETECTOR BACKFLOW PREVENTION ASSEMBLY**  
NO SCALE



**8 FIRE HYDRANT INSTALLATION**  
NO SCALE



**9 FIRE DEPARTMENT CONNECTION**  
NO SCALE

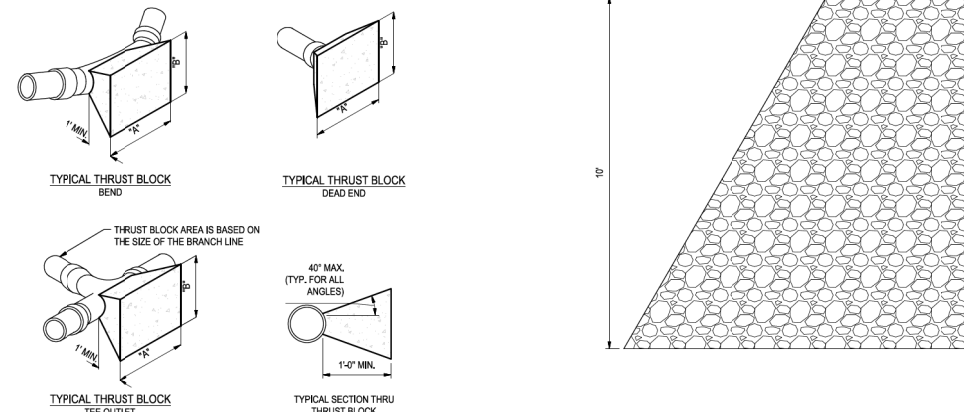
**THRUST BLOCK AREA REQUIRED**

| FITTINGS           | THRUST BLOCK AREA REQUIRED | ALLOWABLE SOIL BEARING VALUE |
|--------------------|----------------------------|------------------------------|
|                    |                            | 1000 LBS. PER SQ. FT.        |
| 6" LINE OR SMALLER | 3"                         | 3"                           |
| 1-1/2 1/2"         | 1-6"                       | 1-6"                         |
| 45"                | 2-0"                       | 2-0"                         |
| 90"                | 3-0"                       | 2-6"                         |
| TEE OUTLET         | 2-4"                       | 2-0"                         |
| DEAD END           | 2-4"                       | 2-0"                         |
| 6" LINE            |                            |                              |
| 1-1/2 1/2"         | 2-0"                       | 2-0"                         |
| 45"                | 3-0"                       | 2-4"                         |
| 90"                | 4-0"                       | 3-0"                         |
| TEE OUTLET         | 3-0"                       | 3-0"                         |
| DEAD END           | 3-0"                       | 3-0"                         |
| 12" LINE           |                            |                              |
| 1-1/2 1/2"         | 3-0"                       | 2-4"                         |
| 45"                | 3-6"                       | 3-0"                         |
| 90"                | 5-0"                       | 4-0"                         |
| TEE OUTLET         | 4-0"                       | 3-6"                         |
| DEAD END           | 4-0"                       | 3-6"                         |
| 18" LINE           |                            |                              |
| 1-1/2 1/2"         | 3-0"                       | 3-0"                         |
| 45"                | 4-0"                       | 4-0"                         |
| 90"                | 7-0"                       | 4-0"                         |
| TEE OUTLET         | 5-0"                       | 4-0"                         |
| DEAD END           | 5-0"                       | 4-0"                         |

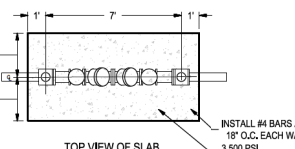
**NOTES:**

- ALL THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED SOIL.
- THRUST BLOCKS HAVE BEEN ESTABLISHED USING NFPA 13 SECTION A6.6 AND TABLES A6.6(A), A6.6(B) AND A6.6(C). ALL INSTALLATIONS SHALL COMPLY WITH THESE SECTIONS AND THE ASSOCIATED TABLES AND FIGURES.

**10 THRUST BLOCKS**  
NO SCALE



**11 HEADWALL - SINGLE OUTLET**  
NO SCALE



- NOTES:**
- SIGNAGE PER DISTRICT STANDARDS IDENTIFY BUILDING BY NAME OR RECTOGRAM AS REQUIRED BY FIRE DEPARTMENT.
  - ALL STEEL PIPE SHALL BE AS PER AWWA C-200 WITH 1/2" WALL AND COATED AND LINED BY FUSION BONDED EPOXY AS PER AWWA C-213, 20 MILS MIN.
  - ALL STEEL FLANGES SHALL BE CLASS D AS PER AWWA C-207.
  - ALL DUCTILE IRON FITTINGS SHALL MEET AWWA C-110 & C-153, CLASS 150. THE INTERIOR SHALL BE MORTAR LINED AS PER AWWA C-104 AND BELOW GROUND EXTERIOR SHALL HAVE A COAL TAR COATING AS PER AWWA C-203.
  - ALL NUTS AND BOLTS BELOW GROUND SHALL BE POLYETHYLENE ENCASED AS PER AWWA C-105 OR TAPE WRAPPED AS PER AWWA C-209, 20 MILS MIN. IN BOTH CASES.
  - BOTH GATE VALVES SHALL BE SUPERVISED BY THE FIRE ALARM SYSTEM.
  - CONTRACTOR SHALL PROVIDE CHAIN FOR LOCKING WHEELS TOGETHER (OWNER TO PROVIDE LOCK).
  - CONTRACTOR SHALL PROVIDE REMOVABLE INSULATION BLANKET.

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CHAPA-DE ROCKLIN  
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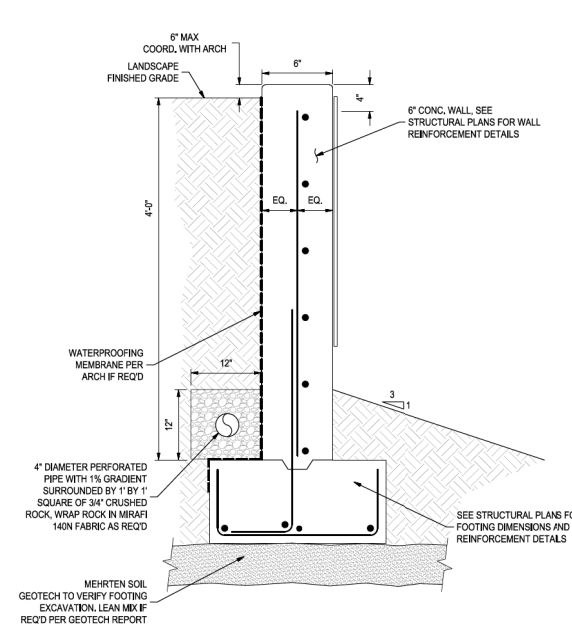
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ROCKLIN, CA

DETAILS II

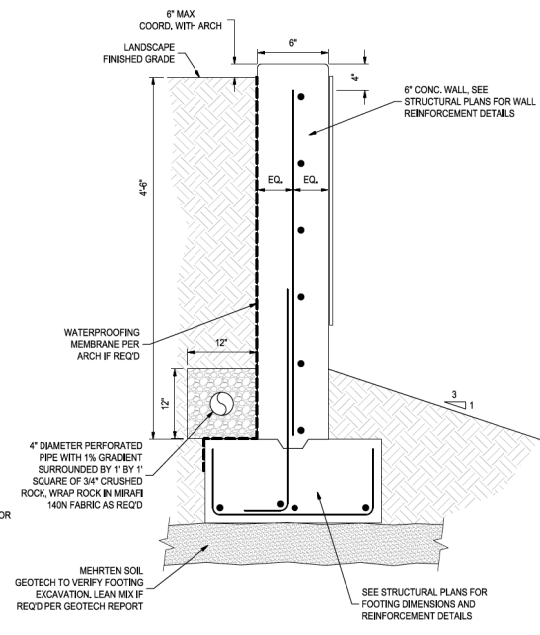
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**1 36" POUR-IN-PLACE CONCRETE RETAINING WALL**  
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**2 54" POUR-IN-PLACE CONCRETE RETAINING WALL**  
NOT TO SCALE

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DETAILS III



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