



## New Project Information

The City of Rocklin is processing the below referenced application(s) for project approval. The request is now being reviewed for compliance with the requirements and regulations of relevant City, State, and Federal agencies, and Utility providers. Once any issues have been resolved a hearing date will be set and public notice provided to alert neighbors and interested parties of the hearing date, availability of project information, the opportunity to comment on the project.

**Application Received:** January 13, 2023 (Incomplete Submittal; Not Referred)  
April 25, 2023 (Modified Application Received)

### **Project Name and Requested Approvals:**

#### Whitney Ranch Retail

- Design Review (DR2023-0001)
- Conditional Use Permit (U2023-0003)

### **Staff Description of Project:**

Request for approval of a Design Review (DR2023-0001) for a retail center containing ten (10) commercial buildings totaling approximately 94,500 square feet, which would be anchored by a grocery store (Nugget Market). As designed, the eastern portion of the retail center would feature the Nugget Market and retail shop spaces within a series of five (5) buildings. The western portion of the center has been designed as a more highway-commercial oriented area, with anticipated tenants to include a gas station and fast food/quick serve restaurants.

The project includes a request for approval of a Conditional Use Permit (U2023-003) to allow for outdoor merchandise display, as well as to allow the height of the buildings to deviate from the 30-foot maximum building height within the Planned Development Commercial zoning district.

The project applicant is requesting to mass grade the entire site (approximately 52 acres), which includes Assessor Parcel Numbers (APNs) 017-087-001 and -002 (retail center) and 017-087-003, -004, and -007 (south of the retail center). According to the applicant, this would provide an overall earthwork balance for the project and would also prepare the area for future projects located to the south and southwest, which have not yet been proposed.

### **Location:**

The project site is located at the southwestern corner of Whitney Ranch Parkway and University Avenue. The Assessor's Parcel Numbers (APNs) are 017-087-001, -002, -003, -004, and -007 (see discussion above).

### **Land Use Designation(s)/Zoning:**

The property is designated Retail Commercial (RC) in the Rocklin General Plan is zoned Planned Development Commercial (PD-C) in the Northwest Rocklin General Development Plan.

This project does / XX does not require modification or change of the land use designations and regulations currently applicable to the project site.

### **Compliance with the California Environmental Quality Act:**

A preliminary review of this project pursuant to the California Environmental Quality Act (CEQA) has tentatively identified that the project will be analyzed through an Addendum to the Northwest Rocklin Annexation Area Environmental Impact Report.

**Applicant & Property Owner:**

The property owner is UKI Rocklin LLC and El Macero Partners, LLC. The applicant is RSC Engineering, Inc. c/o Tiffany Wilson.

**Attached Information:**

For additional detail, please visit the following link:

<https://www.rocklin.ca.us/post/>



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

## UNIVERSAL APPLICATION FORM

**NAME OF PROJECT:** Whitney Ranch Retail

**LOCATION:** SWC Whitney Ranch Parkway and University Avenue

**ASSESSOR'S PARCEL NUMBERS:** 017-087-001, 002 for retail portion and 003, 004 & 007 for overall

**DATE OF APPLICATION (STAFF):** 1/13/2023 **RECEIVED BY (STAFF INITIALS):** MC

**FILE NUMBERS (STAFF):** DR2023-0001 ; U2023-0003 **FEES:** \$26,347

**RECEIPT No.:** R51933, R51934, R51935

### Pre-Application Meeting Requirements:

It is required that a pre-application meeting be held with a Staff Planner prior to submitting most applications for planning entitlements and permits. The purpose of the pre-application meeting is to expedite application processing by enabling staff to work with the applicant to assure that the officially submitted application materials are in the proper format and that the applicant understands the City of Rocklin's goals, policies, and ordinances that may affect the project. A copy of these and other planning provisions is available at the applicant's request.

Generally, two sets of preliminary plans and a written description of the proposed project should be brought with the applicant to the pre-application meeting. To schedule this meeting, please contact a Staff Planner at the Rocklin Community Development Department by calling (916) 625-5160.

6/10/2022

**DATE OF PRE-APPLICATION MEETING:** \_\_\_\_\_

### **THIS APPLICATION IS FOR THE FOLLOWING ENTITLEMENTS: (CHECK APPROPRIATE SQUARES)**

- |  |   |  |
|--|---|--|
| <input type="checkbox"/> General Plan Amendment (GPA)<br>Fee:  | <input type="checkbox"/> Tentative Subdivision Map (SD)<br>Fee:)  | <input checked="" type="checkbox"/> Use Permit (U)<br><input type="checkbox"/> Minor (PC Approval – New Bldg) Fee:<br><input type="checkbox"/> Minor (PC Approval – Existing Bldg) Fee:<br><input type="checkbox"/> Major (CC Approval) Fee: |
| <input type="checkbox"/> BARRO Zone Application (BZ)<br>Fee:   | <input type="checkbox"/> Tentative Parcel Map (DL)<br>Fee:  | <input type="checkbox"/> Variance (V)<br>Fee:  |
| <input type="checkbox"/> Rezone (Reclassification) (Z)<br>Fee:   | <input checked="" type="checkbox"/> Design Review (DR)<br>Commercial Fee:<br>Residential Fee:<br>Signs Fee: | <input type="checkbox"/> Oak Tree Preservation Plan Permit<br>Planning Commission Fee:<br>City Council Fee:  |
| <input checked="" type="checkbox"/> General Development Plan (PDG)<br>Fee:<br><b>NOTE: Not Required; Withdrawn</b> | <input checked="" type="checkbox"/> Concurrent Application (2 or more entitlements)<br>Fee:                 | <input type="checkbox"/> Modification to Approved Projects<br>Fee:   |

\_\_\_\_\_ File Number

### **Environmental Requirements: (STAFF)**

- |   |   |
|---|---|
| <input type="checkbox"/> Exempt -               | <input type="checkbox"/> Mitigated Negative Declaration - |
| <input type="checkbox"/> Negative Declaration - | <input type="checkbox"/> EIR - See Fee Schedule           |

## UNIVERSAL APPLICATION FORM (CONT.)

<b>GENERAL PLAN DESIGNATION:</b> Existing: <u>PD-Comm</u> Proposed: <u>PD-Comm</u>  <b>Zoning:</b> Existing: <u>PD-C</u> Proposed: <u>PD-C</u>	<b>PROPERTY DATA:</b> For retail portion only Acres: <u>18.17 +/-</u> Square Feet: <u>791,485 +/-</u>  Dimensions: <u>irregular</u>  No. of Units: <u>11 bldgs</u>  Building Size: <u>94,500 sf total</u>  Proposed Parking: <u>659</u>  Required Parking: <u>544</u>  Access: <u>public streets-Whitney Ranch Parkway and University Avenue</u>	<b>UTILITIES:</b>  <table style="width: 100%; border: none;"> <thead> <tr> <th style="text-align: left;">EXISTING</th> <th style="text-align: left;">PROPOSED</th> </tr> </thead> <tbody> <tr> <td><input checked="" type="checkbox"/> Pub. Sewer</td> <td><input checked="" type="checkbox"/> Pub. Sewer</td> </tr> <tr> <td><input type="checkbox"/> Septic Sewer</td> <td><input type="checkbox"/> Septic Sewer</td> </tr> <tr> <td><input checked="" type="checkbox"/> Pub. Water</td> <td><input checked="" type="checkbox"/> Pub. Water</td> </tr> <tr> <td><input type="checkbox"/> Well Water</td> <td><input type="checkbox"/> Well Water</td> </tr> <tr> <td><input checked="" type="checkbox"/> Electricity</td> <td><input checked="" type="checkbox"/> Electricity</td> </tr> <tr> <td><input checked="" type="checkbox"/> Gas</td> <td><input checked="" type="checkbox"/> Gas</td> </tr> <tr> <td><input checked="" type="checkbox"/> Cable</td> <td><input checked="" type="checkbox"/> Cable</td> </tr> </tbody> </table>	EXISTING	PROPOSED	<input checked="" type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer	<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer	<input checked="" type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water	<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water	<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas	<input checked="" type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable
EXISTING	PROPOSED																	
<input checked="" type="checkbox"/> Pub. Sewer	<input checked="" type="checkbox"/> Pub. Sewer																	
<input type="checkbox"/> Septic Sewer	<input type="checkbox"/> Septic Sewer																	
<input checked="" type="checkbox"/> Pub. Water	<input checked="" type="checkbox"/> Pub. Water																	
<input type="checkbox"/> Well Water	<input type="checkbox"/> Well Water																	
<input checked="" type="checkbox"/> Electricity	<input checked="" type="checkbox"/> Electricity																	
<input checked="" type="checkbox"/> Gas	<input checked="" type="checkbox"/> Gas																	
<input checked="" type="checkbox"/> Cable	<input checked="" type="checkbox"/> Cable																	

**PROJECT REQUEST:** Application requests a planned general development and design review. See separate project description for details.

---

---

---

---

---

---

---

---

---

---

*(Example: Request for approval of design review to construct a 10,000 square foot office building on 1.5 acres)*

NOTE: Annexations, Lot Line Adjustments, and Rocklin Ranch Industrial Park Specific Plan Use Permits require special application forms and additional submittal information available from the Planning Division.

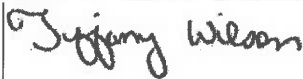
**UNIVERSAL APPLICATION FORM (CONT.)**

**PLEASE PRINT OR TYPE:**

NAME OF PROPERTY OWNER: UKI Rocklin LLC  
ADDRESS: 2484 Natomas Park Drive Suite 101  
CITY: Sacramento STATE: CA ZIP: 95833  
PHONE NUMBER: (916) 273-4020  
EMAIL ADDRESS: rcole@colepartners.com  
FAX NUMBER: \_\_\_\_\_


**SIGNATURE OF OWNER**   
*(Signature Authorizing Application; provide owner's signature letter if signature is other than property owner.)*

NAME OF APPLICANT RSC Engineering, Inc.  
(If different than owner): \_\_\_\_\_  
CONTACT: Tiffany Wilson  
ADDRESS 1420 Rocky Ridge Drive, Suite 150  
CITY: Roseville STATE: CA ZIP: 95661  
PHONE NUMBER: (916) 788-2884  
EMAIL ADDRESS: t.wilson@rsc-engr.com  
FAX NUMBER: \_\_\_\_\_

**SIGNATURE OF APPLICANT** 

**AGENT AUTHORIZATION FORM**

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Whitney Ranch Retail
Location: SWC Whitney Ranch Parkway and University Avenue
Assessors Parcel Number(s): 017-087-001, 002 for retail portion and 003, 004 & 007 for overall
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): General Development Plan and Design Review
Name of person and / or firm authorized to represent property owner (Please print): RSC Engineering, Inc. c/o Tiffany Wilson
Address (Including City, State, and Zip Code): 1420 Rocky Ridge Drive, Suite 150 Roseville, CA 95661
Phone Number: (916) 788-2884
Fax Number:
Email Address: t.wilson@rsc-engr.com
The above named person or firm is authorized as: Agent ( <input checked="" type="checkbox"/> ) Buyer ( <input type="checkbox"/> ) Lessee ( <input type="checkbox"/> )
The above named person or firm is authorized to (check all that are applicable): ( <input checked="" type="checkbox"/> ) File any and all papers in conjunction with the aforementioned request, including signing the application ( <input type="checkbox"/> ) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. ( <input type="checkbox"/> ) Sign any and all papers in my stead, with the exception of the application form.
The duration and validity of this authorization shall be: ( <input type="checkbox"/> ) Unrestricted ( <input checked="" type="checkbox"/> ) Valid until: entitlement approval
Owners Authorization Signature & Date:  January 10, 2023
Owners Name (Please Print): UKI Rocklin LLC
Owners Address (Including City, State, and Zip Code): 2484 Natomas Park Drive Suite 101 Sacramento, CA 95833
Phone Number: (916) 273-4020
Email Address: rcole@colepartners.com

**AGENT AUTHORIZATION FORM**

Property owners desiring to authorize individuals to represent them in conjunction with any application or matter before the City shall provide written authorization using this form. A separate form shall be used for each individual or firm authorized, and shall specifically note any restrictions upon the authorized person.

Project Name: Whitney Ranch Retail	
Location: SWC Whitney Ranch Parkway and University Avenue	
Assessors Parcel Number(s): 017-087-002	
Entitlements for which authorization is applicable (use permit, variance, tentative map, etc.): Design Review, conditional use permit	
Name of person and / or firm authorized to represent property owner (Please print): RSC Engineering, Inc. c/o Tiffany Wilson Cole Partners c/o Rob Cole	
Address (Including City, State, and Zip Code): 1420 Rocky Ridge Drive, Suite 150 2484 Natomas Park Drive Suite 101 Roseville, CA 95661 Sacramento, CA 95833	
Phone Number: (916) 788-2884	(916) 273-4020
Fax Number:	
Email Address: t.wilson@rsc-engr.com	rcole@colepartners.com
The above named person or firm is authorized as: Agent ( <input checked="" type="checkbox"/> ) Buyer ( <input type="checkbox"/> ) Lessee ( <input type="checkbox"/> )	
The above named person or firm is authorized to (check all that are applicable): ( <input checked="" type="checkbox"/> ) File any and all papers in conjunction with the aforementioned request, including signing the application ( <input type="checkbox"/> ) Speak on behalf of and represent the owner at any Staff meeting and/or public hearing. ( <input type="checkbox"/> ) Sign any and all papers in my stead, with the exception of the application form.	
The duration and validity of this authorization shall be: ( <input type="checkbox"/> ) Unrestricted ( <input checked="" type="checkbox"/> ) Valid until: entitlement approval	
Owners Authorization Signature & Date: <small>DocuSigned by:</small> <i>Mark Engstrom</i> 4/19/2023	
Owners Name (Please Print): EI Macero Partners, LLC	
Owners Address (Including City, State, and Zip Code): 837 Jefferson Blvd West Sacramento, CA 95691	
Phone Number: 415-987-9044	
Email Address: callie@epropcinc.com	

**NOTIFICATION OF OWNERS OF MINERAL RIGHTS**

Government Code section 6509a(a)(2) states that if the Subdivision Map Act requires notice to be given pursuant to Section 65091, in addition to noticing the surrounding property owners, notice must also be given to anyone who has filed with the County recorder's office a "notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code" on the subject property.

Therefore, mailing labels must be provided with this application for any owner of a mineral right pertaining to the subject real property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code (Subdivision Map Act Section 65091(a)(2)).

**See page 24 of this application for instructions on how to submit mailing labels.**

Section 65091(a)(2)

"(2) When the Subdivision Map Act (Div. d 9commencing with Section 66410)) requires notice of a public hearing to be given pursuant to this section, notice shall also be given to any owner of a mineral right pertaining to the subject property who has recorded a notice of intent to preserve the mineral right pursuant to Section 883.230 of the Civil Code."

---

There **are / are not** (circle one) owner(s) of record of preserved mineral rights on the subject property and I, UKI Rocklin LLC, the applicant or applicant's representative, **have / have not** (circle one) provided the name and mailing address of record for any and all owners of mineral rights pursuant to Section 883.230 of the Civil Code.



January 10, 2023

Signature

Date



**STATE OF CALIFORNIA  
DEPARTMENT OF FISH AND GAME  
FILING FEES**

In 1990, the State adopted a fee pursuant to AB 3158 for the review of environmental documentation by the State Department of Fish and Game. Subsequently, in 1991, the fees were challenged. Then, in June 1995, the Department of Fish and Game instructed the jurisdictions to stop collecting fees. Following a great deal of court action and in a memorandum dated February 26, 1996, the State Clearinghouse, Office of Planning and Research, stated that the fees must again be collected.

On September 29, 2006, Senate Bill 1535 was passed increasing the amounts of filing fees collected by the Department, and requires the Department to adjust the fees annually pursuant to Fish and Game Code Section 713.

As of January 1, 2020, State law requires all applicants who have a Notice of Determination filed for a Negative Declaration to pay a \$2,406.75 fee and those with a Notice of Determination for an Environmental Impact Report to pay a \$3,343.25 fee. Both types must pay an additional \$50.00 administrative fee making the total fees \$2,456.75 and \$3,393.25 respectively. Applicants whose projects require the filing of a Notice of Exemption will need to pay a \$50.00 administrative fee. The City will notify each applicant which of the fees must be paid.

PLEASE NOTE: Effective January 1, 2008, the fee exemption for projects determined to have a *De Minimis Impact Finding* has been eliminated. (Section 711.4 Fish and Game Code).

The Fish and Game filing fee must be paid prior to the filing of the Notice of Determination with the County Clerk. Since the CEQA law requires a Notice of Determination to be filed with the County within 5 days of an action by the City, all applicants must remit to the City the necessary fee amount no later than the day of the final scheduled public hearing for the proposed project.

**PLEASE MAKE ALL CHECKS PAYABLE TO PLACER COUNTY.**

If you have any questions regarding this matter, please do not hesitate to contact the Planning Department at (916) 625-5160. Upon review of the above, please sign and return this document with your application.

---

I, UKI Rocklin, LLC, the applicant or applicant's representative, have read the information above and understand its meaning.



January 10, 2023

Signature

Date

**HAZARDOUS WASTE AND SUBSTANCES STATEMENT**

Pursuant to California Government Code Section 56962.5, I have consulted the Hazardous Waste and Substances Sites List (Cortese List), consolidated by the State of California, Environmental Protection Agency and find that;

The project, including any alternatives, \_\_\_\_\_ is, <sup>X</sup> \_\_\_\_\_ is not (check which applies) located on a site which is included on the Hazardous Waste and Substances Sites List (Cortese List). If on the list, provide the following information:

Regulatory identification number: \_\_\_\_\_ Date of list: \_\_\_\_\_

Type of problem: \_\_\_\_\_

I declare under penalty of perjury of the laws of the State of California that the foregoing is true and correct.

Dated: 01/10/2023

Applicant: *Suzanne Wilson*  
RSC Engineering, Inc.

Applicants can verify this information by reviewing the Hazardous Waste and Substances Sites List (Cortese List), available for review at the City of Rocklin Planning Department counter, or at the California Department of Toxic Substance Control web site:  
<http://www.calepa.ca.gov/SiteCleanup/CorteseList/default.htm>

## MITIGATION FOR AIR QUALITY IMPACTS

The US Environmental Protection Agency (EPA) and the California Air Resources Board (CARB) have established air quality standards, referred to as the National Ambient Air Quality Standards (NAAQS) and the State Ambient Air Quality Standards (SAAQS) respectively. The federal Clean Air Act and State Clean Air Act both require that areas in violation of the ambient air quality standards adopt strategies to attain these standards. The Placer County Air Pollution Control District (APCD) has primary responsibility for planning and maintenance and/or attainment of air quality standards within Placer County. California is divided into 15 air basins for the purpose of monitoring air quality. Placer County is included in the Sacramento Valley Air Basin. Areas may be classified as attainment, non-attainment, or unclassified with regard to the adopted standards. The unclassified designation is assigned in cases where monitoring data is insufficient to make a definitive determination. Under the federal standards, all of Placer County, including Rocklin, is designated as non-attainment for ozone. All other pollutants are designated unclassified in Rocklin. Under the state standards, South Placer, including Rocklin, is designated as non attainment for ozone and PM10 and unclassified for hydrogen sulfide and visibility reducing particulate.

The project would have the following short-term construction impacts, if not mitigated:

- a. Construction activities, including grading, would generate a variety of pollutants, the most significant of which would be dust (PM10). This would exacerbate the existing PM10 non attainment condition if not mitigated.
- b. Construction equipment would produce short-term combustion emissions, and asphalt materials used for streets and driveways would produce pollutants during curing.

The mitigation measures listed below will reduce the short term impacts to less-than-significant. In the long-term, vehicle trips to and from the project site would generate Carbon Monoxide and ozone precursor emissions, thereby contributing to the non-attainment status of the local air basin. These incremental and cumulative adverse air quality impacts cannot be completely mitigated. However, these impacts were anticipated by the City of Rocklin General Plan, and were addressed through the 1991 Rocklin General Plan EIR and the North Rocklin Circulation and Traffic Study. Findings of overriding significance were adopted for the unmitigatable and unavoidable significant air quality impacts.

Therefore, I, as the applicant for the proposed project, agree that the mitigation measures listed below are incorporated as a part of my project description in order to mitigate for the short term impacts.

**MITIGATION FOR AIR QUALITY IMPACTS (CONT.)**

**MITIGATIONS**

1. The project shall conform with the requirements of the Placer County APCD.
2. Prior to commencement of grading, the applicant shall submit a dust control plan for approval by the City Engineer and the Placer County Air Pollution Control District. The plans shall specify measures to reduce dust pollution during all phases of construction.
3. Traffic speeds on all unpaved road surfaces shall be posted at 25 m.p.h. or less.
4. All grading operations shall be suspended when wind speeds exceed 25 m.p.h.
5. All trucks leaving the site shall be washed off to eliminate dust and debris.
6. All construction equipment shall be maintained in clean condition.
7. All exposed surfaces shall be revegetated as quickly as feasible.
8. If fill dirt is brought to the construction site, tarps or soil stabilizers shall be placed on the dirt piles to minimize dust problems.
9. Apply water or dust palliatives on all exposed earth surfaces as necessary to control dust. Construction contracts shall include dust control treatment as frequently as necessary to minimize dust.
10. Construction equipment shall be properly maintained and tuned.
11. Utilize low emission mobile construction equipment where possible.
12. Open burning of vegetative material is prohibited.

RSC Engineering, Inc.

Applicant's Name (printed)

*Jeffery Wilson*

01/10/2023

Applicant's Signature

Date



# City of Rocklin

Planning Division  
3970 Rocklin Road  
Rocklin, California 95677  
Phone (916) 625-5160 FAX (916) 625-5195

## ENVIRONMENTAL INFORMATION SHEET

(To be completed by  
applicant)

**LOCATION OF PROJECT (ADDRESS)** SWC Whitney Ranch Parkway and University Avenue

**ASSESSORS PARCEL #** 017-087-001, 002 for retail portion and 003, 004 & 007 for overall

**NAME OF PROJECT** Whitney Ranch Retail

**CONTACT/APPLICANT** RSC Engineering, Inc.

**ADDRESS** 1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661

**PHONE** (916) 788-2884 **EMAIL** t.wilson@rsc-engr.com

**Project Description - Describe in detail. Add separate sheet if necessary.**  
see separate project description.

Property size:	<u>2,281,161 +/- overall</u> <u>791,485 +/- retail only</u>	<u>52.368 +/- ac overall</u> <u>18.17 +/- ac. for retail portion</u>
	Square Feet	Acres
Land Use:	<u>RC &amp; BP</u> Existing	<u>RC &amp; BP overall; RC for retail portion</u> Proposed

**RELATED PROJECTS:** If this project is a part or portion of a larger project, describe the previous project by name, general development plan number, or other project identification. Placer Creek Corporate Center Parcel Map; University Avenue widening

**PREVIOUS ENVIRONMENTAL DOCUMENTS:** If this project is part of a larger project for which a negative declaration or an environmental impact report has been prepared and certified, reference the document below. Include the date and SCH#, if possible: \_\_\_\_\_

**OTHER REQUIRED PERMITS OR APPROVALS:**

Permit or Approval	Agency	Address	Contact Person/Phone
<u>Building, Sitework, Fire</u>	<u>City of Rocklin</u>	<u>City of Rocklin</u>	
<u>NPDES-State of CA</u>	<u>Sewer-SPMUD</u>	<u>Water-PCWA</u>	

**PREVIOUS LAND USES:** Describe existing and previous land uses of the site for the last 10 years or more: vacant

**SITE CHARACTERISTICS**

1. What natural features (trees, rock outcroppings etc.) presently exist on the site?  
void of vegetation  
\_\_\_\_\_  
\_\_\_\_\_

2. What are the surrounding land uses?  
future  
East apartments West Highway 65 North Whitney Ranch Parkway South vacant future BP/Comm

3. Is the project proposed on land which contains fill or a slope of 10% or more? Yes

4. Are there any existing erosion problems? No

5. Is the site on expansive soils (as defined in Table 18 of the UBC) or immediately adjoining an area subject to slides, liquefaction, slope instability or other related hazards? No  
If so, describe in detail, or refer to attached soils report.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Grading, excavating or filling activities - Quantity of cubic yards to be:  
a. Moved within the site 154,000 +/- CY from property to the south to retail portion of the property  
b. Deposited on the site \_\_\_\_\_  
c. Removed from the site \_\_\_\_\_  
Disposal site \_\_\_\_\_

7. Are there any streams or permanent water courses on the site? No  
Describe \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. Will the proposed project change drainage patterns or the quality of groundwater?  
If so explain. If not, why not. No  
\_\_\_\_\_  
\_\_\_\_\_

9. Will the project affect any drainage channel, creek, pond or any other water body?  
Describe below: No  
\_\_\_\_\_  
\_\_\_\_\_

10. Is any portion of the property located in a flood plain? No  
 If so describe \_\_\_\_\_  
 \_\_\_\_\_
11. Are there any jurisdictional wetlands or vernal pools on the site? If so how will they be impacted by the project? None onsite. Wetland preserves are protected adjacent to the site
12. Are there any trees or shrubs on the project site? No  
 What types? \_\_\_\_\_  
 Are any to be removed or transplanted? \_\_\_\_\_  
 State the location of transplant site: \_\_\_\_\_  
 State the number & species to be removed: \_\_\_\_\_
13. Will the project affect the habitat of any endangered, threatened, or other special status species? No  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
14. Will the project result in any new noise source, or will it place new residents in an area of high traffic noise or noise from any other source? No
15. What type of equipment will be associated with the project during construction?  
typical construction equipment  
 \_\_\_\_\_  
 During permanent operation? HVAC
16. Describe any air pollutants, other than vehicle exhaust, which would be generated by this project, both during and after construction. Dust particulates are considered pollutants.  
HVAC
17. Will the project produce new sources of dust, ash, smoke, fumes or objectionable odor? If yes, describe the source of the emission, methods to control emissions and means of mitigating those effects on adjacent properties: typical construction emissions to be mitigated through City ordinance
18. Will the project create any new light source, other than street lighting? If yes, describe below:  
parking lot and pedestrian lights
19. Is this property covered by a Williamson Act contract? No
20. Has this property ever been used for agricultural purposes? Yes If so, for what purpose and when? \_\_\_\_\_
21. Does the project involve the use of routine transport or disposal of hazardous materials?  
fuel trucks to deliver fuel to gas station
22. Are there any known mineral resources of value to the region and the residents of the state located on the site? If so, what types? No
23. How close is the nearest school? Whitney High School approx 2,350' northeast

based on 18.17 acre retail portion only

24. PROPOSED BUILDING CHARACTERISTICS (BOTH RESIDENTIAL AND NON-RESIDENTIAL)

Size of new structure(s) or addition in gross square feet: 94,500 sf  
 Building height measured from ground to highest point in feet: 20' - 40' max  
 Number of floors/stories: one  
 Height of other appurtenances (antennas, steeples, mechanical equipment, etc.) measured from ground: n/a - all mechanical is screened behind parapets or mechanical screens  
 Project site coverage: Building 94,500 +/- sq.ft. 12% %  
 Landscaping 182,000+/- sq.ft. 23% %  
 Paving 515,000+/- sq.ft. 65% %  
 Exterior building materials: Cement plaster, metal, resysta lap siding, glass  
 Exterior building colors: use of neutral base colors with bold accents  
 Wall and/or fencing material: CMU  
 Total number of off-street parking spaces required: 544 Provided: 659  
 Total number of bicycle parking spaces: 33 bicycle racks & 33 bicycle lockers

25. Is there any exposed mechanical equipment associated with the project? Yes  
 Location and screening method Parapet for roof mounted equipment or landscaping for ground mounted equipment

26. RESIDENTIAL PROJECTS

Total lots \_\_\_\_\_ Total dwelling units \_\_\_\_\_  
 Density/acre \_\_\_\_\_ Total acreage \_\_\_\_\_

	Single Family	Two Family	Multi-Family (More than 2 units)
Number of Units			
Size of lot/unit			
Studio			
1 Bedroom			
2 Bedroom			
3 Bedroom			
4+ Bedroom			

27. RETAIL, COMMERCIAL, INDUSTRIAL, INSTITUTIONAL OR OTHER PROJECT

Type of use(s): retail, restaurant, drive thru, gas station, supermarket  
 Oriented to: Regional \_\_\_\_\_ City X Neighborhood \_\_\_\_\_  
 Hours of operation: tbd  
 Total occupancy/Building capacity: tbd  
 Gross floor area: 94,500 sf Number of fixed seats: tbd  
 Number of employees (total): tbd Employees per shift: tbd Number of Shifts tbd  
 Number of visitors/customers on site at busiest time (best estimate): tbd  
 Other occupants (specify): tbd

ALL PROJECTS

28. Approximately how many tons of solid waste will the project produce each year? tbd



29. Will the proposed use involve any toxic or hazardous material? No  
 Is the project site within 2,000 feet of an identified hazardous/toxic site? No  
 Is the project site within 2,000 feet of a school or hospital? No  
 If the project involves any hazardous material, explain: \_\_\_\_\_  
 \_\_\_\_\_
30. How many new residents is the project estimated to generate? N/A
31. Will the project generate a demand for additional housing? No
32. What is the current and estimated number of motor vehicles to arrive at the site as a result of the project? a traffic study is being prepared
33. Could the project increase traffic hazards to motor vehicles, bicyclists or pedestrians? No  
 If yes, explain \_\_\_\_\_
34. How close is the project to the nearest public park or recreation area? 1,850' east
35. What school districts will be affected by this project? none, not residential
36. Describe energy-efficient features included in the project. will meet Title 24 requirements  
 \_\_\_\_\_  
 \_\_\_\_\_
37. Describe how the following services or utilities will be provided:  
 Power and Natural Gas PG&E  
 Telephone AT&T  
 Water PCWA  
 Sewer SPMUD  
 Storm Drainage City of Rocklin  
 Solid Waste Auburn Recology
38. Will the project block any vista or view currently enjoyed by the public? No
39. Are there any known historic or significant building features on or near the site? If so, will the project result in any impact to the building? No
40. Are there any archaeological features on the site? No If so, will the project result in any impact to these features?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## **Rocklin – Whitney Ranch Shopping Center**

---

### **Project Description**

Updated April 24, 2023

#### **Introduction**

Whitney Ranch Shopping Center (“Whitney Ranch” or “Ranch”) is designed to provide a high-quality, Nugget Markets grocery-anchored commercial project in the Northwest Rocklin Area and University District of the City of Rocklin.

The initial phase of this commercial project contains 10 buildings totaling an approximately 94,500 square feet, and occupies an approximately 18-acre area on the southwest corner of Whitney Ranch Parkway and University Avenue in the University District area of Rocklin, CA. This location is ideal for commercial-retail uses due to its easy access to/from the Highway 65 freeway and proximity to nearby residential, to include the fast-growing community of Whitney Ranch. As designed, the eastern portion of the retail center will feature Nugget Markets and retail shop spaces within a series of five buildings. The western portion of the center will be more highway-commercial oriented, with anticipated single tenant uses such as a possible gas station, fast food or quick serve restaurants, and others.

#### **Background**

Whitney Ranch is part of the larger, 120-acre Placer Creek Community Development site. It was acquired by the current ownership group in 2008 and originally envisioned as a large-scale retail and office park/corporate campus located at the gateway of the historic Whitney Ranch area and University District. Previously completed projects at Placer Creek include Ansel Park Senior Living and Woodside Home’s Spring Valley subdivision. Also, the planned 10-acre Placer Creek Apartments project located on the southeast corner of Whitney Ranch Parkway and University Avenue was approved in December 2022.

#### **Architecture**

The architectural theme at Ranch is “modern agrarian.” Building architecture very intentionally blends a modern look as directed within University District guidelines, which is inspired by the Frank Ghery-designed building formerly part of the Herman Miller factory, now the central building of the William Jessup University campus; while also taking agrarian visual cues intended to reflect the historic Whitney Ranch area (Spring Valley Ranch), a small portion on which the retail center is being constructed.

In an effort to create a sense of place that fits within the University District and connects to the rich history of Whitney Ranch, forms reminiscent of agrarian architecture are used to shape the Ranch’s anchor building for Nugget Market and the surrounding retail pad buildings. Though portions of the building architecture take cues from traditional forms such as gables and low slopes, an emphasis is placed on simplicity and minimal ornamentation. Visual interest is created in each of the buildings through varying massing and parapet profiles, use of metal

accent panels, strategically located pops of bold color and expressed structural elements. These types of exterior architectural features not only accentuate each building's form but helps distinguish interior functional space. Many corners of the buildings are also articulated with towers to highlight entries and provide visual wayfinding to points of interest.

The building architecture also responds to views to and from the site. With Nugget Market at the center of the site and retail pads defining the street edge, each building is designed for 4-sided articulation, sharing common architectural features and materials. Each building is accompanied by adjacent flatwork providing typical access needs to plazas with gathering spaces. Expressed steel structures are used in plazas, walkways and drive-throughs as space definers, wayfinding cues and arbors. These site structures relate to expressed steel elements also incorporated into many of the building designs to further unify the overall Whitney Ranch retail center.

In conjunction with the grocery store operation, Nugget requests a Conditional Use Permit for approximately 300 s.f. of outdoor merchandise display under the roof of their main entry canopy, as depicted on sheet A2.1. In addition, Nugget proposes seasonal outdoor barbecuing on the north sidewalk labeled "Outdoor Display". Also, Nugget proposes to utilize moveable chairs and tables outdoors on the adjacent concrete for on-site food consumption: the areas are approximately 685 s.f. along the east elevation and 200 s.f. at the north elevation. These proposed locations as likewise depicted on sheet A2.1.

The conditional use permit request will also propose a deviation from the 30' maximum building height in the PD-C zone. The Nugget tower is 40 feet and other ridge line heights on Nugget are approximately 36 feet above finish floor. Also Pad 2C has a corner tower with a ridge line height of 36 feet above finish floor. Due to the scale of the buildings, the proposed tower and ridge heights are necessary to promote visual hierarchy and relate to the overall scale of the building.

## **Landscape**

The overall landscape concept of the shopping center is to create a consistent treatment of all landscaped areas with high quality outdoor environments and amenity areas.

The Landscape design shall reinforce the distinct character of the shopping center, using uniform palette of accent, shade, subordinate and screen trees, each with a distinct function and contrasting form with a deliberate use of limited long-lived plant species. Landscape treatment of all areas shall emphasize the planting of tree-shaded open space. Landscape improvements shall require minimal maintenance and irrigation, and the use of low water use plant materials shall be maximized.

A key landscape design element we have integrated into the center is the use of date palm trees at three of the five vehicular entrances, as well as at a Highway 65-oriented art/signage node located at the west side of the center. The use of date palms is a historical reference to their use at the Whitney family's Spring Valley Ranch and other ranches in Placer County in the late

1800s and early twentieth century. These trees were used as wayfinding tools so that travelers could identify roads and intersections from a distance. There are a number of palms located throughout Placer County that are registered as historic for this reason.

The overall landscape coverage is 23%. The parking lot shading coverage is 50.6%. Details regarding project landscaping can be found on the Preliminary Landscape Plans.

### **Enhanced corner feature**

The southwest corner of Whitney Ranch Parkway and University Avenue will be a primary focal point of the center. Enhanced landscaping and palms will flank an 8 to 10-foot tall, oversized replica of a branding iron with the letters “W-R” for Whitney Ranch. From the corner, pedestrians can enter the center via an access ramp that would run alongside a terraced amphitheater-style seating area that leads to a lower patio that would also serve as outdoor seating for select tenant spaces located within the adjacent 14,000 square foot building.

### **Art**

A variety of art will be located throughout the center. A number of the pieces will be practical/functional. Proposed art includes:

- “W-R” Brand – 8 to 10 feet tall. One located at the SWC of Whitney Ranch Parkway at University Ave, the other on the west side of the center, facing Highway 65 and the northbound Whitney Ranch Parkway offramp.
- L-Shaped Steel Arbor Beams – 8 to 9 feet tall and located along certain pedestrian walkways. Reflective of modern takes on the agrarian theme, these will also provide shade and visual relief.
- Fruit Bearers – The Nugget fruit-bearers, which are only located at select Nugget locations, will flank either side of the store’s entry.
- Murals – Murals designed in reference to Whitney Ranch and Spring Valley, to include an image of Mrs. Helen Beryl Whitney when she was featured on the 1906 cover of Sunset Magazine as a promotion of the Placer Citrus Colony.
- Tractor – A metalwork tractor is contemplated adjacent to the Nugget’s primary entry.

### **Access, Drive Aisles and Parking**

The project will provide approx. 657 parking spaces including accessible, compact, and electric vehicle spaces. The electric vehicle spaces and bicycle racks will meet the current CalGreen/Title 24 code. Drive aisles in the parking areas are landscaped with regularly spaced planters that contain shade trees.

A traffic signal is proposed at the southern access point that will be shared with the remainder of the property to the south. Two additional right-in and -out driveways are proposed along University Avenue further north. A right-in and -out is proposed on Whitney Ranch Parkway past the Caltrans property/right of way.

Pedestrian connections are proposed to Whitney Ranch Parkway and University Avenue at each driveway. Internal connections are proposed to all buildings with enhancements at the main driveway in front of Nugget Market. Pedestrian access is also proposed two locations from the existing SPMUD easement that parallels a portion of Whitney Ranch Parkway, Highway 65 and continues south to around Ansel Park Senior Living and connects to University Avenue, at the south end of larger Placer Creek site.

### **Grading and Utilities**

The existing topography necessitates the requirement for using retaining walls to provide the vertical relief needed to support the proposed project site. Retaining walls are currently proposed along the eastern boundary, behind the buildings fronting University Avenue as well as on the western boundary.

The grading for the project will extend south of the proposed site improvements limits to provide an overall earthwork balance for this project and future projects located to the south and southwest.

Connections will be made to the existing water lines on University Ave to provide an onsite public water system to serve the project. An existing stub is located at the northern half of the site, and a new connection will be made to the existing system at the south end of the site.

The proposed onsite sanitary sewer system serving the new buildings will connect to the existing trunk sewer line at the north end of the project site by way of a new manhole at the connection point. The point of connection is located within the access drive from Whitney Ranch Parkway and has been coordinated with SPMUD in advance of the submittal and as part of our process to prepare the preliminary Utility Plan. The existing stub located along the western boundary of the site is intended to be used by the future building(s) adjacent to and in close proximity of the existing stub.

A majority of the project storm runoff will be conveyed through a pipe system that connects to the existing storm drain system on University Avenue. A portion of the site storm drainage will be routed westerly to discharge overland towards the existing open space. The site stormwater quality will be achieved by way of stormwater planters and proprietary filtration devices.

### **Phasing**

In order to achieve site balance, it will be necessary to mass grade the overall site (approximately 52 acres) ahead of the first project phase. We request the ability for the City to plan check the mass grading plans as well as the construction documents ahead of planning approvals in order to expedite the process. It is anticipated that the first phase of the project site will be constructing Building 2A (Nugget), the Whitney Ranch and University Avenue driveways and the associated parking, access aisles to/from the Nugget parking and building area. The sewer, storm, water

and other utilities under the main access drives, roadways as well as within the Nugget area will be necessary during the initial phase with allowances for pipe extensions to future phases of the overall project as it is developed. The remaining development may be construction concurrent with Phase 1 or as a future phase as tenants come in.

### **Signage**

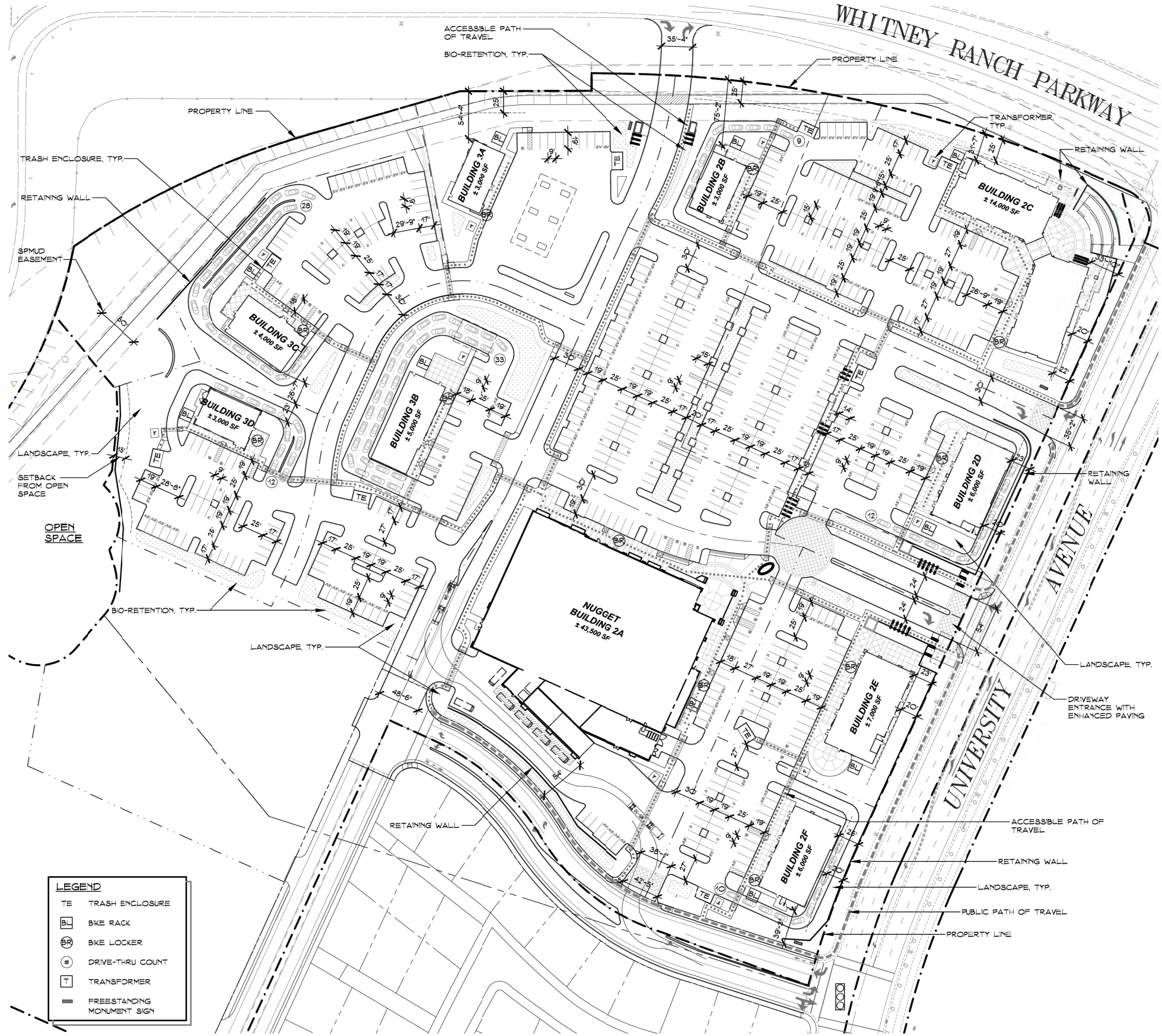
A master sign program is included with this project. Freestanding Signage designs including size, colors and materials and illumination are included in the Master Sign Program included with this re-submittal. The proposed Pylon sign is requested to be 70 feet maximum above grade to help provide equal visibility of all of the tenant signage panels from Highway 65.

### **Lot Line Adjustment and Parcel Map**

A lot line adjustment and/or tentative parcel map will be submitted as a separate entitlement at a later date to create the parcels for the shopping center and is not a part of this project.

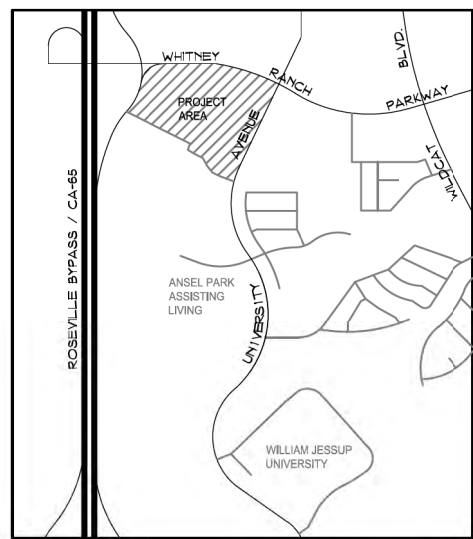
**PROJECT INFO**  
 PROPERTY:  
 ADDRESS: WHITNEY RANCH PARKWAY & UNIVERSITY AVENUE  
 APN: 017-087-001 & 002  
 TOTAL SITE AREA: ±18.17 AC (±791,485 SF)  
 GROSS BUILDING AREA: +/- 94,500 SF  
 TOTAL BUILDING LOT COVERAGE: 11.9%  
 CITY: ROCKLIN, CALIFORNIA  
 JURISDICTION: PLACER COUNTY  
 EXISTING GENERAL PLAN: RC / BP  
 EXISTING ZONING: PD-C  
 OCCUPANCY: M / B / A-2  
 STORES: ONE  
 SITE FIRE PROTECTION: WET SYSTEM HYDRANTS  
 FIRE PROTECTION: CENTRALLY MONITORED  
 FULLY SPRINKLERED BUILDINGS AS REQUIRED BY CODE

**BICYCLE PARKING**  
**MAJOR 2A: MAJOR - RETAIL / GROCERY**  
 GROSS FLOOR AREA: ±43,500 SF  
 PARKING PROVIDED: 246  
 BIKE RACKS REQUIRED: 12  
 BIKE RACKS PROVIDED: 12  
 BIKE LOCKERS REQUIRED: 12  
 BIKE LOCKERS PROVIDED: 12  
**BUILDING 2B: RETAIL / FOOD-USE**  
 GROSS FLOOR AREA: ±3,000 SF  
 PARKING PROVIDED: 36  
 BIKE RACKS REQUIRED: 2  
 BIKE RACKS PROVIDED: 2  
 BIKE LOCKERS REQUIRED: 2  
 BIKE LOCKERS PROVIDED: 2  
**BUILDING 2C: RETAIL**  
 GROSS FLOOR AREA: ±14,000 SF  
 PARKING PROVIDED: 66  
 BIKE RACKS REQUIRED: 4  
 BIKE RACKS PROVIDED: 4  
 BIKE LOCKERS REQUIRED: 4  
 BIKE LOCKERS PROVIDED: 4  
**BUILDING 2D: RETAIL**  
 GROSS FLOOR AREA: ±6,000 SF  
 PARKING PROVIDED: 44  
 BIKE RACKS REQUIRED: 2  
 BIKE RACKS PROVIDED: 2  
 BIKE LOCKERS REQUIRED: 2  
 BIKE LOCKERS PROVIDED: 2  
**BUILDING 2E: RETAIL**  
 GROSS FLOOR AREA: ±7,000 SF  
 PARKING PROVIDED: 45  
 BIKE RACKS REQUIRED: 2  
 BIKE RACKS PROVIDED: 2  
 BIKE LOCKERS REQUIRED: 2  
 BIKE LOCKERS PROVIDED: 2  
**BUILDING 2F: RETAIL**  
 GROSS FLOOR AREA: ±6,000 SF  
 PARKING PROVIDED: 32  
 BIKE RACKS REQUIRED: 2  
 BIKE RACKS PROVIDED: 2  
 BIKE LOCKERS REQUIRED: 2  
 BIKE LOCKERS PROVIDED: 2  
**BUILDING 3A: CONVENIENCE STORE**  
 GROSS FLOOR AREA: ±9,000 SF  
 PARKING PROVIDED: 11  
 BIKE RACKS REQUIRED: 1  
 BIKE RACKS PROVIDED: 2  
 BIKE LOCKERS REQUIRED: 1  
 BIKE LOCKERS PROVIDED: 2  
**BUILDING 3B: QSR**  
 GROSS FLOOR AREA: ±5,000 SF  
 PARKING PROVIDED: 58  
 BIKE RACKS REQUIRED: 3  
 BIKE RACKS PROVIDED: 4  
 BIKE LOCKERS REQUIRED: 3  
 BIKE LOCKERS PROVIDED: 4  
**BUILDING 3C: QSR**  
 GROSS FLOOR AREA: ±4,000 SF  
 PARKING PROVIDED: 55  
 BIKE RACKS REQUIRED: 3  
 BIKE RACKS PROVIDED: 4  
 BIKE LOCKERS REQUIRED: 3  
 BIKE LOCKERS PROVIDED: 4  
**BUILDING 3D: QSR**  
 GROSS FLOOR AREA: ±3,000 SF  
 PARKING PROVIDED: 46  
 BIKE RACKS REQUIRED: 2  
 BIKE RACKS PROVIDED: 2  
 BIKE LOCKERS REQUIRED: 2  
 BIKE LOCKERS PROVIDED: 2  
**TOTAL GROSS BUILDING AREA:**  
 OVERALL: ±94,500 SF



**SHEET INDEX**

- A1.0 SITE PLAN
- A1.1 ART & PLACEMENT
- A1.2 STREET VIEWS
- A1.3 SITE DETAILS
- A2.1 PAD 2A - FLOOR & MEZZANINE PLAN
- A2.2 PAD 2A - ROOF PLAN & SECTION
- A2.3 PAD 2A - EXTERIOR ELEVATIONS
- A2.4 PAD 2A - PERSPECTIVE VIEWS
- A3.1 PAD 2B - PRELIMINARY FLOOR PLAN
- A3.2 PAD 2B - PRELIMINARY ROOF PLAN & SECTION A-A
- A3.3 PAD 2B - PRELIMINARY ELEVATIONS
- A3.4 PAD 2B - PERSPECTIVE VIEWS
- A4.1 PAD 2C - PRELIMINARY FLOOR PLAN
- A4.2 PAD 2C - PRELIMINARY ROOF PLAN & SECTION A-A
- A4.3 PAD 2C - PRELIMINARY ELEVATIONS
- A4.4 PAD 2C - PRELIMINARY SECTION A-A
- A4.5 PAD 2C - PERSPECTIVE VIEWS
- A5.1 PAD 2D - PRELIMINARY FLOOR PLAN
- A5.2 PAD 2D - PRELIMINARY ROOF PLAN & SECTION A-A
- A5.3 PAD 2D - PRELIMINARY ELEVATIONS
- A5.4 PAD 2D - PERSPECTIVE VIEWS
- A6.1 PAD 2E - PRELIMINARY FLOOR PLAN
- A6.2 PAD 2E - PRELIMINARY ROOF PLAN & SECTION A-A
- A6.3 PAD 2E - PRELIMINARY ELEVATIONS
- A6.4 PAD 2E - PERSPECTIVE VIEWS
- A7.1 PAD 2F - PRELIMINARY FLOOR PLAN
- A7.2 PAD 2F - PRELIMINARY ROOF PLAN & SECTION A-A
- A7.3 PAD 2F - PRELIMINARY ELEVATIONS
- A7.4 PAD 2F - PERSPECTIVE VIEWS
- A8.1 PAD 3A - PRELIMINARY FLOOR PLAN
- A8.2 PAD 3A - PRELIMINARY ROOF PLAN & SECTION A-A
- A8.3 PAD 3A - PRELIMINARY ELEVATIONS
- A8.4 PAD 3A - PERSPECTIVE VIEWS
- A9.1 PAD 3B - PRELIMINARY FLOOR PLAN
- A9.2 PAD 3B - PRELIMINARY ROOF PLAN & SECTION A-A
- A9.3 PAD 3B - PRELIMINARY ELEVATIONS
- A9.4 PAD 3B - PERSPECTIVE VIEWS
- A10.1 PAD 3C - PRELIMINARY FLOOR PLAN
- A10.2 PAD 3C - PRELIMINARY ROOF PLAN & SECTION A-A
- A10.3 PAD 3C - PRELIMINARY ELEVATIONS
- A10.4 PAD 3C - PERSPECTIVE VIEWS
- A11.1 PAD 3D - PRELIMINARY FLOOR PLAN
- A11.2 PAD 3D - PRELIMINARY ROOF PLAN & SECTION A-A
- A11.3 PAD 3D - PRELIMINARY ELEVATIONS
- A11.4 PAD 3D - PERSPECTIVE VIEWS
- A12.1 COLORS AND MATERIALS - RETAILS PADS
- A12.2 COLORS AND MATERIALS - NUGGET
- A13.1 FREESTANDING SIGNAGE



Vicinity Plan

SCALE = NTS

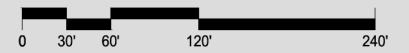
Site Plan

SCALE = 1" = 60'

**WHITNEY RANCH RETAIL**  
 Rocklin, CA

**PRELIMINARY SITE PLAN**

Scale: 1" = 60'



**A1.0**

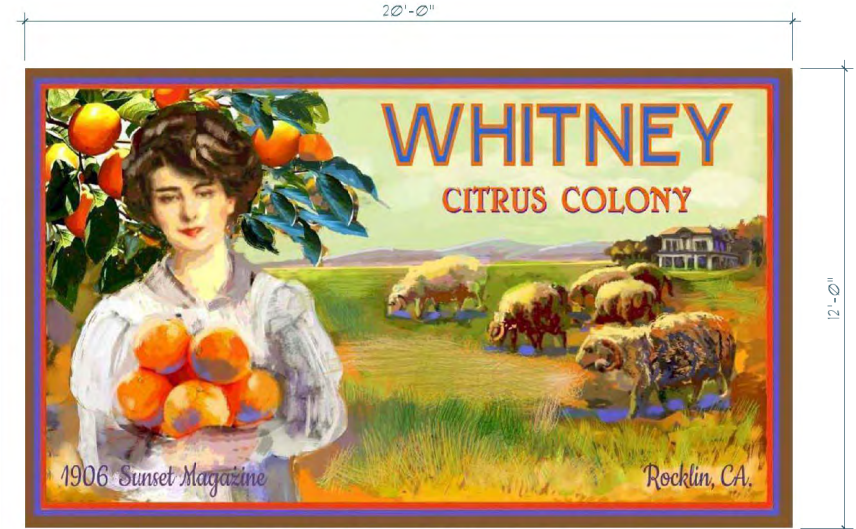
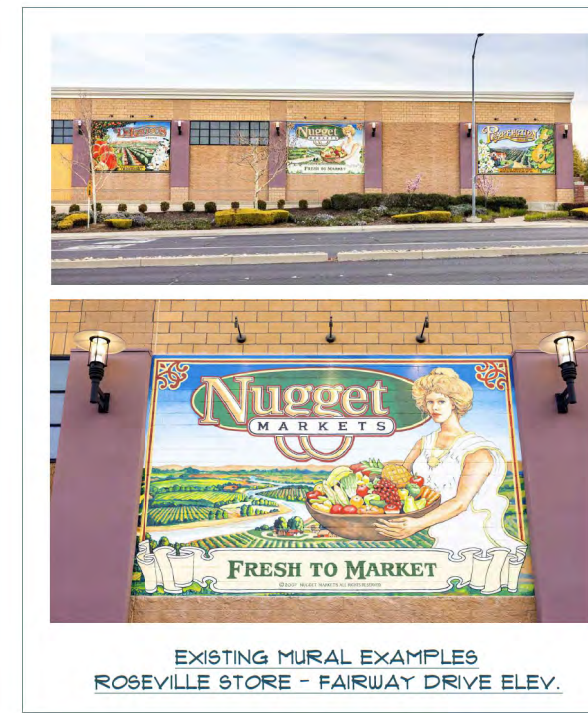
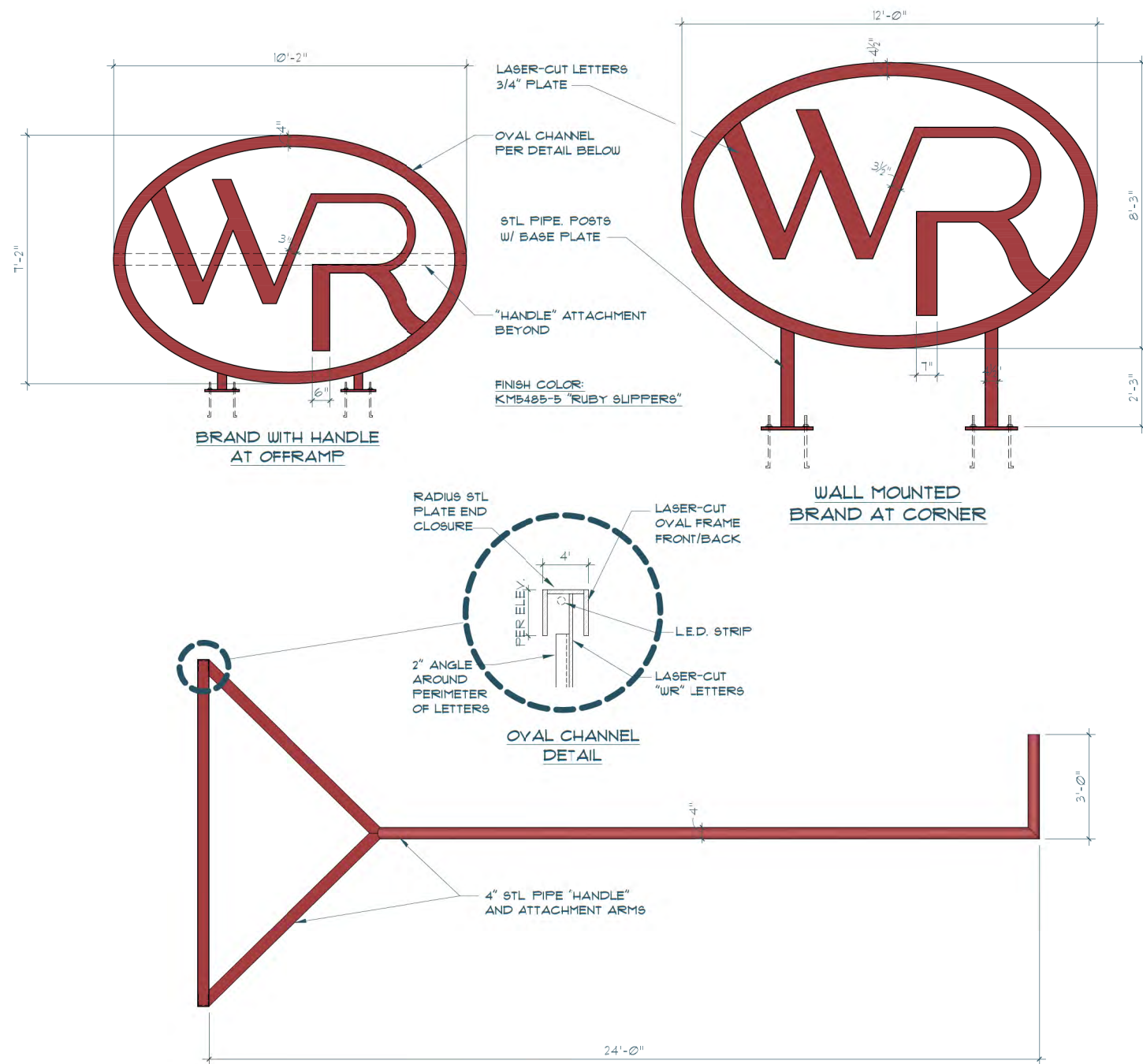


SHEET

**COLE PARTNERS**  
 DEVELOPMENT COMPANY  
 REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**

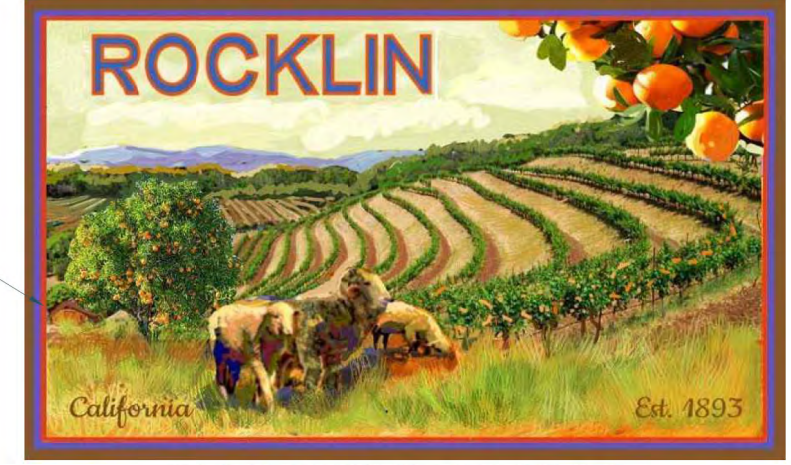
3320 Data Drive, Suite 200 - Rancho Cordova, California 95670  
 T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com  
 DATE: 04.12.23  
 PROJECT: 21-314



PROPOSED MURAL #1 - WEST ELEVATION



PROPOSED MURAL #2 - WEST ELEVATION



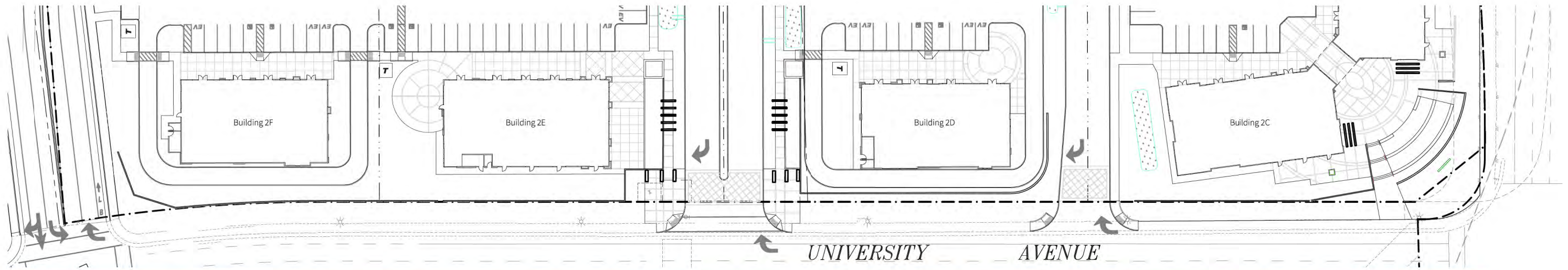
PROPOSED MURAL #3 - SOUTH ELEVATION

PROPOSED MURALS TO BE PERMANENT, PAINTED DIRECTLY ON PLASTER BY LOCAL ARTIST

**"BRAND" LOGOS**

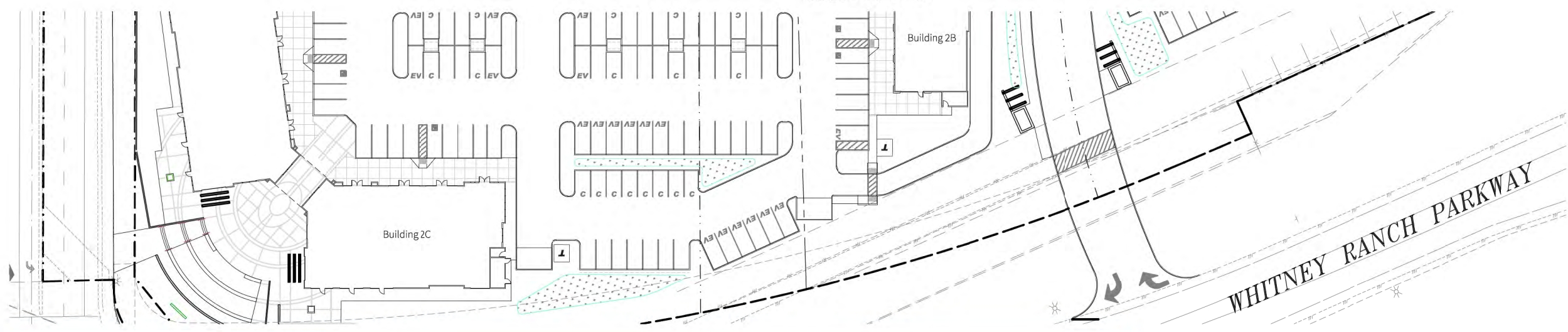
**NUGGET ELEVATION MURALS**





University Avenue

SCALE = 1/32" = 1'-0"



Whitney Ranch Parkway

SCALE = 1/32" = 1'-0"

**WHITNEY RANCH RETAIL**  
Rocklin, CA

**STREET VIEWS**

Scale: 1/32" - 1'-0"

SHEET  
**A1.2**

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**  
3320 Data Drive, Suite 200 - Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com  
DATE: 12.22.22  
PROJECT: 21-314

INFO:  
RAB LIGHTING  
MODEL: VBR/00DGB  
EXTERIOR BUILDING  
ACCENT LIGHT  
FIXTURE



Nugget Light Fixture - Accent

NOT TO SCALE

INFO:  
COCOWEB  
MODEL: OLDAGE 16"  
VINTAGE BARN LIGHT  
W/ GAGE  
EXTERIOR BUILDING  
ACCENT LIGHT  
FIXTURE



Nugget Light Fixture - Exterior

NOT TO SCALE

INFO:  
LANTERRA  
MODEL: 9004  
EXTERIOR BUILDING  
ACCENT LIGHT  
FIXTURE



Building Light Fixture - Accent

NOT TO SCALE

INFO:  
INVUE  
MODEL: ECM/EMM  
EXTERIOR BUILDING  
WALL LIGHT FIXTURE  
AND PEDESTRIAN  
ACCENT POLE LIGHT



Accent Fixture - Site/Building

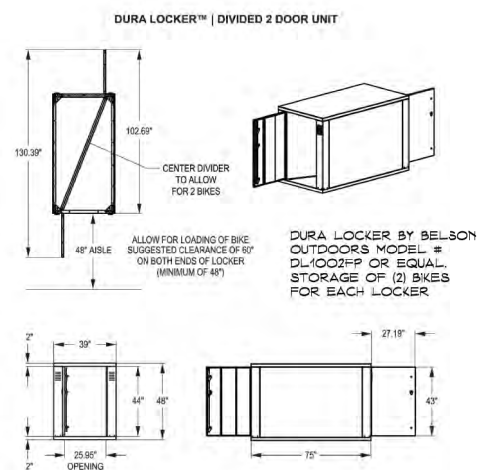
NOT TO SCALE



INFO:  
ACUTY BRANDS  
MODEL: LEGACY  
D-SERIES AREA SIZE 1  
SITE LIGHTING FIXTURE

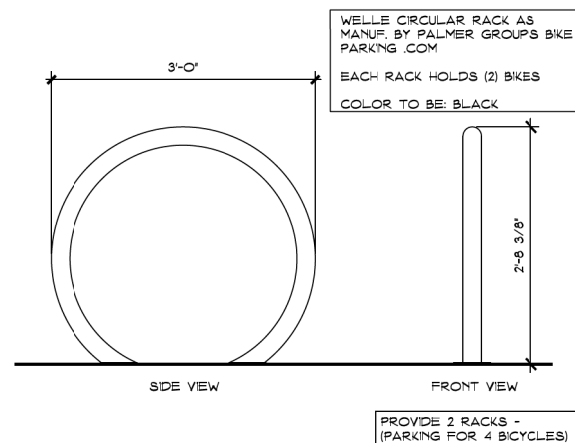
Parking Light Fixture - Site

NOT TO SCALE



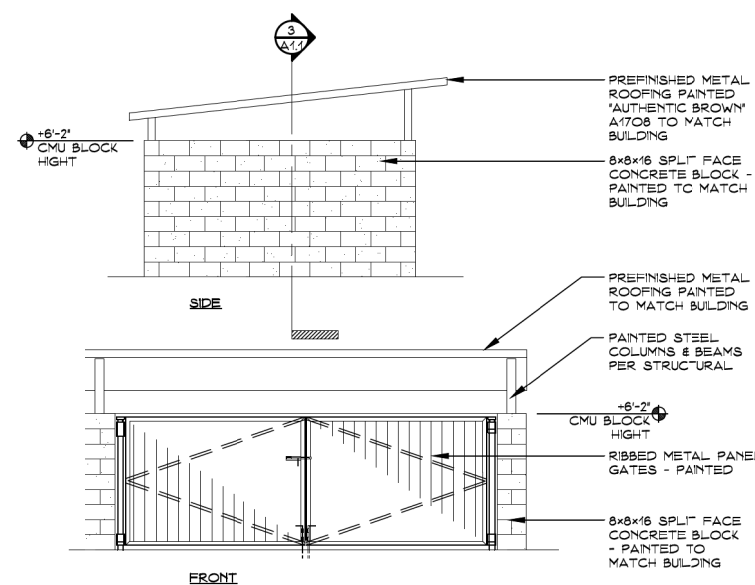
Bike Locker

NOT TO SCALE



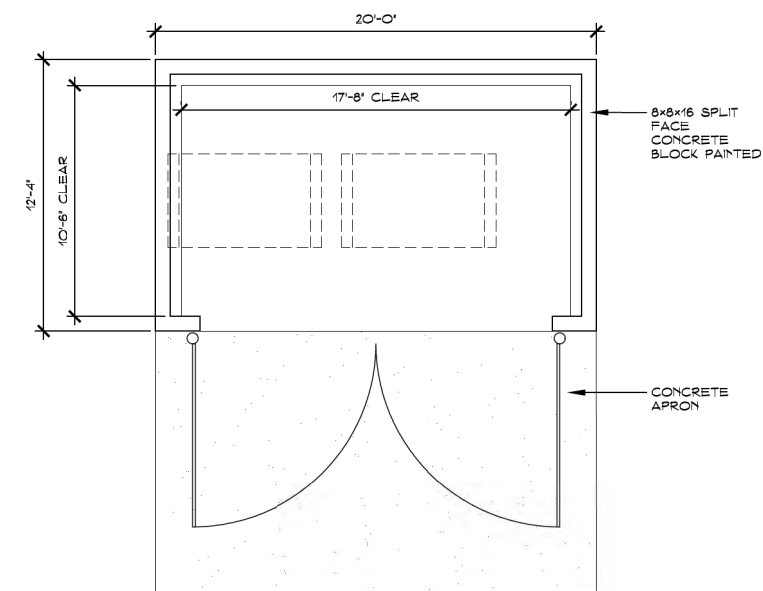
Bicycle Parking

SCALE: 1" = 1'-0"



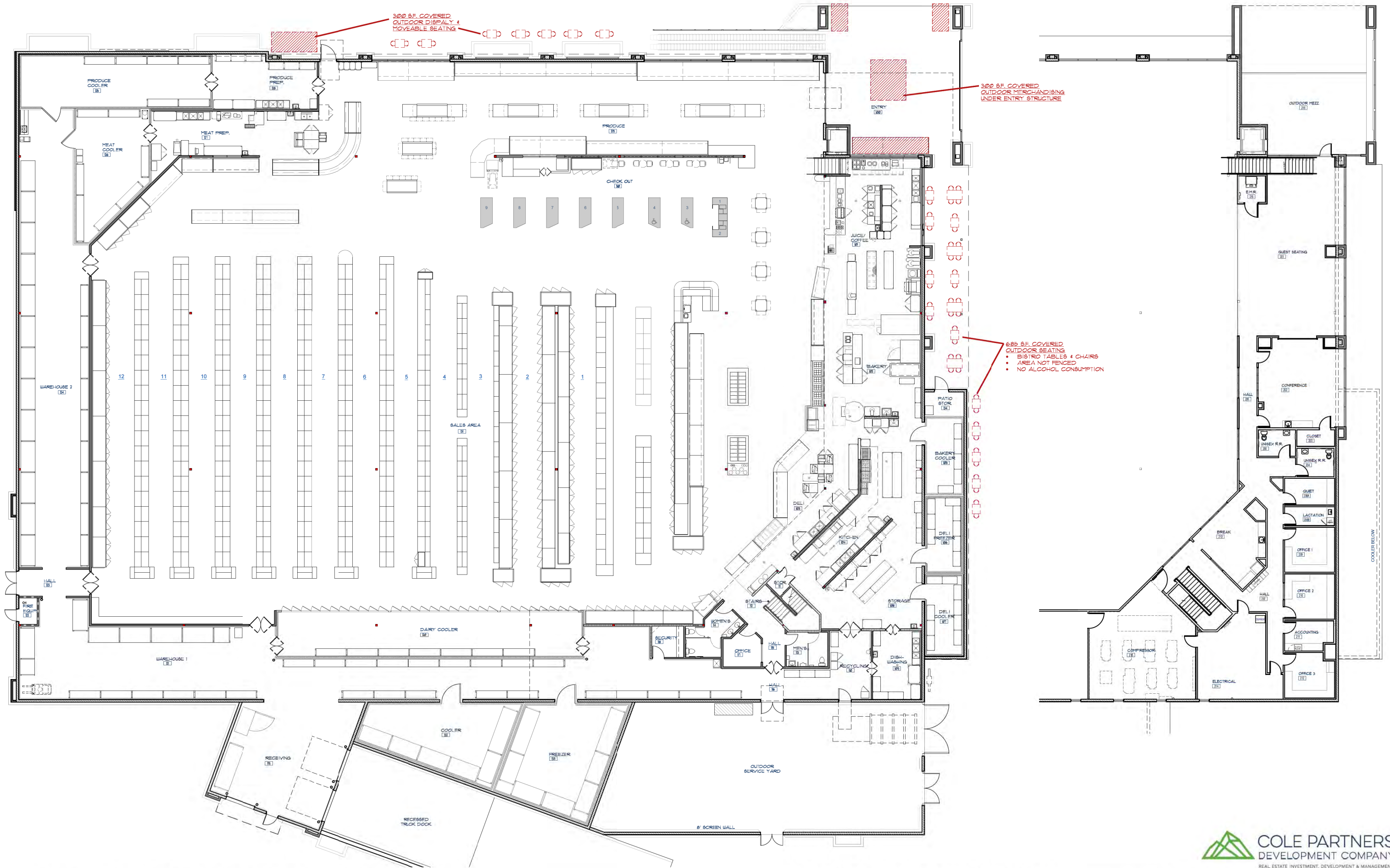
Trash Enclosure - Elevations

SCALE: 1/4" = 1'-0"



Trash Enclosure - Plan

SCALE: 1/4" = 1'-0"



**WHITNEY RANCH RETAIL**  
 Rocklin, CA

**FLOOR & MEZZANINE PLANS**

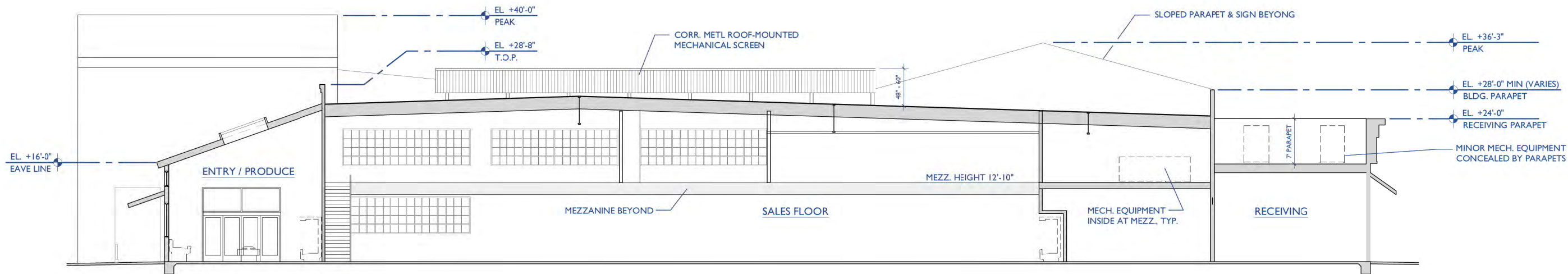


SHEET  
**A2.1**

**COLE PARTNERS**  
 DEVELOPMENT COMPANY  
 REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

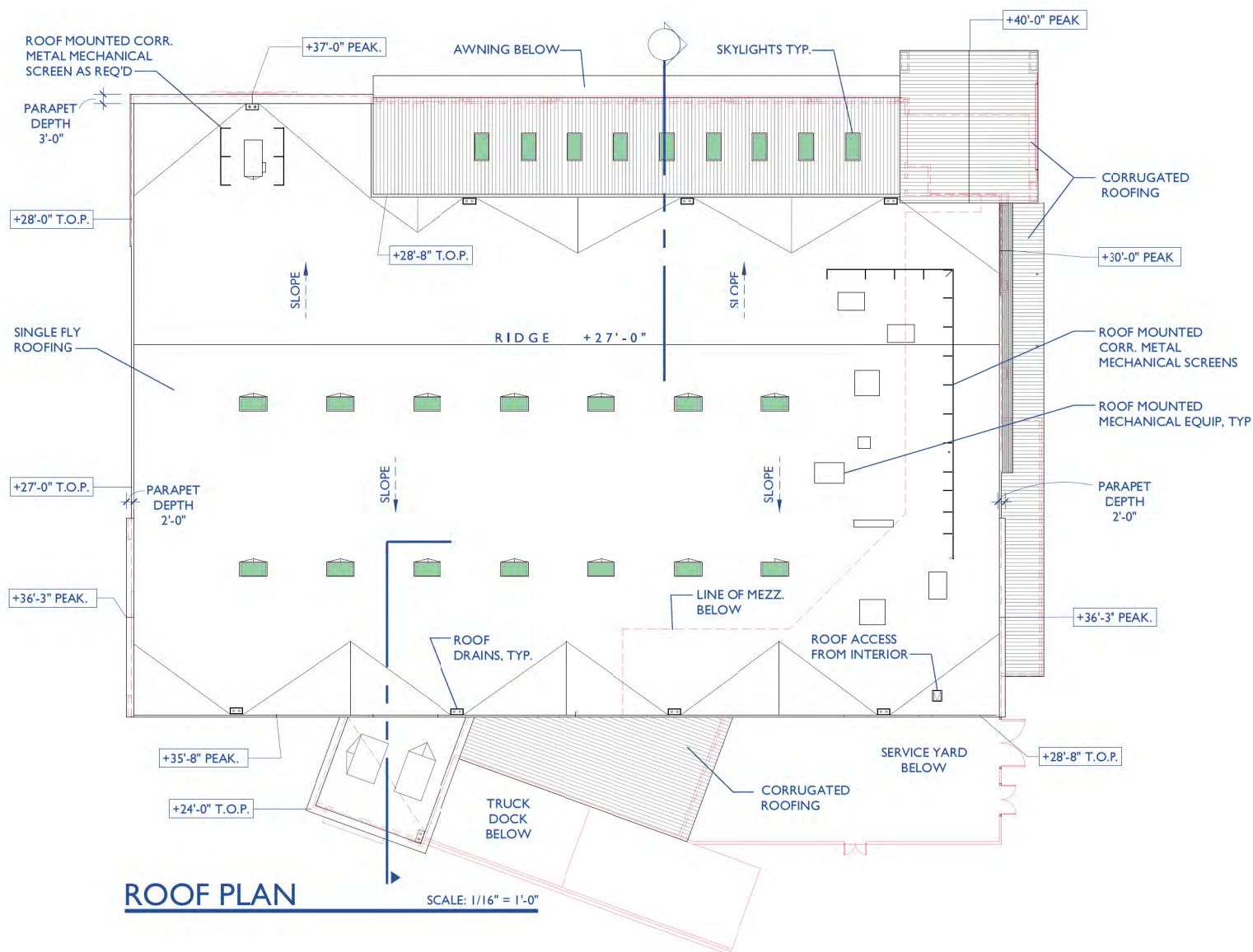


DATE:  
 PROJECT:  
 03.07.23  
 21-314



**BUILDING SECTION**

SCALE: 1/8" = 1'-0"



**ROOF PLAN**

SCALE: 1/16" = 1'-0"



**GROUND LEVEL VIEW**

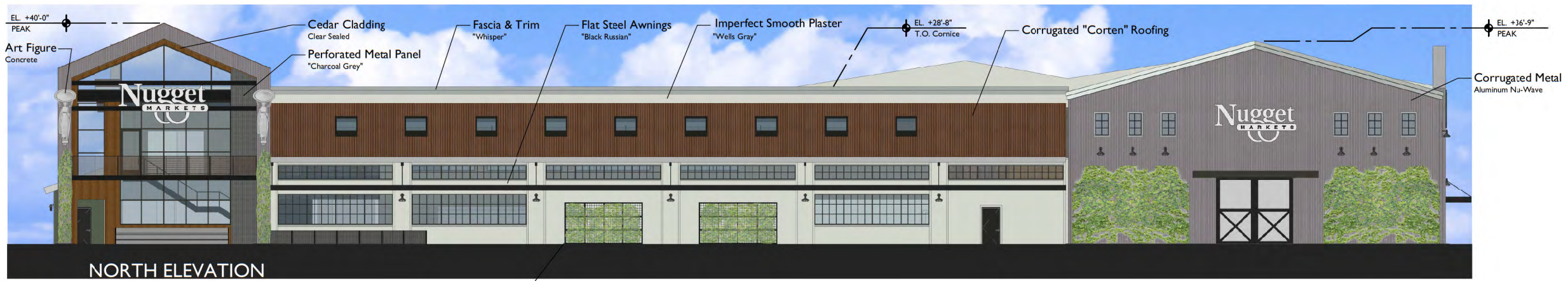


**AERIAL VIEW**

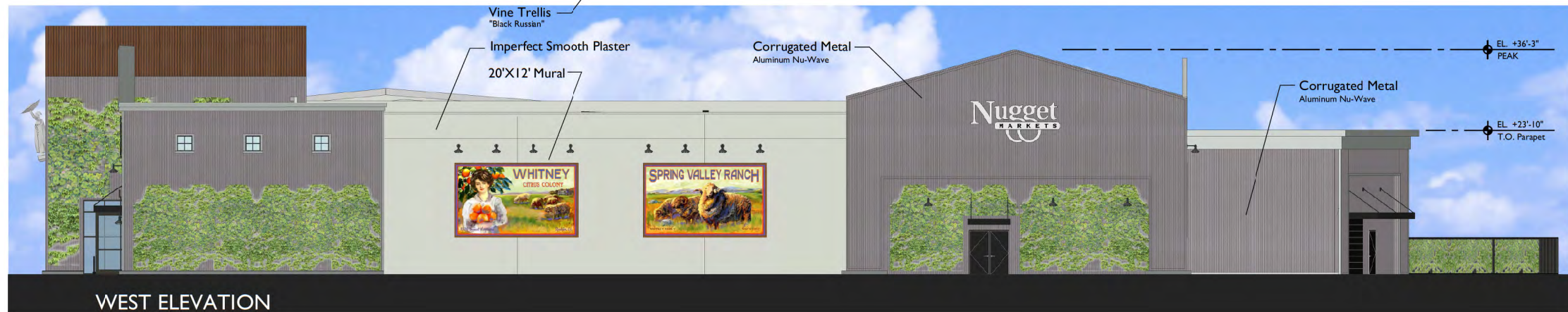
PEAKED FACADES ARE 24"-36" DEEP WHERE FINISH MATERIALS CHANGE; WALL DEPTH ALONG BACK OF BUILDING PARAPET

EXISTING PARAPET / ROOFLINE EXAMPLE  
2503 BLUE OAKS BLVD, ROSEVILLE STORE

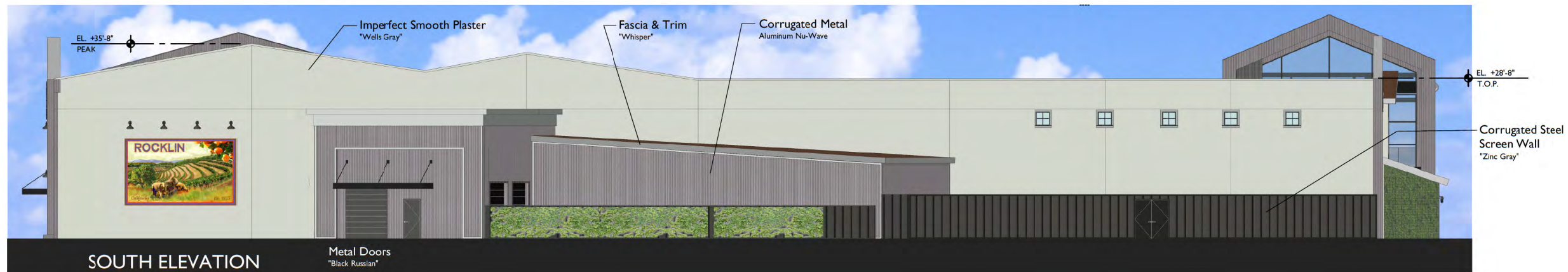




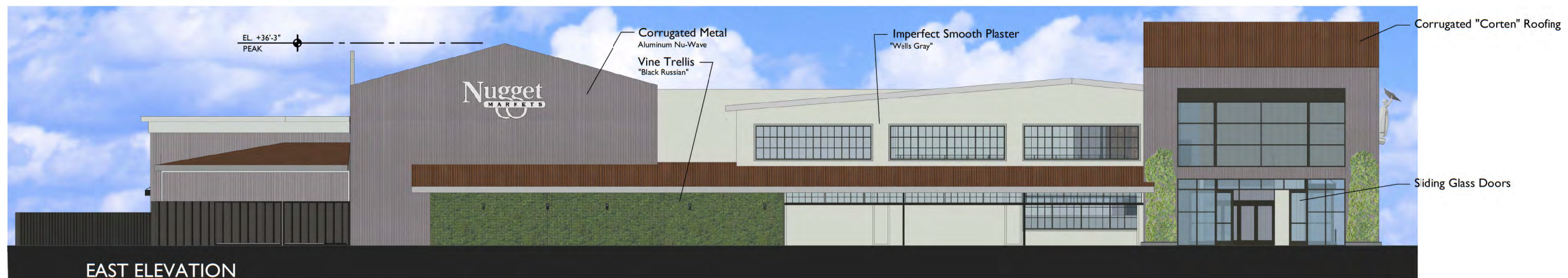
NORTH ELEVATION



WEST ELEVATION



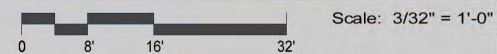
SOUTH ELEVATION



EAST ELEVATION

WHITNEY RANCH RETAIL  
Rocklin, CA

PRELIMINARY ELEVATIONS



SHEET  
**A2.3**

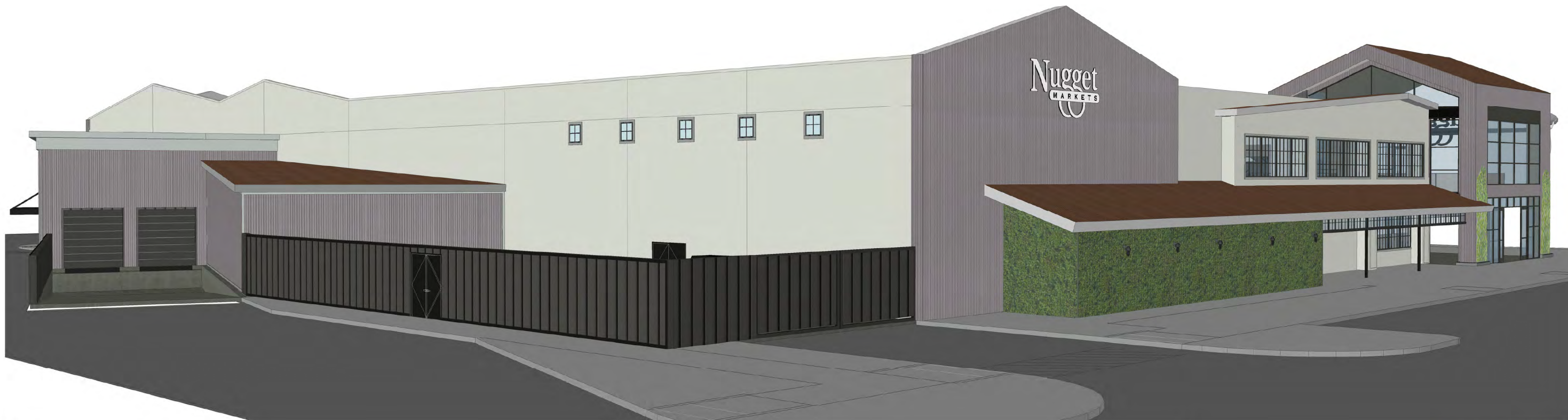


DATE:  
PROJECT:

03.07.23  
21-314



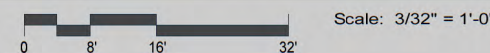
VIEW FROM NORTHEAST



VIEW FROM SOUTHEAST

WHITNEY RANCH RETAIL  
Rocklin, CA

PERSPECTIVE VIEWS



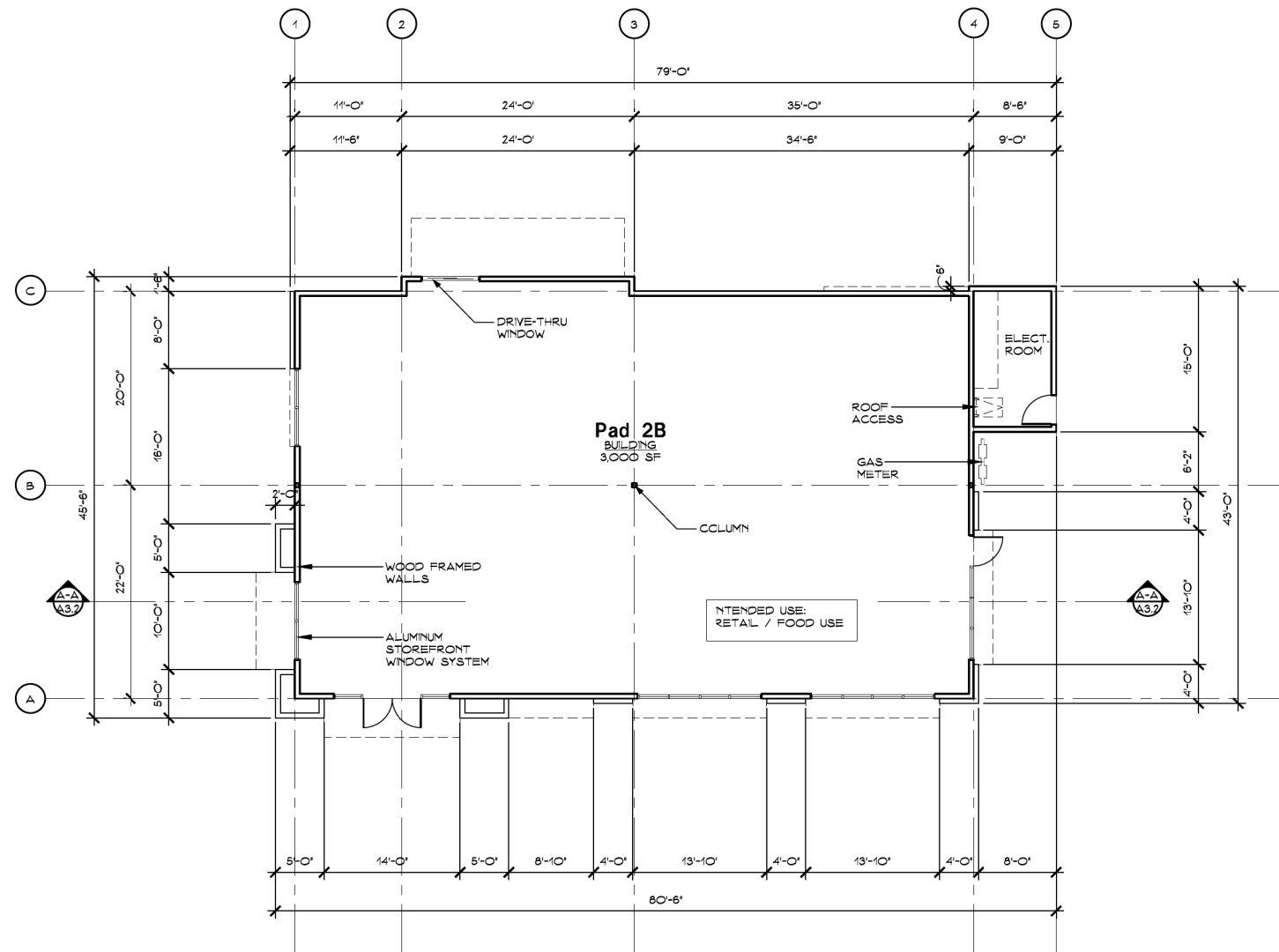
SHEET  
**A2.4**

 COLE PARTNERS  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



DATE:  
PROJECT:

03.07.23  
21-314



Floor Plan

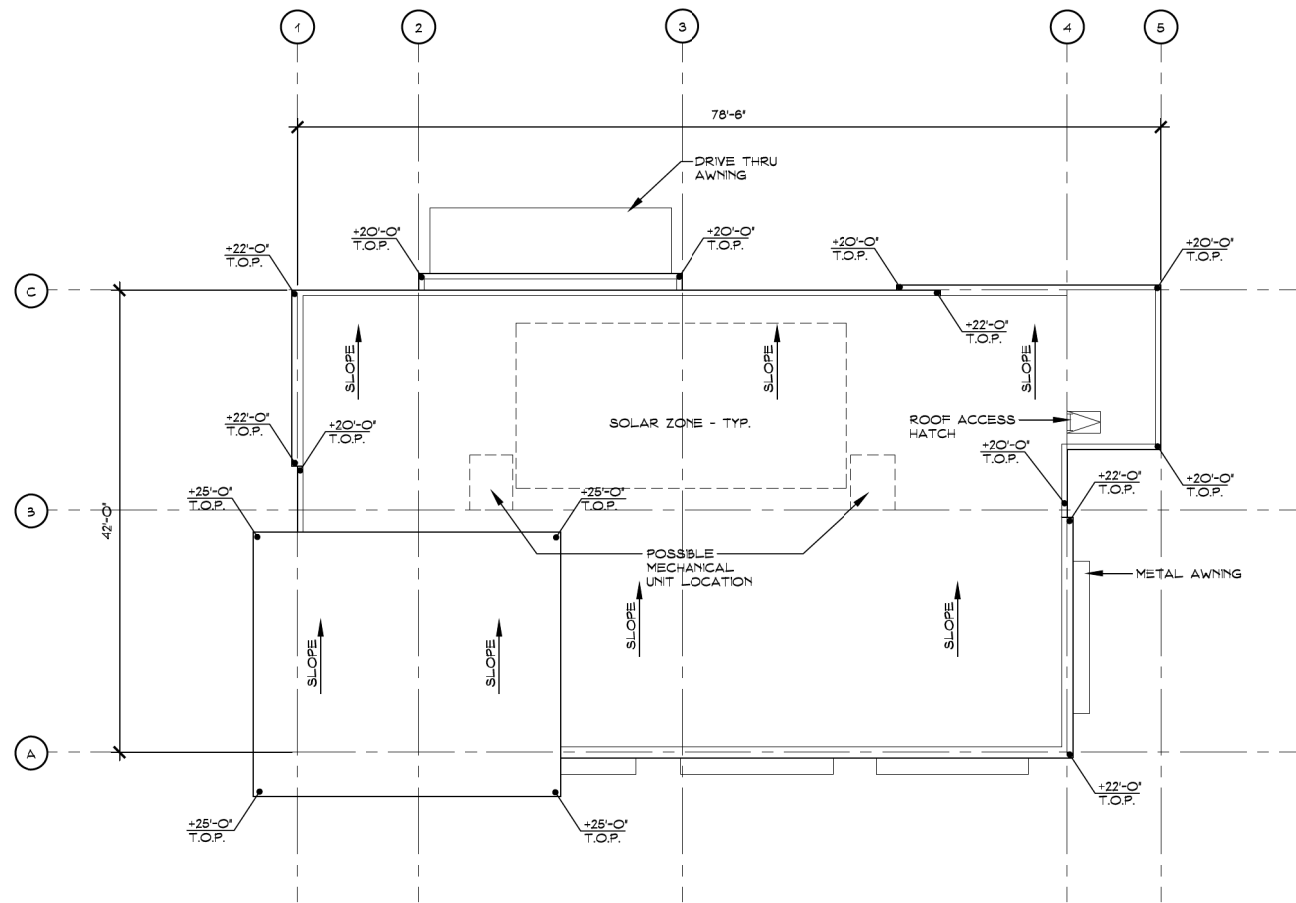
SCALE = 1/8" = 1'-0"



KEY PLAN

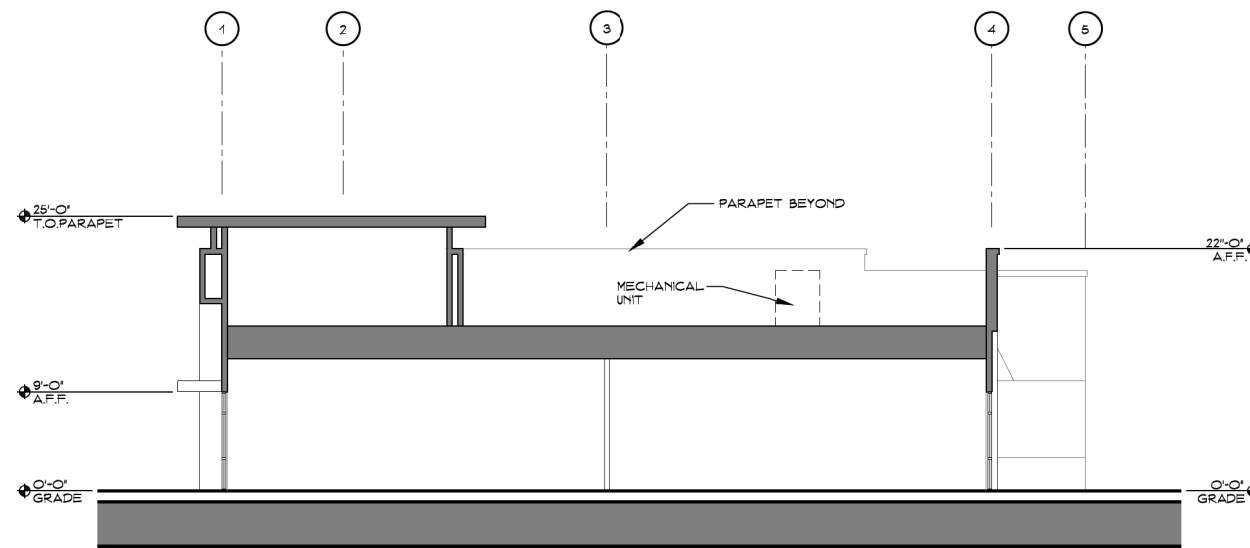


SHEET



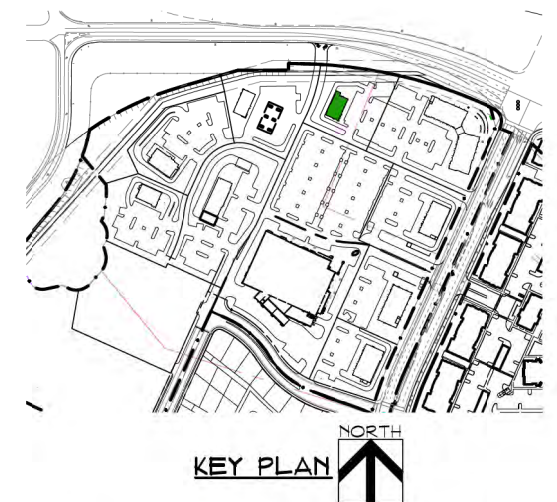
Roof Plan

SCALE = 1/8" = 1'-0"



A-A Building Section

SCALE = 3/16" = 1'-0"







West Elevation

SCALE = 1/8" = 1'-0"



North Elevation

SCALE = 1/8" = 1'-0"



South Elevation

SCALE = 1/8" = 1'-0"



EAST ELEVATION

SCALE = 1/8" = 1'-0"

**KEYNOTES**

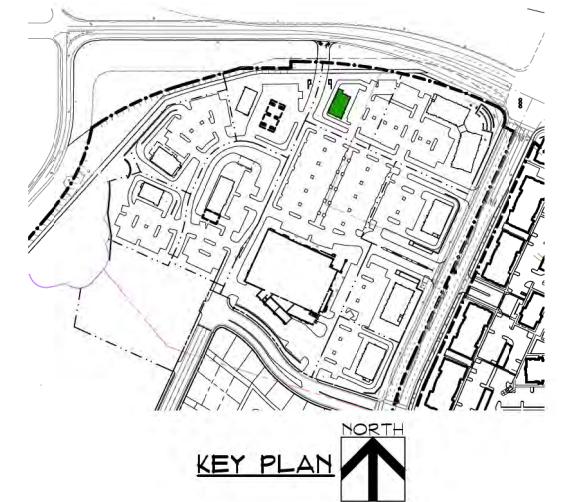
- 1 IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
- 2 ARCHITECTURAL FOAM CORNICE
- 3 HORIZONTAL LAP SIDING
- 4 METAL SIDING
- 5 ALUMINUM STOREFRONT WINDOW SYSTEM
- 6 METAL AWNING
- 7 GAS METER
- 8 HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
- 9 POSSIBLE ATM
- 10 POSSIBLE DROP BOX
- 11 FUTURE TENANT SIGNAGE
- 12 ACCENT LIGHT FIXTURE

**PAINT**

- P-1 'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
- P-2 'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
- P-3 'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
- P-4 'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
- P-5 'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
- P-6 'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

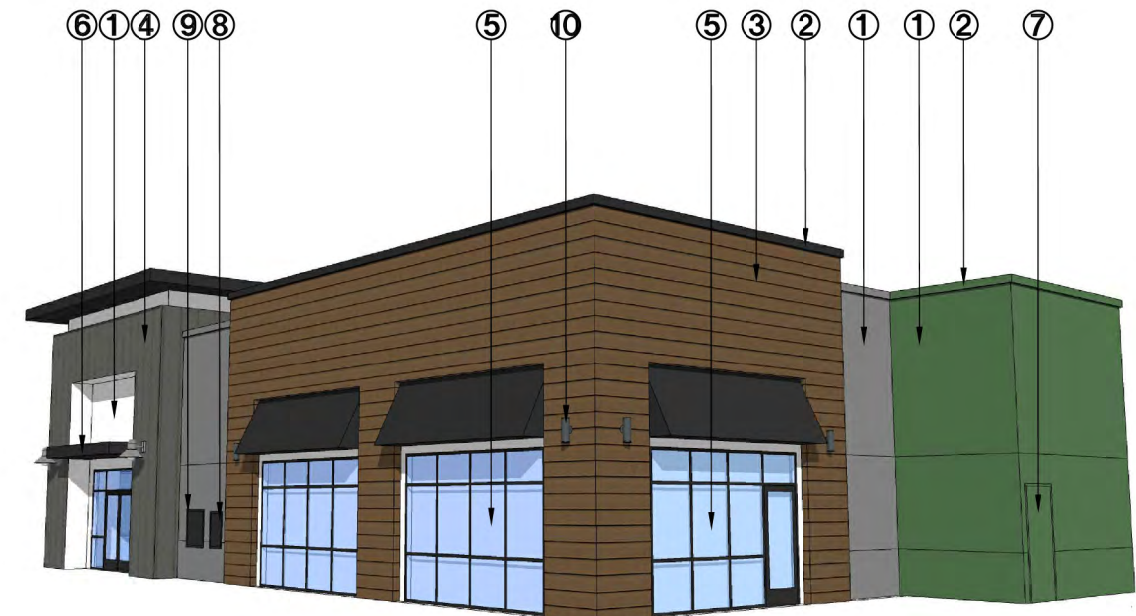
**MATERIALS**

- M-1 HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
- M-2 METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
- M-3 METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN

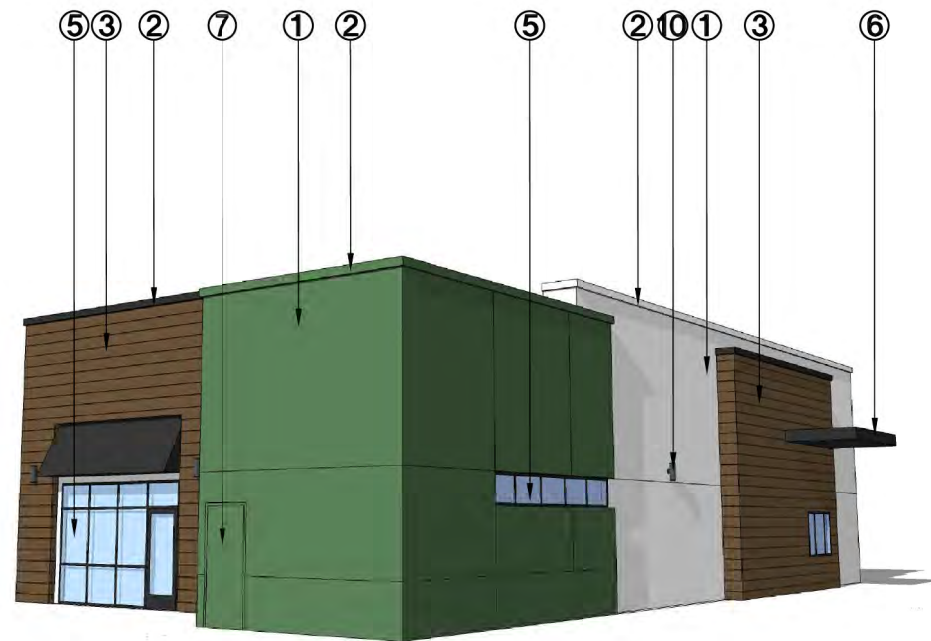




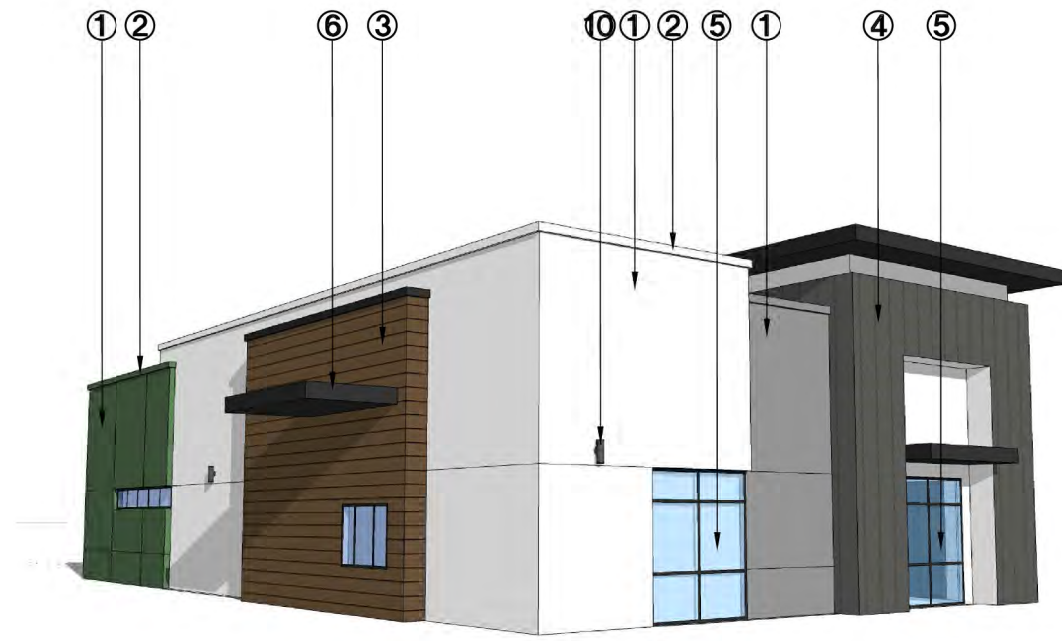
VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST



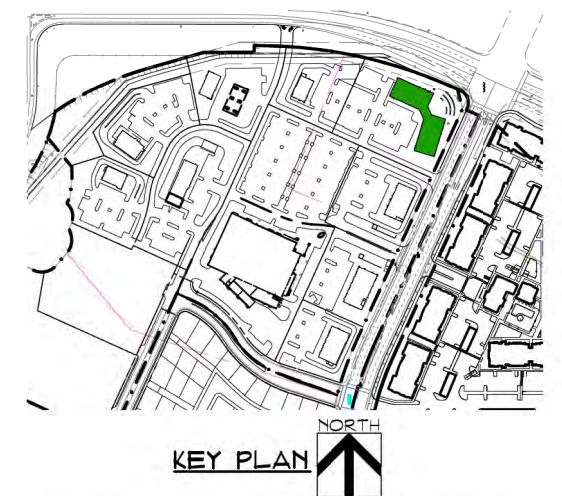
VIEW FROM SOUTHWEST

- |  |  |                        |
|--|--|------------------------|
| ① IMPERFECT SMOOTH FINISH<br>CEMENT PLASTER SYSTEM | ④ METAL SIDING                         | ⑦ HOLLOW METAL DOOR    |
| ② ARCHITECTURAL FOAM CORNICE                       | ⑤ ALUMINUM STOREFRONT<br>WINDOW SYSTEM | ⑧ POSSIBLE ATM         |
| ③ HORIZONTAL LAP SIDING                            | ⑥ METAL AWNING                         | ⑨ POSSIBLE DROP BOX    |
|  |  | ⑩ ACCENT LIGHT FIXTURE |





Roof Plan  
SCALE = 3/32" = 1'-0"



**KEY PLAN**

**NORTH** ↑

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**

3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

DATE: 12.22.22  
PROJECT: 21-314

**WHITNEY RANCH RETAIL**  
Rocklin, CA

**PAD 2C - PRELIMINARY ROOF PLAN**

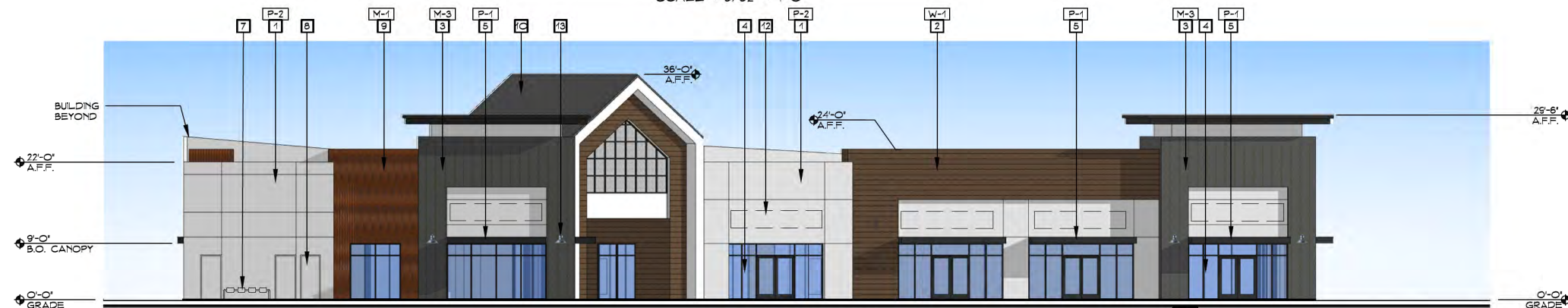


**A4.2**



South Elevation

SCALE = 3/32" = 1'-0"



West Elevation

SCALE = 3/32" = 1'-0"



North Elevation

SCALE = 3/32" = 1'-0"



East Elevation

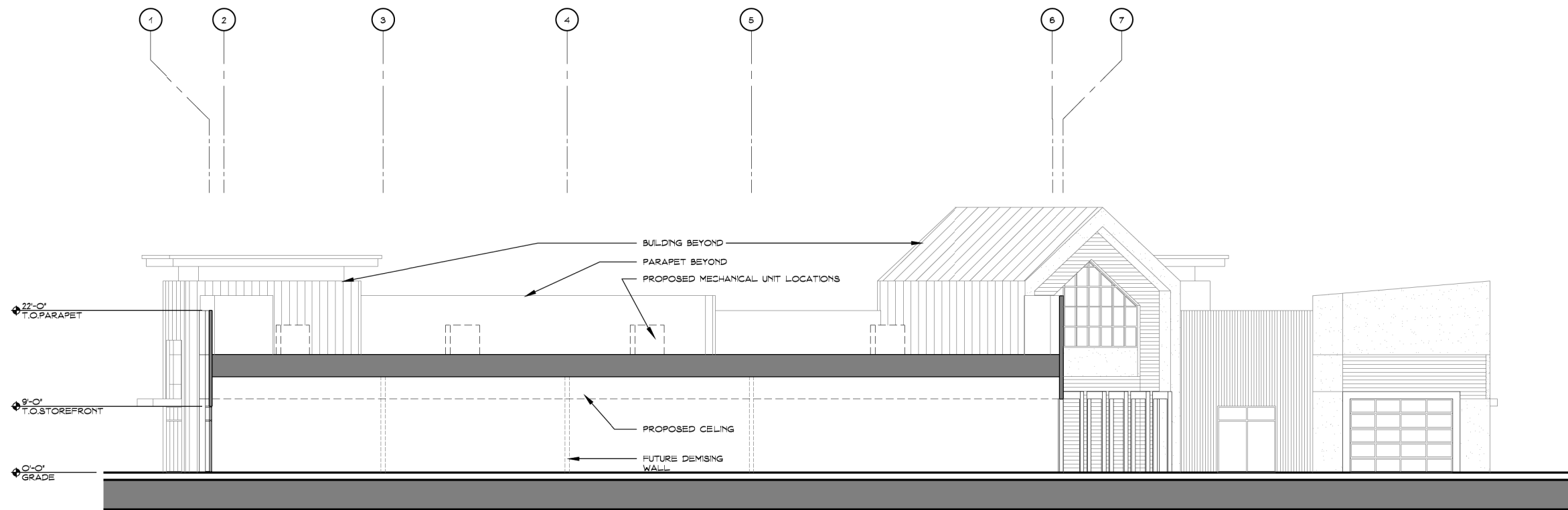
SCALE = 3/32" = 1'-0"

KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	HORIZONTAL LAP SIDING
3	METAL SIDING
4	ALUMINUM STOREFRONT WINDOW SYSTEM
5	METAL AWNING
6	LIVING WALL LANDSCAPE TRELLIS
7	GAS METER
8	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
9	'CORTEX' METAL PANEL
C	STANDING SEAM METAL ROOFING
11	DECORATIVE METAL ARBOR
12	FUTURE TENANT SIGNAGE
13	ACCENT LIGHT FIXTURE

PAINT	
P-1	'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
P-2	'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
P-3	'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
P-4	'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
P-5	'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
P-6	'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS
MATERIALS	
W-1	HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
M-1	METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
M-2	METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
M-3	METAL SIDING: 'SAGE GREEN' FLEX SERIES 12FX20-12 - AEP SPAN



KEY PLAN



SCALE = 1/8" = 1'-0"



KEY PLAN 

 **COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

 **PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**

3320 Data Drive, Suite 200 - Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com  
DATE: 12.22.22  
PROJECT: 21-314

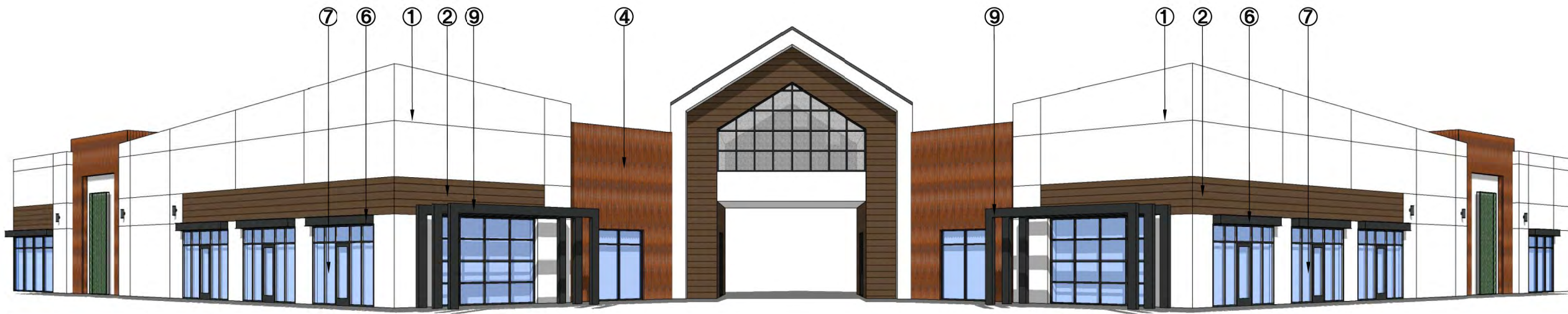
**WHITNEY RANCH RETAIL**  
Rocklin, CA

PAD 2C - PRELIMINARY SECTION A-A



Scale: 1/8" = 1'-0"

SHEET  
**A4.4**



VIEW FROM NORTHEAST

- ① IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
- ② HORIZONTAL LAP SIDING
- ③ RIBBED METAL SIDING
- ④ CORRUGATED METAL SIDING
- ⑤ STANDING SEAM METAL ROOFING
- ⑥ METAL AWNING
- ⑦ ALUMINUM STOREFRONT WINDOW SYSTEM
- ⑧ HOLLOW METAL DOOR
- ⑨ DECORATIVE METAL ARBOR
- ⑩ LIVING WALL LANDSCAPE TRELLIS
- ⑪ ACCENT LIGHT FIXTURE



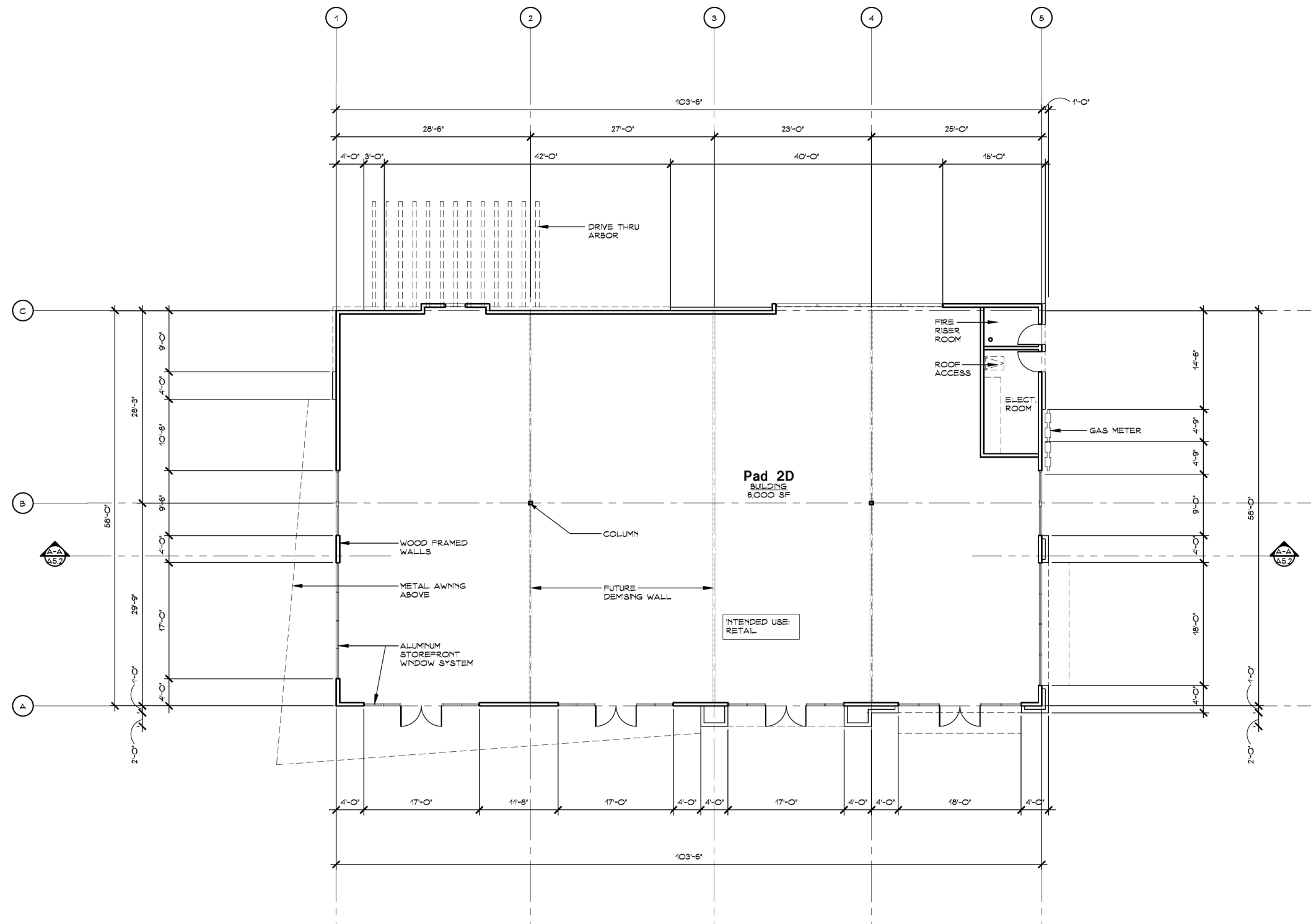
VIEW FROM SOUTHEAST



VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST



Floor Plan

SCALE = 1/8" = 1'-0"



KEY PLAN  
NORTH



COLE PARTNERS  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

SHEET

PERKINS, WILLIAMS & COTTERILL, INC.  
**ARCHITECTS**

3320 Data Drive, Suite 200 - Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

DATE: 12.22.22  
PROJECT: 21-314

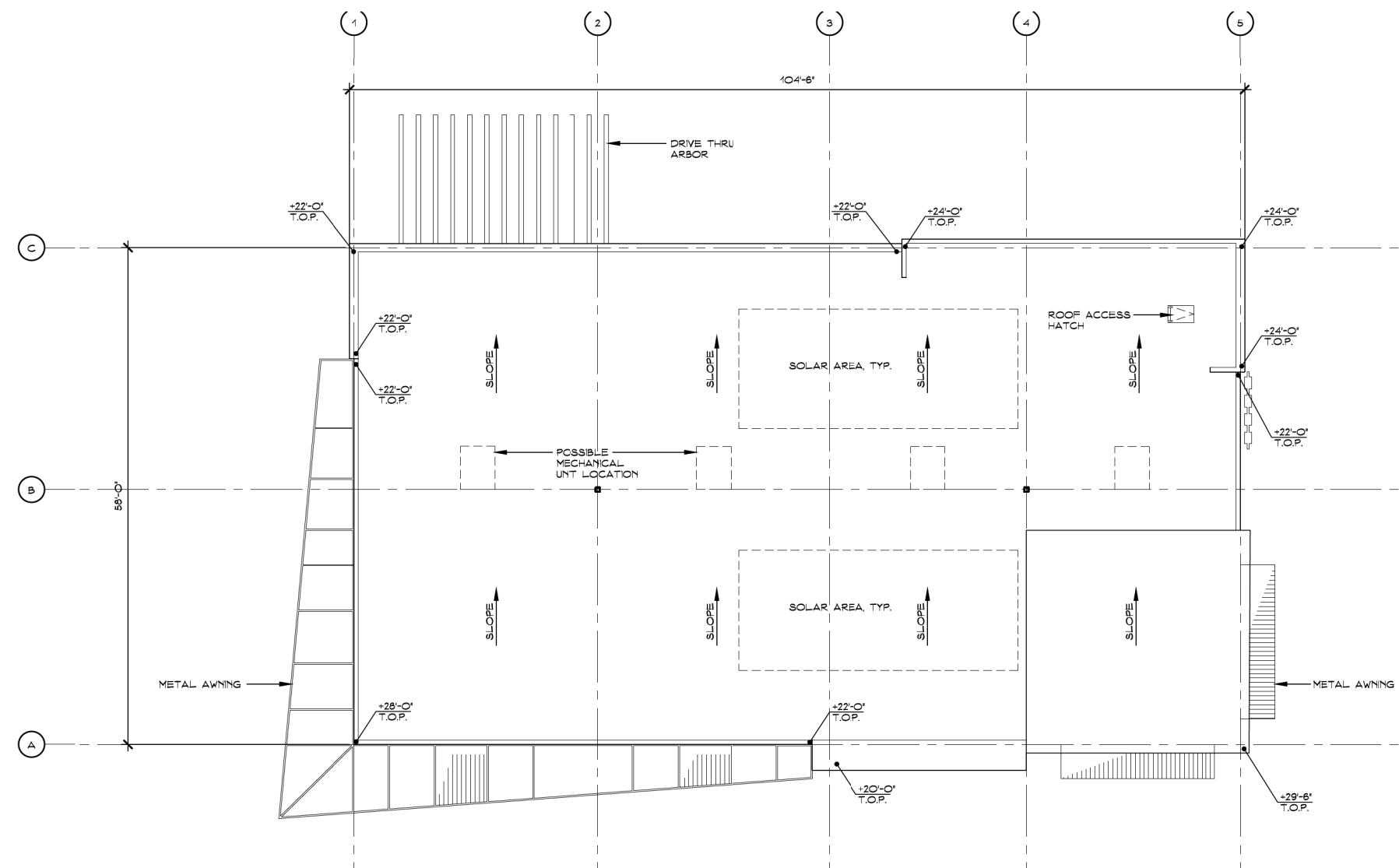
WHITNEY RANCH RETAIL  
Rocklin, CA

PAD 2D - PRELIMINARY FLOOR PLAN



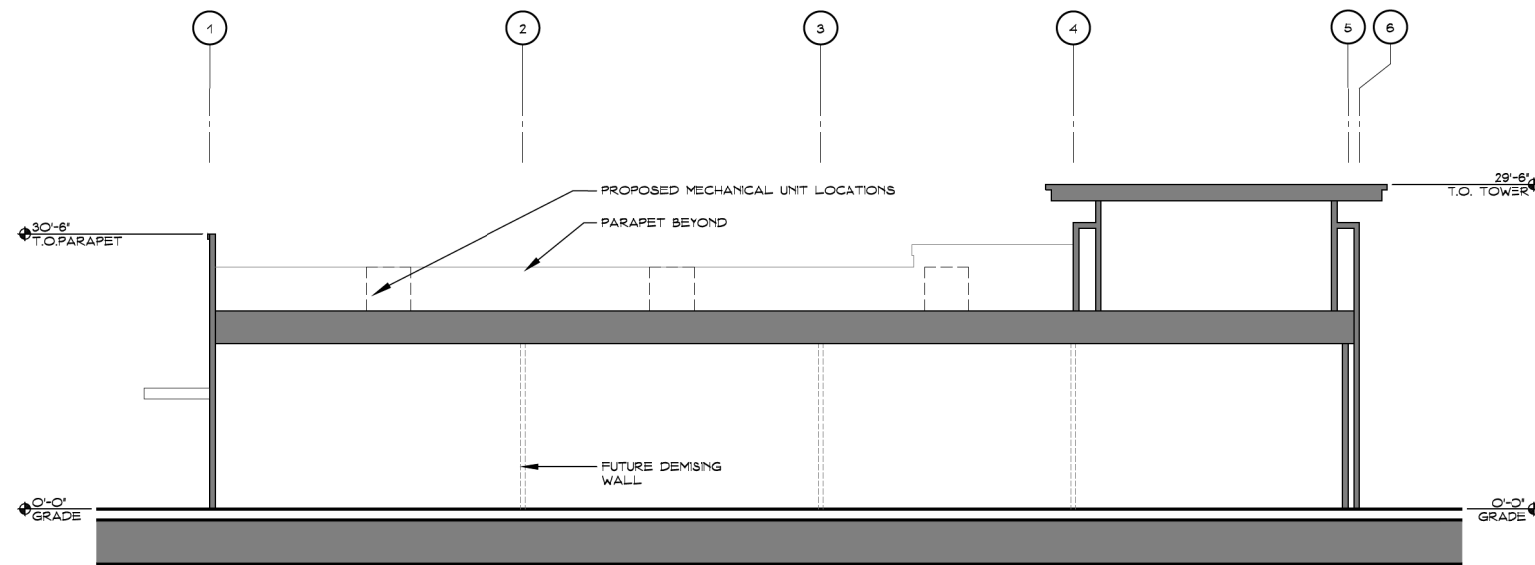
A5.1





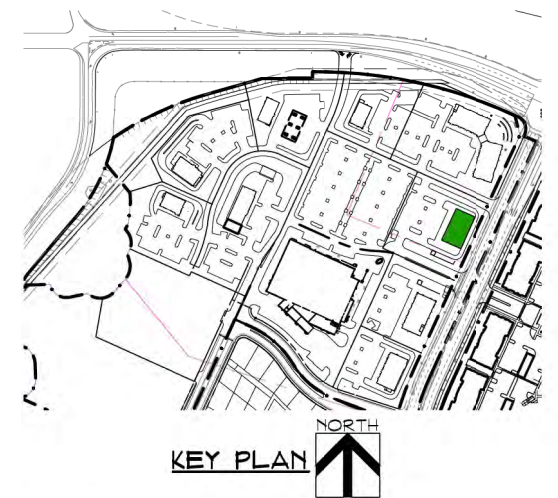
Roof Plan

SCALE = 1/8" = 1'-0"



A-A Building Section

SCALE = 1/8" = 1'-0"



KEY PLAN

WHITNEY RANCH RETAIL AD 2D - PRELIMINARY ROOF PLAN & SECTION A-A

Rocklin, CA



**A5.2**

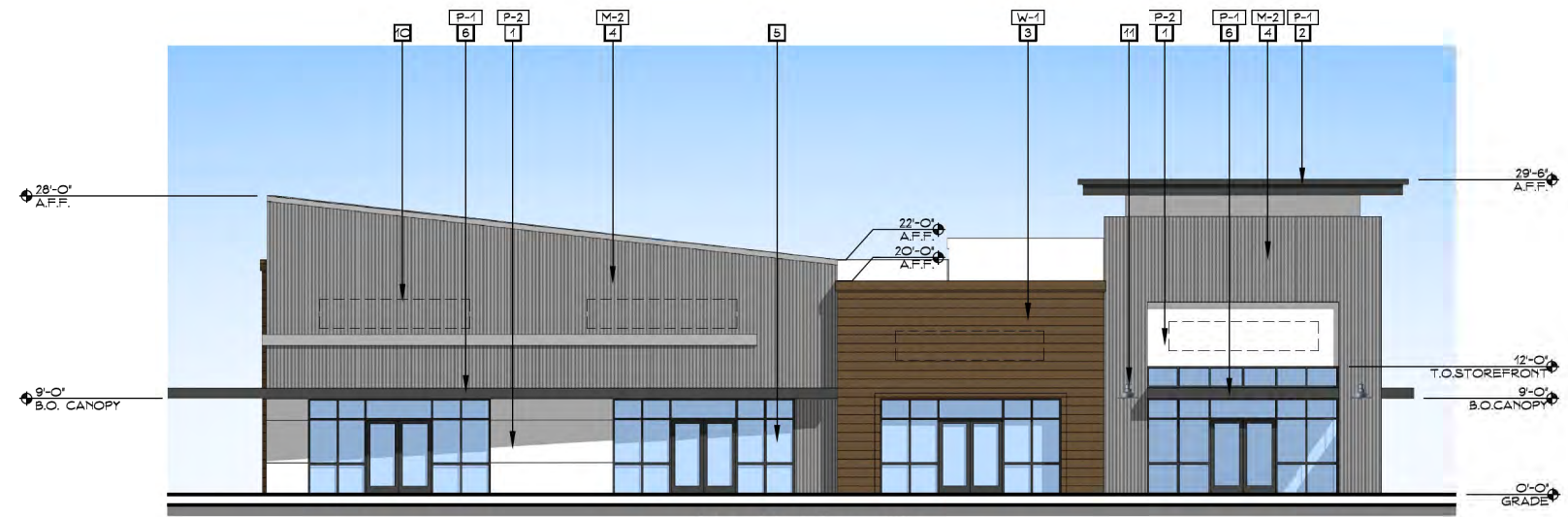
NORTH

COLE PARTNERS  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PERKINS, WILLIAMS & COTTERILL, INC.  
**ARCHITECTS**

3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

DATE: 12.22.22  
PROJECT: 21-314



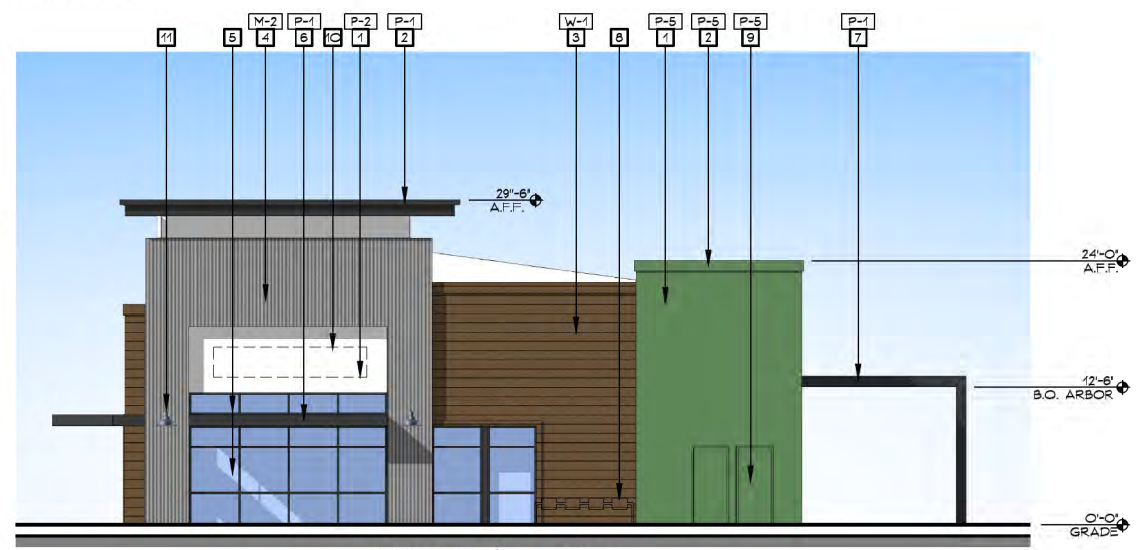
North Elevation

SCALE = 1/8" = 1'-0"



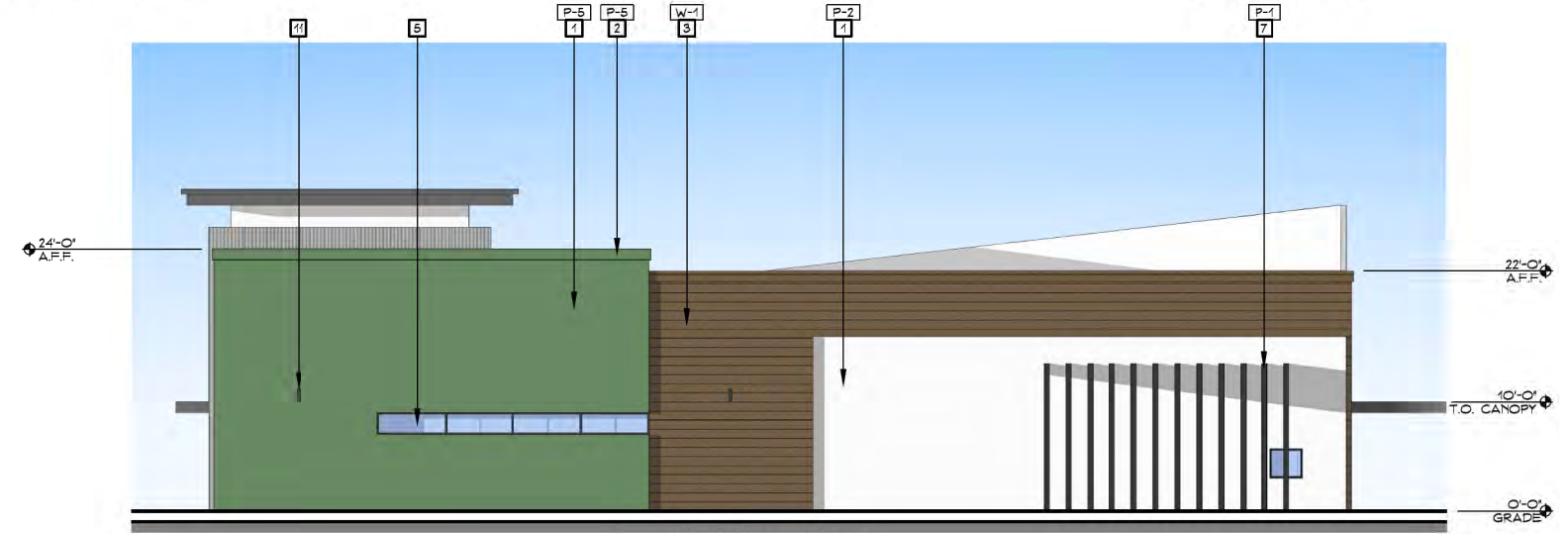
East Elevation

SCALE = 1/8" = 1'-0"



West Elevation

SCALE = 1/8" = 1'-0"



South Elevation

SCALE = 1/8" = 1'-0"

**KEYNOTES**

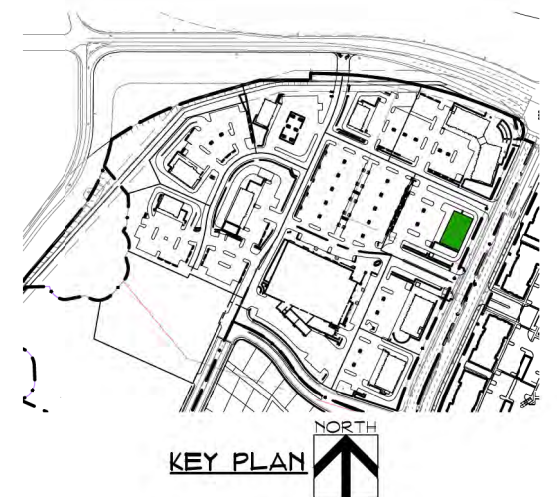
- 1 IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
- 2 ARCHITECTURAL FOAM CORNICE
- 3 HORIZONTAL LAP SIDING
- 4 METAL SIDING
- 5 ALUMINUM STOREFRONT WINDOW SYSTEM
- 6 METAL AWNING
- 7 ARBOR SCREEN AT DRIVE-THRU
- 8 GAS METER
- 9 HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
- 10 FUTURE TENANT SIGNAGE
- 11 ACCENT LIGHT FIXTURE

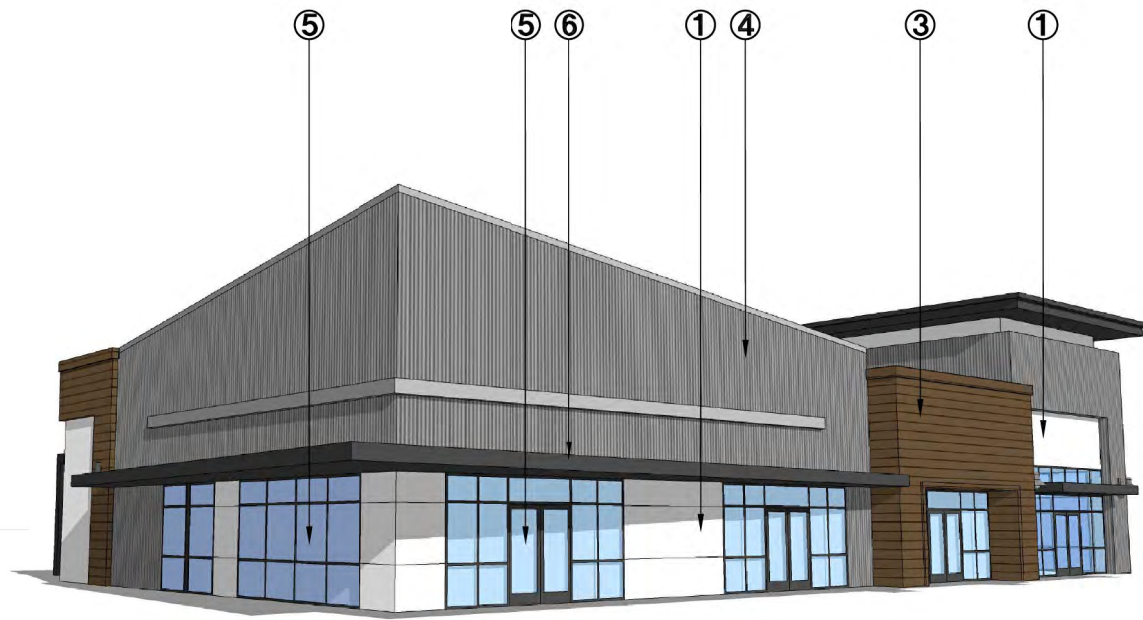
**PAINT**

- P-1 'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
- P-2 'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
- P-3 'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
- P-4 'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
- P-5 'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
- P-6 'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

**MATERIALS**

- W-1 HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
- M-1 METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
- M-2 METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
- M-3 METAL SIDING: 'SAGE GREEN' FLEX SERIES 1.2FX20-12 - AEP SPAN

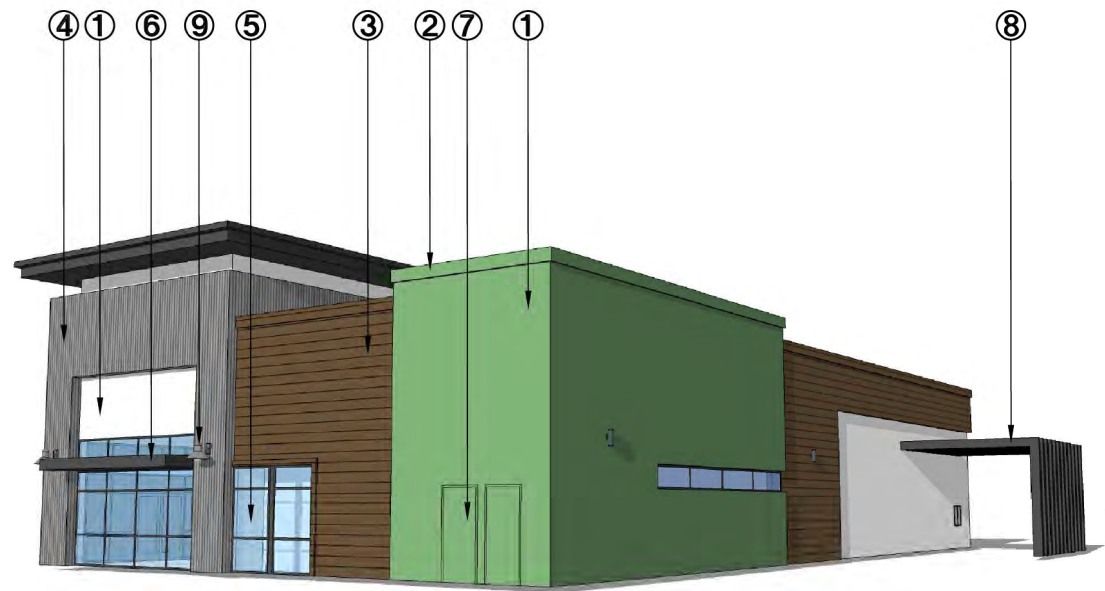




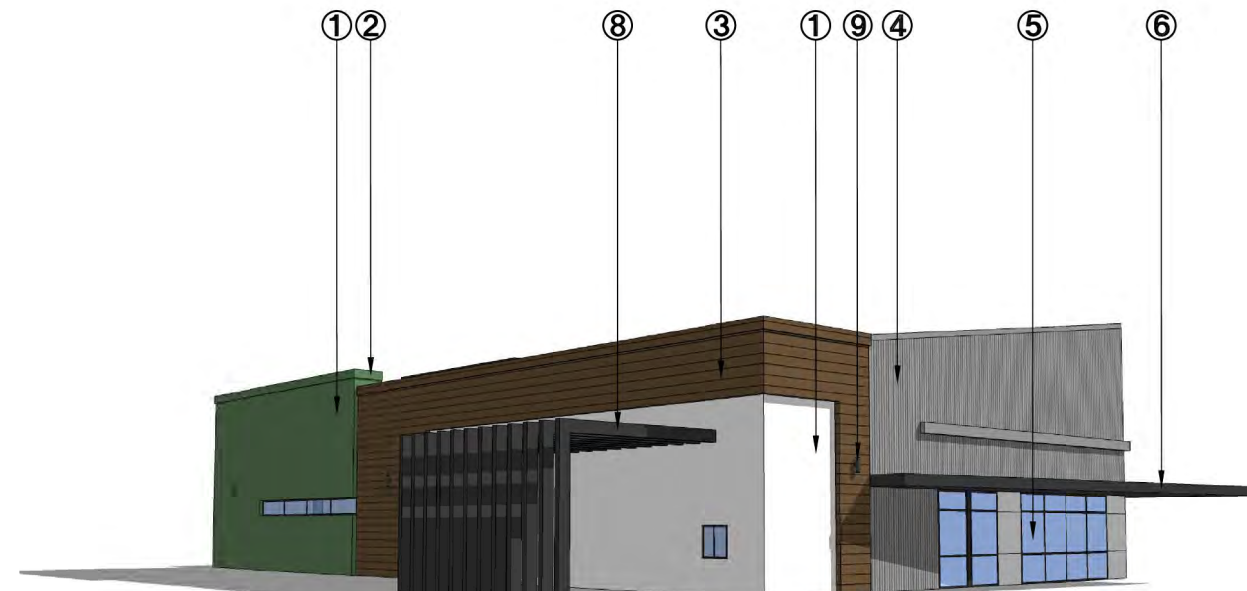
VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST

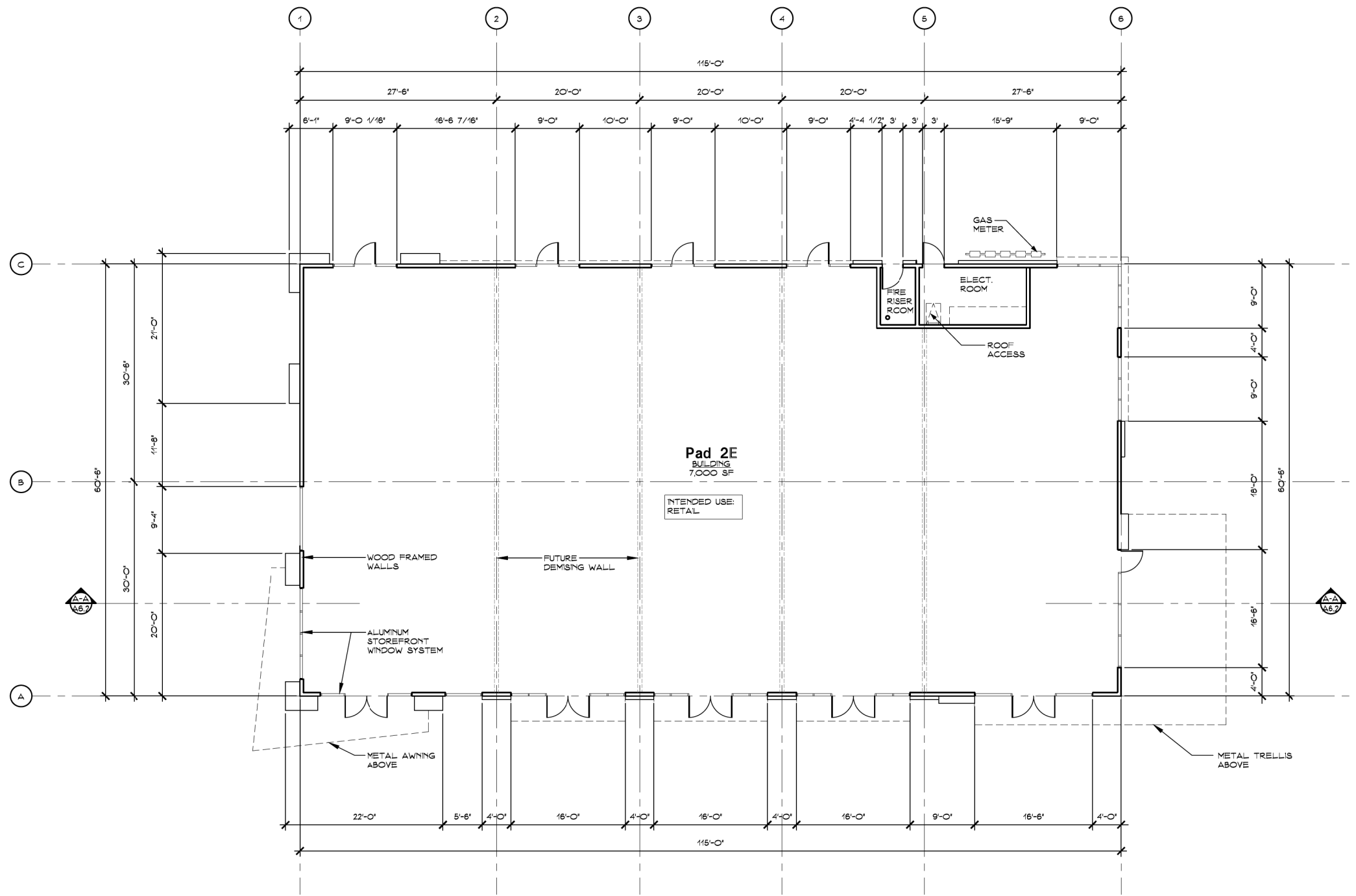


VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

- |  |  |                                 |
|--|--|---------------------------------|
| ① IMPERFECT SMOOTH FINISH<br>CEMENT PLASTER SYSTEM | ④ METAL SIDING                         | ⑦ HOLLOW METAL DOOR             |
| ② ARCHITECTURAL FOAM CORNICE                       | ⑤ ALUMINUM STOREFRONT<br>WINDOW SYSTEM | ⑧ ARBOR SCREEN AT<br>DRIVE-THRU |
| ③ HORIZONTAL LAP SIDING                            | ⑥ METAL AWNING                         | ⑨ ACCENT LIGHT FIXTURE          |



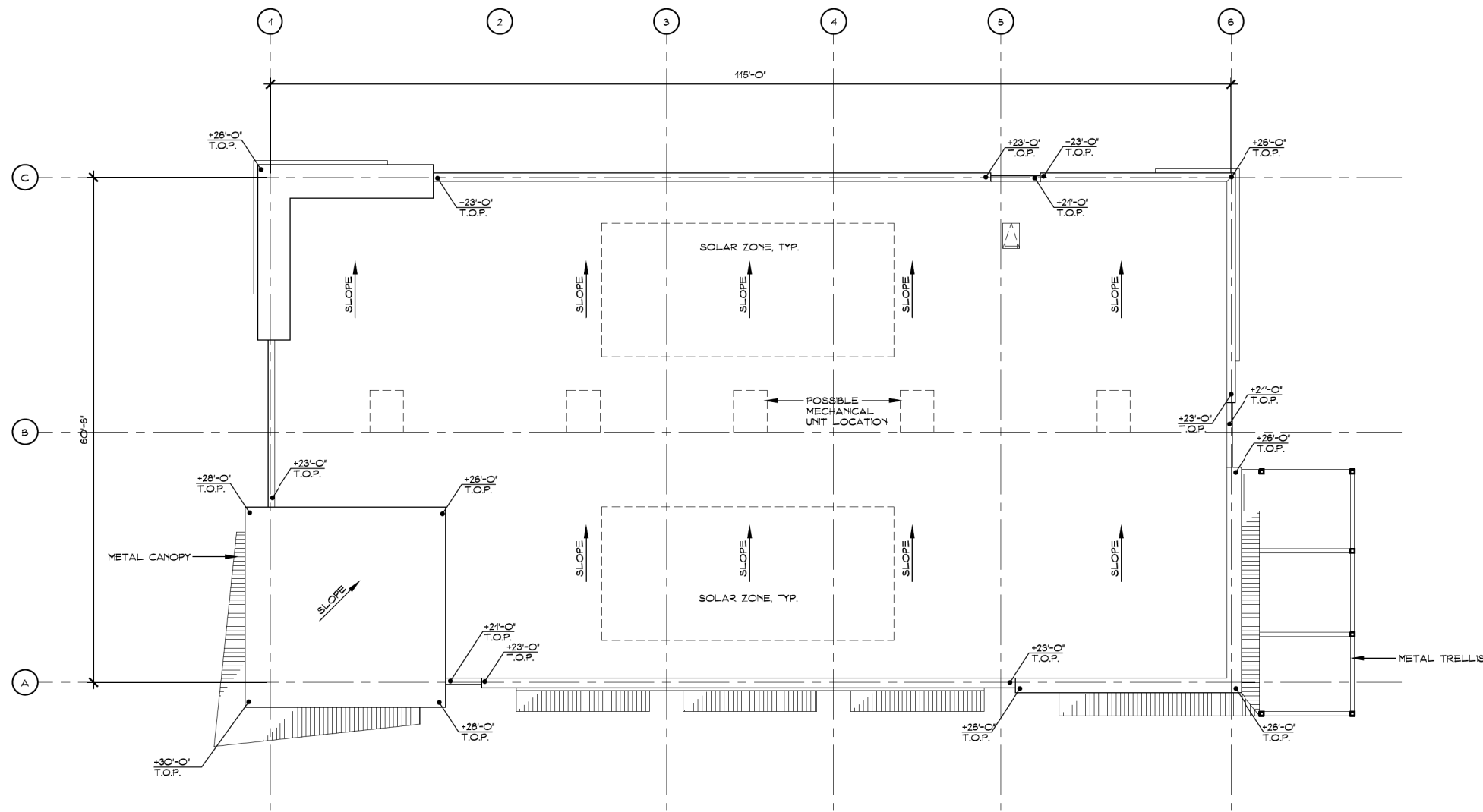
Floor Plan

SCALE = 1/8" = 1'-0"



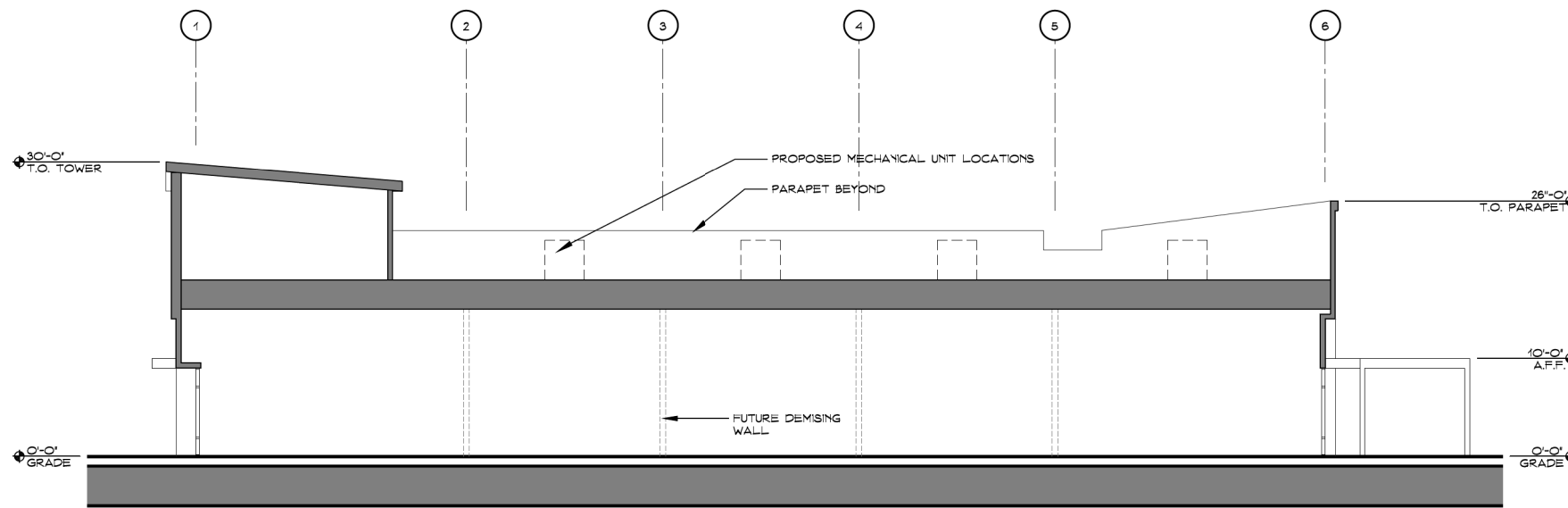
KEY PLAN  
NORTH





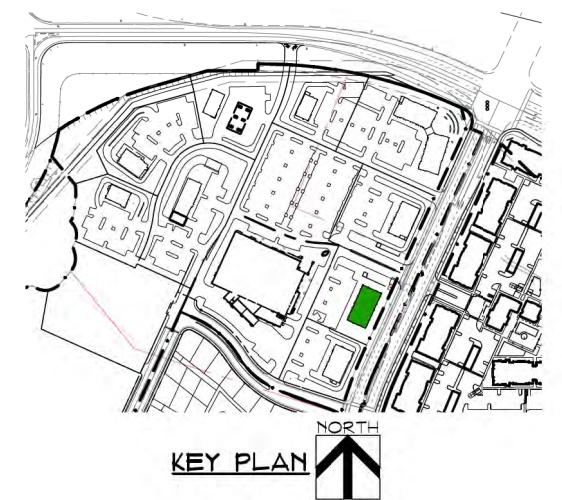
Roof Plan

SCALE = 1/8" = 1'-0"



A-A Building Section

SCALE = 1/8" = 1'-0"



KEY PLAN



COLE PARTNERS  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PERKINS, WILLIAMS & COTTERILL, INC.  
**ARCHITECTS**

3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com  
DATE: 12.22.22  
PROJECT: 21-314

WHITNEY RANCH RETAIL 2E - PRELIMINARY ROOF PLAN & SECTION A-A

Rocklin, CA



SHEET  
**A6.2**



West Elevation

SCALE = 1/8" = 1'-0"



North Elevation

SCALE = 1/8" = 1'-0"



South Elevation

SCALE = 1/8" = 1'-0"



East Elevation

SCALE = 1/8" = 1'-0"

KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	ARCHITECTURAL FOAM CORNICE
3	HORIZONTAL LAP SIDING
4	METAL SIDING
5	ALUMINUM STOREFRONT WINDOW SYSTEM
6	METAL AWNING
7	LIVING WALL LANDSCAPE TRELLIS
8	GAS METER
9	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
10	FUTURE TENANT SIGNAGE
11	ACCENT LIGHT FIXTURE

PAINT	
P-1	'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
P-2	'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
P-3	'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
P-4	'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
P-5	'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
P-6	'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

MATERIALS	
W-1	HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
M-1	METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
M-2	METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
M-3	METAL SIDING: 'SAGE GREEN' FLEX SERIES 12FX20-12 - AEP SPAN



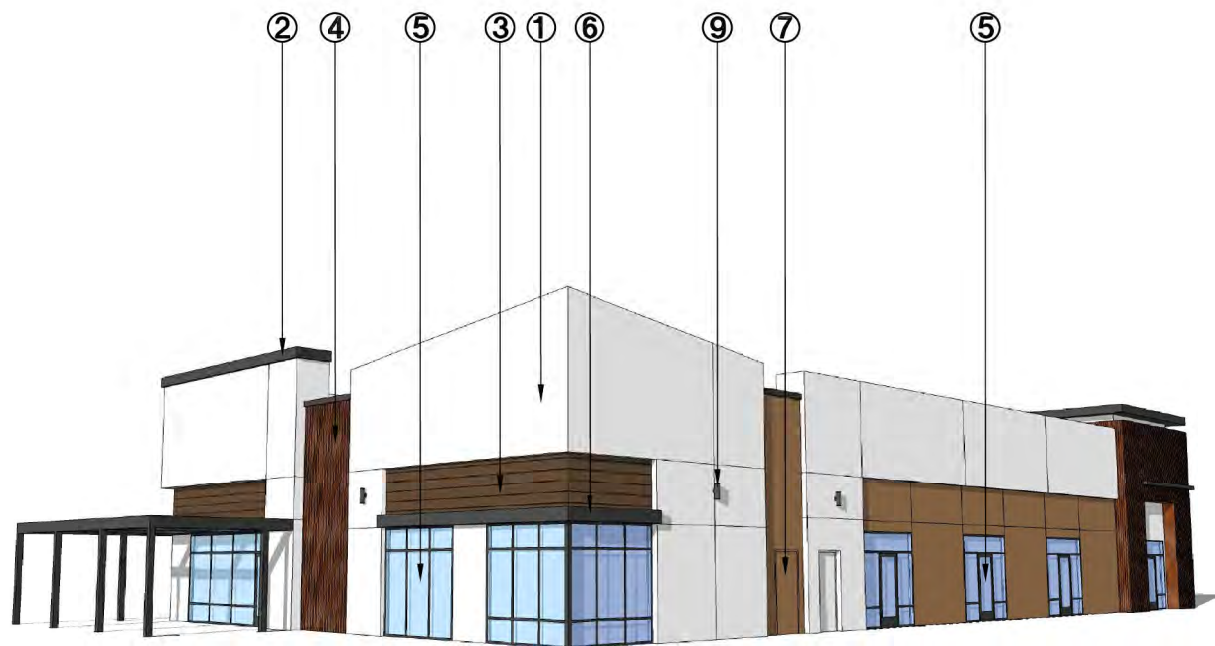
KEY PLAN  
NORTH ↑



VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

- |  |  |                                    |
|--|--|------------------------------------|
| ① IMPERFECT SMOOTH FINISH<br>CEMENT PLASTER SYSTEM | ④ METAL SIDING                         | ⑦ HOLLOW METAL DOOR                |
| ② ARCHITECTURAL FOAM CORNICE                       | ⑤ ALUMINUM STOREFRONT<br>WINDOW SYSTEM | ⑧ LIVING WALL LANDSCAPE<br>TRELLIS |
| ③ HORIZONTAL LAP SIDING                            | ⑥ METAL AWNING                         | ⑨ ACCENT LIGHT FIXTURE             |

WHITNEY RANCH RETAIL  
Rocklin, CA

PAD 2E - PERSPECTIVE VIEWS

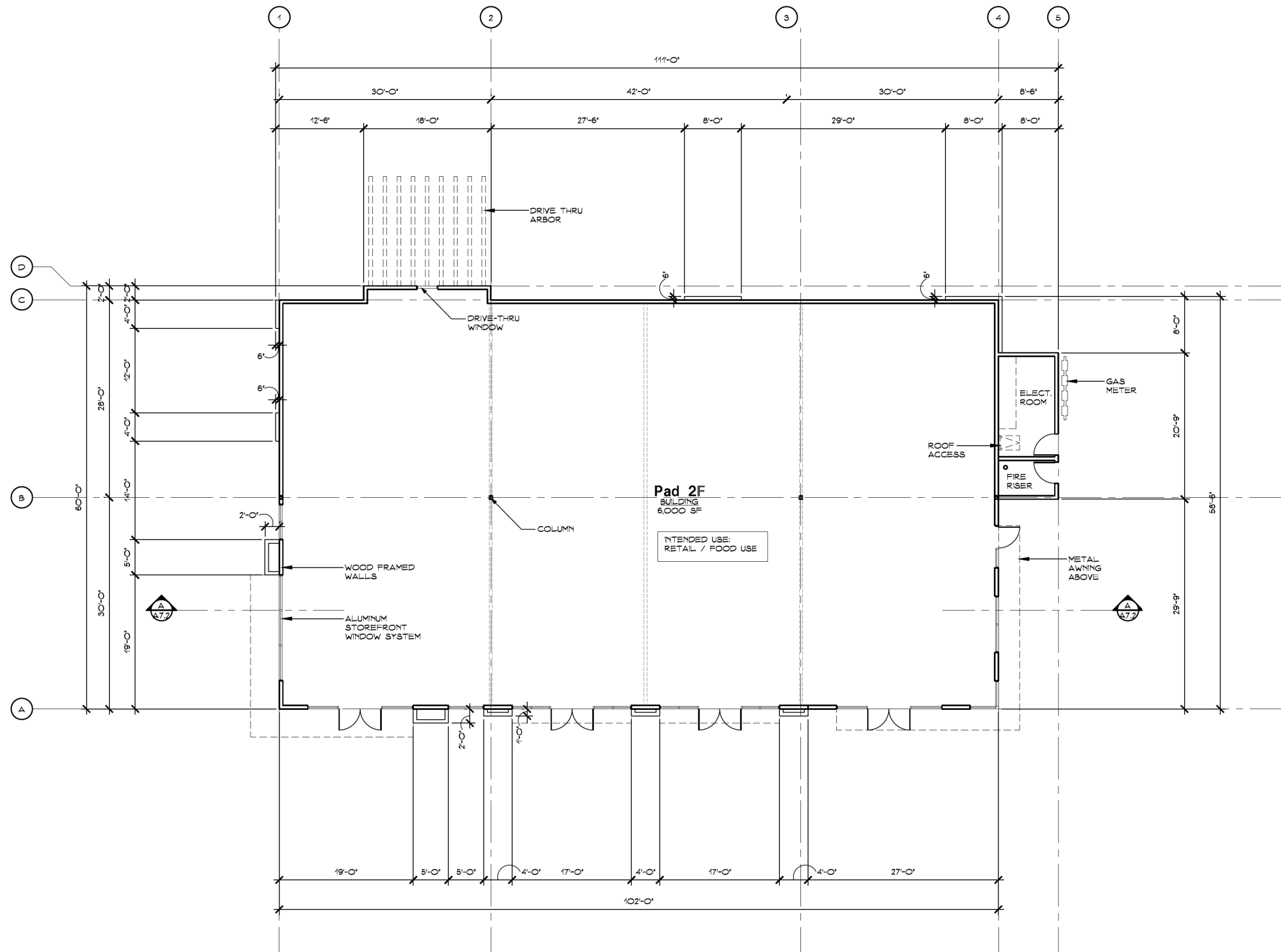
Scale: NTS

SHEET  
**A6.4**

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

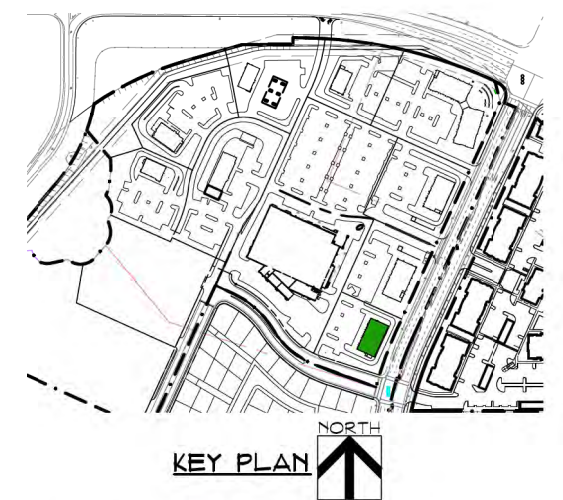
**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**  
3320 Data Drive, Suite 200 - Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

DATE: 03.07.23  
PROJECT: 21-314



Floor Plan

SCALE = 1/8" = 1'-0"



KEY PLAN

WHITNEY RANCH RETAIL  
Rocklin, CA

PAD 2F - PRELIMINARY FLOOR PLAN



SHEET  
**A7.1**

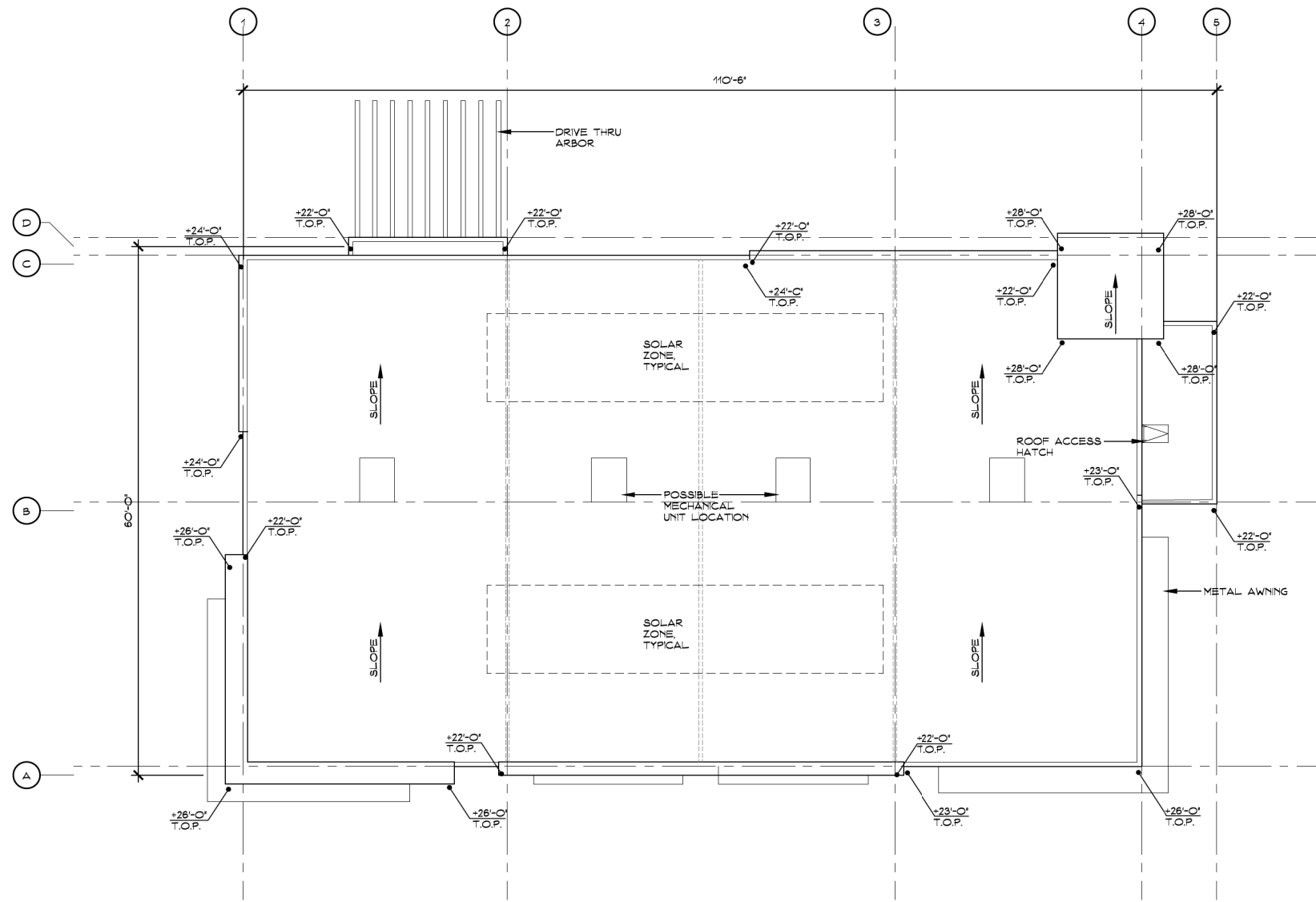


**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**

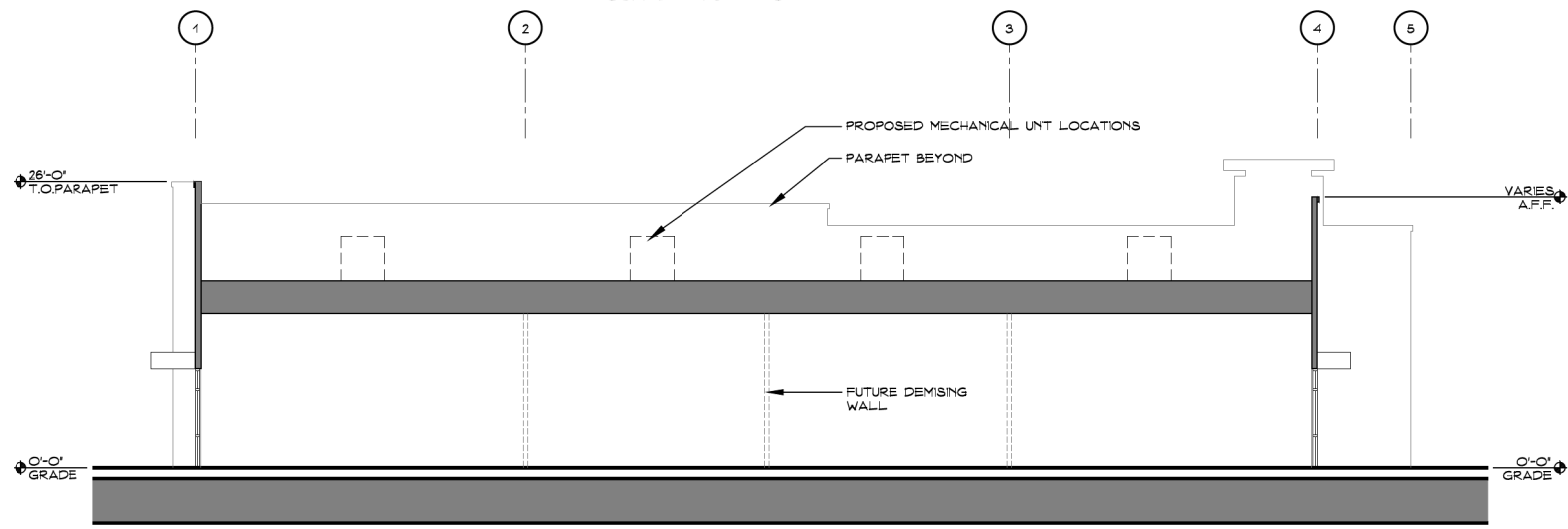
3320 Data Drive, Suite 200 - Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com  
DATE: 12.22.22  
PROJECT: 21-314





Roof Plan

SCALE = 1/8" = 1'-0"



A-A Building Section

SCALE = 1/8" = 1'-0"



KEY PLAN



WHITNEY RANCH RETAILPAD 2F-PRELIMINARY ROOF PLAN & SECTION A-A

Rocklin, CA



**A7.2**

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**  
3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com  
DATE: 12.22.22  
PROJECT: 21-314



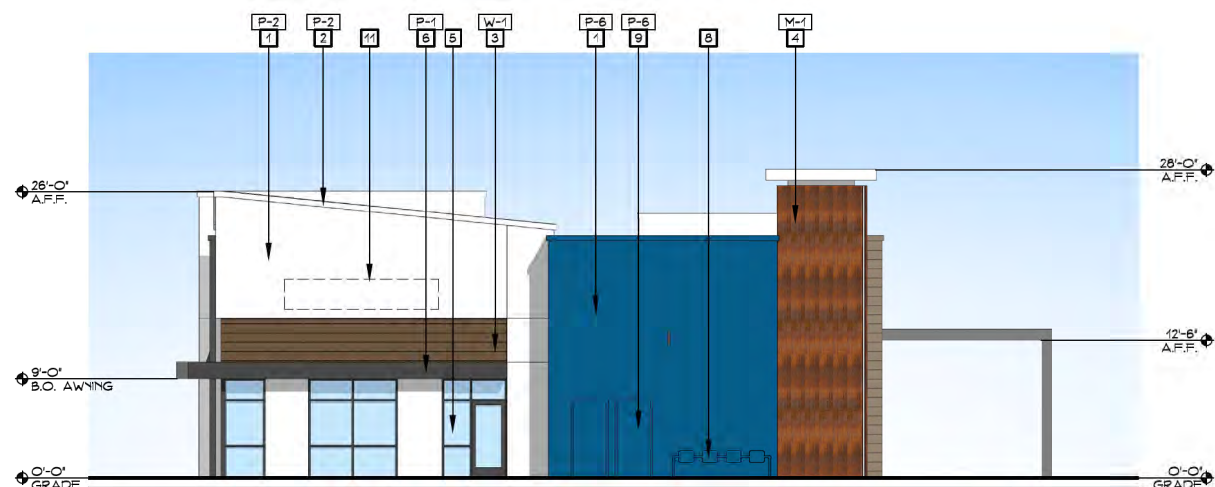
West Elevation

SCALE = 1/8" = 1'-0"



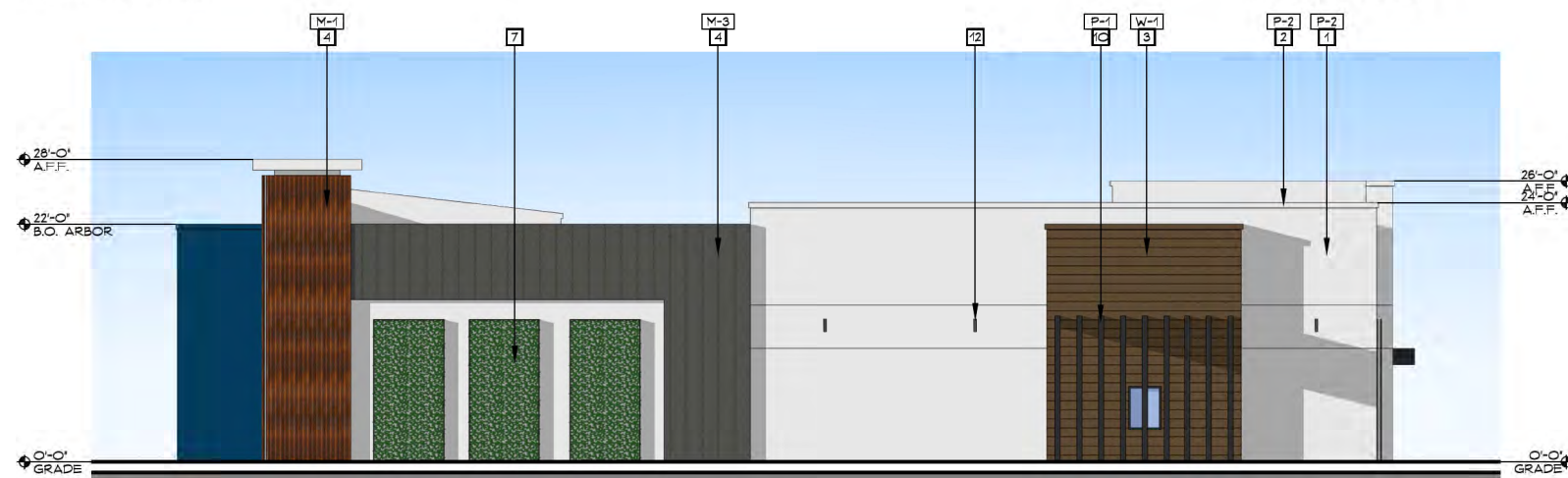
North Elevation

SCALE = 1/8" = 1'-0"



South Elevation

SCALE = 1/8" = 1'-0"



East Elevation

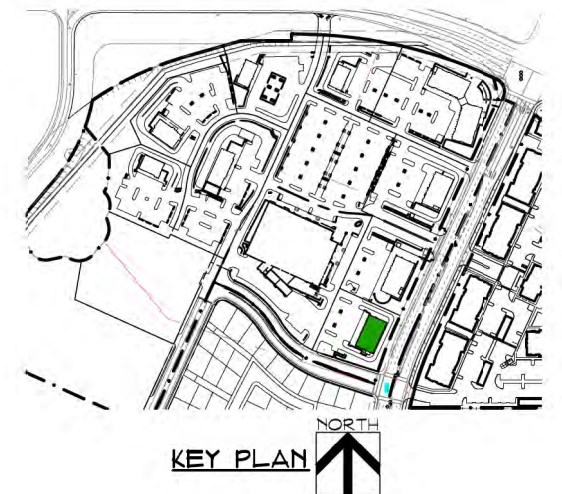
SCALE = 1/8" = 1'-0"

KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	ARCHITECTURAL FOAM CORNICE
3	HORIZONTAL LAP SIDING
4	METAL SIDING
5	ALUMINUM STOREFRONT WINDOW SYSTEM
6	METAL AWNING
7	WALL TRELLIS
8	GAS METER
9	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
10	DRIVE-THRU ARBOR
11	FUTURE TENANT SIGNAGE
12	ACCENT LIGHT FIXTURE

PAINT	
P-1	'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
P-2	'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
P-3	'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
P-4	'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
P-5	'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
P-6	'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

MATERIALS	
W-1	HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
M-1	METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
M-2	METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
M-3	METAL SIDING: 'SAGE GREEN' FLEX SERIES 1,2FX20-12 - AEP SPAN



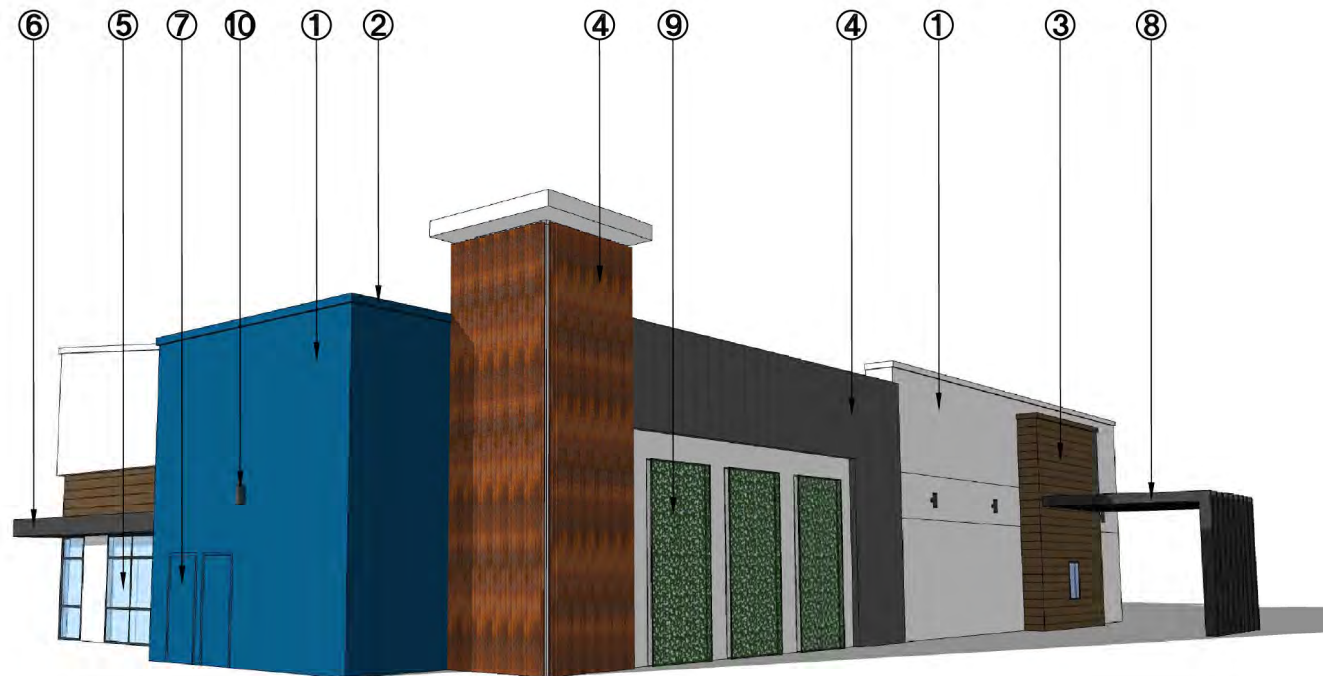
KEY PLAN



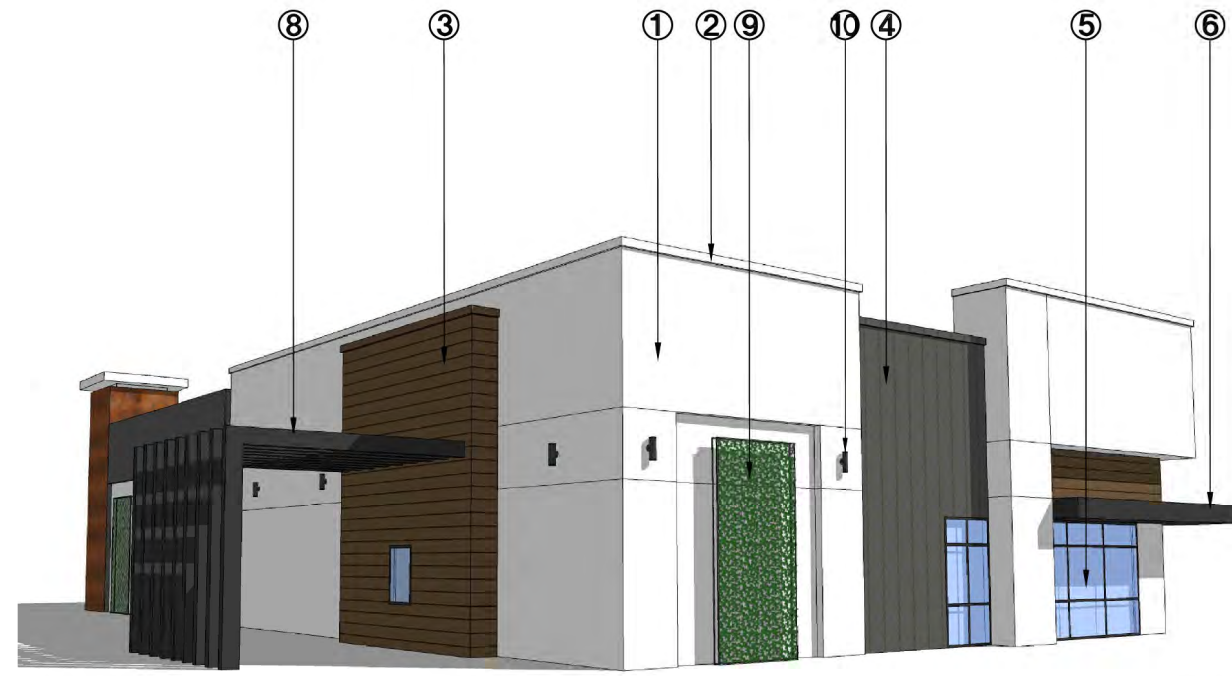
VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST

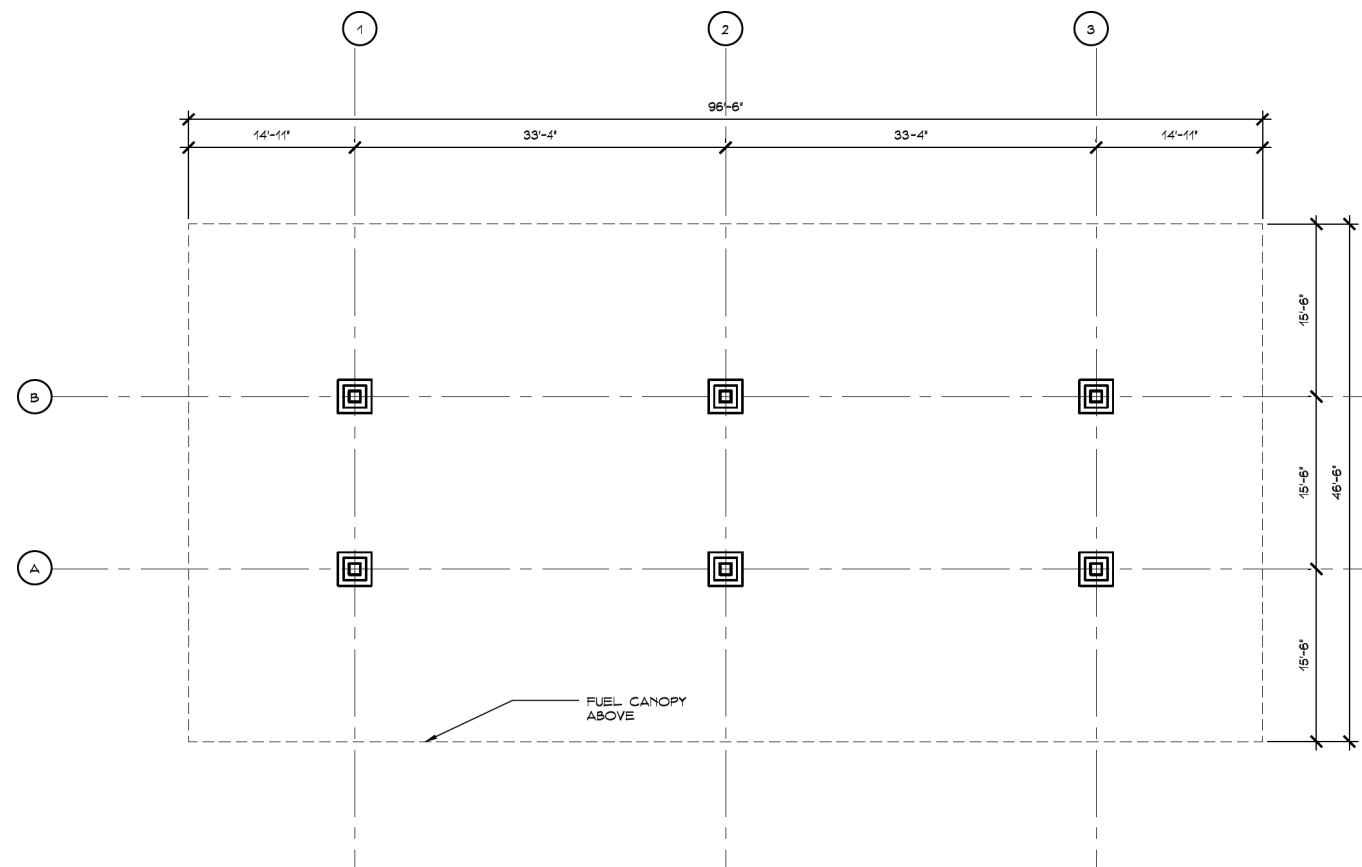


VIEW FROM SOUTHEAST



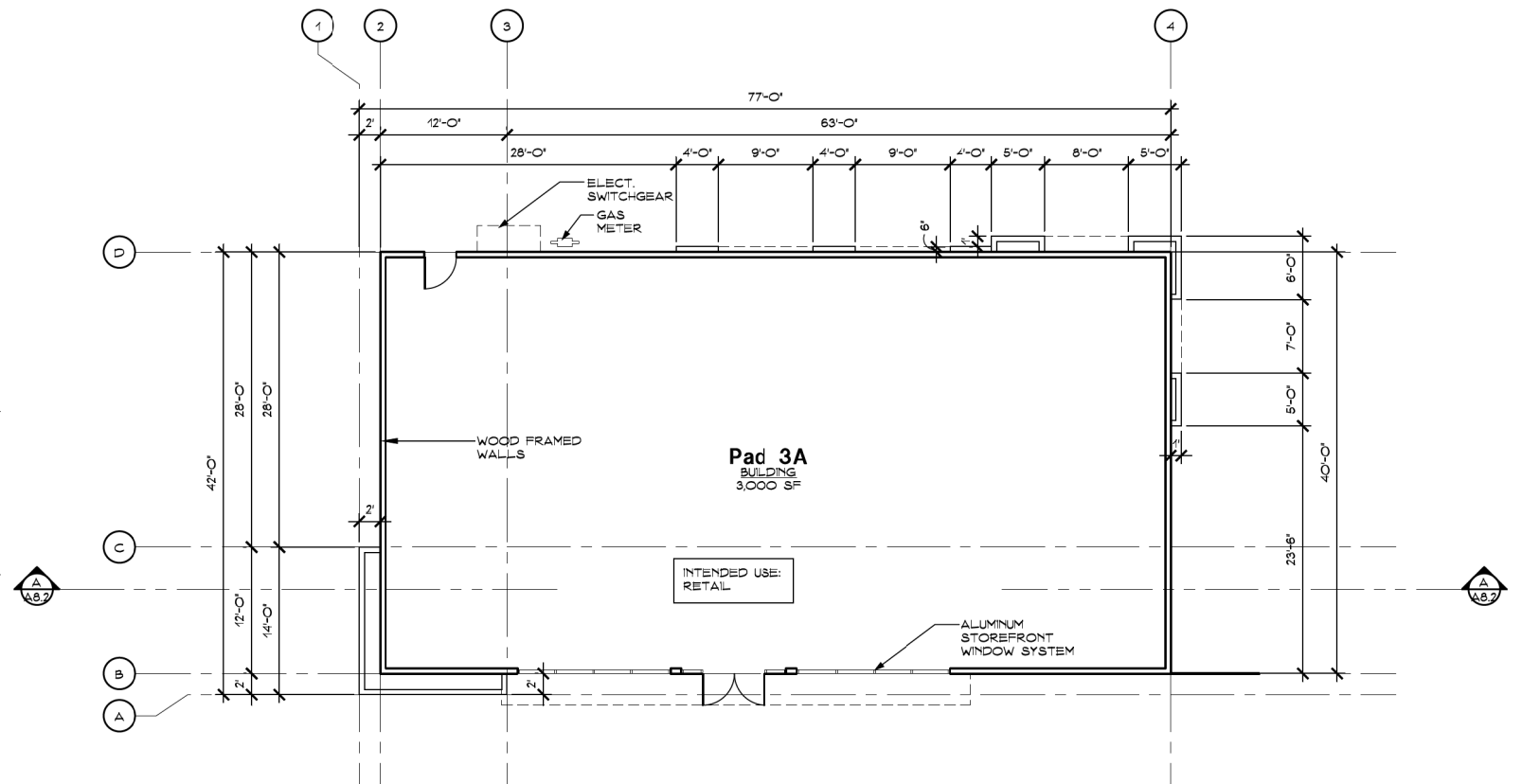
VIEW FROM NORTHEAST

- |  |  |                        |
|--|--|------------------------|
| ① IMPERFECT SMOOTH FINISH<br>CEMENT PLASTER SYSTEM | ④ METAL SIDING                         | ⑦ HOLLOW METAL DOOR    |
| ② ARCHITECTURAL FOAM CORNICE                       | ⑤ ALUMINUM STOREFRONT<br>WINDOW SYSTEM | ⑧ DRIVE-THRU ARBOR     |
| ③ HORIZONTAL LAP SIDING                            | ⑥ METAL AWNING                         | ⑨ WALL TRELLIS         |
|  |  | ⑩ ACCENT LIGHT FIXTURE |



Fuel Canopy - Floor Plan

SCALE = 1/8" = 1'-0"



Floor Plan

SCALE = 1/8" = 1'-0"



COLE PARTNERS  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PERKINS, WILLIAMS & COTTERILL, INC.  
**ARCHITECTS**

3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

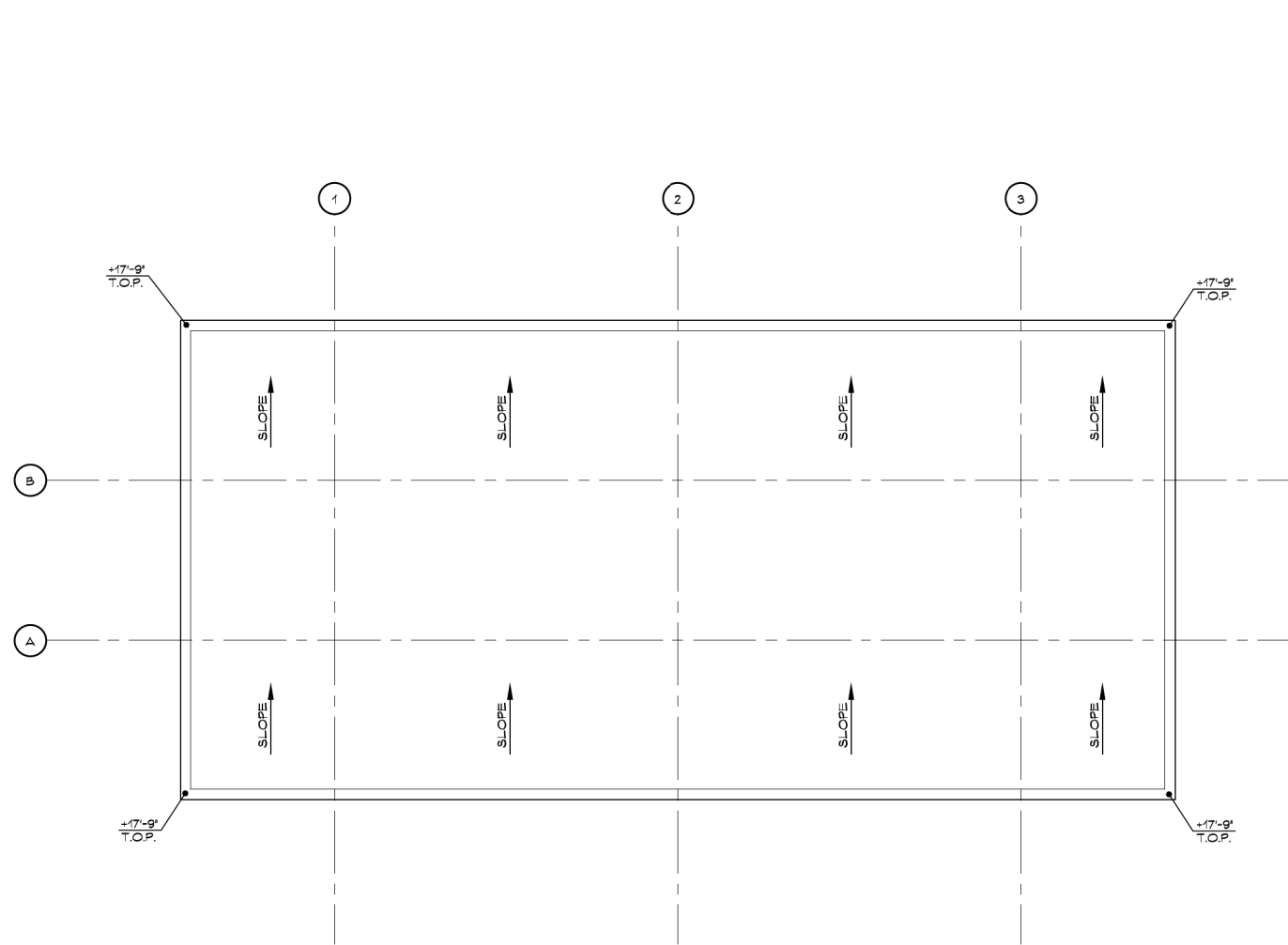
DATE: 12.22.22  
PROJECT: 21-314

WHITNEY RANCH RETAIL  
Rocklin, CA

PAD 3A - PRELIMINARY FLOOR PLANS

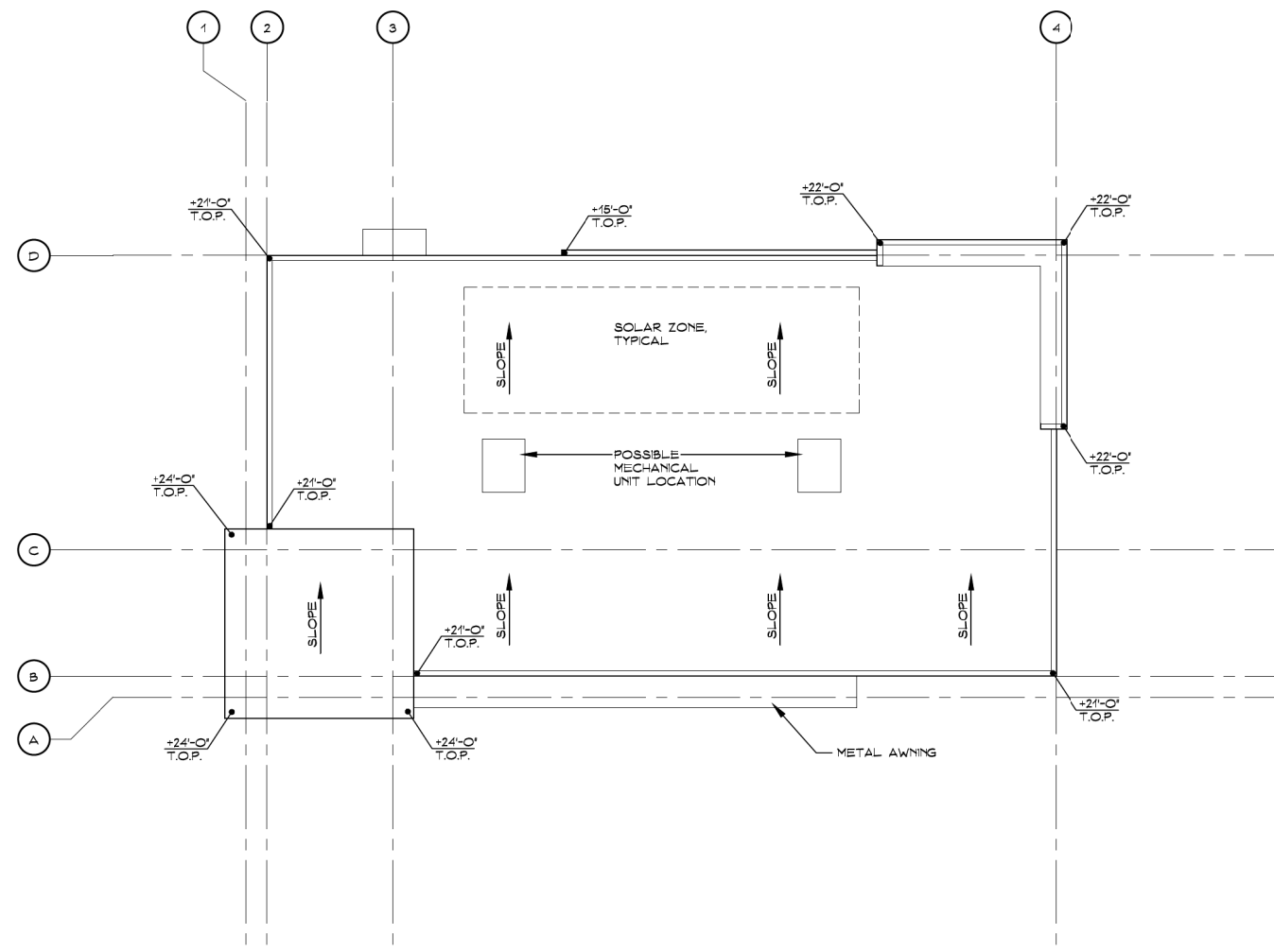


SHEET  
**A8.1**



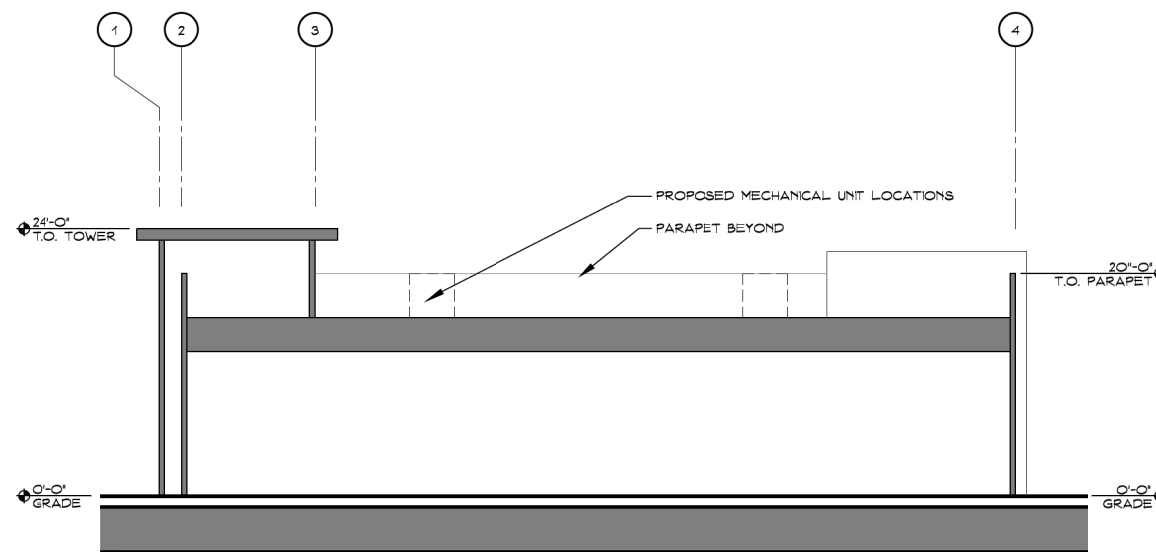
Roof Plan

SCALE = 1/8" = 1'-0"



Roof Plan

SCALE = 1/8" = 1'-0"



Building Section A-A

SCALE = 1/8" = 1'-0"



KEY PLAN

WHITNEY RANCH RETAIL 3A - PRELIMINARY ROOF PLAN & SECTION A-A

Rocklin, CA



**A8.2**

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

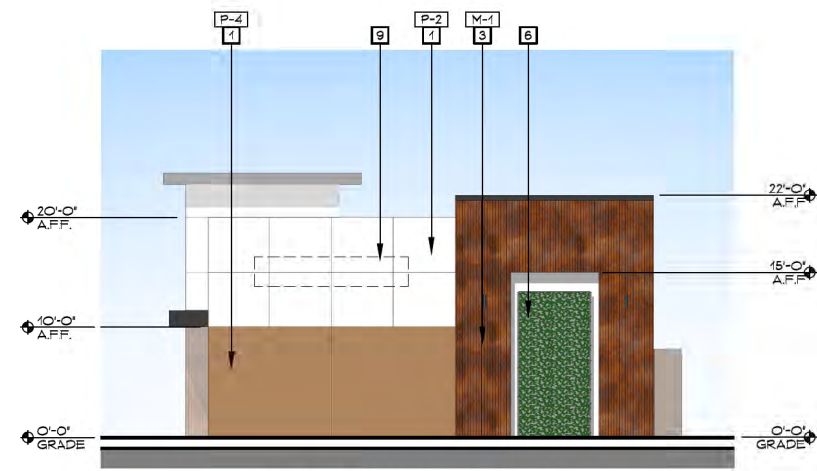
**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**

3328 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E [pwarch@pwarchitects.com](mailto:pwarch@pwarchitects.com)  
DATE: 12.22.22  
PROJECT: 21-314



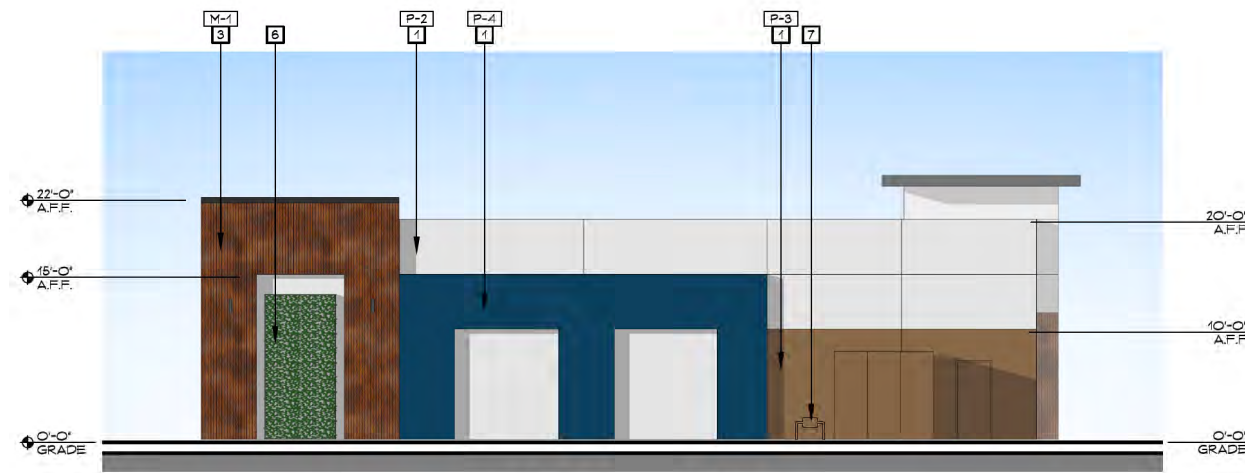
EAST ELEVATION

SCALE = 1/8" = 1'-0"



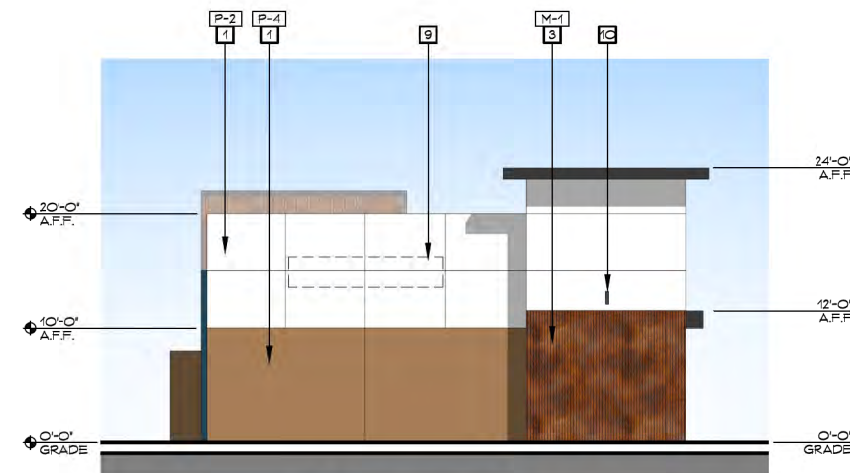
NORTH ELEVATION

SCALE = 1/8" = 1'-0"



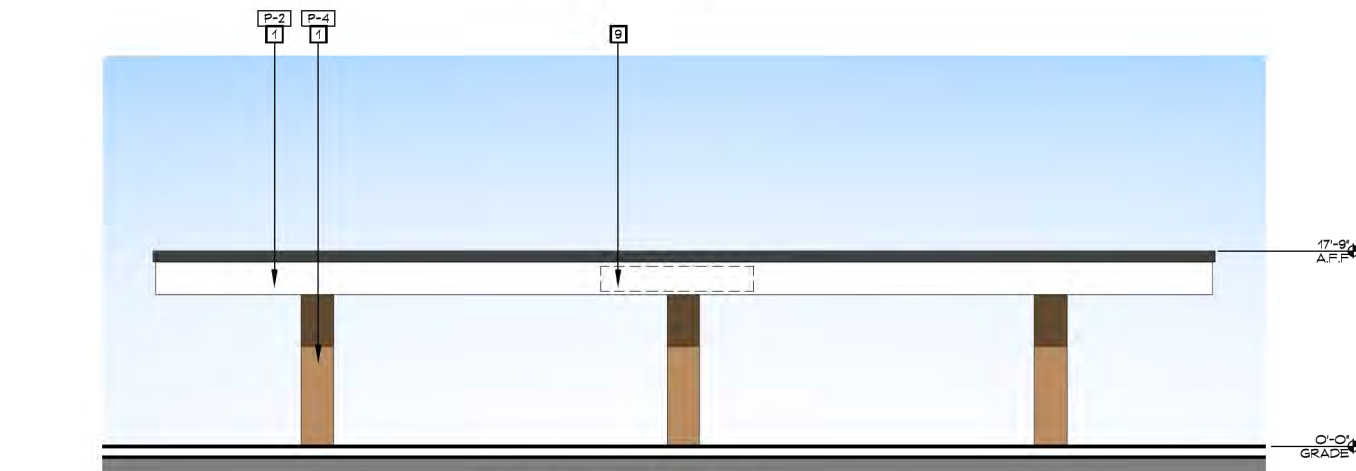
WEST ELEVATION

SCALE = 1/8" = 1'-0"



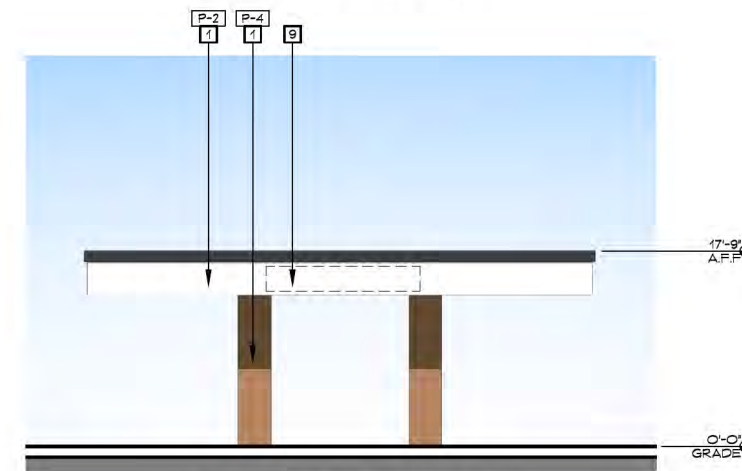
SOUTH ELEVATION

SCALE = 1/8" = 1'-0"



EAST ELEVATION

SCALE = 1/8" = 1'-0"



SOUTH ELEVATION

SCALE = 1/8" = 1'-0"

**KEYNOTES**

- 1 IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
- 2 ARCHITECTURAL FOAM CORNICE
- 3 METAL SIDING
- 4 ALUMINUM STOREFRONT WINDOW SYSTEM
- 5 METAL AWNING
- 6 LIVING WALL LANDSCAPE TRELLIS
- 7 GAS METER
- 8 HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
- 9 FUTURE TENANT SIGNAGE
- 1C ACCENT LIGHT FIXTURE

**PAINT**

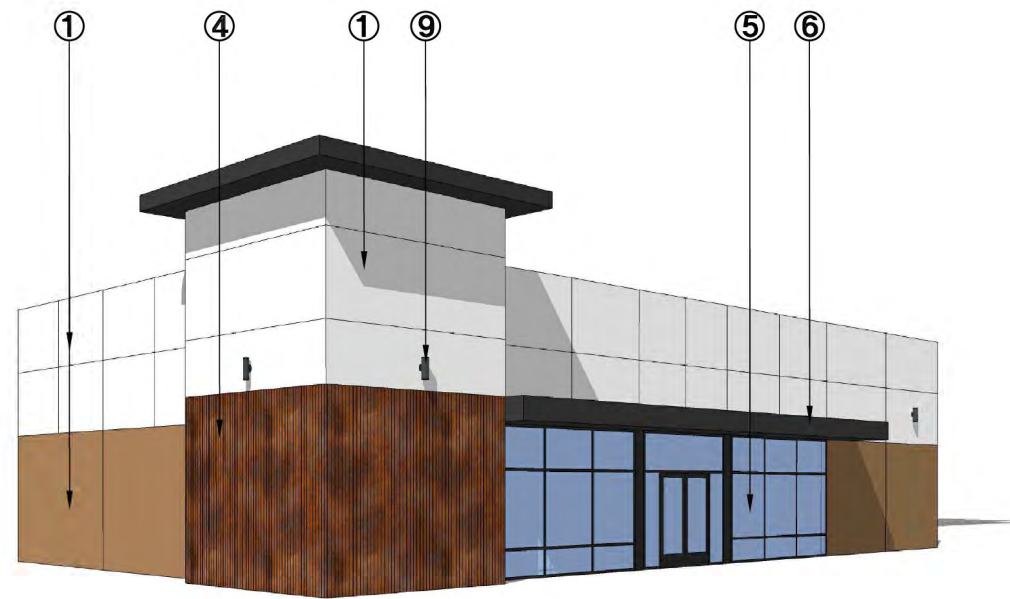
- P-1 'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
- P-2 'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
- P-3 'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
- P-4 'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
- P-5 'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
- P-6 'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

**MATERIALS**

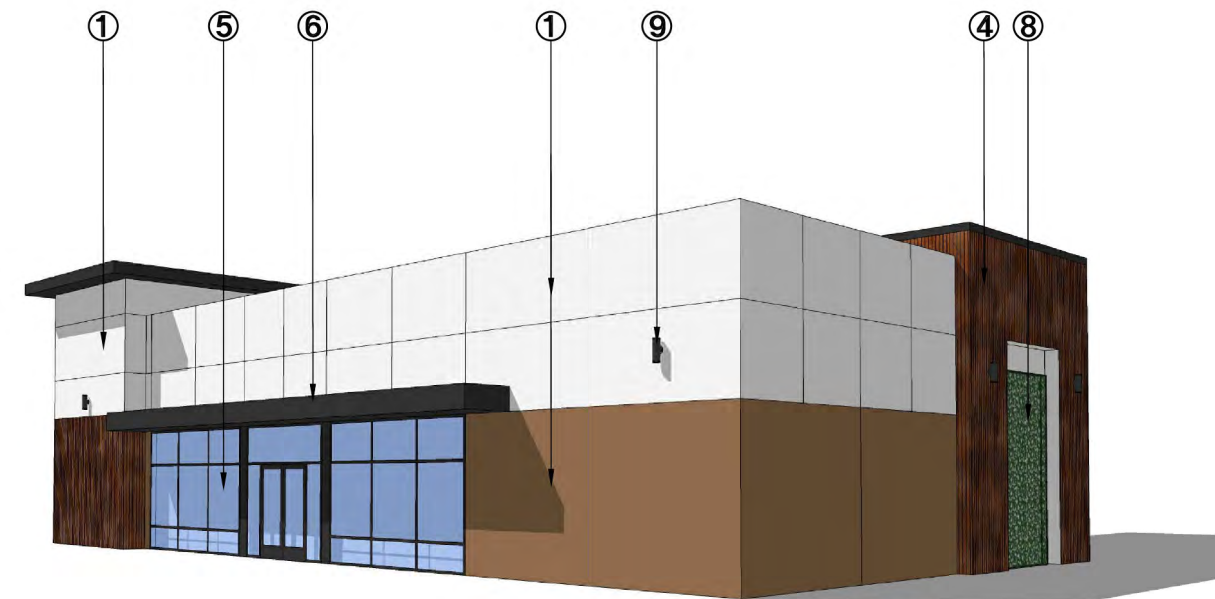
- W-1 HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
- M-1 METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
- M-2 METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
- M-3 METAL SIDING: 'SAGE GREEN' FLEX SERIES 1.2FX20-12 - AEP SPAN



KEY PLAN NORTH



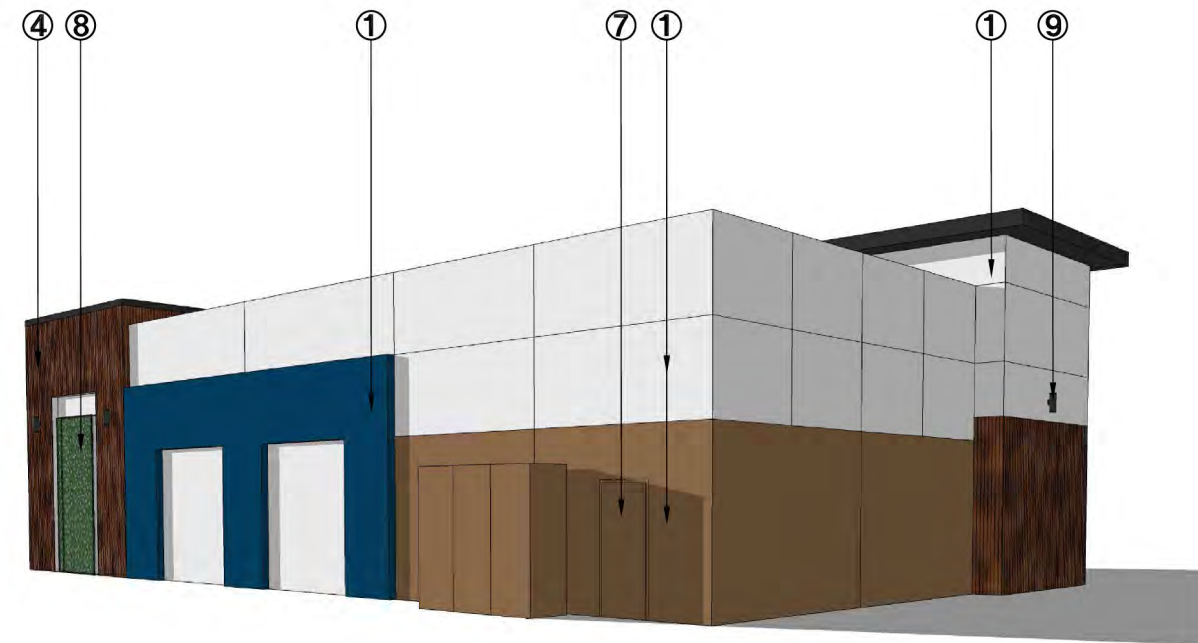
VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

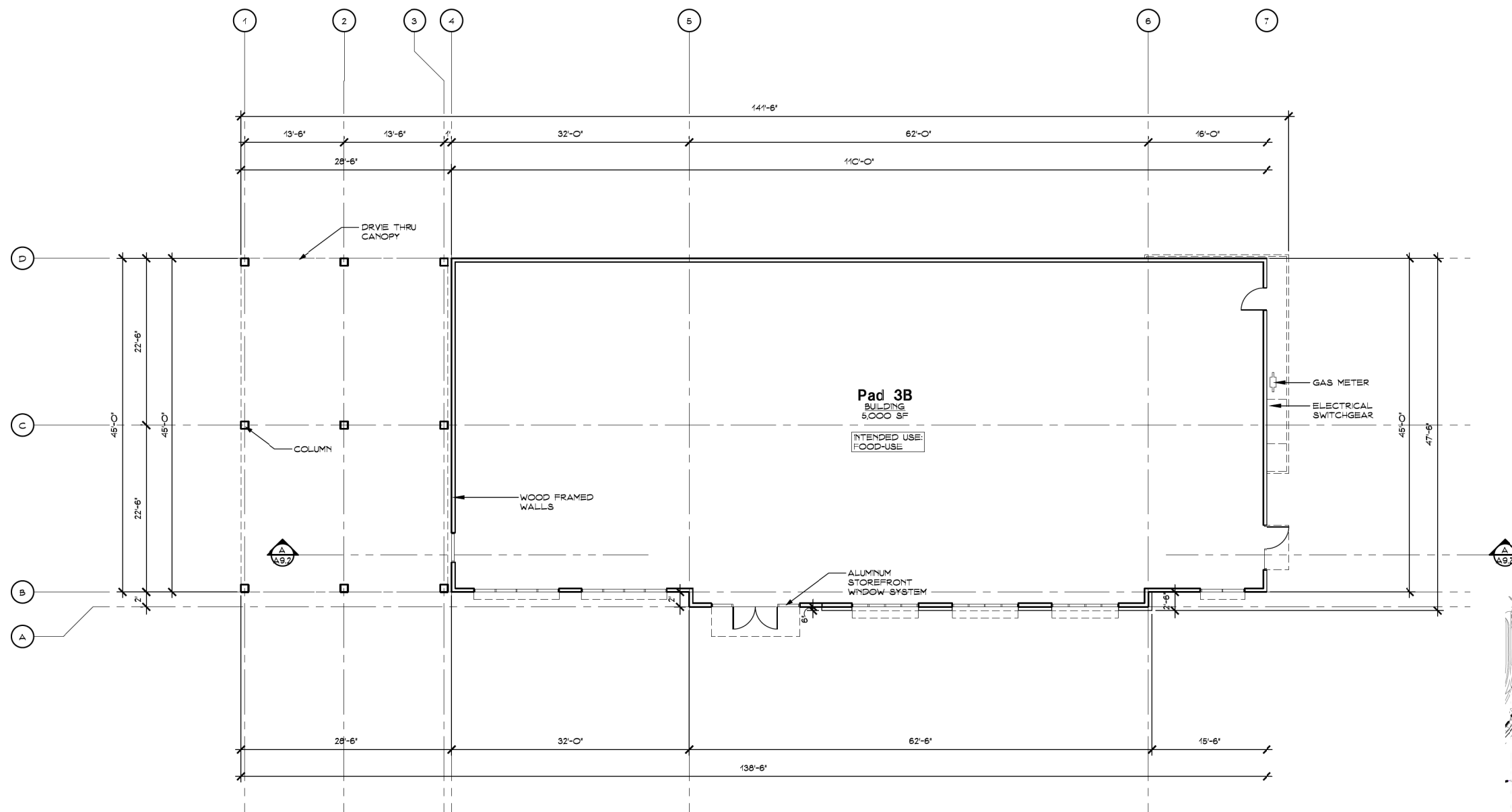


VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST

- |  |  |                                    |
|--|--|------------------------------------|
| ① IMPERFECT SMOOTH FINISH<br>CEMENT PLASTER SYSTEM | ④ METAL SIDING                         | ⑦ HOLLOW METAL DOOR                |
| ② NOT USED   | ⑤ ALUMINUM STOREFRONT<br>WINDOW SYSTEM | ⑧ LIVING WALL LANDSCAPE<br>TRELLIS |
| ③ NOT USED   | ⑥ METAL AWNING                         | ⑨ ACCENT LIGHT FIXTURE             |



Floor Plan

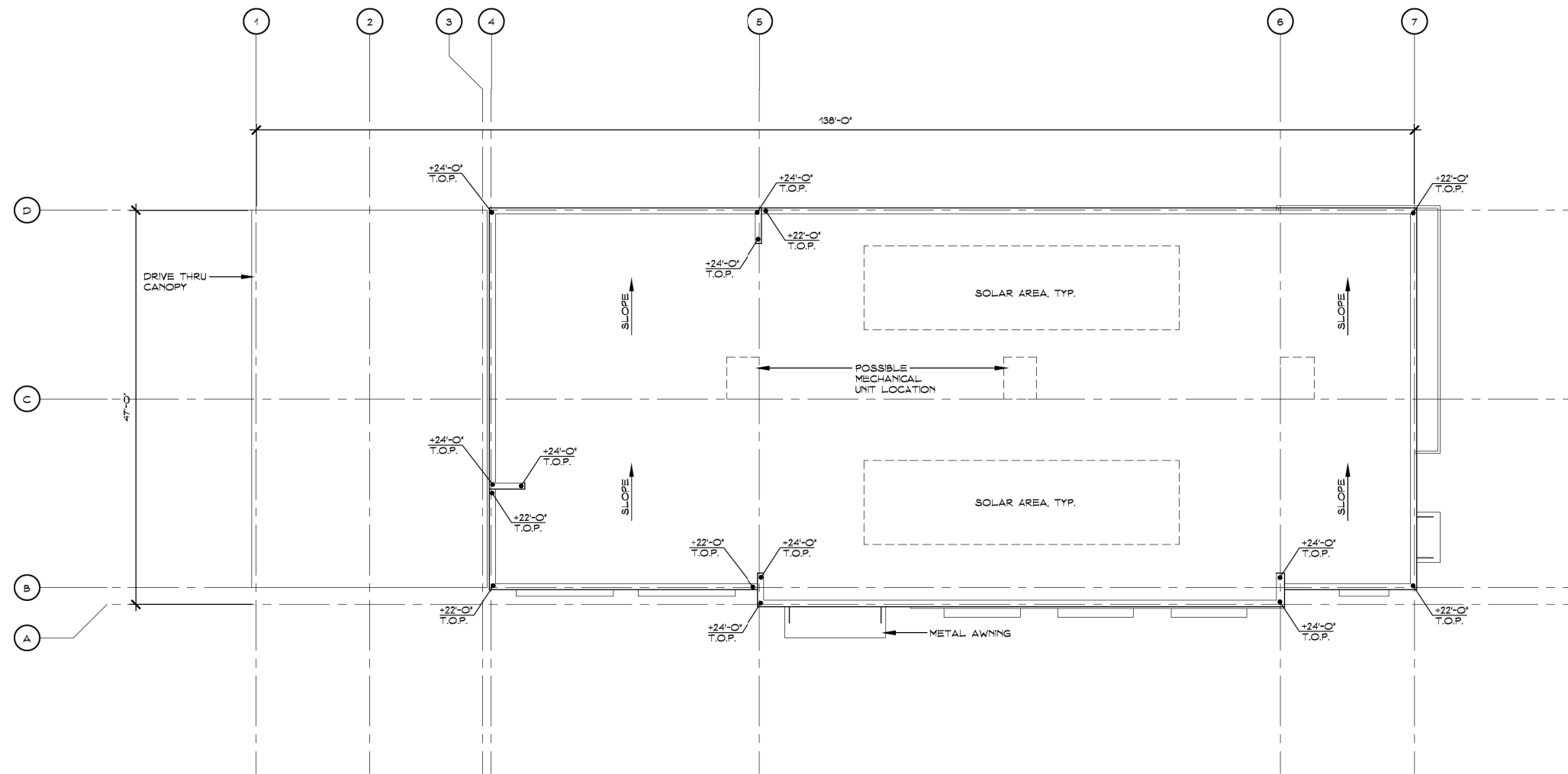
SCALE = 1/8" = 1'-0"



KEY PLAN

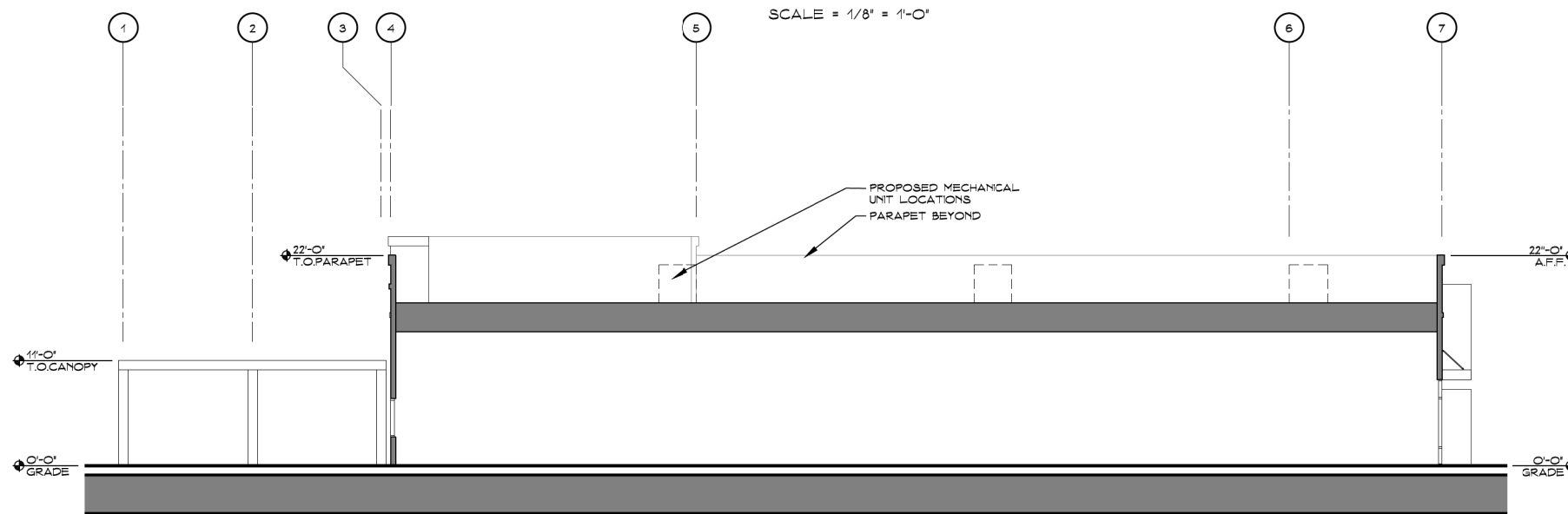






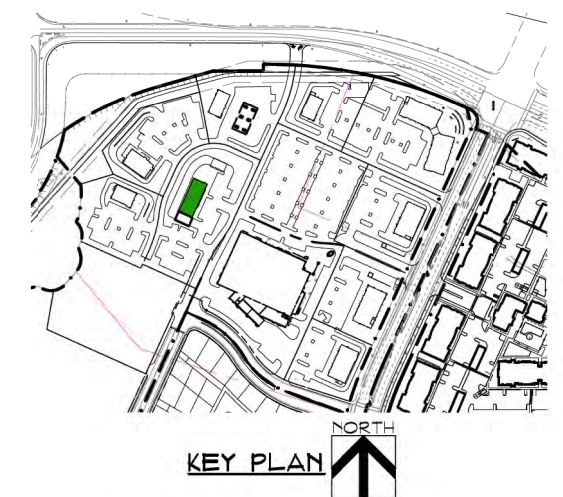
Roof Plan

SCALE = 1/8" = 1'-0"



Building Section A-A

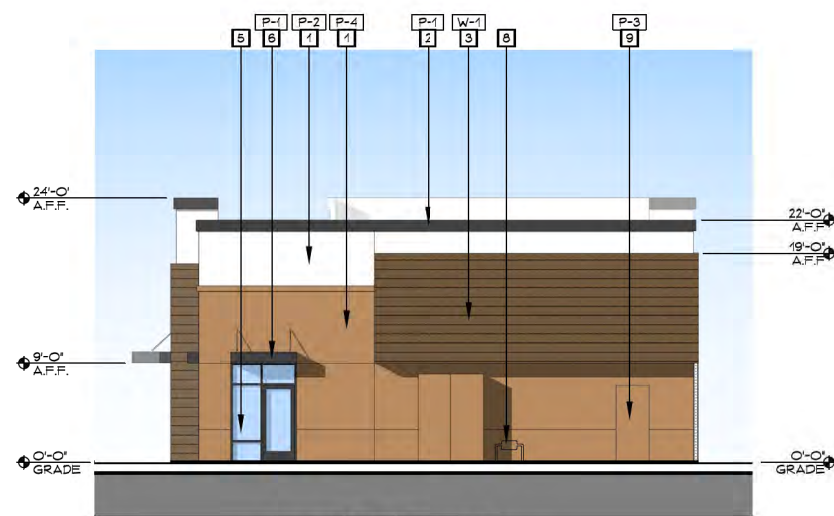
SCALE = 1/8" = 1'-0"





East Elevation

SCALE = 1/8" = 1'-0"



North Elevation

SCALE = 1/8" = 1'-0"



South Elevation

SCALE = 1/8" = 1'-0"



West Elevation

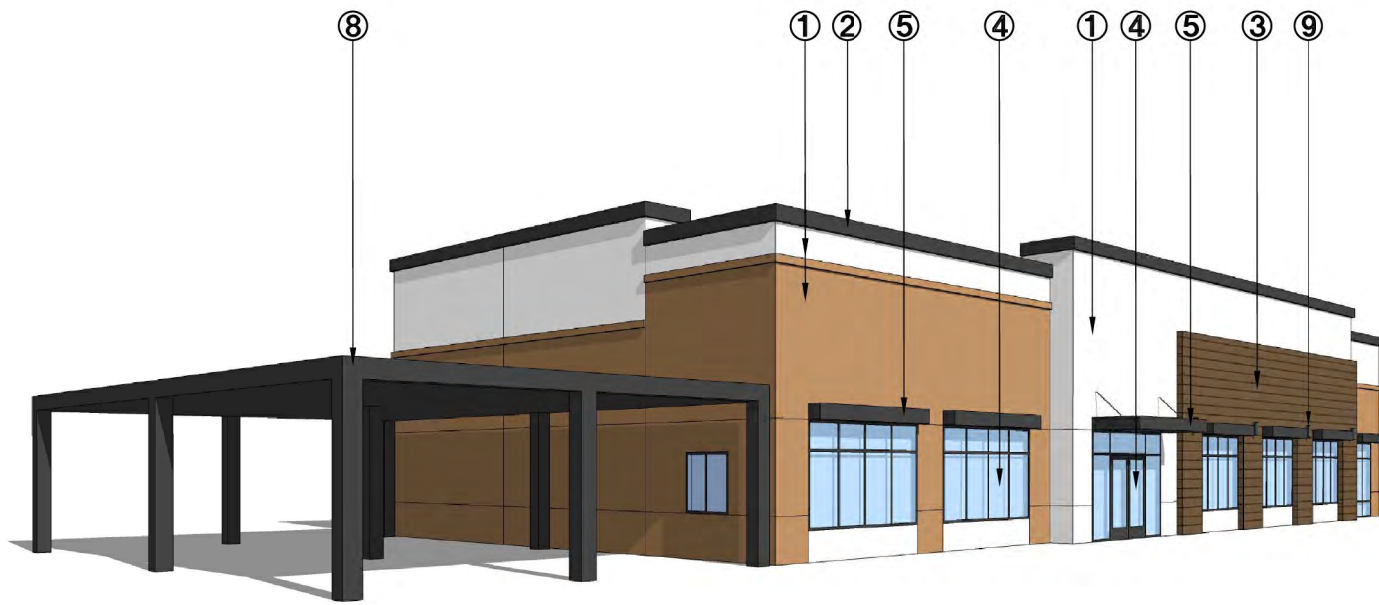
SCALE = 1/8" = 1'-0"

KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	ARCHITECTURAL FOAM CORNICE
3	HORIZONTAL LAP SIDING
4	LIVING WALL LANDSCAPE TRELLIS
5	ALUMINUM STOREFRONT WINDOW SYSTEM
6	METAL AWNING
7	DRIVE-THRU CANOPY
8	GAS METER
9	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
C	FUTURE TENANT SIGNAGE
11	ACCENT LIGHT FIXTURE

PAINT	
P-1	'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
P-2	'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
P-3	'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
P-4	'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
P-5	'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
P-6	'DIGNITY BLUE' SW 6804 - SHEWIN WILLIAMS
MATERIALS	
W-1	HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
M-1	METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
M-2	METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
M-3	METAL SIDING: 'SAGE GREEN' FLEX SERIES 12FX20-12 - AEP SPAN



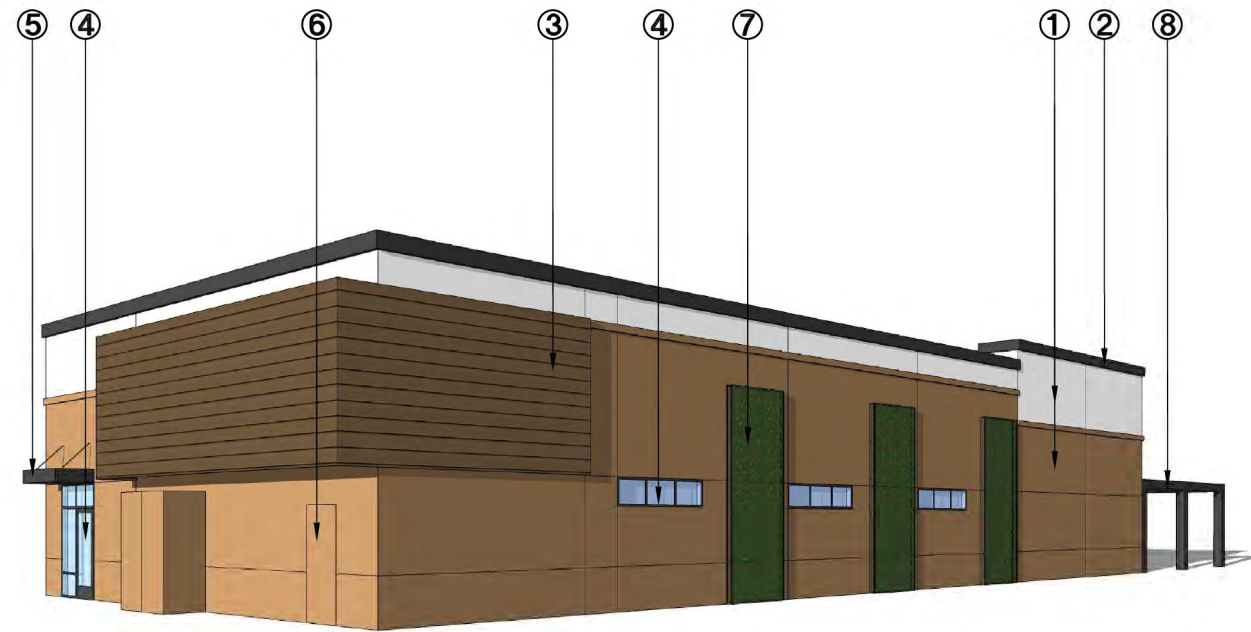
KEY PLAN NORTH



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

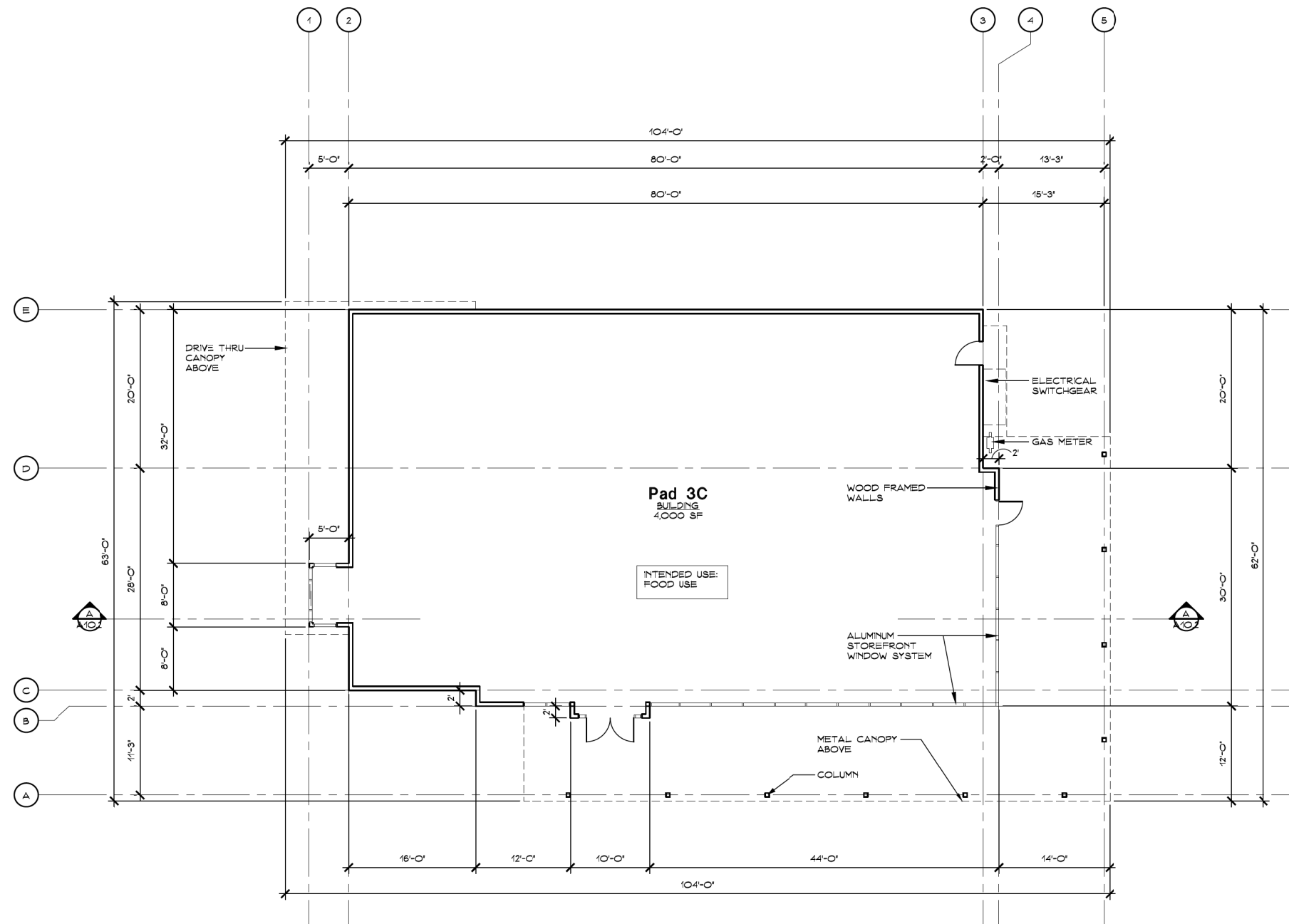


VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST

- |  |  |                                    |
|--|--|------------------------------------|
| ① IMPERFECT SMOOTH FINISH<br>CEMENT PLASTER SYSTEM | ④ ALUMINUM STOREFRONT<br>WINDOW SYSTEM | ⑦ LIVING WALL LANDSCAPE<br>TRELLIS |
| ② ARCHITECTURAL FOAM CORNICE                       | ⑤ METAL AWNING                         | ⑧ DRIVE-THRU CANOPY                |
| ③ HORIZONTAL LAP SIDING                            | ⑥ HOLLOW METAL DOOR                    | ⑨ ACCENT LIGHT FIXTURE             |

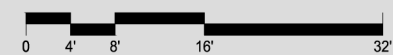


Floor Plan

SCALE = 1/8" = 1'-0"



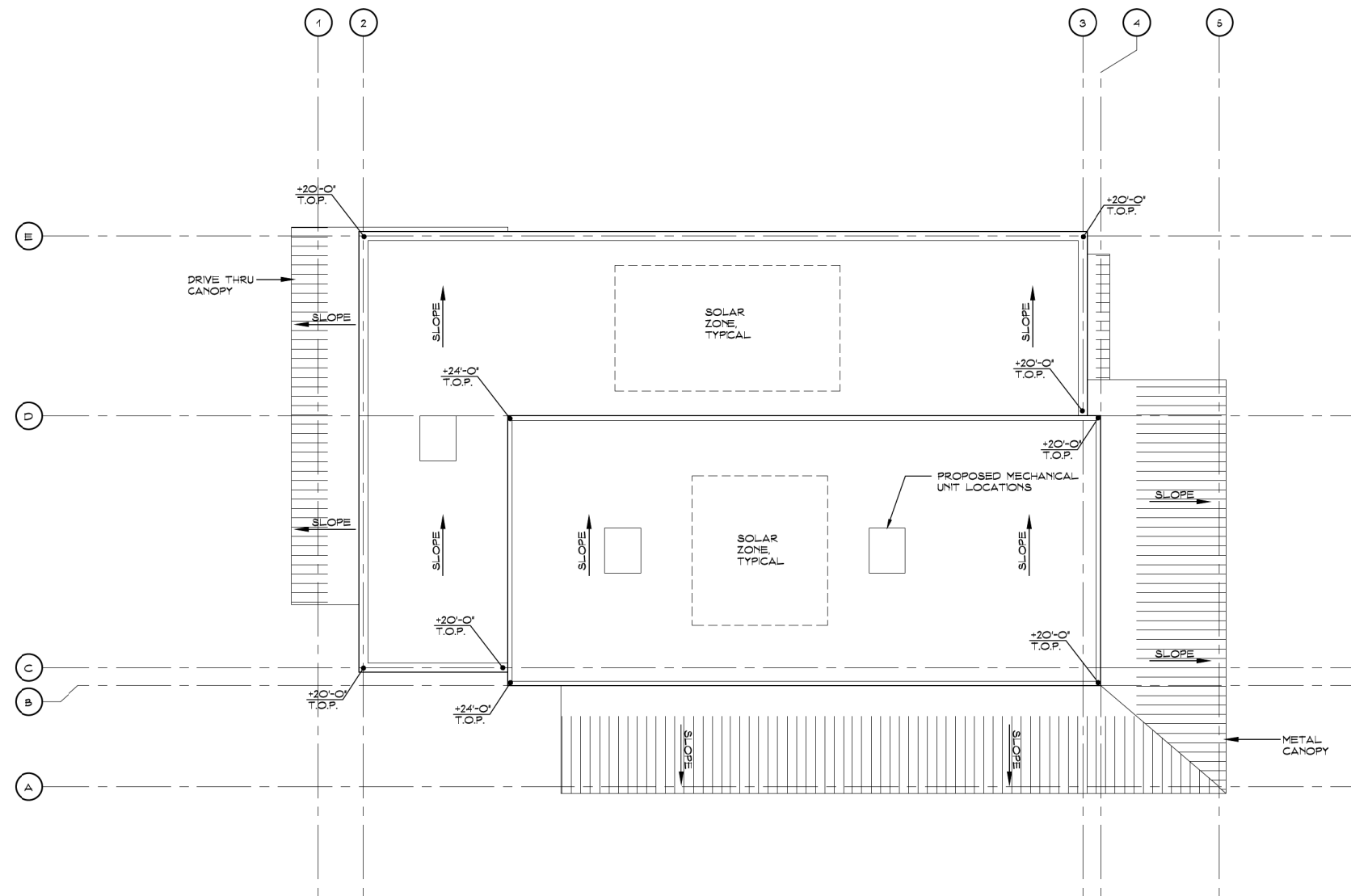
KEY PLAN  
NORTH ↑



Scale: 1/8" = 1'-0"

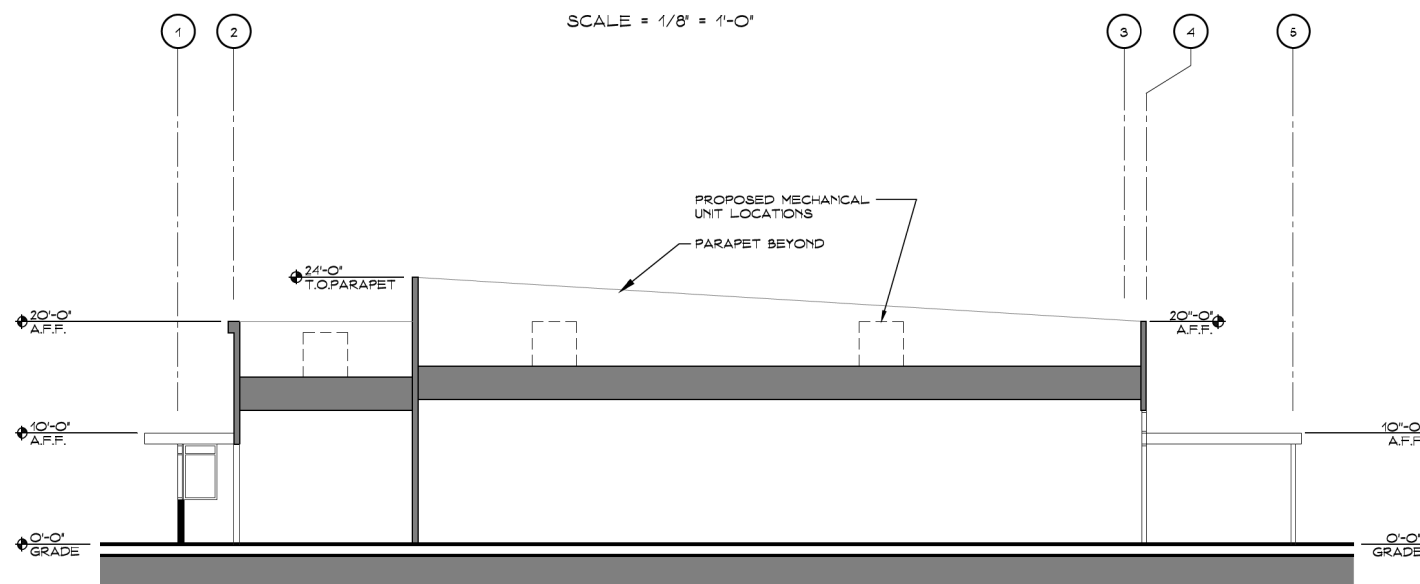


SHEET



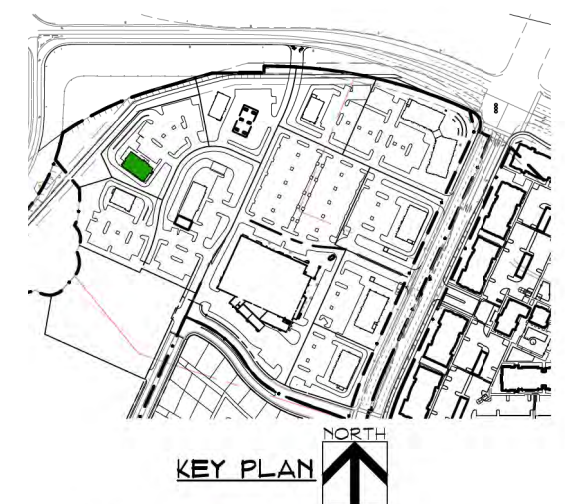
Roof Plan

SCALE = 1/8" = 1'-0"



Building Section A-A

SCALE = 1/8" = 1'-0"



KEY PLAN



WHITNEY RANCH RETAIL AND 3C - PRELIMINARY ROOF PLAN & SECTION A-A

Rocklin, CA



A10.2



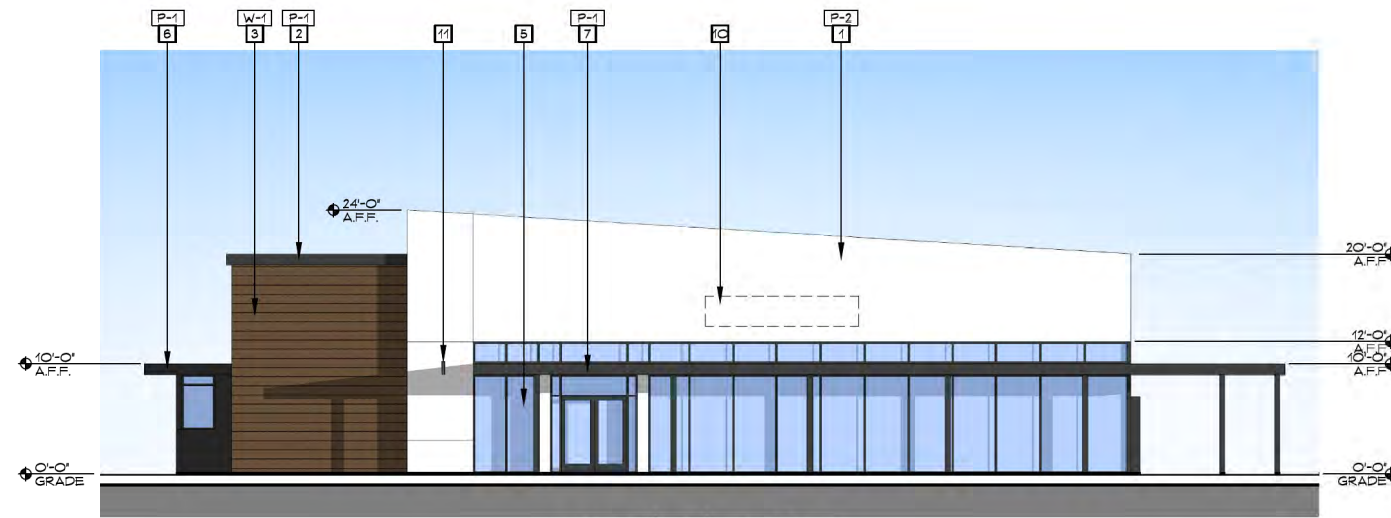
SHEET

COLE PARTNERS  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PERKINS, WILLIAMS & COTTERILL, INC.  
**ARCHITECTS**

3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

DATE: 12.22.22  
PROJECT: 21-314



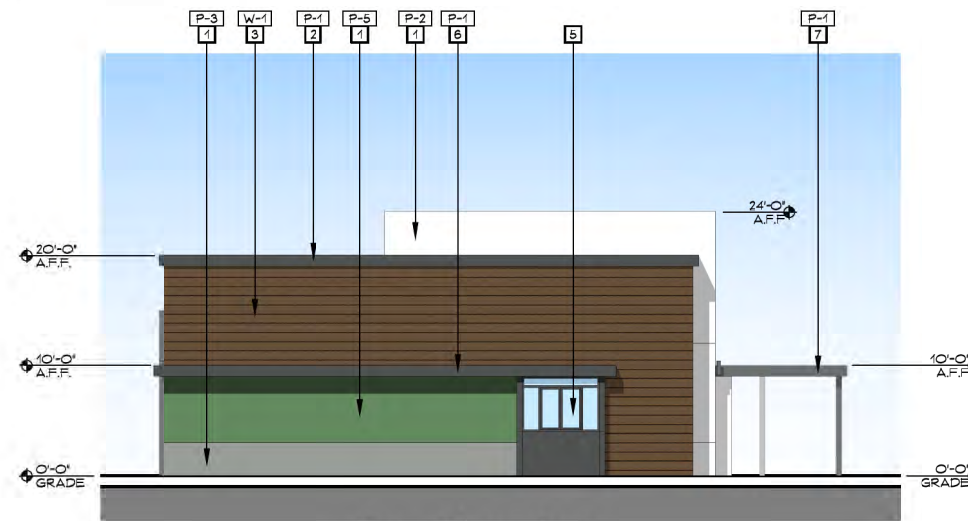
North Elevation

SCALE = 1/8" = 1'-0"



West Elevation

SCALE = 1/8" = 1'-0"



East Elevation

SCALE = 1/8" = 1'-0"



South Elevation

SCALE = 1/8" = 1'-0"

KEYNOTES	
1	IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
2	ARCHITECTURAL FOAM CORNICE
3	HORIZONTAL LAP SIDING
4	NOT USED
5	ALUMINUM STOREFRONT WINDOW SYSTEM
6	METAL AWNING
7	METAL PATIO COVER
8	GAS METER
9	HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
C	FUTURE TENANT SIGNAGE
11	ACCENT LIGHT FIXTURE
12	WALL TRELLIS

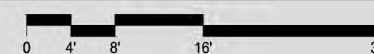
PAINT	
P-1	'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
P-2	'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
P-3	'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
P-4	'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
P-5	'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
P-6	'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

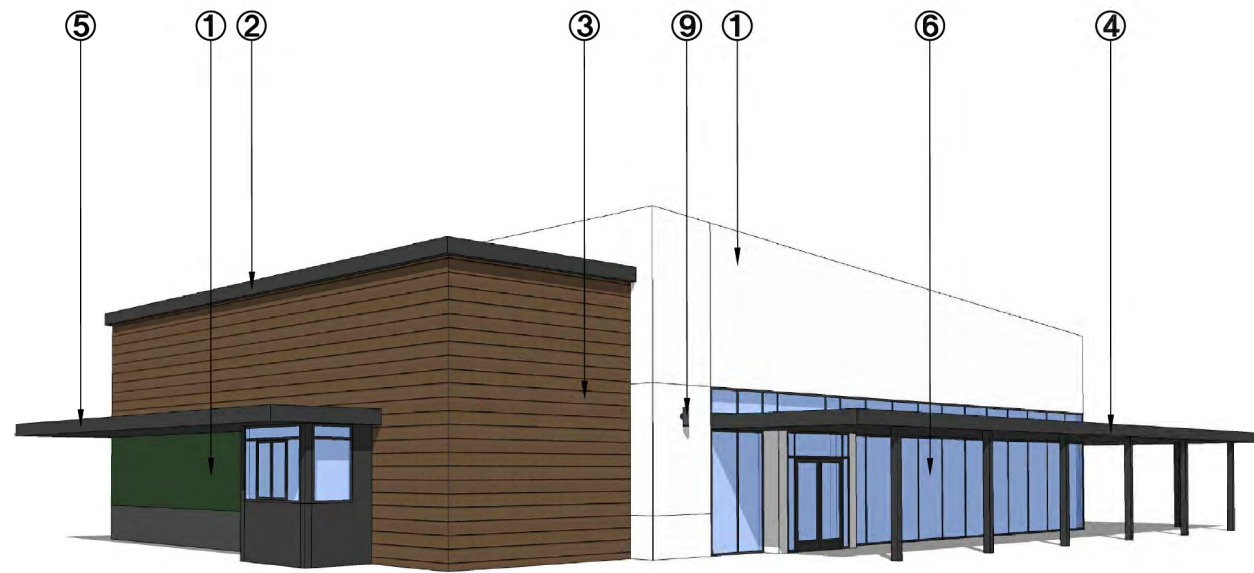
  

MATERIALS	
W-1	HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
M-1	METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
M-2	METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
M-3	METAL SIDING: 'SAGE GREEN' FLEX SERIES 12FX20.12 - AEP SPAN

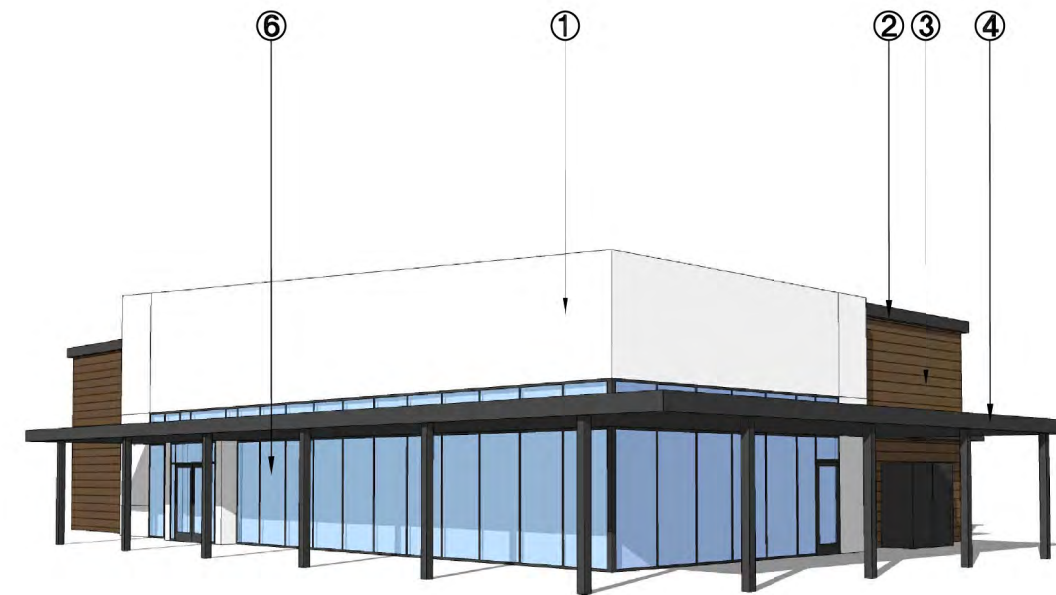


KEY PLAN NORTH

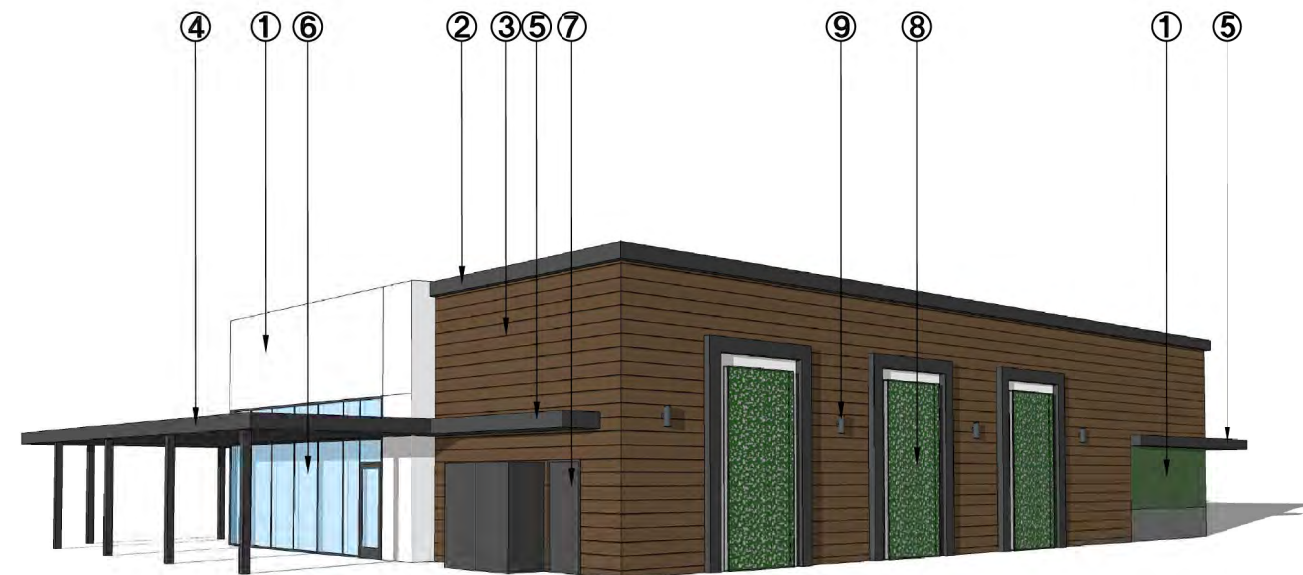




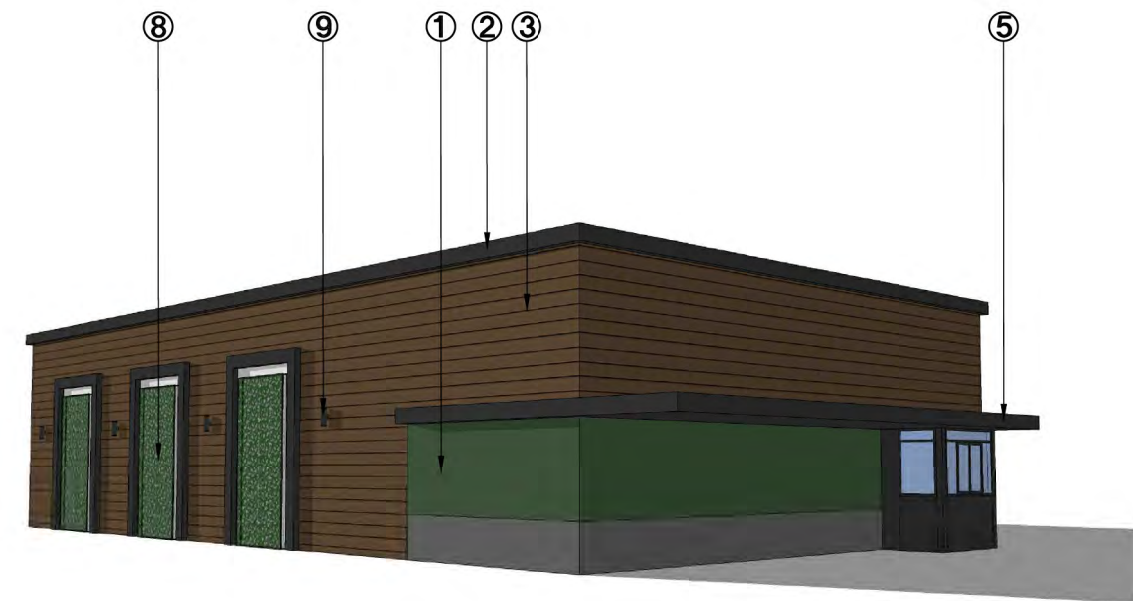
VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST

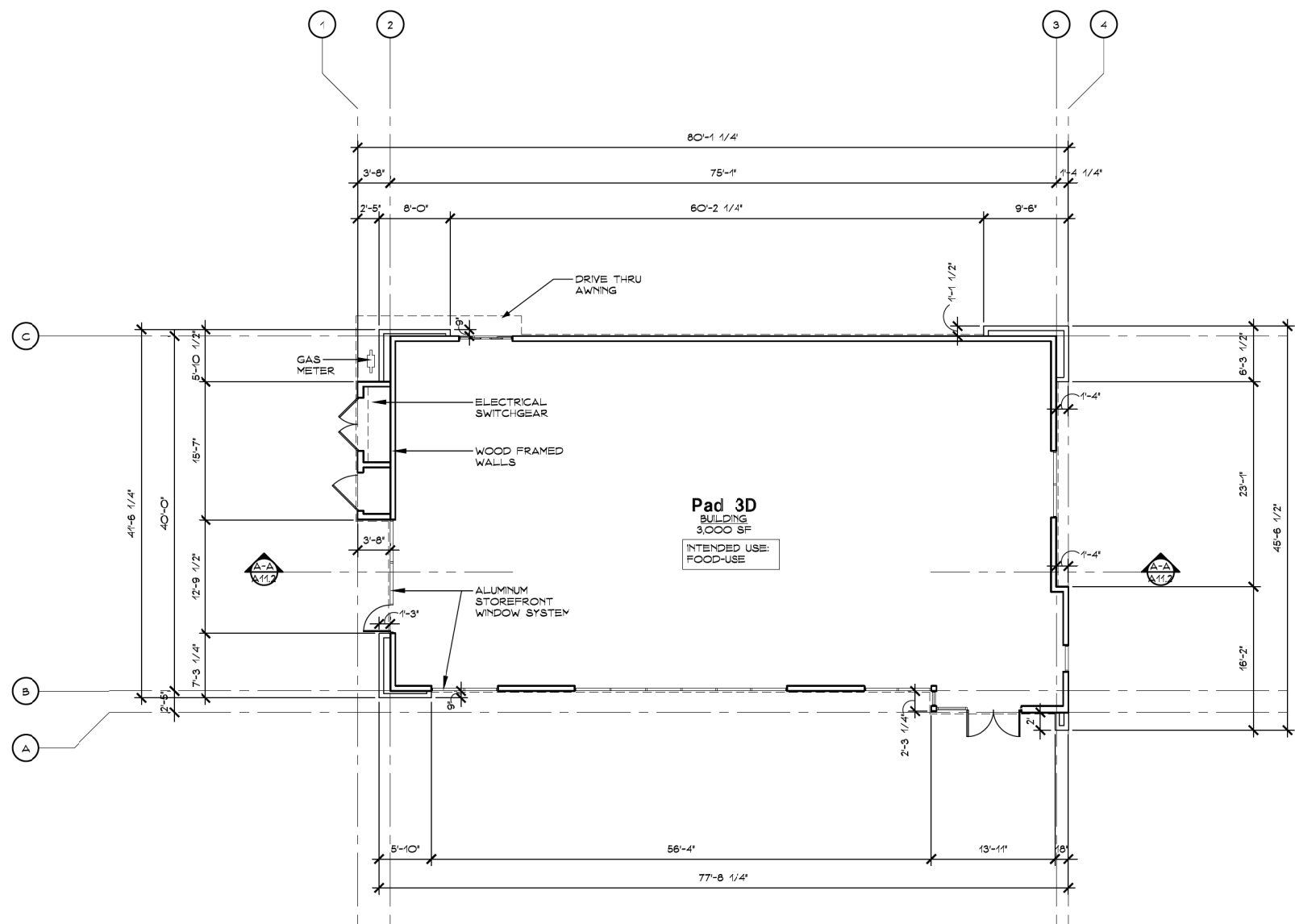


VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST

- |  |  |                                    |
|--|--|------------------------------------|
| ① IMPERFECT SMOOTH FINISH<br>CEMENT PLASTER SYSTEM | ④ METAL PATIO COVER                    | ⑦ HOLLOW METAL DOOR                |
| ② ARCHITECTURAL FOAM CORNICE                       | ⑤ METAL AWNING                         | ⑧ LIVING WALL LANDSCAPE<br>TRELLIS |
| ③ HORIZONTAL LAP SIDING                            | ⑥ ALUMINUM STOREFRONT<br>WINDOW SYSTEM | ⑨ ACCENT LIGHT FIXTURE             |



Floor Plan

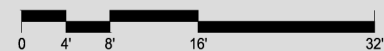
SCALE = 1/8" = 1'-0"



KEY PLAN

WHITNEY RANCH RETAIL  
Rocklin, CA

PAD 3D - PRELIMINARY FLOOR PLAN



Scale: 1/8" = 1'-0"

A11.1



SHEET

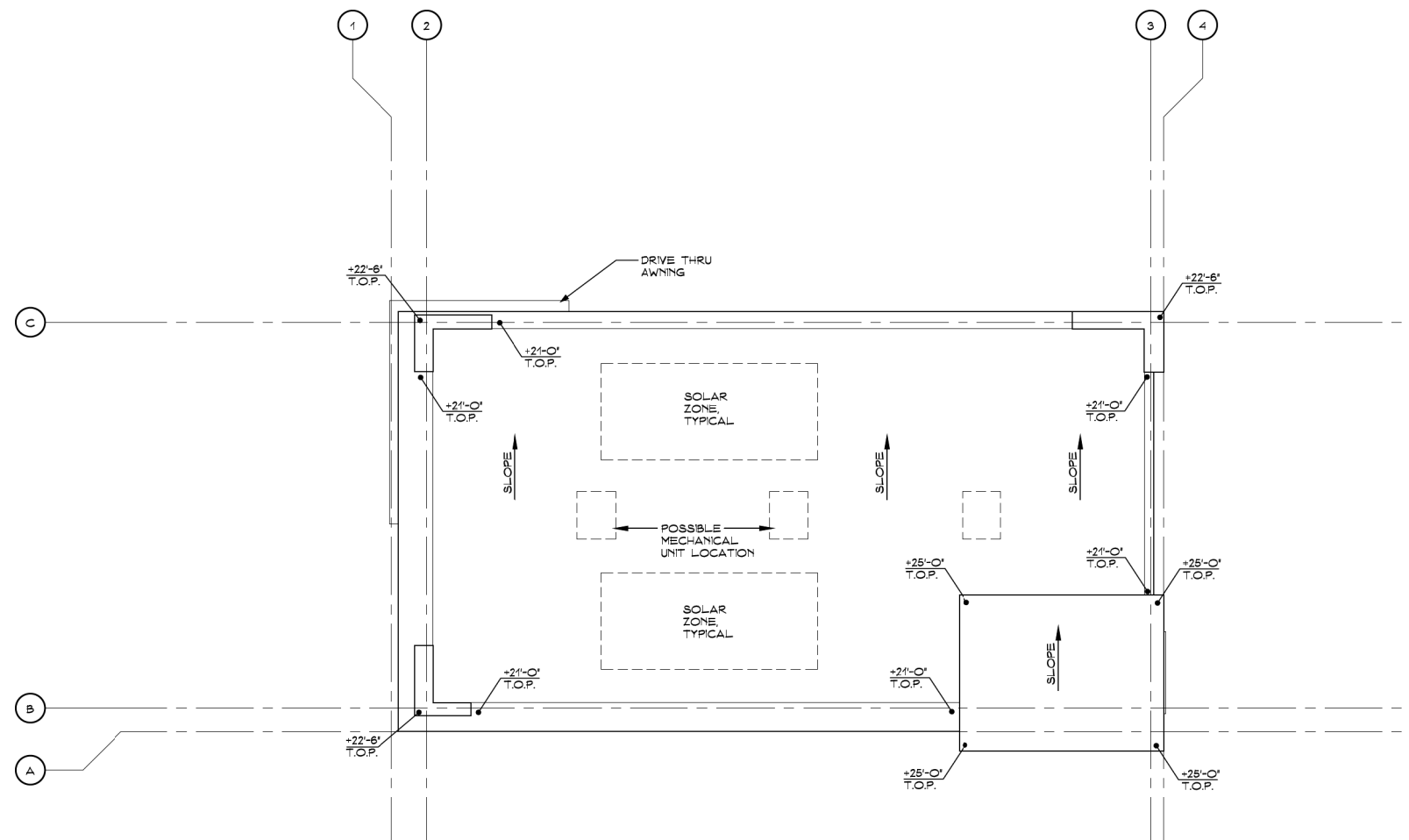
COLE PARTNERS  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PERKINS, WILLIAMS & COTTERILL, INC.  
**ARCHITECTS**

3320 Data Drive, Suite 200 • Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

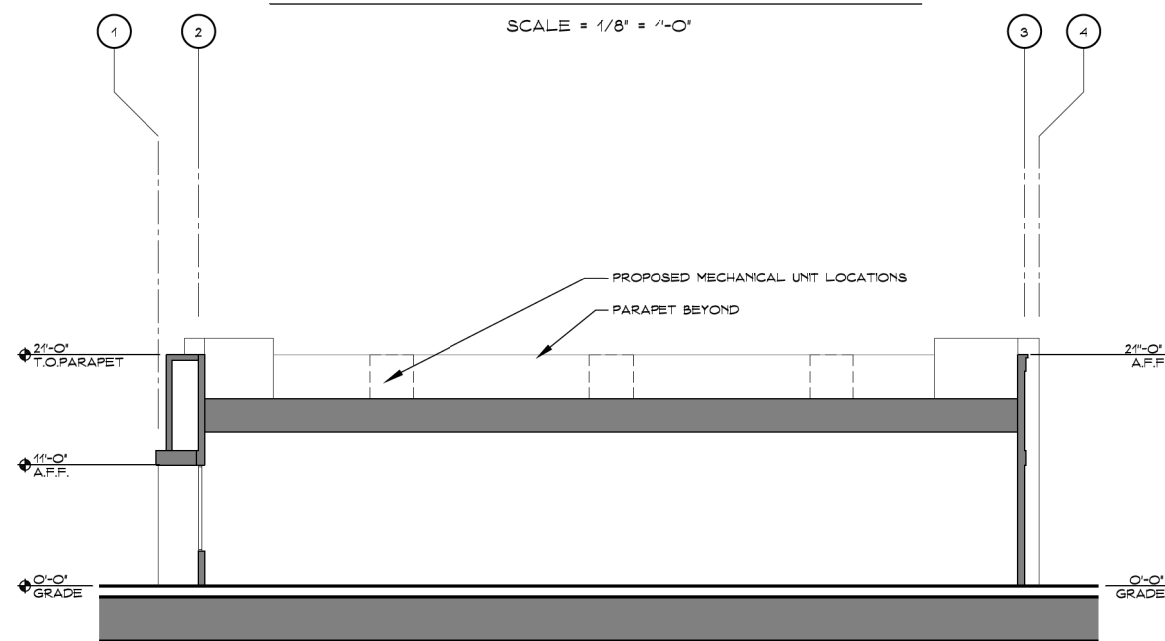
DATE: 12.22.22  
PROJECT: 21-314





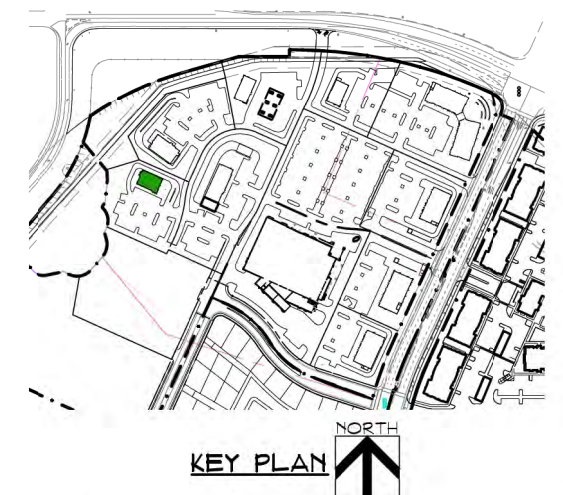
Roof Plan

SCALE = 1/8" = 1'-0"



A-A Building Section

SCALE = 1/8" = 1'-0"



KEY PLAN

WHITNEY RANCH RETAIL PAD 3D - PRELIMINARY ROOF PLAN & SECTION

Rocklin, CA



Scale: 1/8" = 1'-0"

**A11.2**



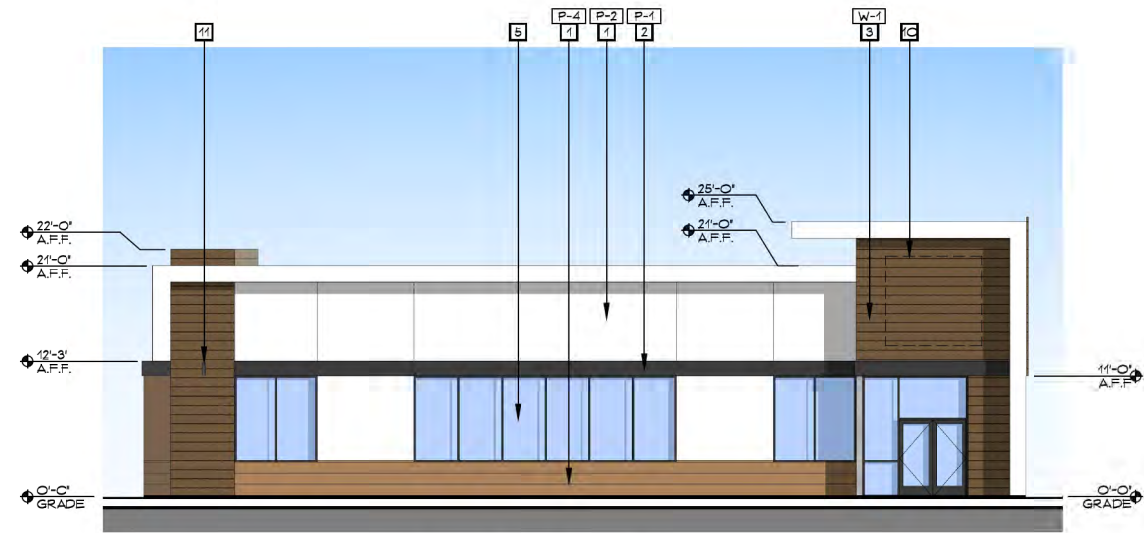
SHEET

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**

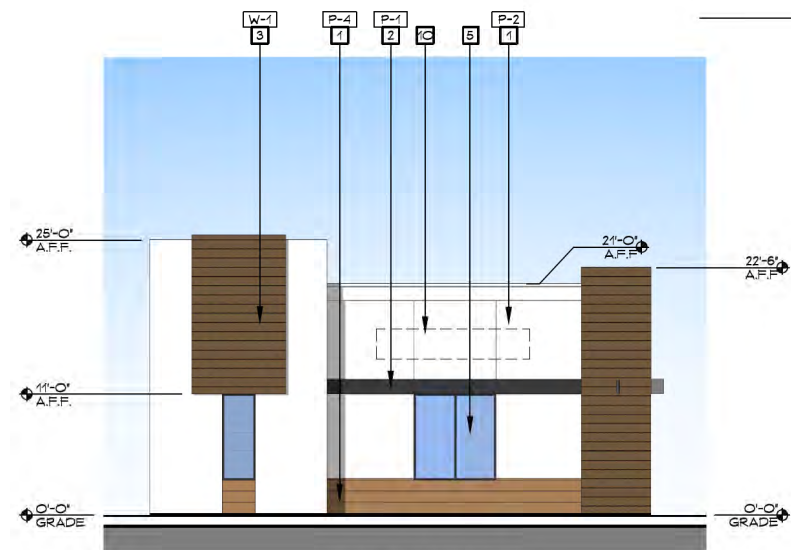
3320 Data Drive, Suite 200 - Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

DATE: 12.22.22  
PROJECT: 21-314



South Elevation

SCALE = 1/8" = 1'-0"



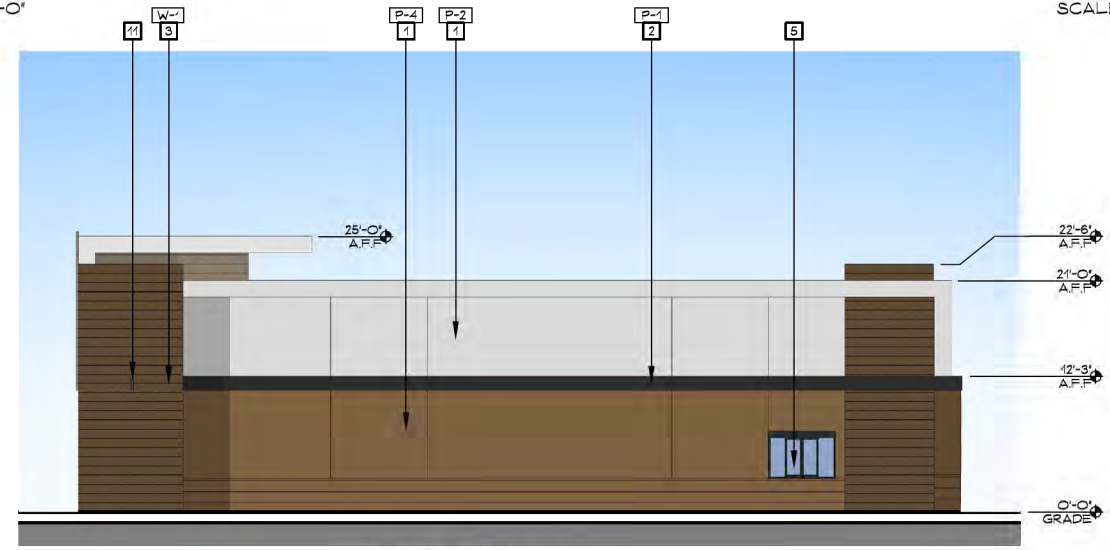
East Elevation

SCALE = 1/8" = 1'-0"



West Elevation

SCALE = 1/8" = 1'-0"



North Elevation

SCALE = 1/8" = 1'-0"

**KEYNOTES**

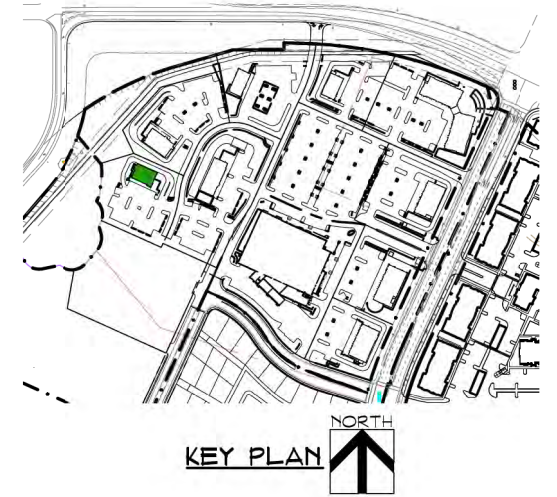
- 1 IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
- 2 ARCHITECTURAL FOAM CORNICE
- 3 HORIZONTAL LAP SIDING
- 4 NOT USED
- 5 ALUMINUM STOREFRONT WINDOW SYSTEM
- 6 NOT USED
- 7 NOT USED
- 8 GAS METER
- 9 HOLLOW METAL DOOR IN HM FRAME - PAINTED TO MATCH WALL COLOR
- 10 FUTURE TENANT SIGNAGE
- 11 ACCENT LIGHT FIXTURE

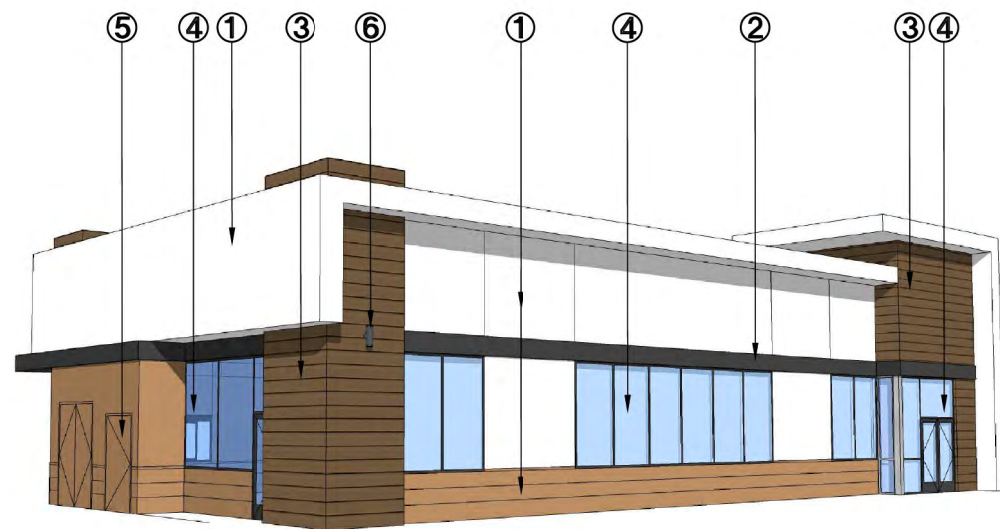
**PAINT**

- P-1 'GREENBLACK' SW 6994 - SHERWIN WILLIAMS
- P-2 'PURE WHITE' SW 7005 - SHERWIN WILLIAMS
- P-3 'INTELLECTUAL GRAY' SW 7045 - SHERWIN WILLIAMS
- P-4 'TATAMI TAN' SW 6116 - SHERWIN WILLIAMS
- P-5 'GARDEN GROVE' SW 6445 - SHERWIN WILLIAMS
- P-6 'DIGNITY BLUE' SW 6804 - SHERWIN WILLIAMS

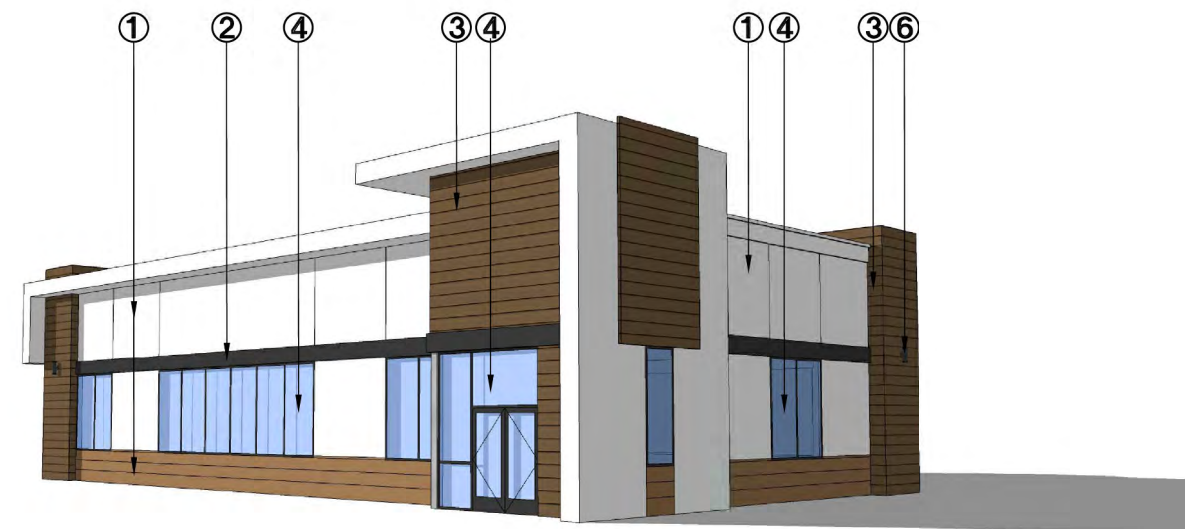
**MATERIALS**

- M-1 HORIZONTAL LAP SIDING: 'C71 PALISANDER' - RESYSTA
- M-2 METAL SIDING: 'NATURAL RUST' NU-WAVE CORRUGATED - AEP SPAN
- M-3 METAL SIDING: 'SAGE GREEN' NU-WAVE CORRUGATED - AEP SPAN
- M-4 METAL SIDING: 'SAGE GREEN' FLEX SERIES 12F-X20-12 - AEP SPAN

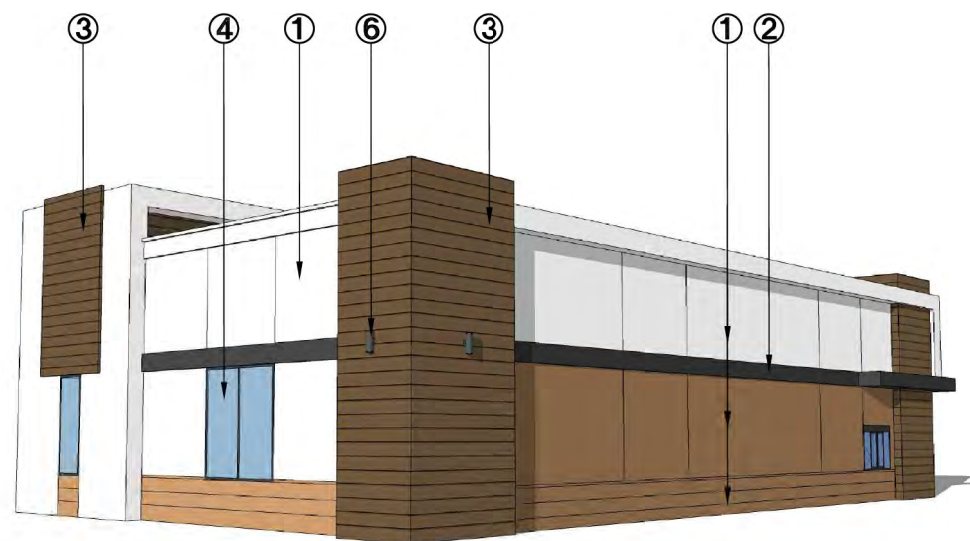




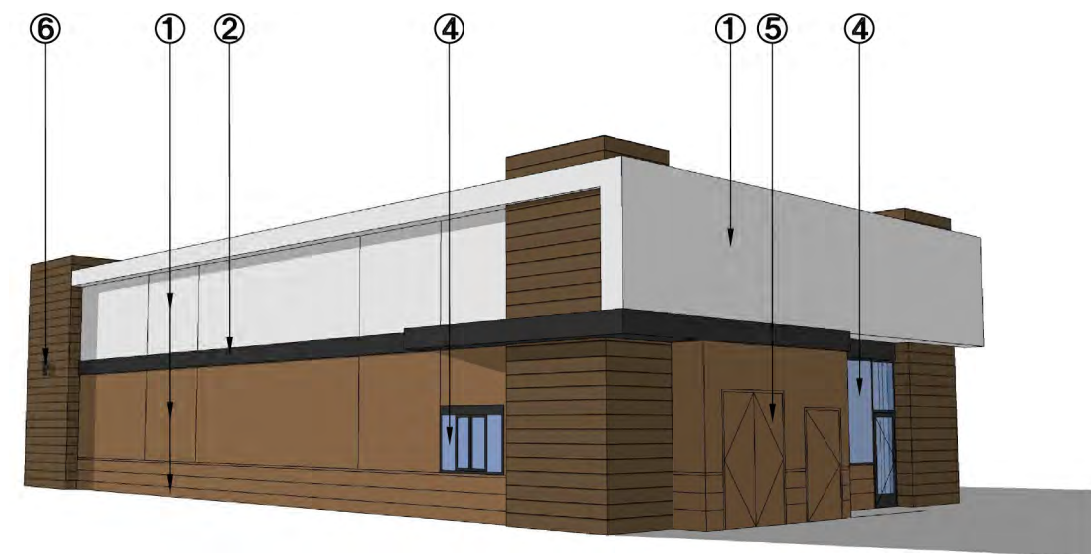
VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST

- ① IMPERFECT SMOOTH FINISH CEMENT PLASTER SYSTEM
- ② ARCHITECTURAL FOAM CORNICE
- ③ HORIZONTAL LAP SIDING
- ④ ALUMINUM STOREFRONT WINDOW SYSTEM
- ⑤ HOLLOW METAL DOOR
- ⑥ ACCENT LIGHT FIXTURE

WHITNEY RANCH RETAIL  
Rocklin, CA

PAD 3D - PERSPECTIVE VIEWS

Scale: NTS

SHEET  
**A11.4**

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**PERKINS, WILLIAMS & COTTERILL, INC.**  
**ARCHITECTS**  
3320 Data Drive, Suite 200 - Rancho Cordova, California 95670  
T (916) 851-1400 F (916) 851-1408 E pwcarch@pwcarchitects.com

DATE: 03.07.23  
PROJECT: 21-314



METAL SIDING  
AESPAN 'NATURAL RUST'  
NU-WAVE CORRUGATED

Metal Siding



BLACK ANODIZED ALUMINUM  
STOREFRONT SYSTEM

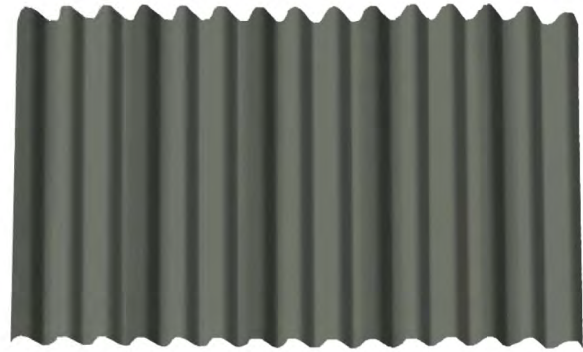
Aluminum Storefront System



SHERWIN WILLIAMS PAINT  
'GREENBLACK' SW 6994



SHERWIN WILLIAMS PAINT  
'TATAMI TAN' SW 6116



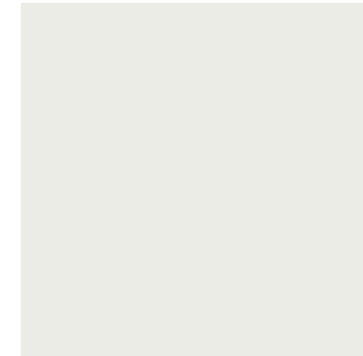
METAL SIDING  
AESPAN 'SAGE GREEN'  
NU-WAVE CORRUGATED

Metal Siding



HORIZONTAL LAP SIDING  
RESYSTA 'C71 PALISANDER'  
LAP SIDING

Horizontal Lap Siding



SHERWIN WILLIAMS PAINT  
'PURE WHITE' SW 7005

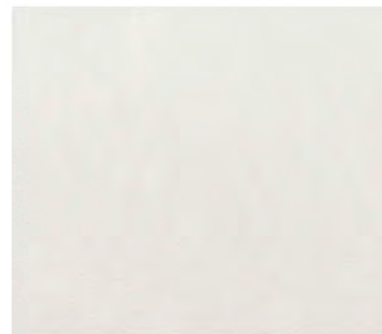


SHERWIN WILLIAMS PAINT  
'GARDEN GROVE' SW 6445



METAL SIDING  
AESPAN 'SAGE GREEN'  
FLEX SERIES 1.2FX20-12

Metal Siding



IMPERFECT SMOOTH PLASTER  
PAINT FINISH

Cement Plaster System

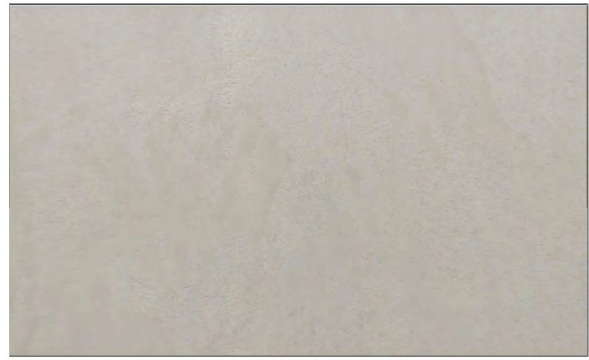


SHERWIN WILLIAMS PAINT  
'INTELLECTUAL GRAY' SW 7045



SHERWIN WILLIAMS PAINT  
'DIGNITY BLUE' SW 6804

Exterior Paint Colors



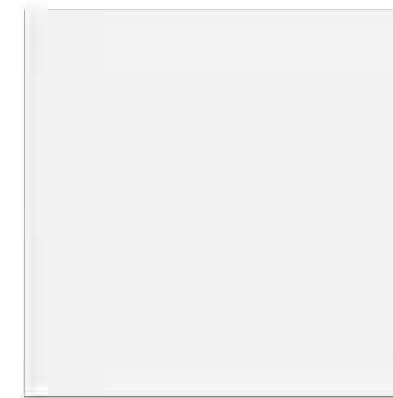
**A** IMPERFECT SMOOTH PLASTER  
Paint Finish



**D** CORRUGATED ROOFING  
Corten AZP Raw



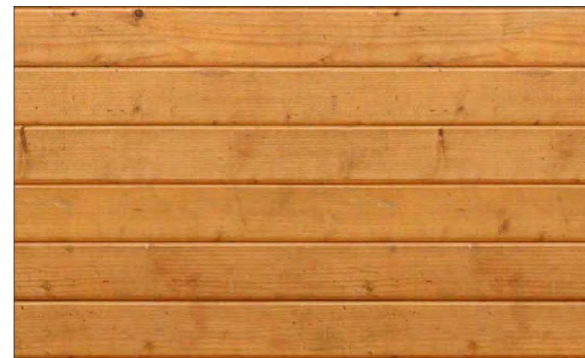
**1** Plaster Color  
DE6242 "Wells Gray"



**2** Fascia & Trim Color  
DEW340 "Whisper"



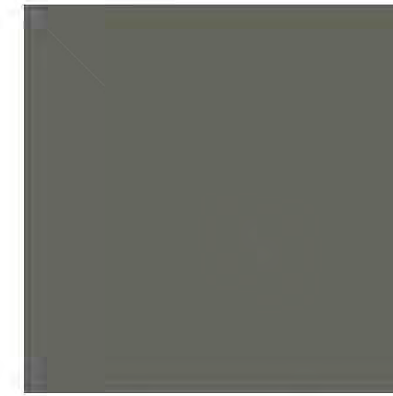
**C** CORRUGATED SIDING  
AEP SPAN "Zinc Grey"



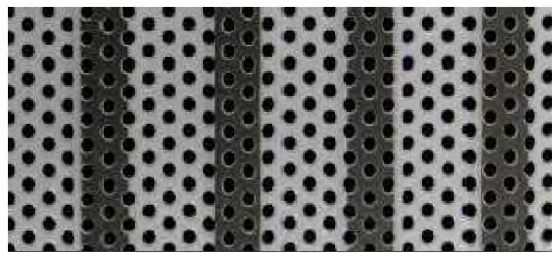
**E** WOOD CLADDING  
Clear Sealed Cedar



**5** Metal Doors & Gates  
DE6391 "Black Russian"



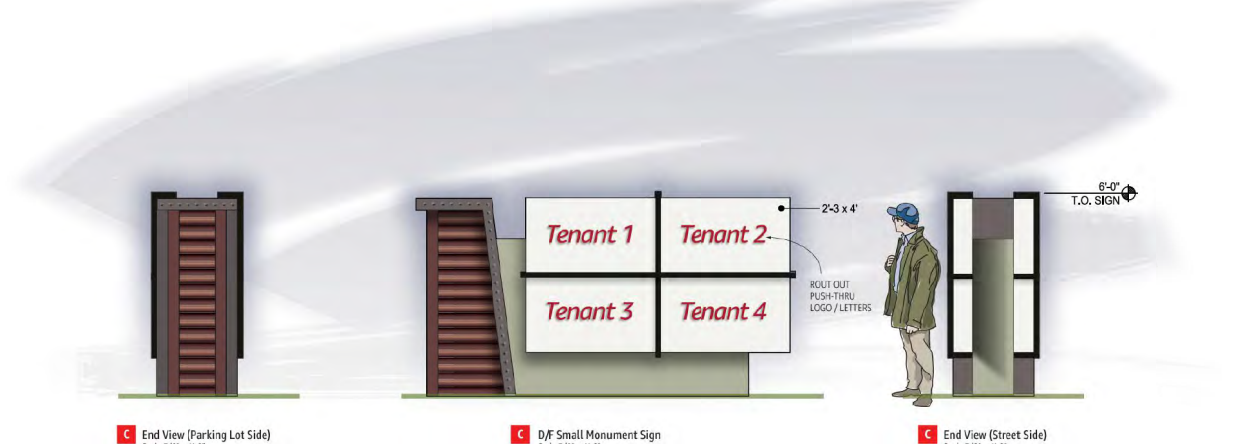
**4** Corrugated Screen Walls  
AEP Span "Zinc Grey"



**C** PERFORATED METAL PANELS  
HENDRICK "Charcoal Grey"



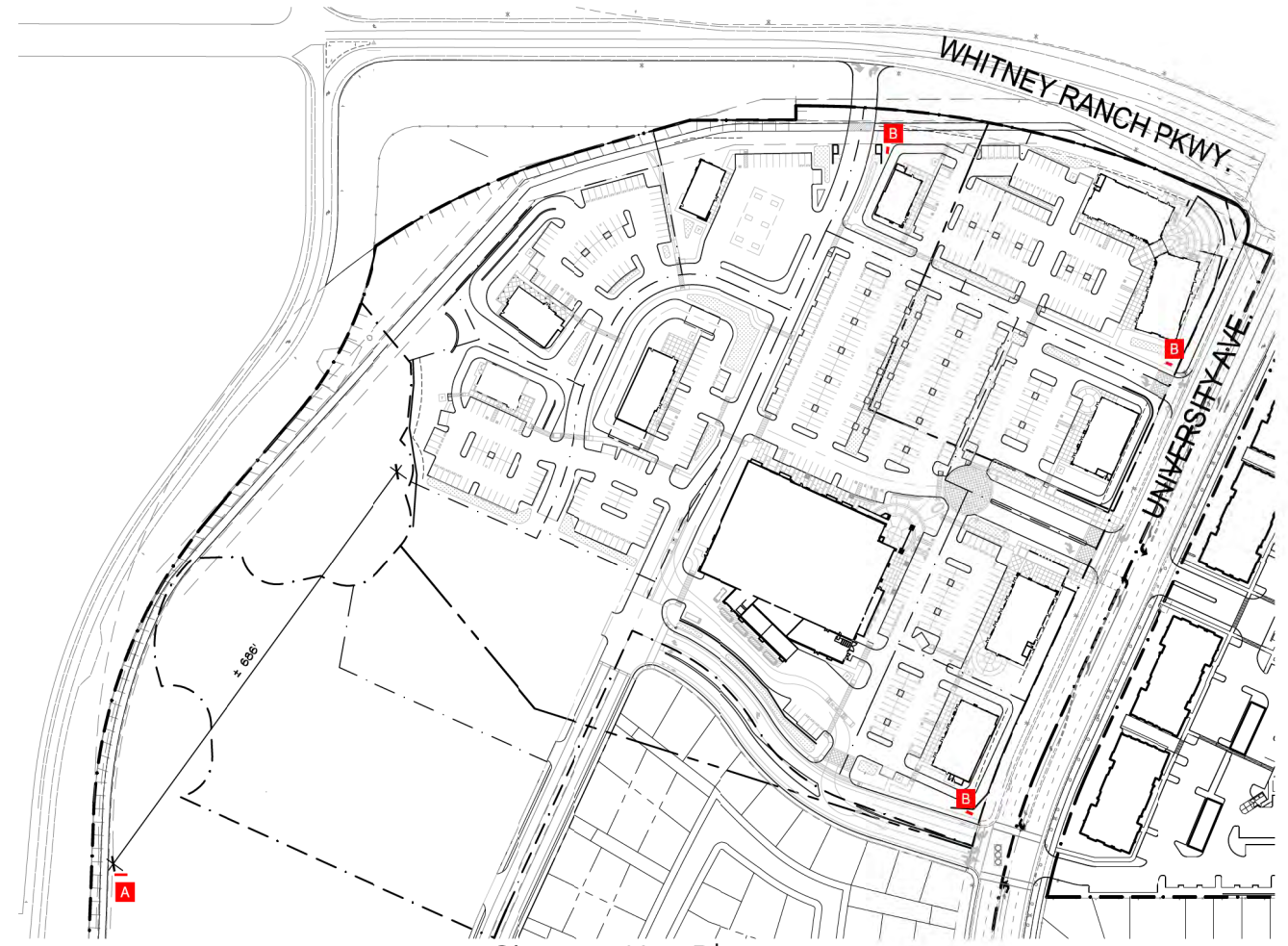
**F** ALUMINUM WINDOWS  
Black Anod. w/ Clear Glazing



Optional - Illuminated Small Monument Sign

SCALE: 3/8" = 1'-0"

OPTIONAL SMALL MONUMENT SIGN LOCATION TO BE DETERMINED; NOT TO EXCEED 1 FREESTANDING SIGN PER 200' OF LINEAR STREET FRONTAGE



Signage Key Plan

SCALE: 1" = 120'

DESIGN CUES | Lettering

**WHITNEY RANCH**  
 CLASSIC / CLEAN CHARLOTTE SANS FONT  
 COMPLIMENTING SIMPLE CLEAN ARCHITECTURAL AESTHETIC

DESIGN CUES | Logo



BRANDING IRON STYLE LOGO WITH HALO ILLUMINATION

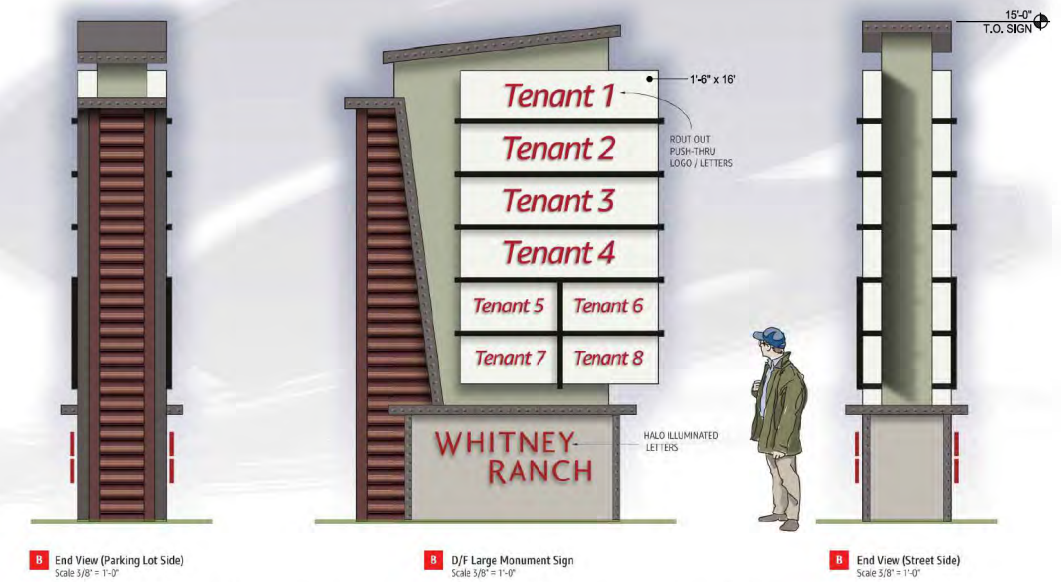
DESIGN CUES | Sign Aesthetic

MINIC CONTEMPORARY RURAL INDUSTRIAL LOOK WITH CLEAN BOLD LINES TO COMPLEMENT ARCHITECTURAL STYLE OF BUILDINGS.  
 INCORPORATE COLOR PALETTE OF ARCHITECTURE AND MATERIALS, I.E. CORRUGATED SIDING AND MUTED NATURAL COLORS AS SPECIFIED IN ARCHITECTURAL MATERIAL SPECIFICATIONS.



Illuminated Pylon Sign

SCALE: 1/8" = 1'-0"

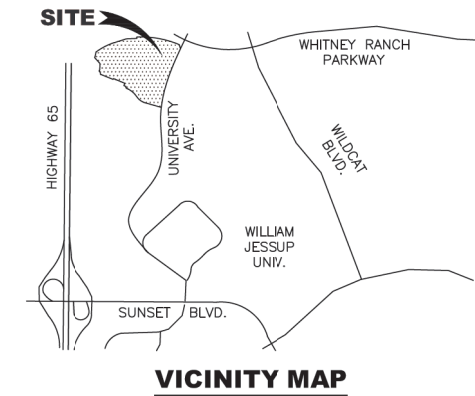


Illuminated Large Monument Sign

SCALE: 3/8" = 1'-0"

# PRELIMINARY PLANS FOR WHITNEY RANCH RETAIL

## SEC WHITNEY RANCH PARKWAY & UNIVERSITY AVENUE ROCKLIN, CALIFORNIA 95666



### PROJECT TEAM

#### OWNER

EVERGREEN/ROCKLIN LAND JOINT VENTURE  
C/O COLE PARTNERS DEVELOPMENT COMPANY  
2484 NATOMAS PARK DRIVE, SUITE 101  
SACRAMENTO, CA 95833  
(916) 273-4020  
CONTACT: ROB COLE  
RCOLE@COLEPARTNERS.COM

#### APPLICANT/ENGINEER

RSC ENGINEERING, INC.  
1420 ROCKY RIDGE DR., SUITE 150  
ROSEVILLE, CA 95661  
(916) 788-2884  
CONTACT: TIFFANY WILSON  
T.WILSON@RSC-ENGR.COM

#### ARCHITECT

PERKINS, WILLIAMS & COTTERILL ARCHITECTS  
332C DATA DRIVE, SUITE 200  
RANCHO CORDOVA, CA 95670  
(916) 851-1400  
CONTACT: BRIAN WILLIAMS  
BRIANW@PWCARCHITECTS.COM

#### LANDSCAPE ARCHITECT

FUHRMAN LEAMY LAND GROUP  
214C PROFESSIONAL DRIVE, SUITE 115  
ROSEVILLE, CA 95661  
(916) 783-5263  
CONTACT: STEVE FUHRMAN  
STEVEF@FLLEANDGROUP.COM

### PROJECT INFORMATION

#### APN

017-087-001, 002, 003, 004 & 007

#### EXISTING GENERAL PLAN

RC AND BP

#### EXISTING ZONING

PD-C AND PD-BP/C

#### PROPOSED ZONING

RETAIL PORTION: PD-C

#### LAND AREA

OVERALL SITE: 52.368± AC (2,281,161± SF)  
RETAIL PORTION: 18.17± AC (791,485±)

#### SERVICE PROVIDERS

SEWER - SPMUD  
WATER - PCWA  
DRAINAGE - CITY OF ROCKLIN  
FIRE - CITY OF ROCKLIN  
PHONE - AT&T  
GAS - PG&E  
ELECTRIC - PG&E  
CABLE - WAVE BROADBAND  
SCHOOL - ROCKLIN UNIFIED SCHOOL DISTRICT

### PROJECT DATA

#### WEST BUILDING AND REQUIRED PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	REQUIRED RATIO	REQUIRED STALLS
3A	C-STORE	3,000	5.0/1,000 SF	15
3B	DRIVE-THRU	5,000	1/3 SEATS	50
3C	DRIVE-THRU	4,000	1/3 SEATS	40
3D	DRIVE-THRU	3,000	1/3 SEATS	30
<b>TOTAL</b>		<b>15,000</b>		<b>135</b>

#### WEST BUILDING AND PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	ACCESSIBLE STALLS	COMPACT STALLS	EV STALLS	STANDARD STALLS	TOTAL STALLS
3A	C-STORE	3,000	1	0	2	8	11
3B	DRIVE-THRU	5,000	3	0	12	43	58
3C	DRIVE-THRU	4,000	3	4	11	37	55
3D	DRIVE-THRU	3,000	2	2	10	32	46
<b>TOTAL</b>		<b>15,000</b>	<b>9</b>	<b>6</b>	<b>35</b>	<b>120</b>	<b>170</b>

NOTE: CROSS ACCESS AND PARKING WILL BE REQUIRED FOR THE CENTER.

#### EAST BUILDING AND REQUIRED PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	REQUIRED RATIO	REQUIRED STALLS
2A	RETAIL	43,500	5.0/1,000 SF	218
2B	DRIVE-THRU	3,000	1/3 SEATS	30
2C	RETAIL	14,000	5.0/1,000 SF	70
2D	RETAIL	6,000	5.0/1,000 SF	30
2E	RETAIL	7,000	5.0/1,000 SF	35
2F	RETAIL	6,000	5.0/1,000 SF	30
<b>TOTAL</b>		<b>79,500</b>		<b>413</b>

#### EAST BUILDING AND PARKING SUMMARY:

BUILDING	USE	BUILDING SIZE (SF)	ACCESSIBLE STALLS	COMPACT STALLS	EV STALLS	STANDARD STALLS	TOTAL STALLS
2A	RETAIL	43,500	7	39	49	151	246
2B	DRIVE-THRU	3,000	2	3	7	24	36
2C	RETAIL	14,000	2	17	17	48	84
2D	RETAIL	6,000	2	6	9	27	44
2E	RETAIL	7,000	2	4	9	30	45
2F	RETAIL	6,000	2	4	7	19	32
<b>TOTAL</b>		<b>79,500</b>	<b>17</b>	<b>73</b>	<b>98</b>	<b>299</b>	<b>487</b>

NOTE: CROSS ACCESS AND PARKING WILL BE REQUIRED FOR THE CENTER.

### SHEET INDEX

#### CIVIL

1. CV COVER SHEET
2. EX OVERALL EXISTING CONDITIONS
3. EX1 EXISTING CONDITIONS (NORTH)
4. EX2 EXISTING CONDITIONS (SOUTH)
5. SP OVERALL PRELIMINARY SITE PLAN
6. SP1 PRELIMINARY SITE PLAN (WEST)
7. SP2 PRELIMINARY SITE PLAN (EAST)
8. SP3 PRELIMINARY SITE PLAN (EAST)
9. DA ACCESSIBLE ROUTE PLAN
10. FA FIRE ACCESS PLAN
11. PH1 PHASING PLAN
12. PH2 PHASING PLAN
13. GR OVERALL PRELIMINARY GRADING PLAN
14. GR1 PRELIMINARY MASS GRADING PLAN
15. GR2 PRELIMINARY GRADING PLAN
16. GR3 PRELIMINARY GRADING PLAN
17. GR4 PRELIMINARY GRADING PLAN
18. SEC1 PRELIMINARY GRADING SECTIONS
19. SEC2 PRELIMINARY GRADING SECTIONS
20. SD OVERALL PRELIMINARY STORM DRAIN PLAN
21. SD1 PRELIMINARY STORM DRAIN PLAN
22. SD2 PRELIMINARY STORM DRAIN PLAN
23. SD3 PRELIMINARY STORM DRAIN PLAN
24. UT OVERALL PRELIMINARY UTILITY PLAN
25. UT1 PRELIMINARY UTILITY PLAN
26. UT2 PRELIMINARY UTILITY PLAN
27. UT3 PRELIMINARY UTILITY PLAN
28. SWQ PRELIMINARY STORM WATER QUALITY PLAN
29. PL1 PRELIMINARY LANDSCAPE SITE PLAN
30. PL2 PRELIMINARY LANDSCAPE PLANTING PLAN
31. PL3 ENLARGEMENTS - LANDSCAPE PLAN
32. PL4 ENLARGEMENTS - LANDSCAPE PLAN



COVER SHEET

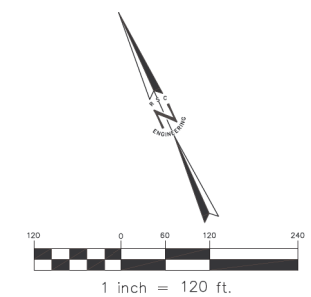
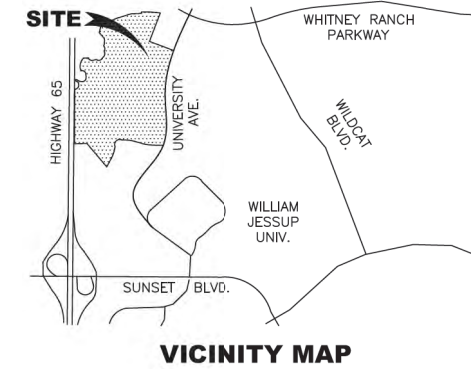
CV

WHITNEY RANCH RETAIL  
ROCKLIN, CA

DATE:  
PROJECT:

04.12.2023  
247-005





**APN**

017-087-001, 002, 003, 004 & 007

**EXISTING GENERAL PLAN**

RC AND BP

**EXISTING ZONING**

PD-C AND PD-BP/C

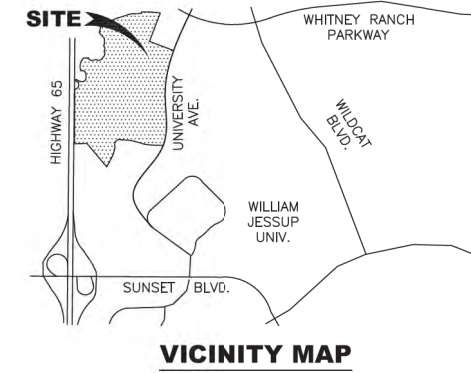
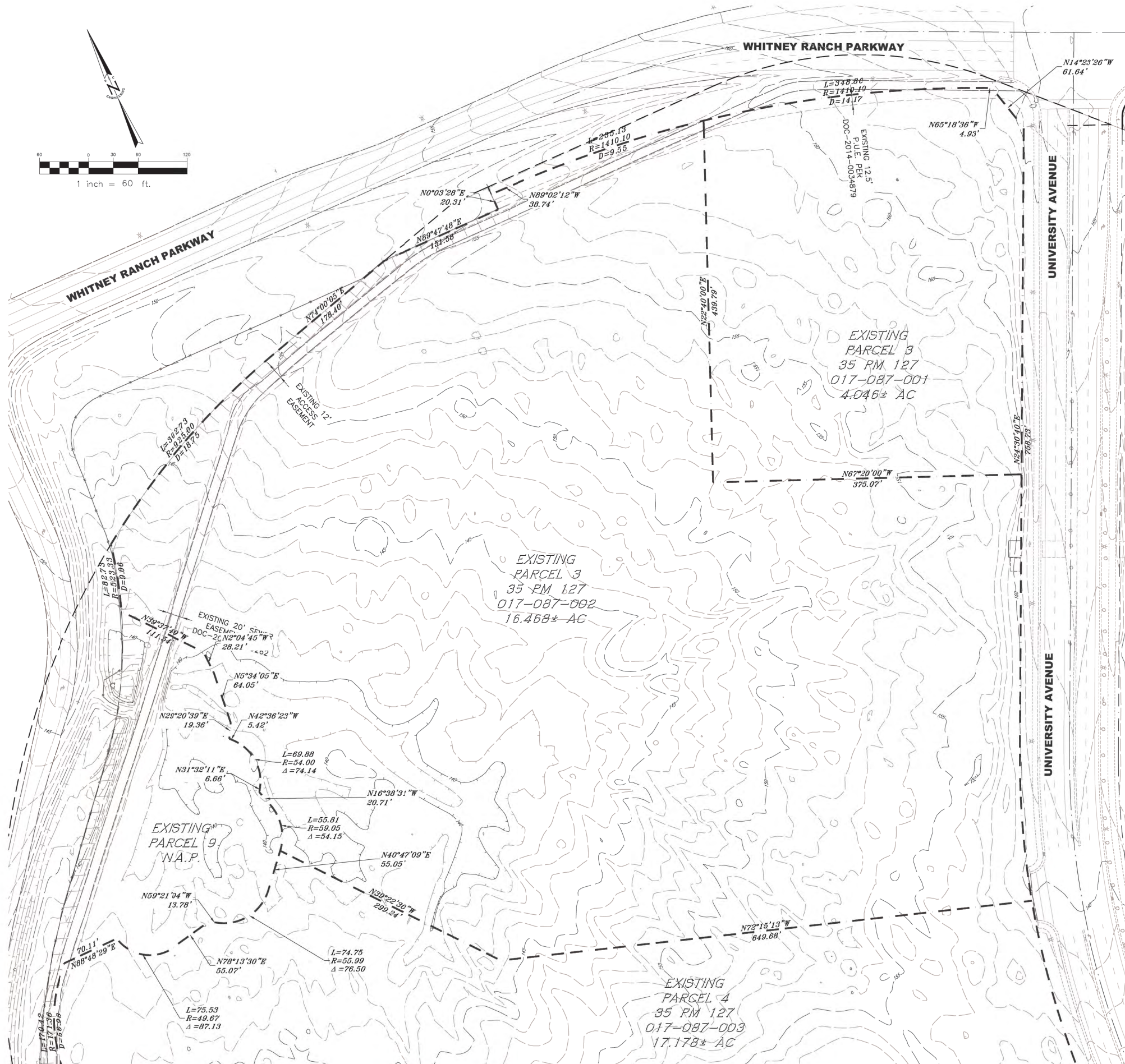
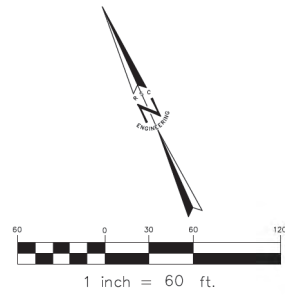
**LAND AREA**

52.368± ACRES (2,281,161± SF)

**SERVICE PROVIDERS**

- SEWER - SPMUD
- WATER - PCWA
- DRAINAGE - CITY OF ROCKLIN
- FIRE - CITY OF ROCKLIN
- PHONE - AT&T
- GAS - PG&E
- ELECTRIC - PG&E
- CABLE - WAVE BROADBAND
- SCHOOL - ROCKLIN UNIFIED SCHOOL DISTRICT





**WHITNEY RANCH RETAIL**  
ROCKLIN, CA

**EXISTING CONDITIONS (NORTH)**

**EX2**



**COLE PARTNERS**  
DEVELOPMENT COMPANY

REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

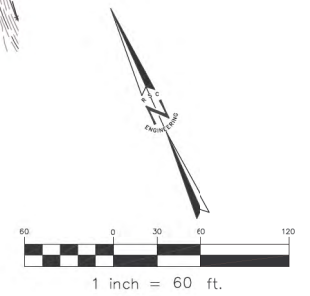
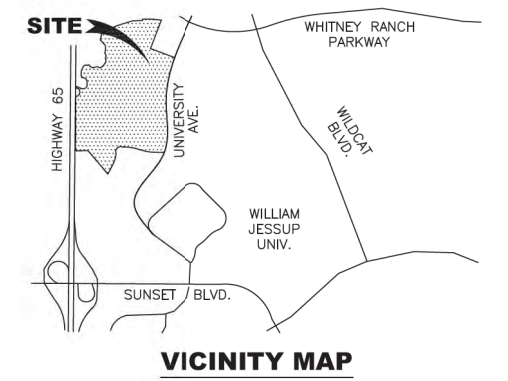
SHEET



**RSC ENGINEERING**  
1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661  
Ph: 916.785.2884 Fax: 916.788.4408

DATE:  
PROJECT:

04.12.2023  
247-005



WHITNEY RANCH RETAIL  
ROCKLIN, CA

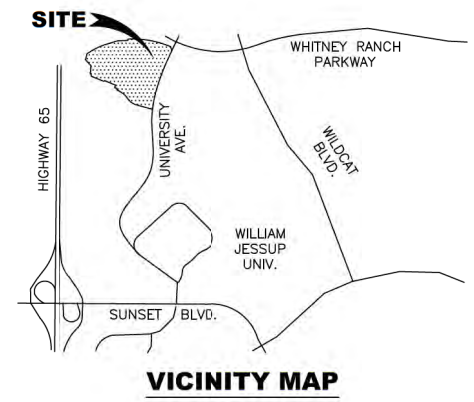
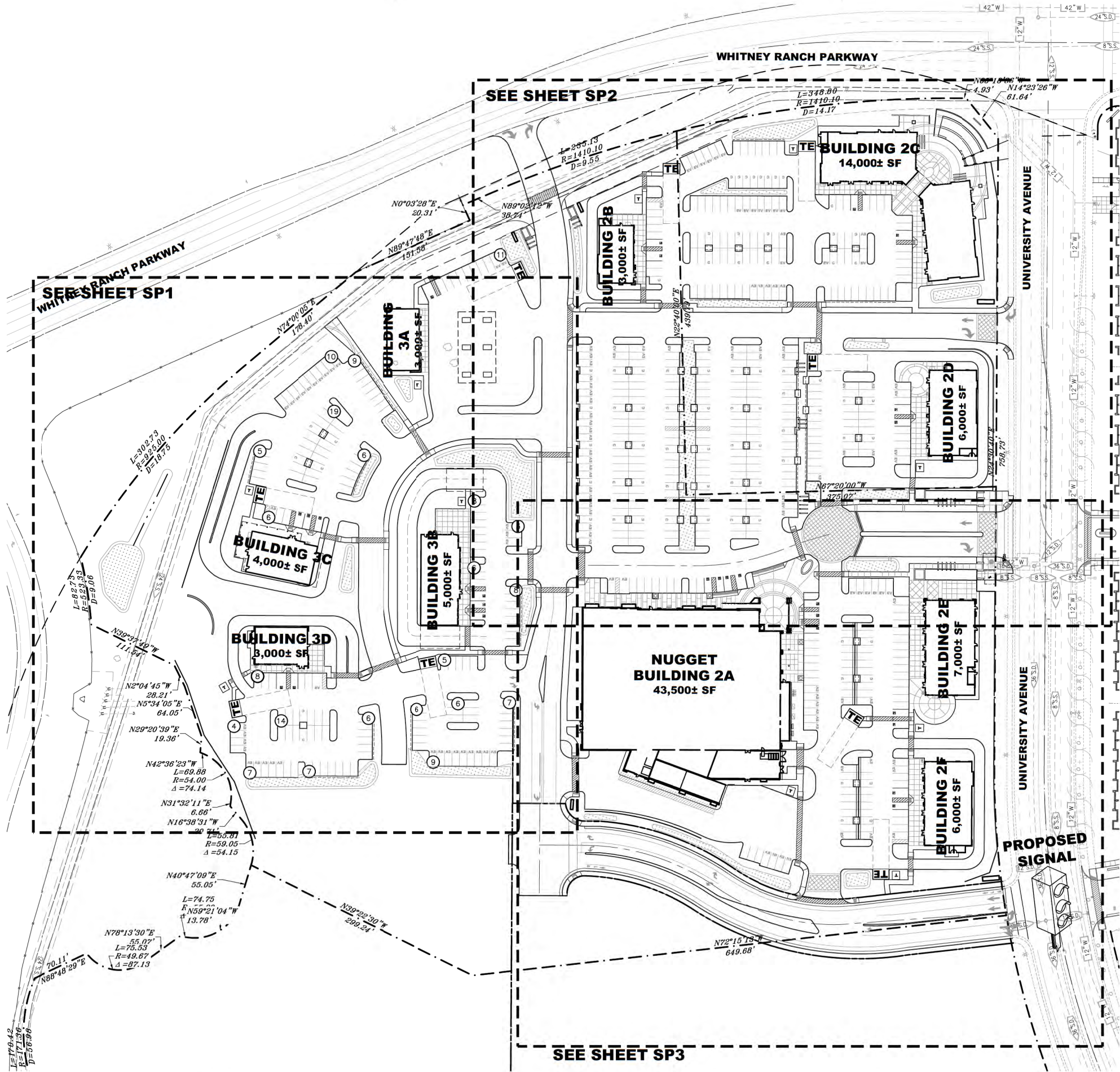
EXISTING CONDITONS (SOUTH)

EX3

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

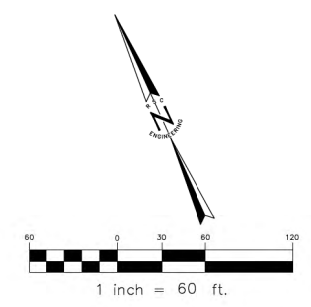
**RSC ENGINEERING**  
1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661  
Ph: 916.788.2884 Fax: 916.788.4408

DATE: 04.12.2023  
PROJECT: 247-005



**LEGEND:**

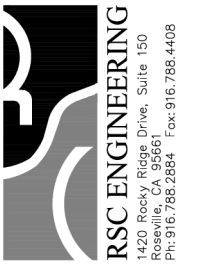
- EXISTING PARCEL LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT
- PROPOSED TRASH ENCLOSURE PER AUBURN PLACER RECOLOGY STANDARDS (11'X14' MIN. WITH 60' ACCESSIBLE CLEARANCE)
- PROPOSED ENHANCED PAVEMENT
- PROPOSED MASONRY WALL
- PROPOSED COMPACT PARKING STALL
- PROPOSED ELECTRIC VEHICLE PARKING STALL
- PROPOSED BIKE RACKS
- PROPOSED BIKE LOCKERS
- PROPOSED BIORETENTION AREA



WHITNEY RANCH RETAIL  
ROCKLIN, CA

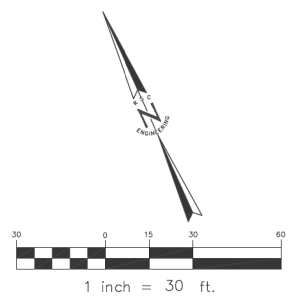
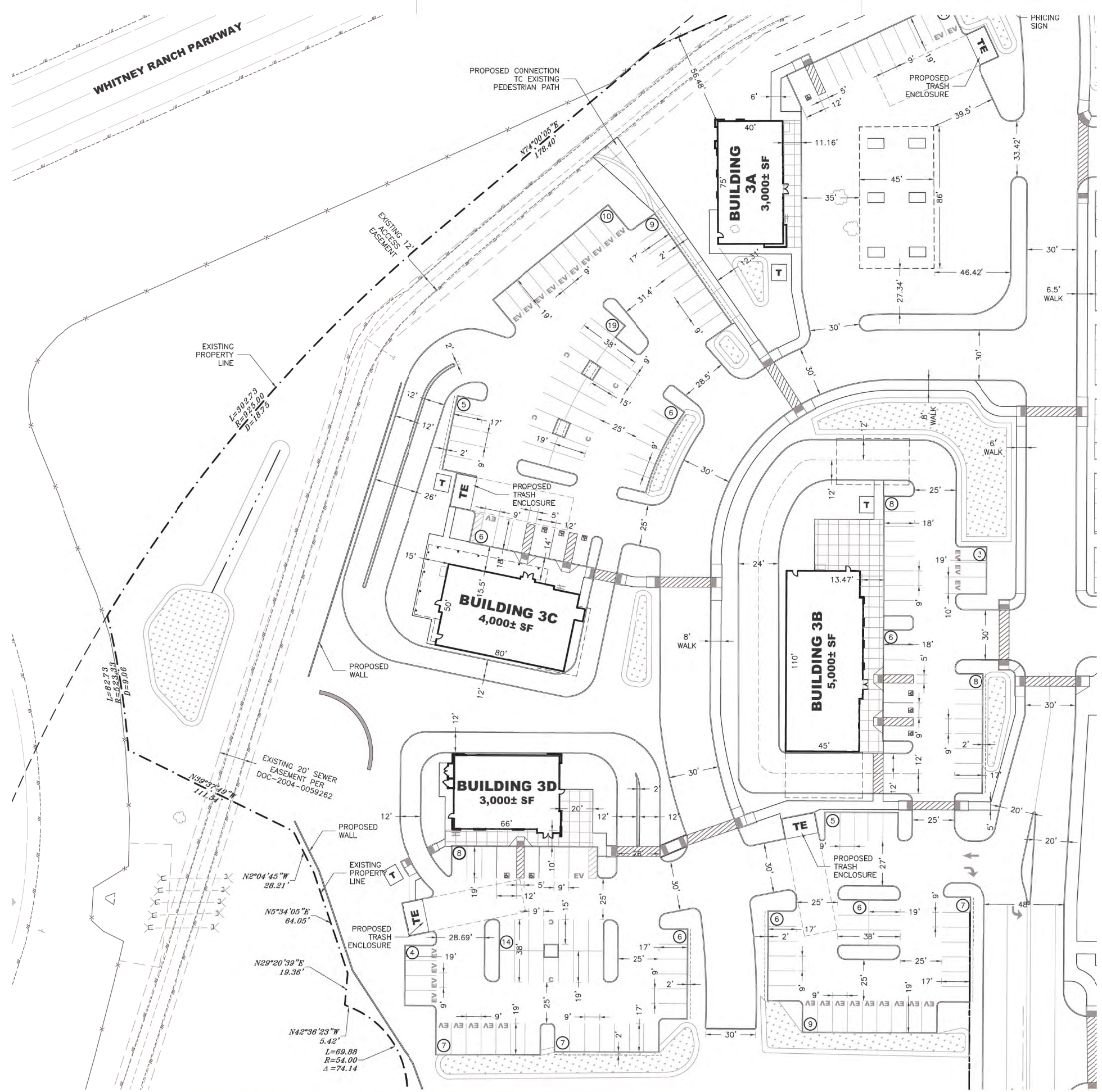
OVERALL PRELIMINARY SITE PLAN

SP



DATE:  
PROJECT:

04.12.2023  
247-005



**LEGEND:**

- EXISTING PARCEL LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT
- TE** PROPOSED TRASH ENCLOSURE PER AUBURN PLACER RECOLOGY STANDARDS (11'X14' MIN. WITH 60' ACCESSIBLE CLEARANCE)
- [Cross-hatched box] PROPOSED ENHANCED PAVEMENT
- [Hatched box] PROPOSED MASONRY WALL
- C** PROPOSED COMPACT PARKING STALL
- EV** PROPOSED ELECTRIC VEHICLE PARKING STALL
- [Double vertical lines] PROPOSED BIKE RACKS
- [Square with 'L'] PROPOSED BIKE LOCKERS
- [Dotted box] PROPOSED BIORETENTION AREA

**WEST BUILDING AND REQUIRED PARKING SUMMARY:**

BUILDING	USE	BUILDING SIZE (SF)	REQUIRED RATIO	REQUIRED STALLS
3A	C-STORE	3,000	5.0/1,000 SF	15
3B	DRIVE-THRU	5,000	1/3 SEATS	50
3C	DRIVE-THRU	4,000	1/3 SEATS	40
3D	DRIVE-THRU	3,000	1/3 SEATS	30
<b>TOTAL</b>		<b>15,000</b>		<b>135</b>

**WEST BUILDING AND PARKING SUMMARY:**

BUILDING	USE	BUILDING SIZE (SF)	ACCESSIBLE STALLS	COMPACT STALLS	EV STALLS	STANDARD STALLS	TOTAL STALLS
3A	C-STORE	3,000	1	0	2	8	11
3B	DRIVE-THRU	5,000	3	0	12	43	58
3C	DRIVE-THRU	4,000	3	4	11	37	55
3D	DRIVE-THRU	3,000	2	2	10	32	46
<b>TOTAL</b>		<b>15,000</b>	<b>9</b>	<b>6</b>	<b>35</b>	<b>120</b>	<b>170</b>

NOTE: CROSS ACCESS AND PARKING WILL BE REQUIRED FOR THE CENTER.

**WHITNEY RANCH RETAIL**  
ROCKLIN, CA

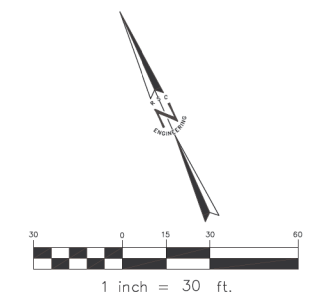
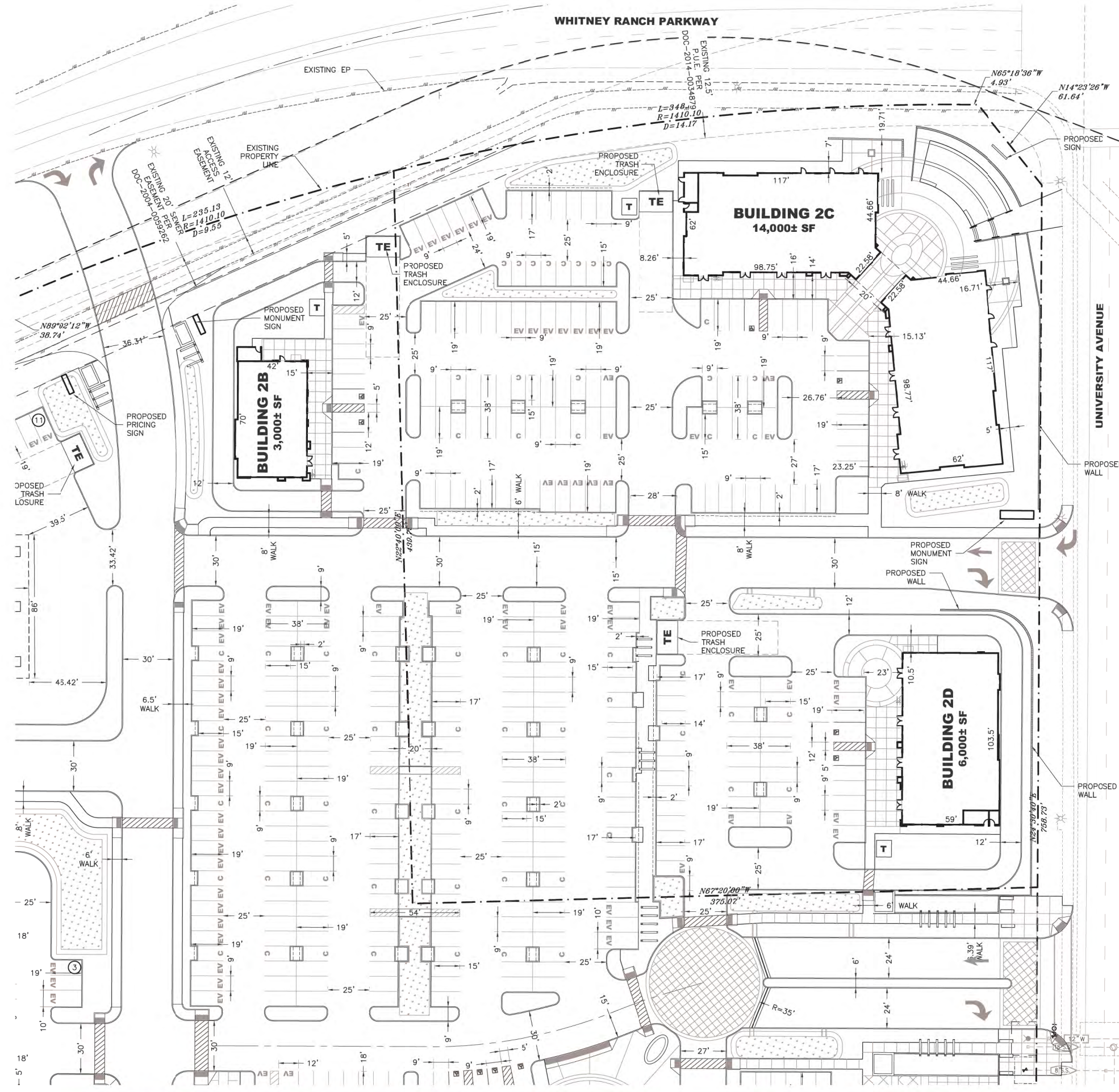
**PRELIMINARY SITE PLAN (WEST)**

**SP1**



DATE:  
PROJECT:

04.12.2023  
247-005



- LEGEND:**
- EXISTING PARCEL LINE
  - EXISTING RIGHT-OF-WAY
  - EXISTING EASEMENT
  - TE PROPOSED TRASH ENCLOSURE PER AUBURN PLACER RECOLOGY STANDARDS (11'X14' MIN. WITH 60' ACCESSIBLE CLEARANCE)
  - [Cross-hatched box] PROPOSED ENHANCED PAVEMENT
  - [Solid line] PROPOSED MASONRY WALL
  - C PROPOSED COMPACT PARKING STALL
  - EV PROPOSED ELECTRIC VEHICLE PARKING STALL
  - [Hatched box] PROPOSED BIKE RACKS
  - [Square with dot] PROPOSED BIKE LOCKERS
  - [Dotted box] PROPOSED BIORETENTION AREA

**EAST BUILDING AND REQUIRED PARKING SUMMARY:**

BUILDING	USE	BUILDING SIZE (SF)	REQUIRED RATIO	REQUIRED STALLS
2A	RETAIL	43,500	5.0/1,000 SF	218
2B	DRIVE-THRU	3,000	1/3 SEATS	30
2C	RETAIL	14,000	5.0/1,000 SF	70
2D	RETAIL	6,000	5.0/1,000 SF	30
2E	RETAIL	7,000	5.0/1,000 SF	35
2F	RETAIL	6,000	5.0/1,000 SF	30
<b>TOTAL</b>		<b>79,500</b>		<b>413</b>

**EAST BUILDING AND PARKING SUMMARY:**

BUILDING	USE	BUILDING SIZE (SF)	ACCESSIBLE STALLS	COMPACT STALLS	EV STALLS	STANDARD STALLS	TOTAL STALLS
2A	RETAIL	43,500	7	39	49	151	246
2B	DRIVE-THRU	3,000	2	3	7	24	36
2C	RETAIL	14,000	2	17	17	48	84
2D	RETAIL	6,000	2	6	9	27	44
2E	RETAIL	7,000	2	4	9	30	45
2F	RETAIL	6,000	2	4	7	19	32
<b>TOTAL</b>		<b>79,500</b>	<b>17</b>	<b>73</b>	<b>98</b>	<b>299</b>	<b>487</b>

NOTE: CROSS ACCESS AND PARKING WILL BE REQUIRED FOR THE CENTER.

WHITNEY RANCH RETAIL  
ROCKLIN, CA

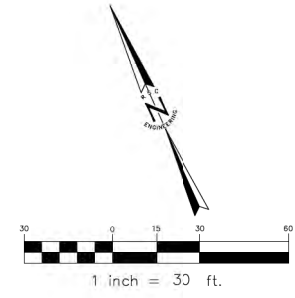
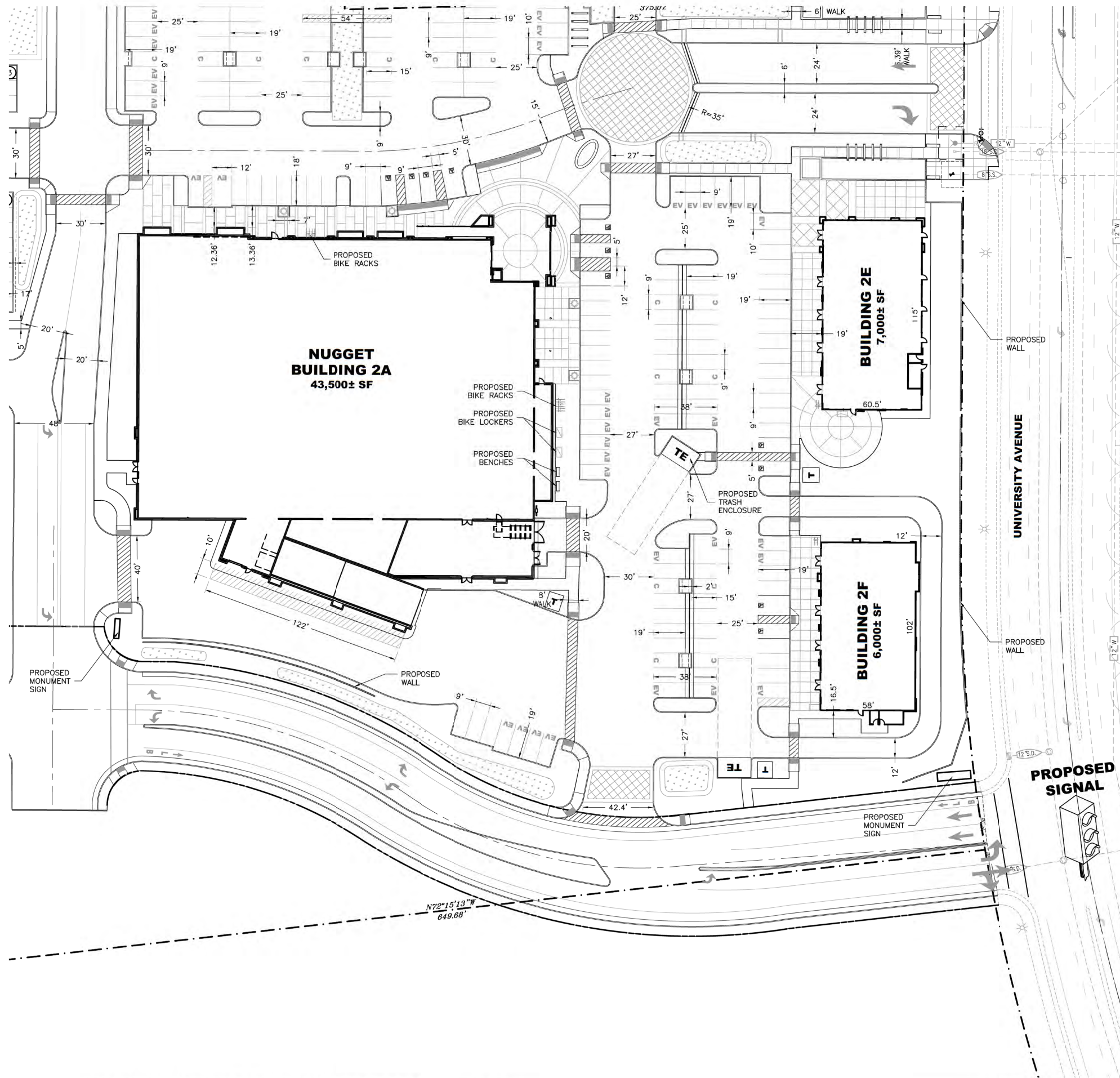
PRELIMINARY SITE PLAN (EAST)

SP2



DATE:  
PROJECT:

04.12.2023  
247-005



**LEGEND:**

- EXISTING PARCEL LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT
- TE** PROPOSED TRASH ENCLOSURE PER AUBURN PLACER RECOLOGY STANDARDS (11'X14' MIN. WITH 60' ACCESSIBLE CLEARANCE)
- PROPOSED ENHANCED PAVEMENT
- PROPOSED MASONRY WALL
- C** PROPOSED COMPACT PARKING STALL
- EV** PROPOSED ELECTRIC VEHICLE PARKING STALL
- H** PROPOSED BIKE RACKS
- PROPOSED BIKE LOCKERS
- PROPOSED BIORETENTION AREA

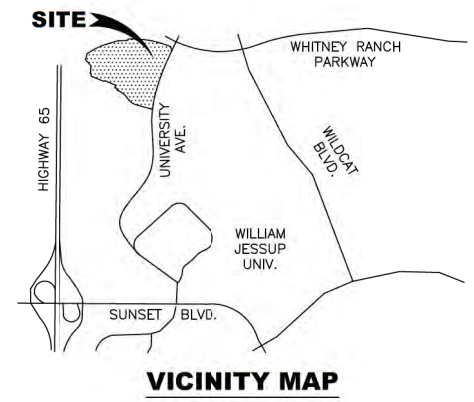
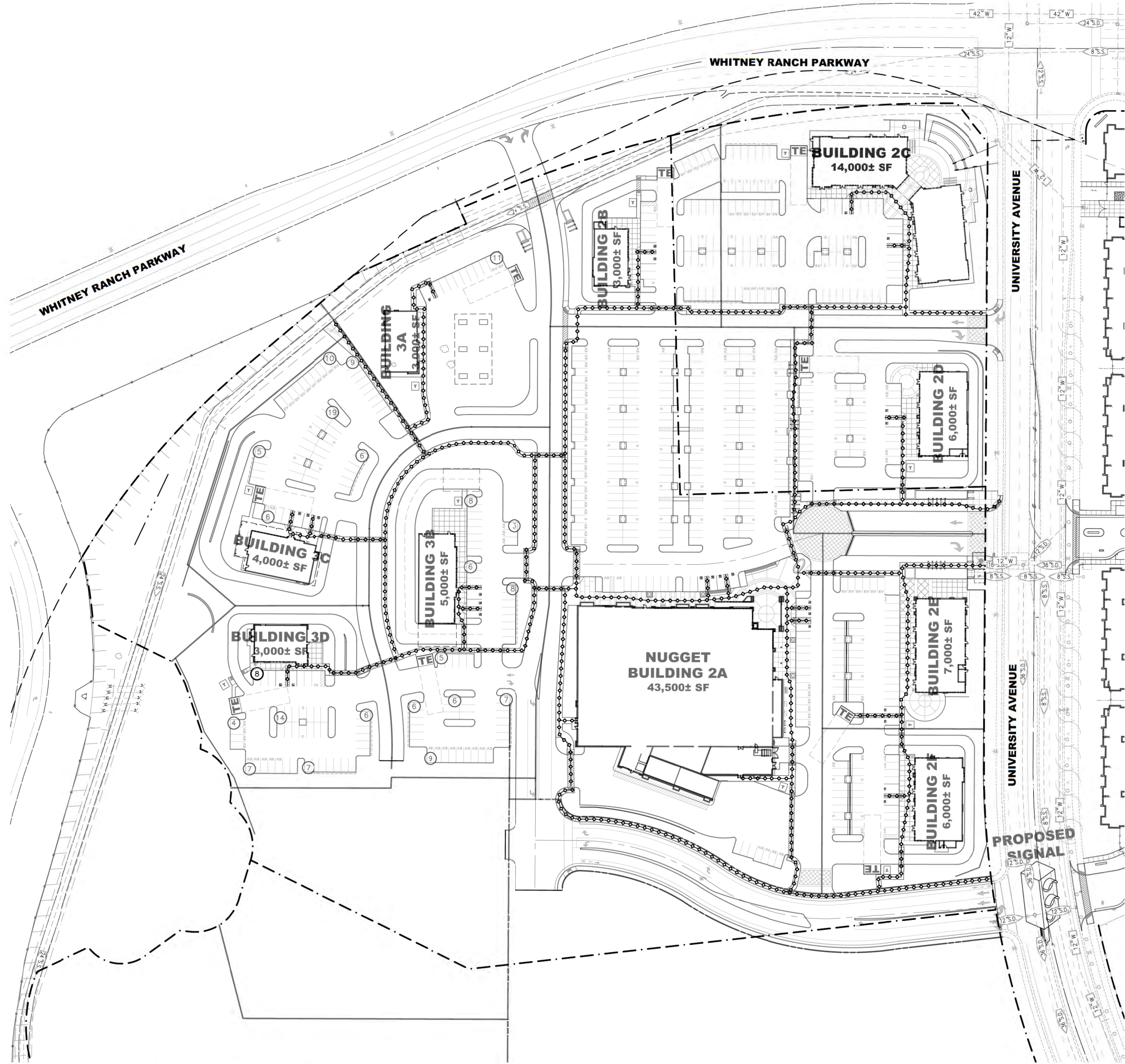
**EAST BUILDING AND REQUIRED PARKING SUMMARY:**

BUILDING	USE	BUILDING SIZE (SF)	REQUIRED RATIO	REQUIRED STALLS
2A	RETAIL	43,500	5.0/1,000 SF	218
2B	DRIVE-THRU	3,000	1/3 SEATS	30
2C	RETAIL	14,000	5.0/1,000 SF	70
2D	RETAIL	6,000	5.0/1,000 SF	30
2E	RETAIL	7,000	5.0/1,000 SF	35
2F	RETAIL	6,000	5.0/1,000 SF	30
<b>TOTAL</b>		<b>79,500</b>		<b>413</b>

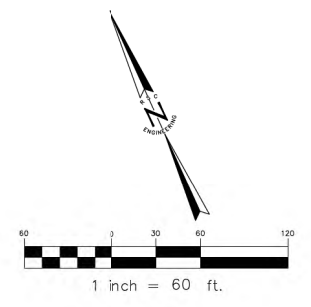
**EAST BUILDING AND PARKING SUMMARY:**

BUILDING	USE	BUILDING SIZE (SF)	ACCESSIBLE STALLS	COMPACT STALLS	EV STALLS	STANDARD STALLS	TOTAL STALLS
2A	RETAIL	43,500	7	39	49	151	246
2B	DRIVE-THRU	3,000	2	3	7	24	36
2C	RETAIL	14,000	2	17	17	48	84
2D	RETAIL	6,000	2	6	9	27	44
2E	RETAIL	7,000	2	4	9	30	45
2F	RETAIL	6,000	2	4	7	19	32
<b>TOTAL</b>		<b>79,500</b>	<b>17</b>	<b>73</b>	<b>98</b>	<b>299</b>	<b>487</b>

NOTE: CROSS ACCESS AND PARKING WILL BE REQUIRED FOR THE CENTER.



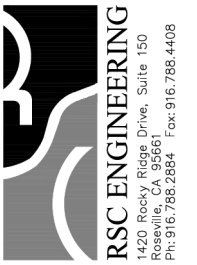
- LEGEND**
- DISABLED ACCESS PATH OF TRAVEL
  - ACCESSIBLE PARKING STALLS (26 STALLS PROVIDED)



**WHITNEY RANCH RETAIL**  
ROCKLIN, CA

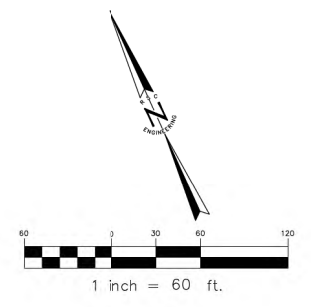
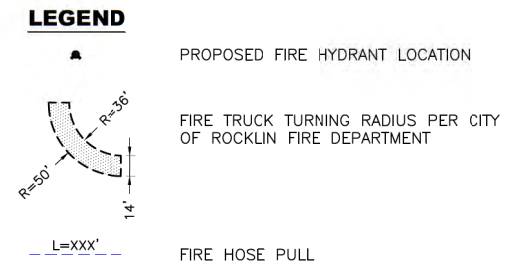
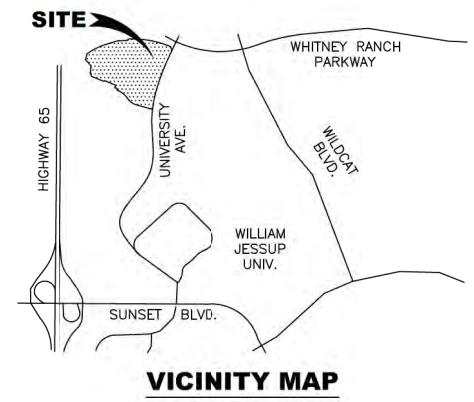
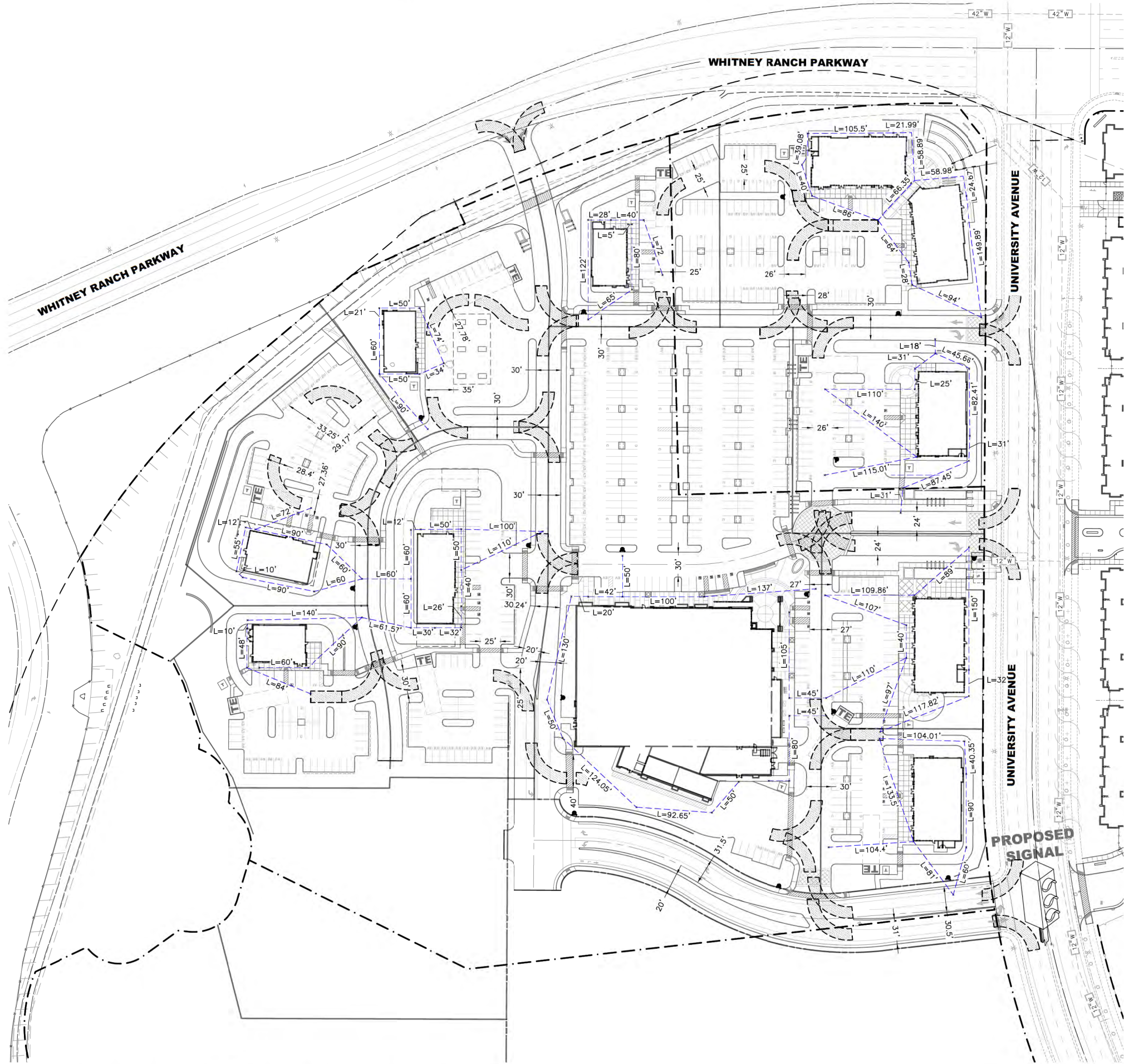
**ACCESSIBLE ROUTE PLAN**

DA



DATE:  
PROJECT:

04.12.2023  
247-005



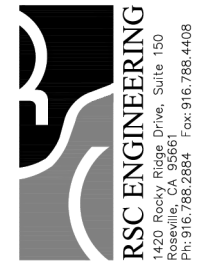
**WHITNEY RANCH RETAIL**  
ROCKLIN, CA

**FIRE ACCESS PLAN**



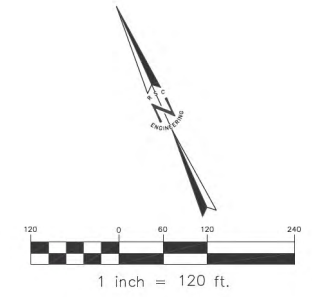
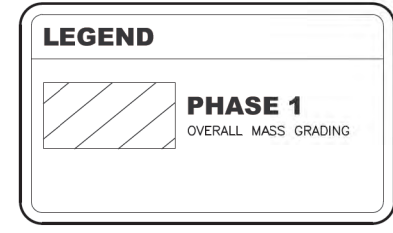
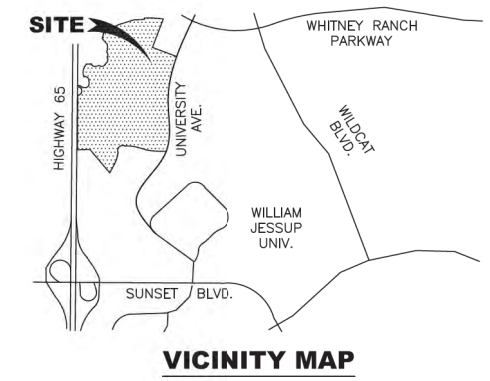
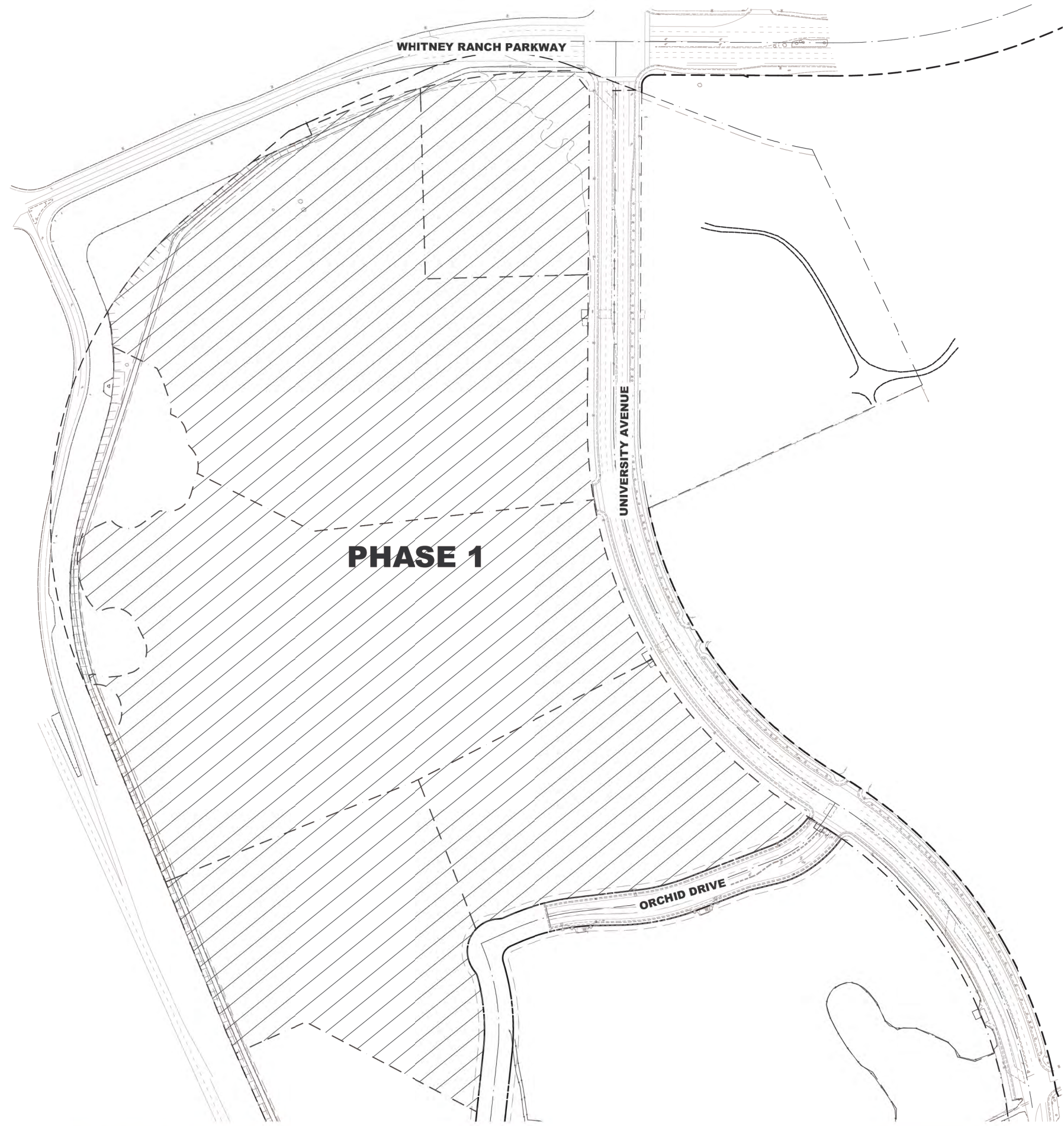
FA

DATE:  
PROJECT:



04.12.2023  
247-005





WHITNEY RANCH RETAIL  
ROCKLIN, CA

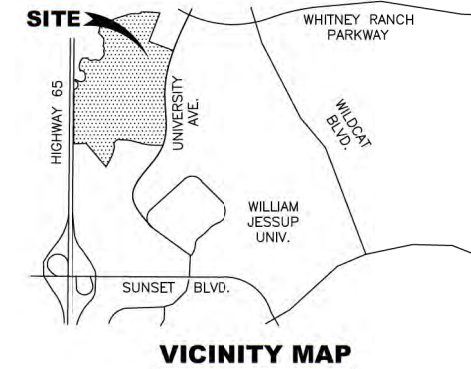
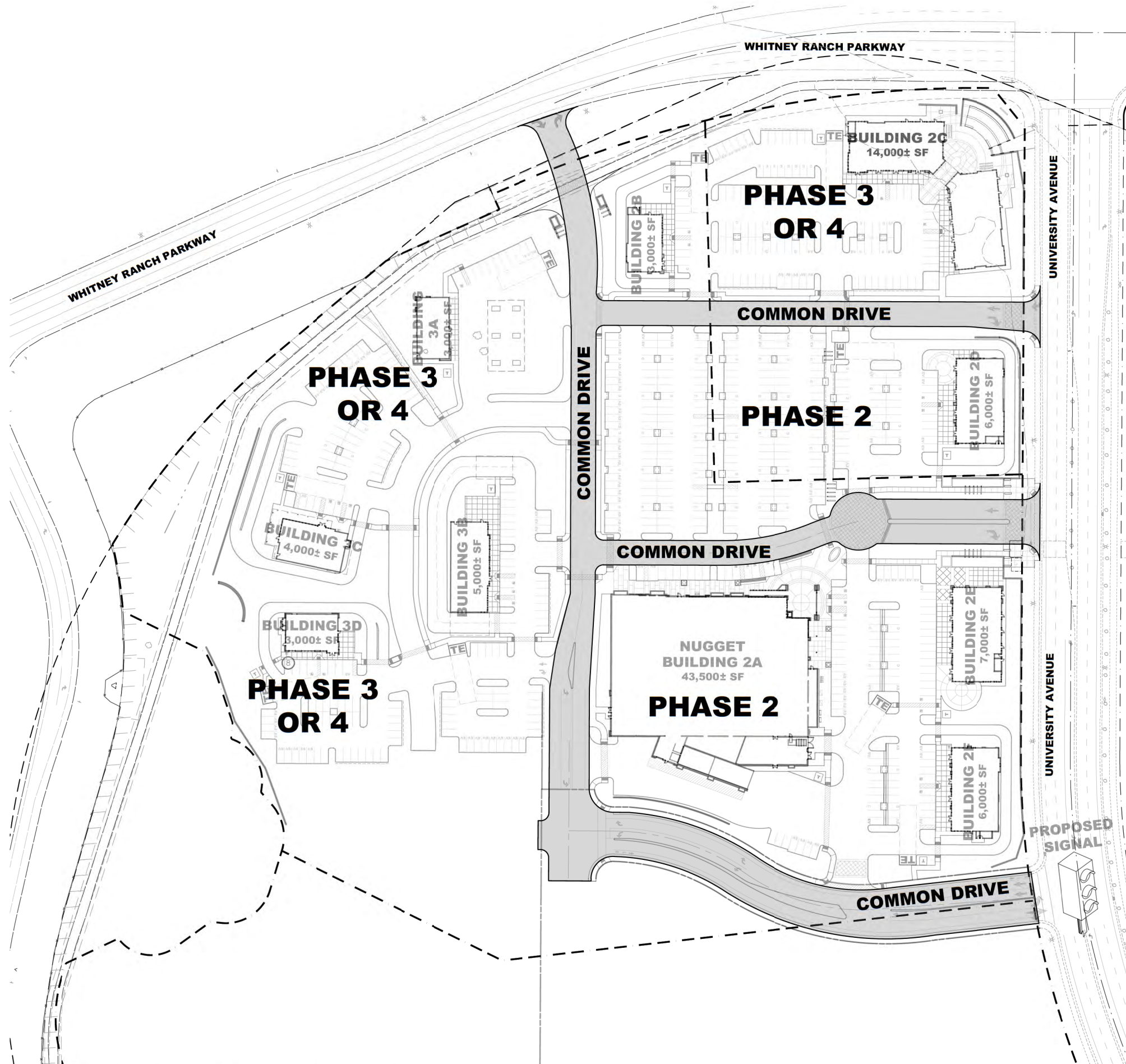
 **COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT  
SHEET

**PHASING PLAN**  
**PH1**

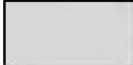
 **RSC ENGINEERING**  
1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661  
Ph: 916.788.2884 Fax: 916.788.4408

DATE:  
PROJECT:

04.12.2023  
247-005



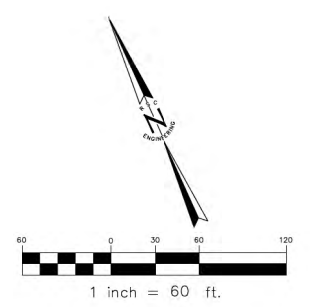
**LEGEND**

 **COMMON DRIVE AREA**  
 INCLUDED AS A PART OF PHASE 2  
 INCLUDES SURFACE IMPROVEMENTS AND  
 BACKBONE UTILITY INFRASTRUCTURE

**NOTES**

**PHASE 2**  
 INCLUDES NUGGET, BUILDING 2D, BUILDING 2E,  
 BUILDING 2F, COMMON DRIVES, AND UTILITY  
 INFRASTRUCTURE WITHIN COMMON DRIVES

**PHASE 3 OR 4**  
 MAY OCCUR IN ANY ORDER




WHITNEY RANCH RETAIL  
 ROCKLIN, CA

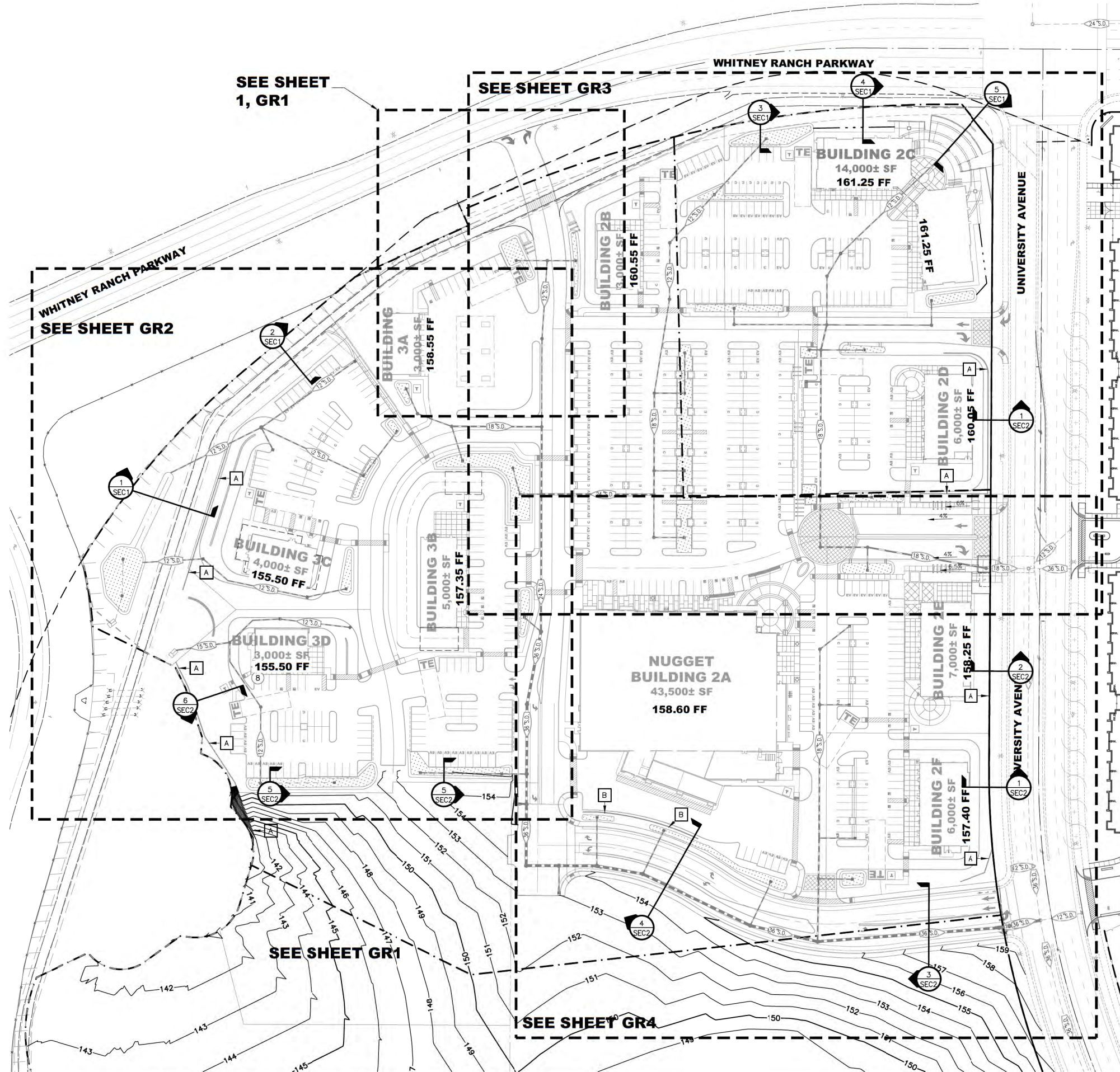
 **COLE PARTNERS**  
 DEVELOPMENT COMPANY  
 REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

PHASING PLAN  
 SHEET  
**PH2**

DATE:  
 PROJECT:

 **RSC ENGINEERING**  
 1420 Rocky Ridge Drive, Suite 150  
 Roseville, CA 95661  
 Ph: 916.788.2884 Fax: 916.788.4408

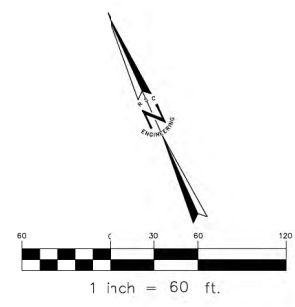
04.12.2023  
 247-005



**LEGEND**

- PROPERTY LINE
- - - APPROXIMATE GRADING CONFORM LINE
- 137.95 DJ PROPOSED GRADE
- ### TW TOP OF RETAINING WALL GRADE
- ### BW BOTTOM OF RETAINING WALL GRADE
- A PROPOSED RETAINING WALL
- B PROPOSED SCREEN WALL
- 8" S.S. EXISTING SANITARY SEWER
- 12" S.D. PROPOSED STORM DRAIN
- 12" S.D. EXISTING STORM DRAIN
- 6" W EXISTING WATER LINE
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN INLET
- ▨ PROPOSED BIORETENTION AREA

**CUT AND FILL QUANTITY ESTIMATE**  
 154,000± CY MOVED AROUND THE SITE  
 NO EXPORT IS ANTICIPATED



WHITNEY RANCH RETAIL  
 ROCKLIN, CA

OVERALL PRELIMINARY GRADING PLAN

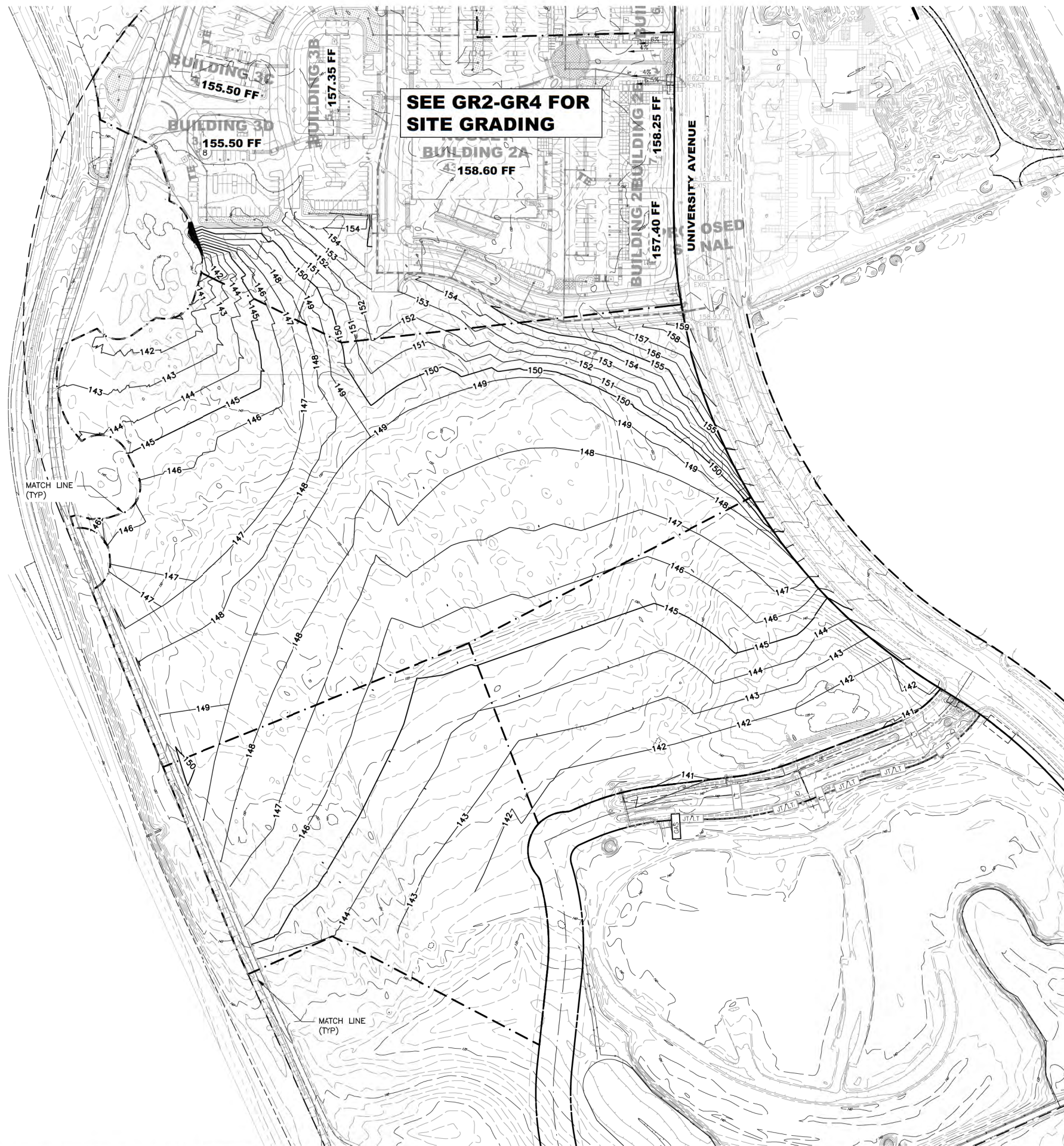
GR

**COLE PARTNERS**  
 DEVELOPMENT COMPANY  
 REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**RSC ENGINEERING**  
 1420 Rocky Ridge Drive, Suite 150  
 Roseville, CA 95661  
 Ph: 916.788.2884 Fax: 916.788.4408

DATE:  
 PROJECT:

04.12.2023  
 247-005

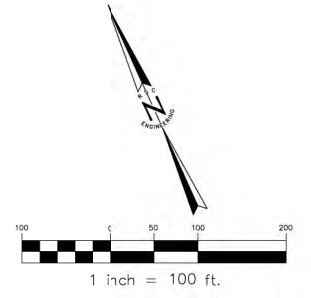


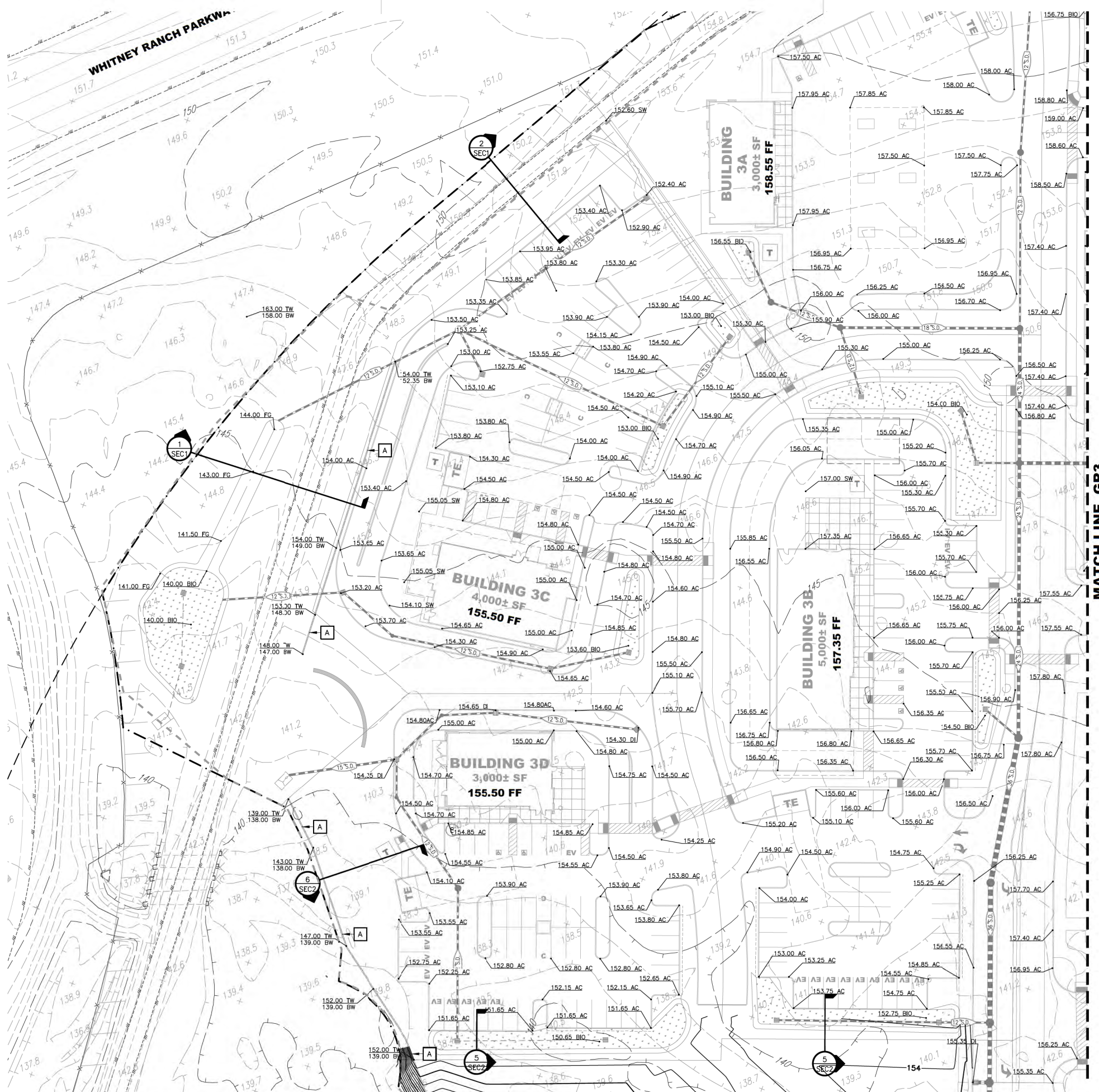
**SEE GR2-GR4 FOR  
SITE GRADING**

**LEGEND**

- PROPERTY LINE
- - - - - APPROXIMATE GRADING CONFORM LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- 137.95 D] PROPOSED GRADE
- ### TW TOP OF RETAINING WALL GRADE
- ### BW BOTTOM OF RETAINING WALL GRADE
- [A] PROPOSED RETAINING WALL
- [B] PROPOSED SCREEN WALL
- 8" S.S. EXISTING SANITARY SEWER
- 12" S.D. PROPOSED STORM DRAIN
- 12" S.D. EXISTING STORM DRAIN
- 8" W EXISTING WATER LINE
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN INLET
- [Dotted Area] PROPOSED BIORETENTION AREA

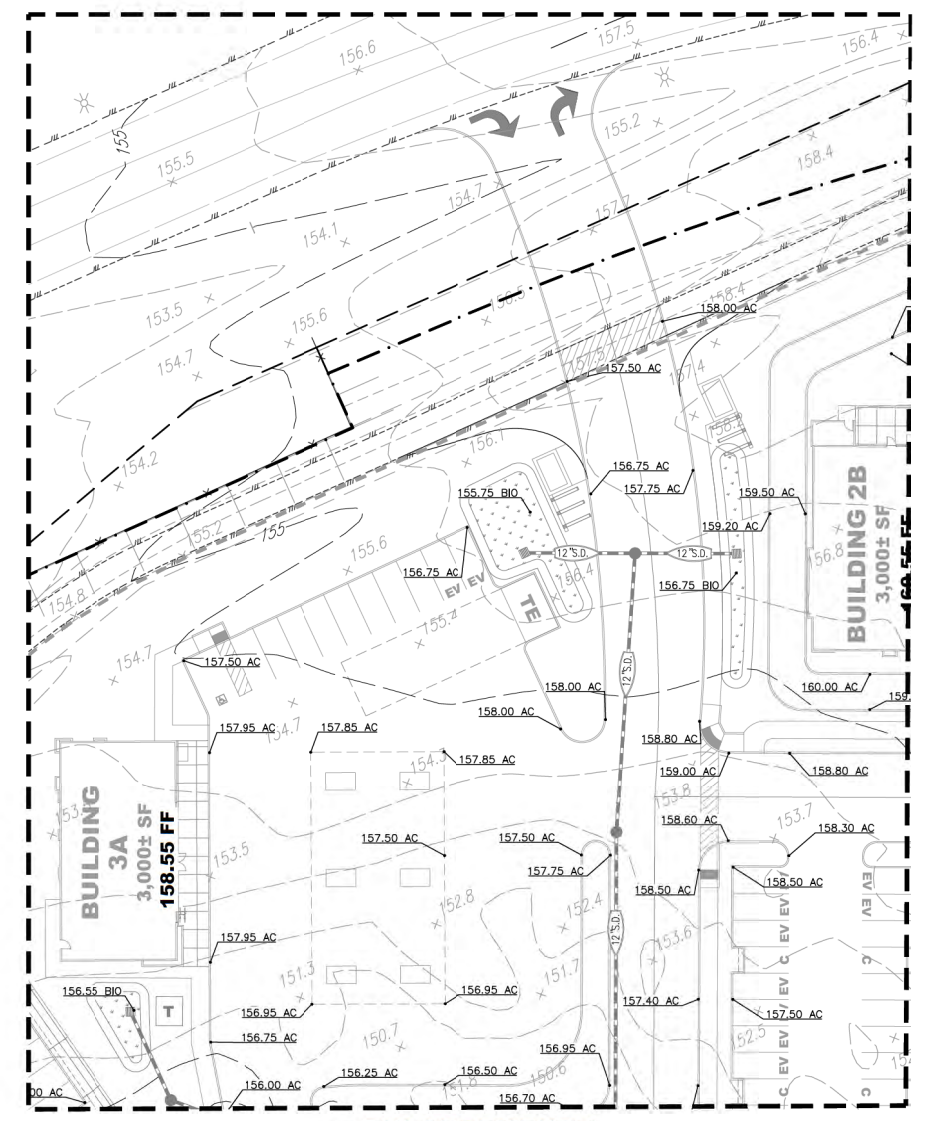
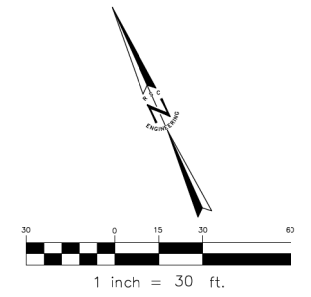
**CUT AND FILL QUANTITY ESTIMATE**  
**154,000± CY MOVED AROUND THE SITE**  
**NO EXPORT IS ANTICIPATED**





**LEGEND**

- PROPERTY LINE
- - - APPROXIMATE GRADING CONFORM LINE
- 137.95 DJ PROPOSED GRADE
- ### TW TOP OF RETAINING WALL GRADE
- ### BW BOTTOM OF RETAINING WALL GRADE
- A PROPOSED RETAINING WALL
- B PROPOSED SCREEN WALL
- 8" S.S. EXISTING SANITARY SEWER
- 12" S.D. PROPOSED STORM DRAIN
- 12" S.D. EXISTING STORM DRAIN
- 8" W. EXISTING WATER LINE
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN INLET
- PROPOSED BIORETENTION AREA



**1 ENLARGEMENT 1**  
1:30

**WHITNEY RANCH RETAIL**  
ROCKLIN, CA

**PRELIMINARY GRADING PLAN**

**GR2**

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**RSC ENGINEERING**  
1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661  
Ph: 916.786.2884 Fax: 916.788.4408

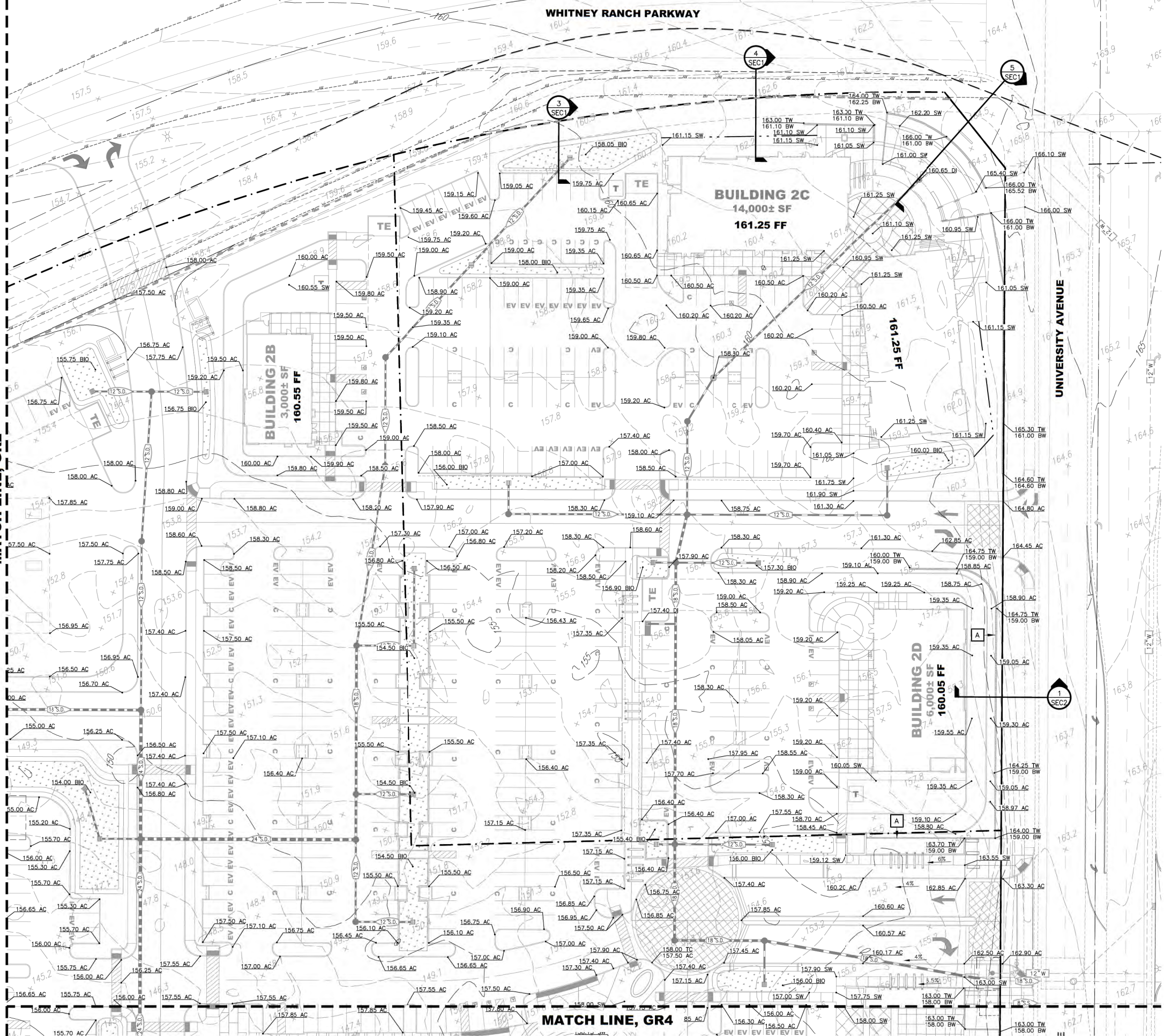
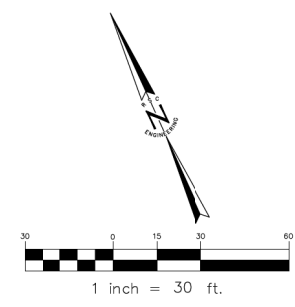
WHITNEY RANCH PARKWAY

MATCH LINE, GR2

MATCH LINE, GR4

**LEGEND**

- PROPERTY LINE
- - - APPROXIMATE GRADING CONFORM LINE
- 137.95 DJ PROPOSED GRADE
- ### TW TOP OF RETAINING WALL GRADE
- ### BW BOTTOM OF RETAINING WALL GRADE
- A PROPOSED RETAINING WALL
- B PROPOSED SCREEN WALL
- 8" S.S. EXISTING SANITARY SEWER
- 12" S.D. PROPOSED STORM DRAIN
- 12" S.D. EXISTING STORM DRAIN
- 6" W EXISTING WATER LINE
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN INLET
- PROPOSED BIORETENTION AREA



WHITNEY RANCH RETAIL  
ROCKLIN, CA

PRELIMINARY GRADING PLAN

GR3

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

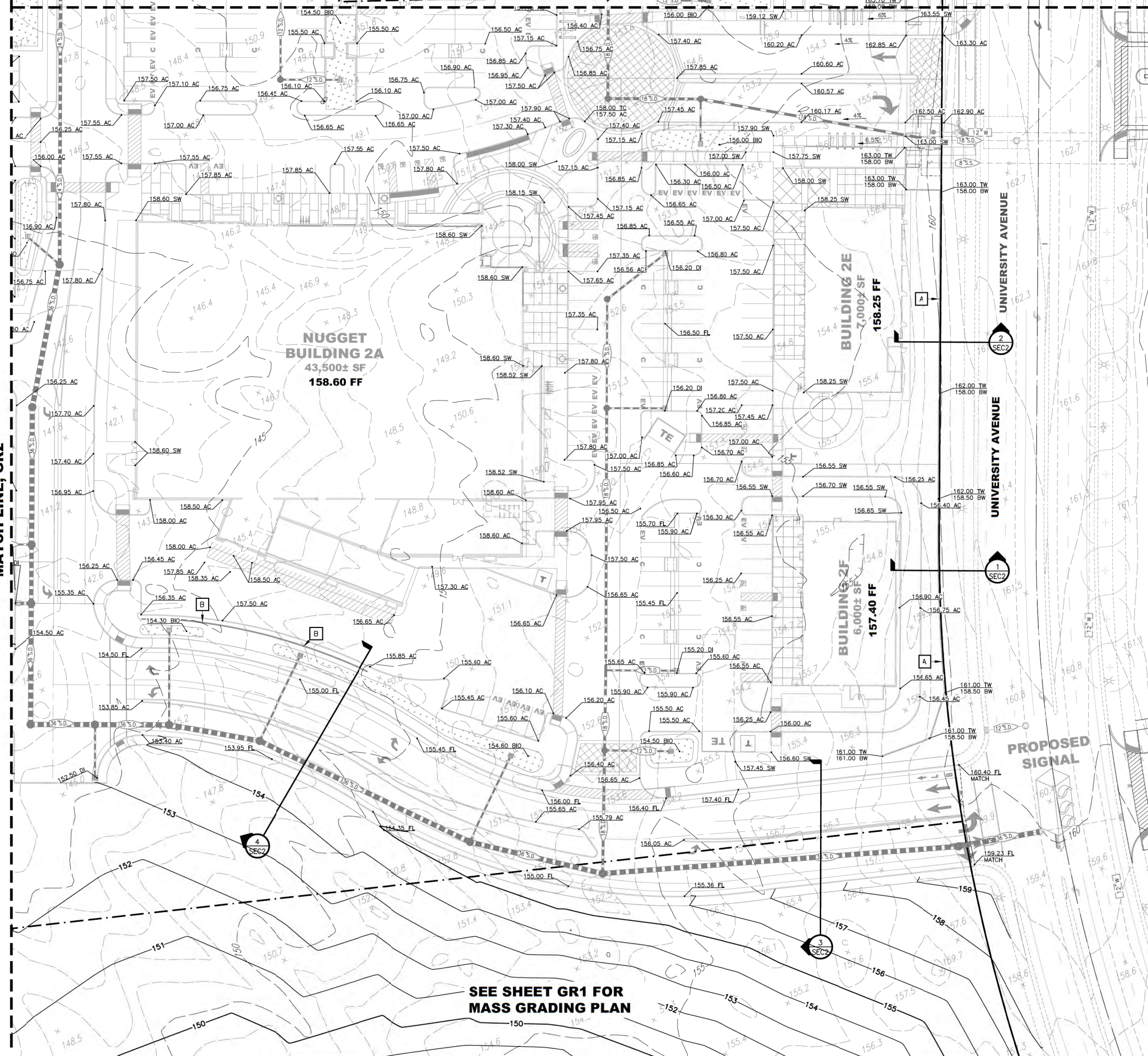
**RSC ENGINEERING**  
1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661  
Ph: 916.786.2884 Fax: 916.788.4408

DATE:  
PROJECT:

04.12.2023  
247-005

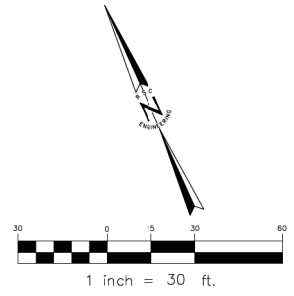
MATCH LINE, GR3

MATCH LINE, GR2



**LEGEND**

- PROPERTY LINE
- APPROXIMATE GRADING CONFORM LINE
- PROPOSED GRADE
- TOP OF RETAINING WALL GRADE  
BOTTOM OF RETAINING WALL GRADE
- PROPOSED RETAINING WALL
- PROPOSED SCREEN WALL
- 
- 
- 
- 
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN INLET
- PROPOSED BIORETENTION AREA



SEE SHEET GR1 FOR MASS GRADING PLAN

WHITNEY RANCH RETAIL  
ROCKLIN, CA

PRELIMINARY GRADING PLAN

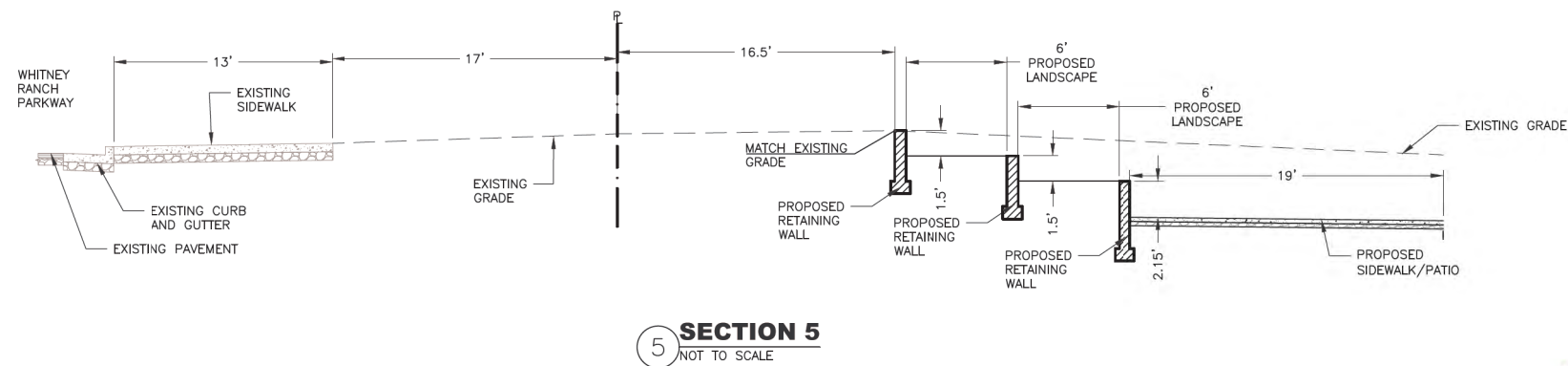
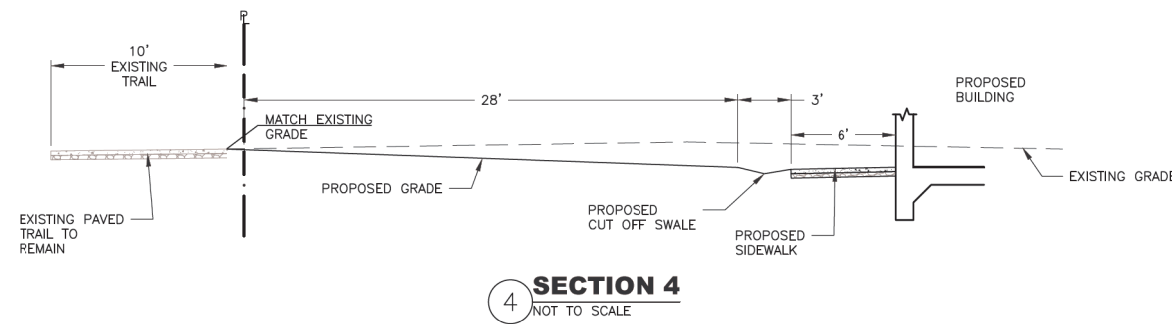
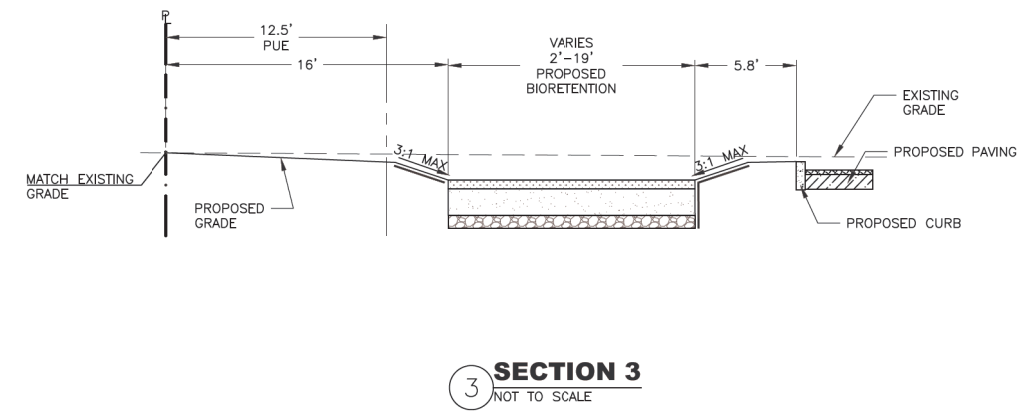
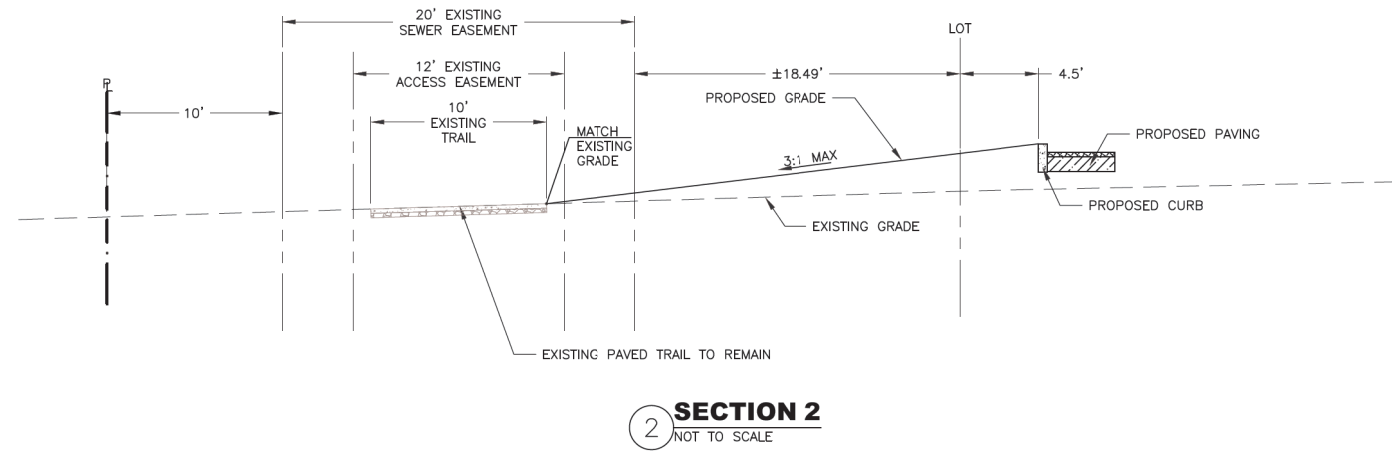
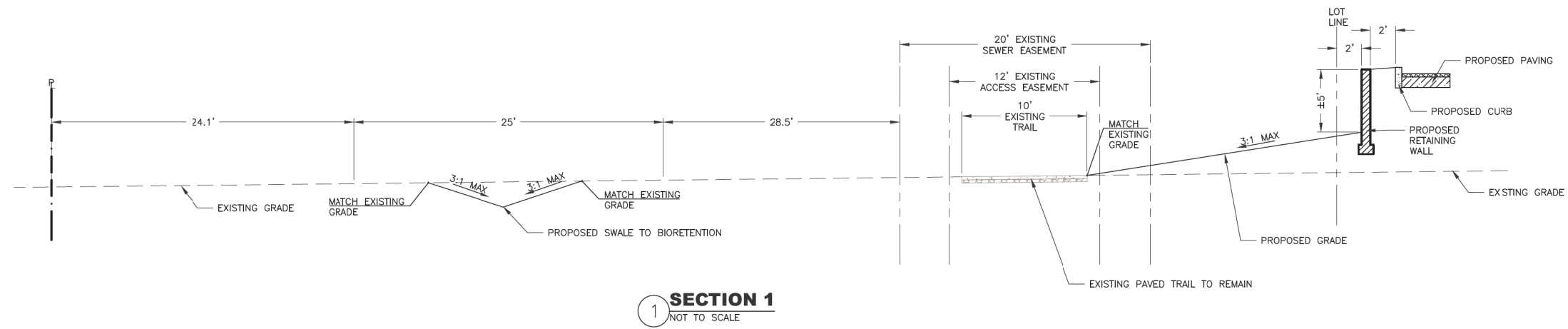
GR4

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

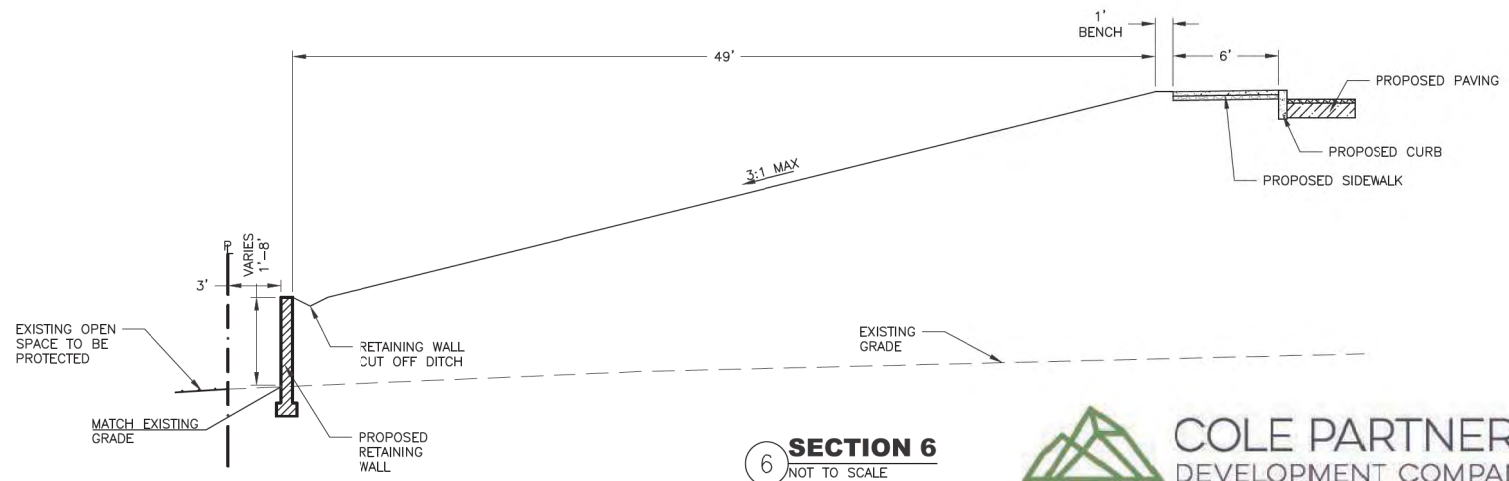
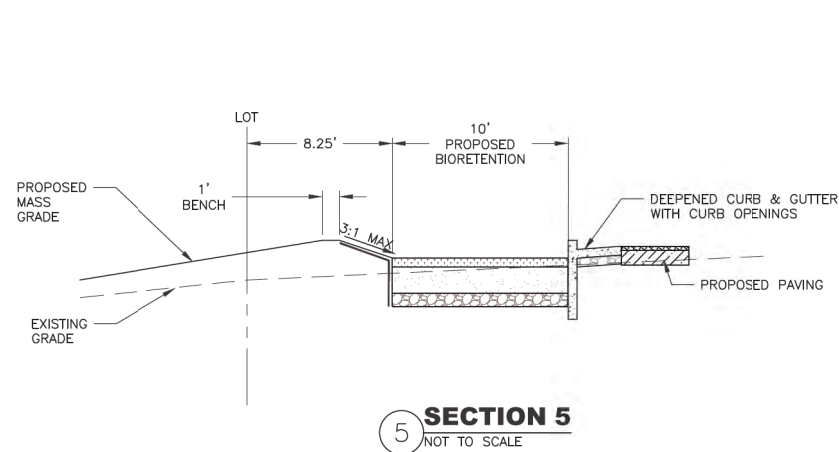
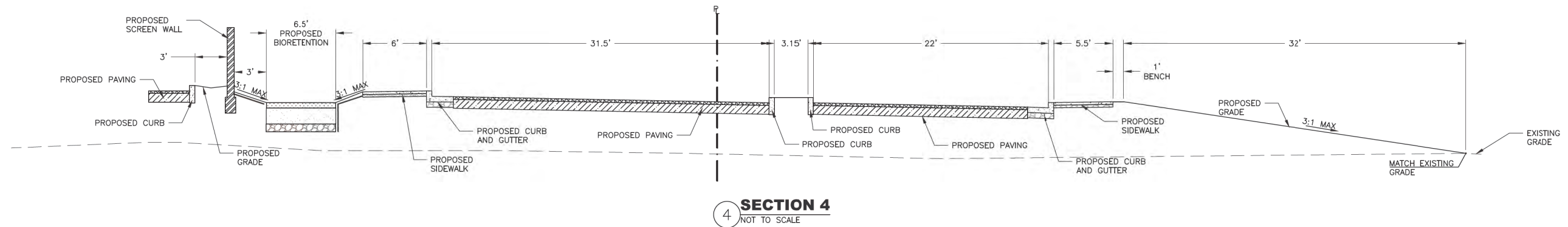
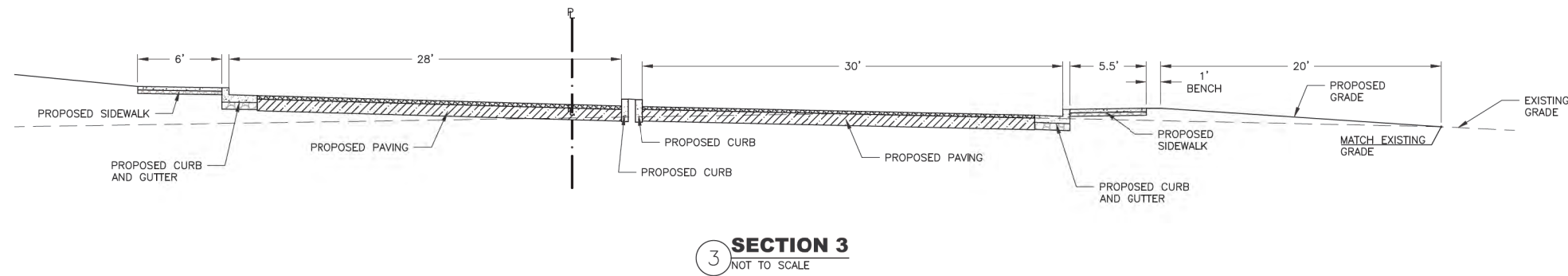
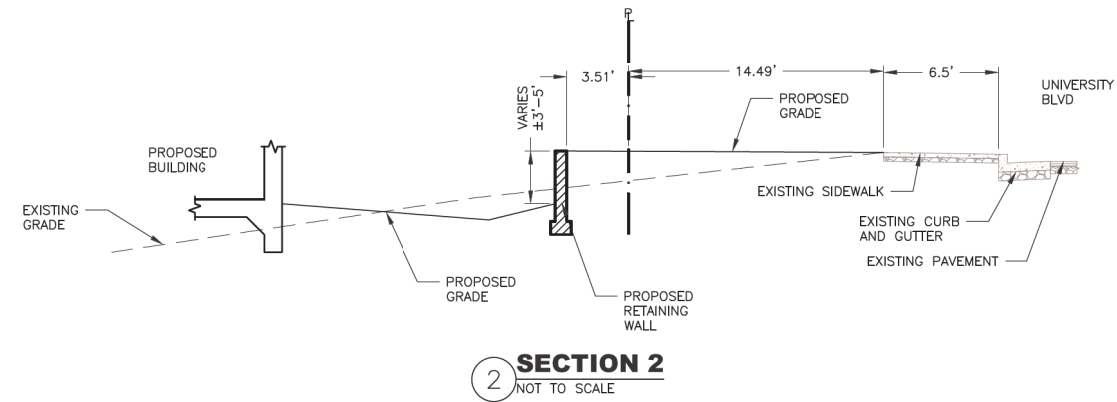
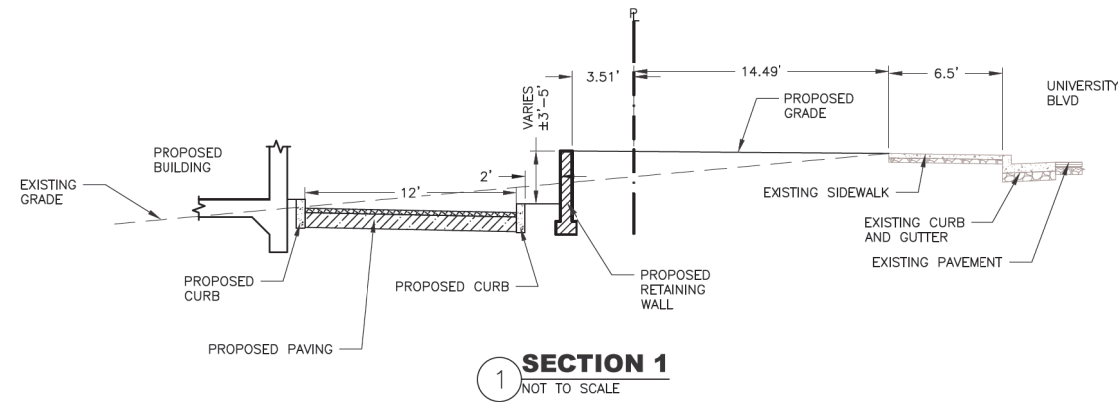
**RSC ENGINEERING**  
1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661  
Ph: 916.788.2884 Fax: 916.788.4408

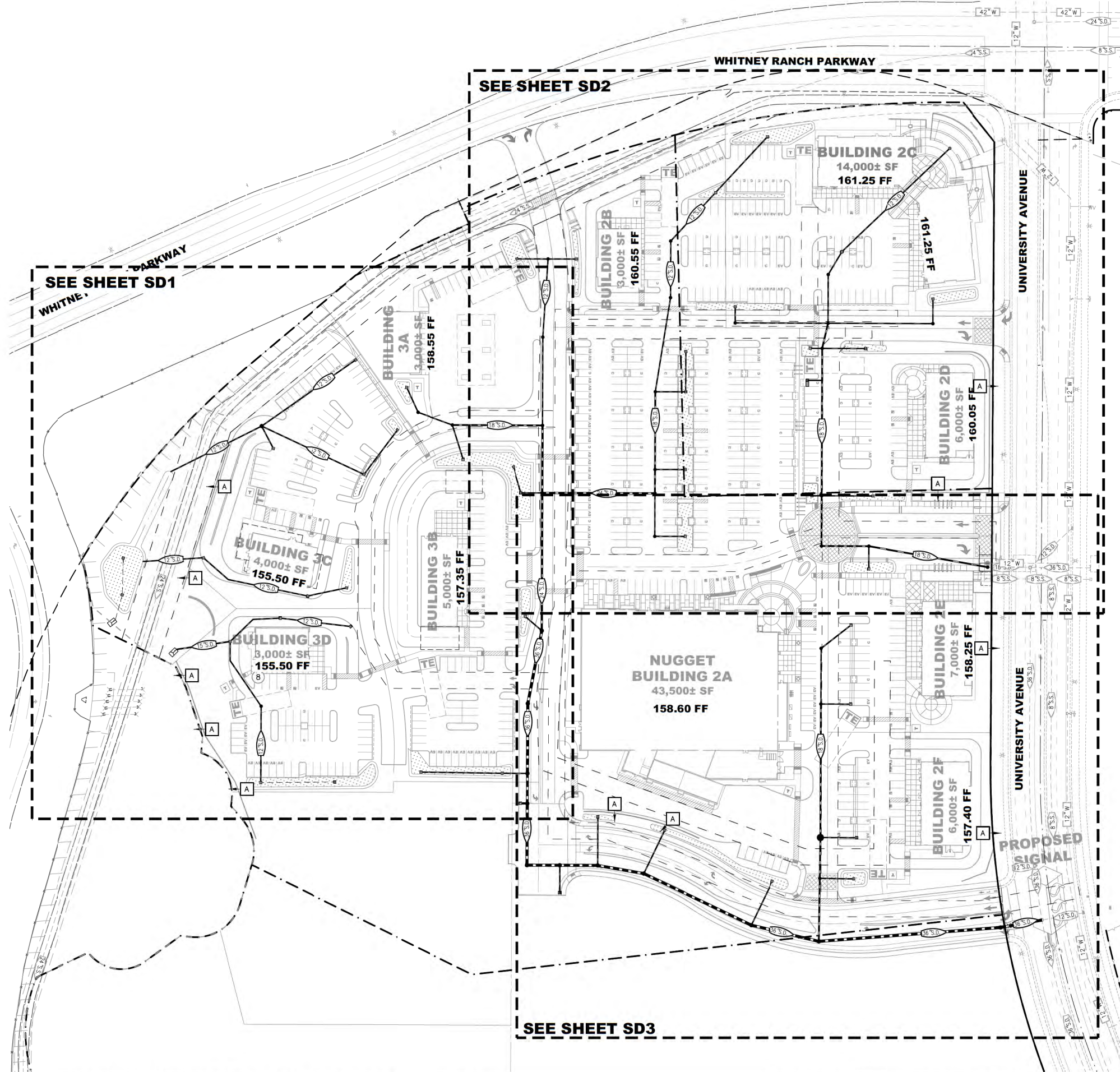
DATE:  
PROJECT:

04.12.2023  
247-005

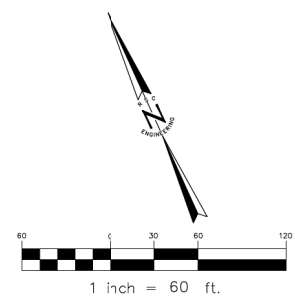








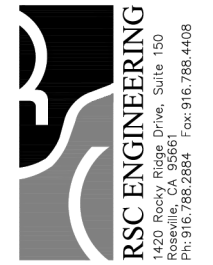
LEGEND	
	PROPERTY LINE
	APPROXIMATE GRADING CONFORM LINE
	PROPERTY RETAINING WALL
	EXISTING SANITARY SEWER
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
	EXISTING WATER LINE
	PROPOSED STORM DRAIN MANHOLE
	EXISTING STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	EXISTING STORM DRAIN INLET
	PROPOSED BIORETENTION AREA



WHITNEY RANCH RETAIL  
ROCKLIN, CA

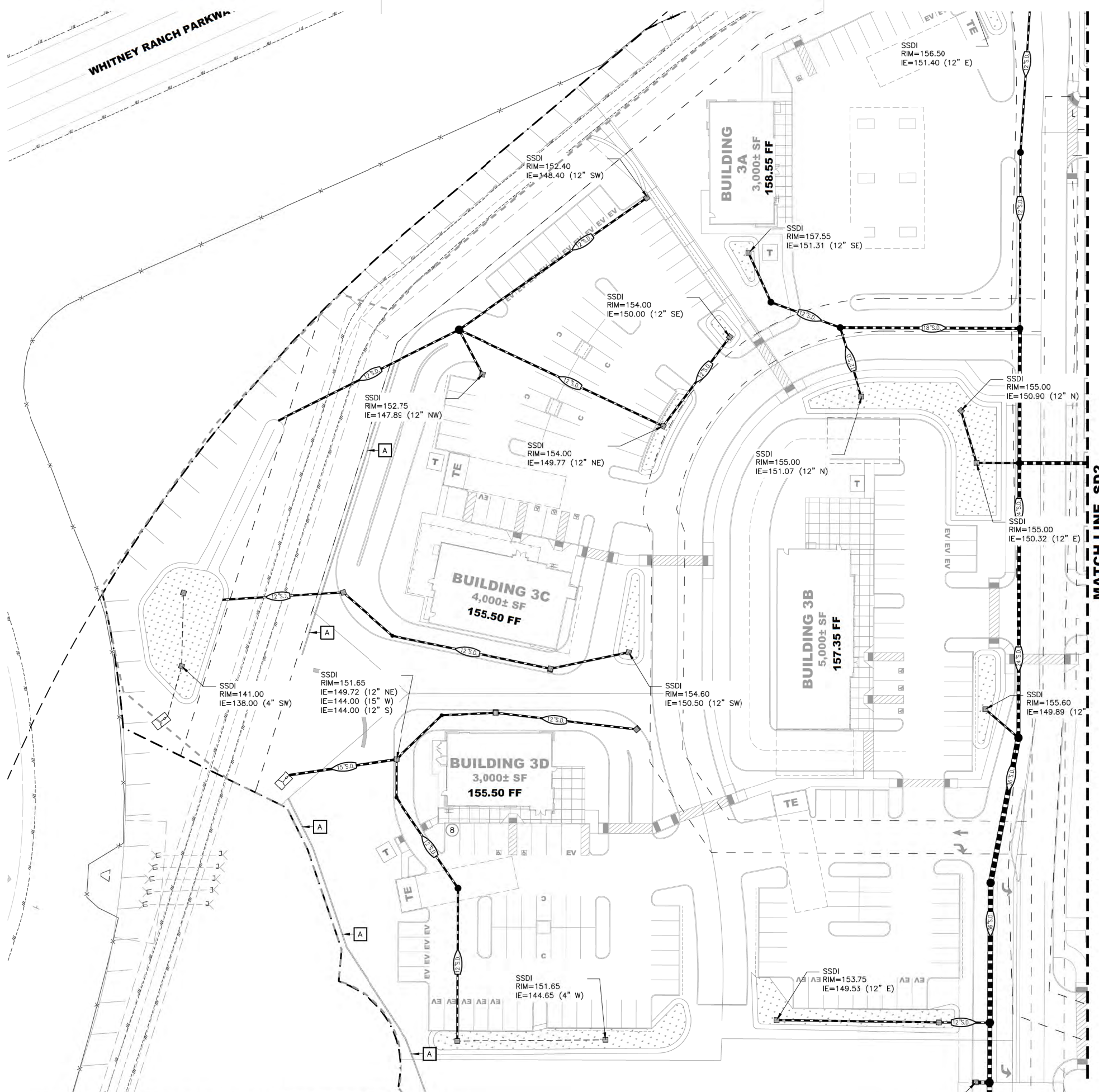
OVERALL PRELIMINARY STORM DRAIN PLAN

SD



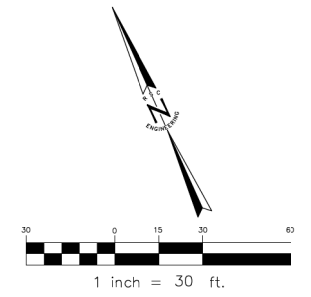
DATE:  
PROJECT:

04.12.2023  
247-005



**LEGEND**

- PROPERTY LINE
- - - APPROXIMATE GRADING CONFORM LINE
- [A] PROPERTY RETAINING WALL
- 8" S.S. EXISTING SANITARY SEWER
- 12" S.D. PROPOSED STORM DRAIN
- 12" S.D. EXISTING STORM DRAIN
- 6" W. EXISTING WATER LINE
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN INLET
- [Stippled Area] PROPOSED BIORETENTION AREA



MATCH LINE, SD2

**WHITNEY RANCH RETAIL**  
ROCKLIN, CA

**PRELIMINARY STORM DRAIN PLAN**

**SD1**

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**RSC ENGINEERING**  
1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661  
Ph: 916.788.2884 Fax: 916.788.4408

DATE:  
PROJECT:

04.12.2023  
247-005

WHITNEY RANCH PARKWAY

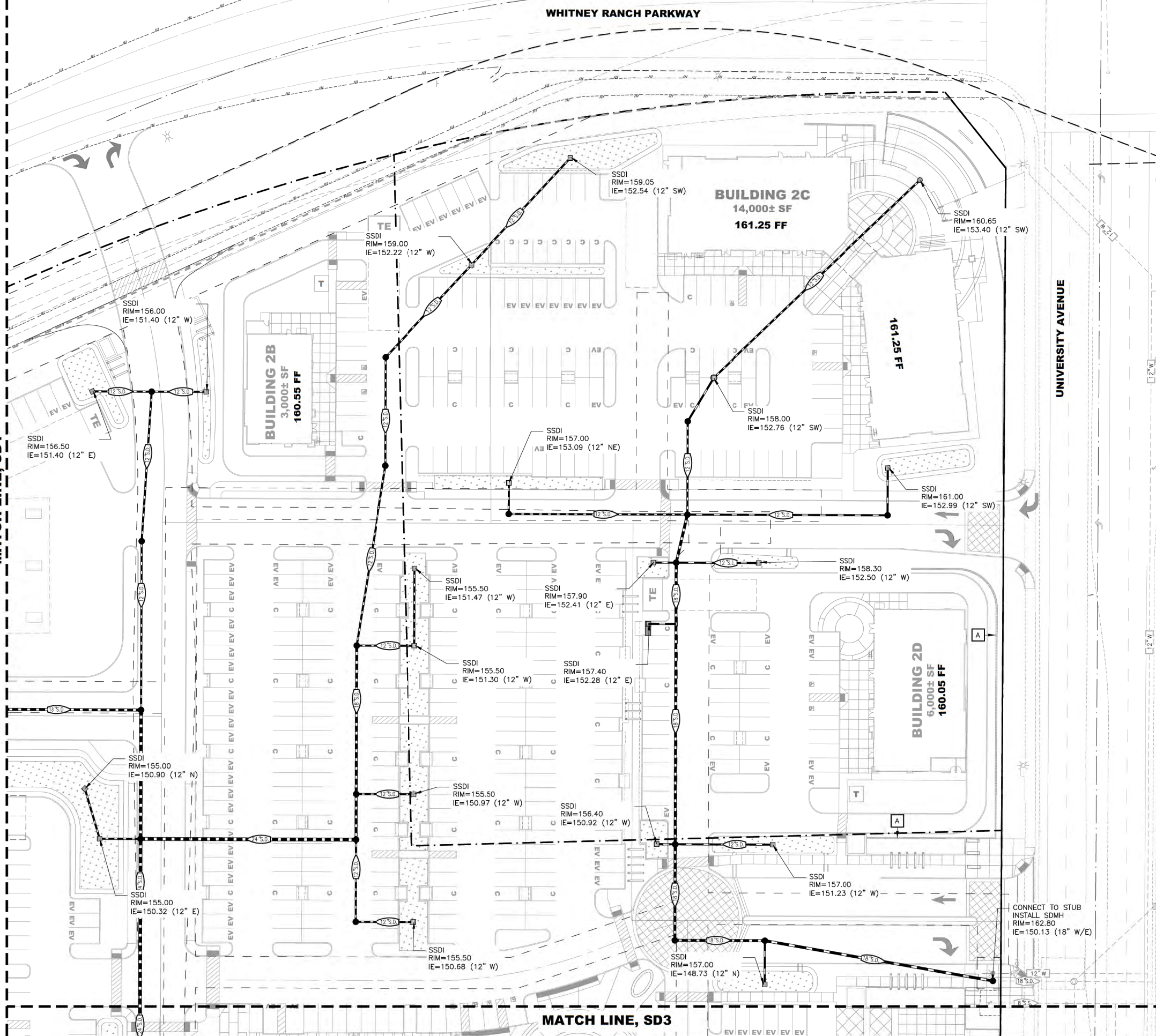
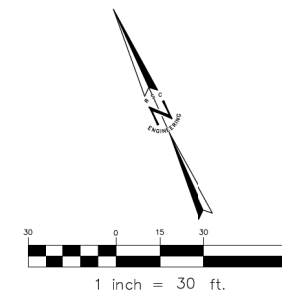
UNIVERSITY AVENUE

MATCH LINE, SD1

MATCH LINE, SD3

**LEGEND**

- PROPERTY LINE
- APPROXIMATE GRADING CONFORM LINE
- PROPERTY RETAINING WALL
- EXISTING SANITARY SEWER
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- EXISTING WATER LINE
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN INLET
- PROPOSED BIORETENTION AREA



WHITNEY RANCH RETAIL  
ROCKLIN, CA

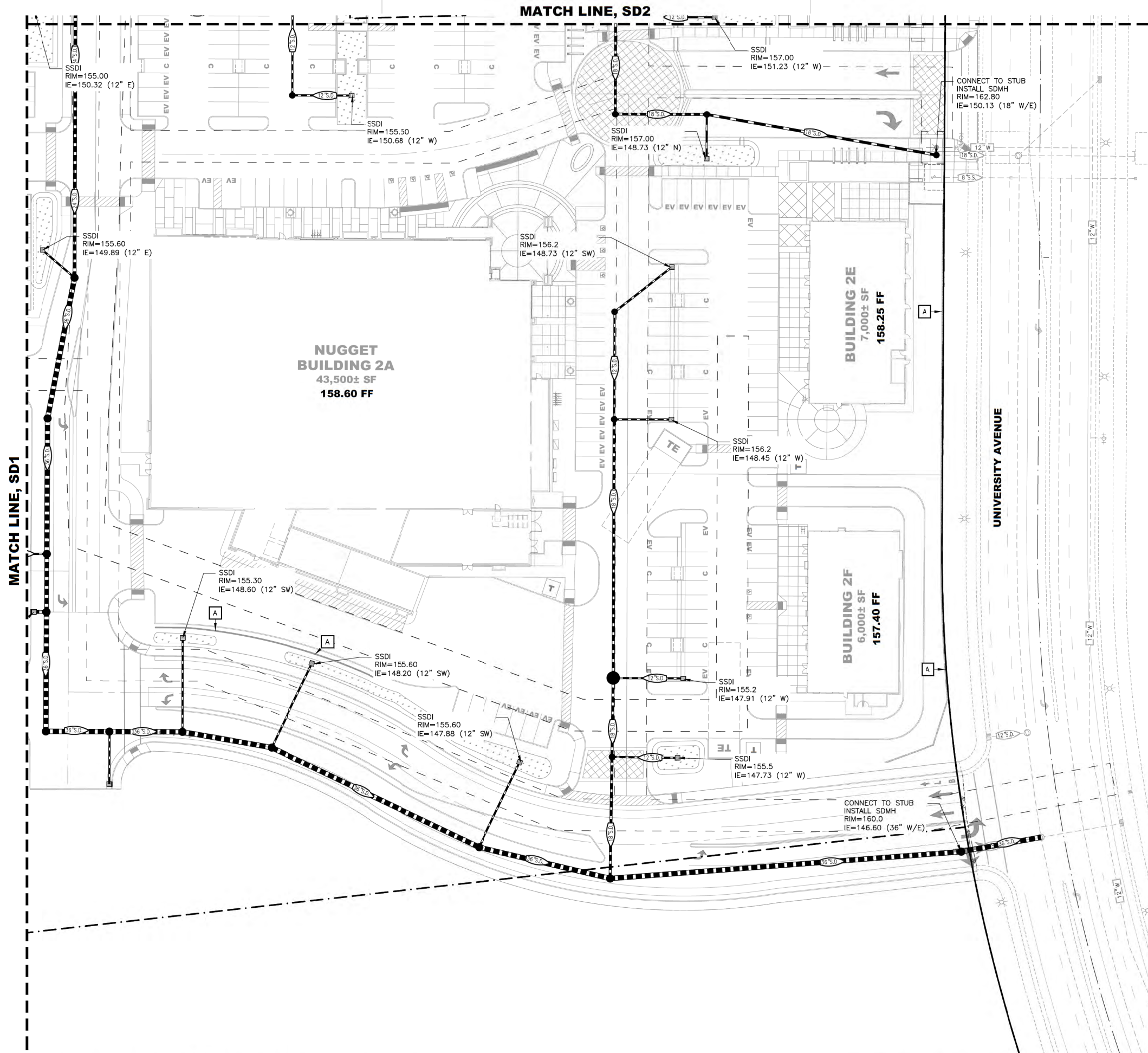
PRELIMINARY STORM DRAIN PLAN

SD2



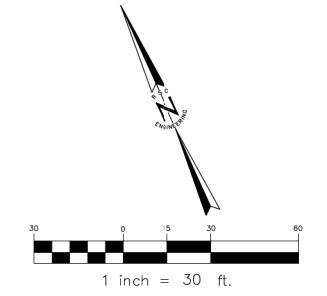
DATE:  
PROJECT:

04.12.2023  
247-005



**LEGEND**

- PROPERTY LINE
- - - - - APPROXIMATE GRADING CONFORM LINE
- [A] PROPERTY RETAINING WALL
- 8" S.S. EXISTING SANITARY SEWER
- 12" S.D. PROPOSED STORM DRAIN
- 12" S.D. EXISTING STORM DRAIN
- 8" W. EXISTING WATER LINE
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN INLET
- [Pattern] PROPOSED BIORETENTION AREA



WHITNEY RANCH RETAIL  
ROCKLIN, CA

PRELIMINARY STORM DRAIN PLAN

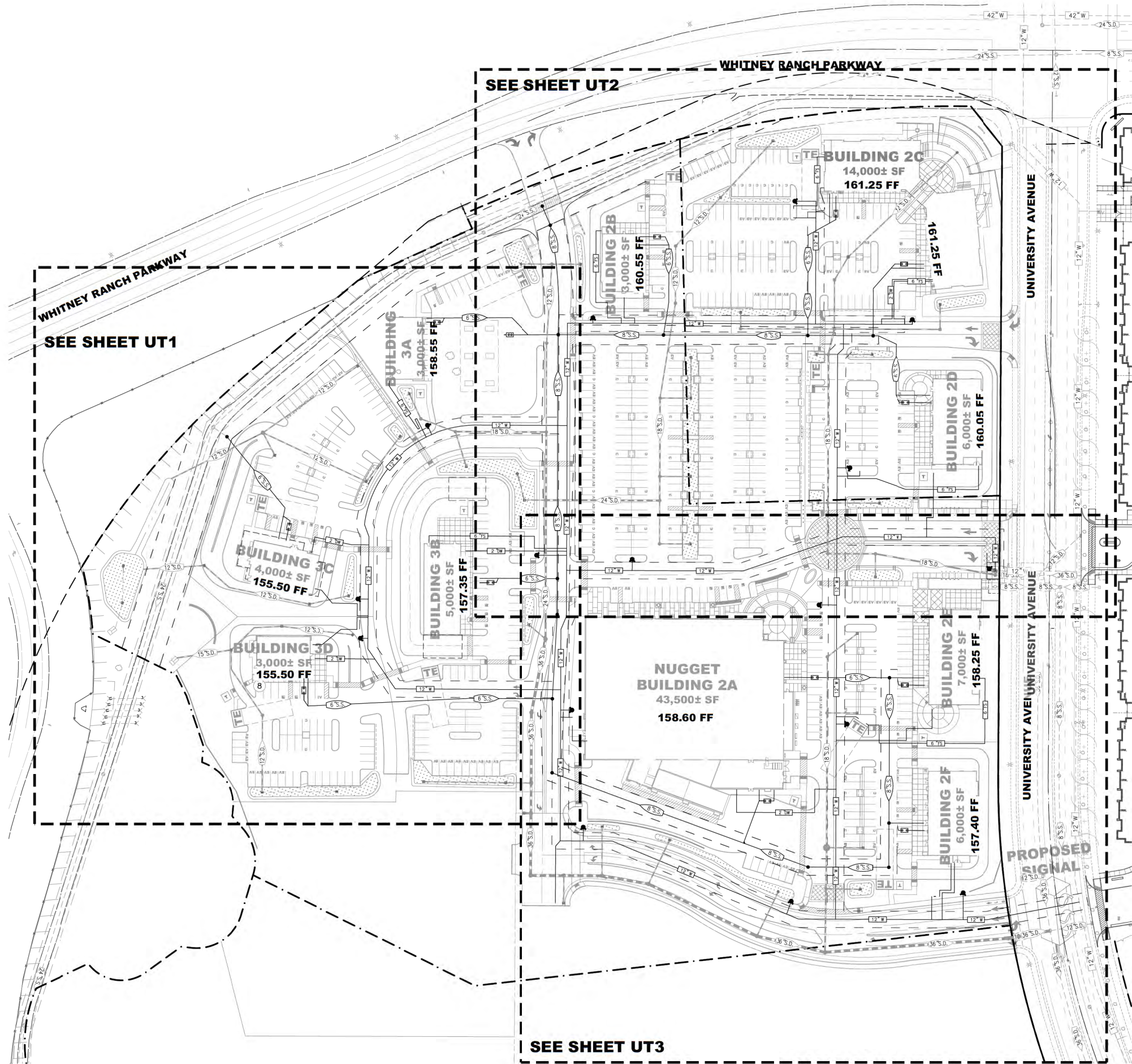
SD3

**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

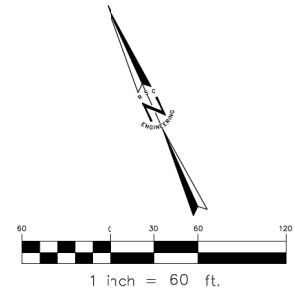
**RSC ENGINEERING**  
1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661  
Ph: 916.788.2884 Fax: 916.788.4408

DATE:  
PROJECT:

04.12.2023  
247-005

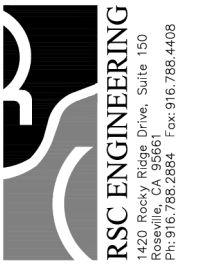


LEGEND	
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
	EXISTING WATER LINE
	PROPOSED BACKFLOW PREVENTER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN CLEANOUT
	EXISTING STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	EXISTING STORM DRAIN INLET
	EXISTING RIGHT-OF-WAY LINE



WHITNEY RANCH RETAIL  
ROCKLIN, CA

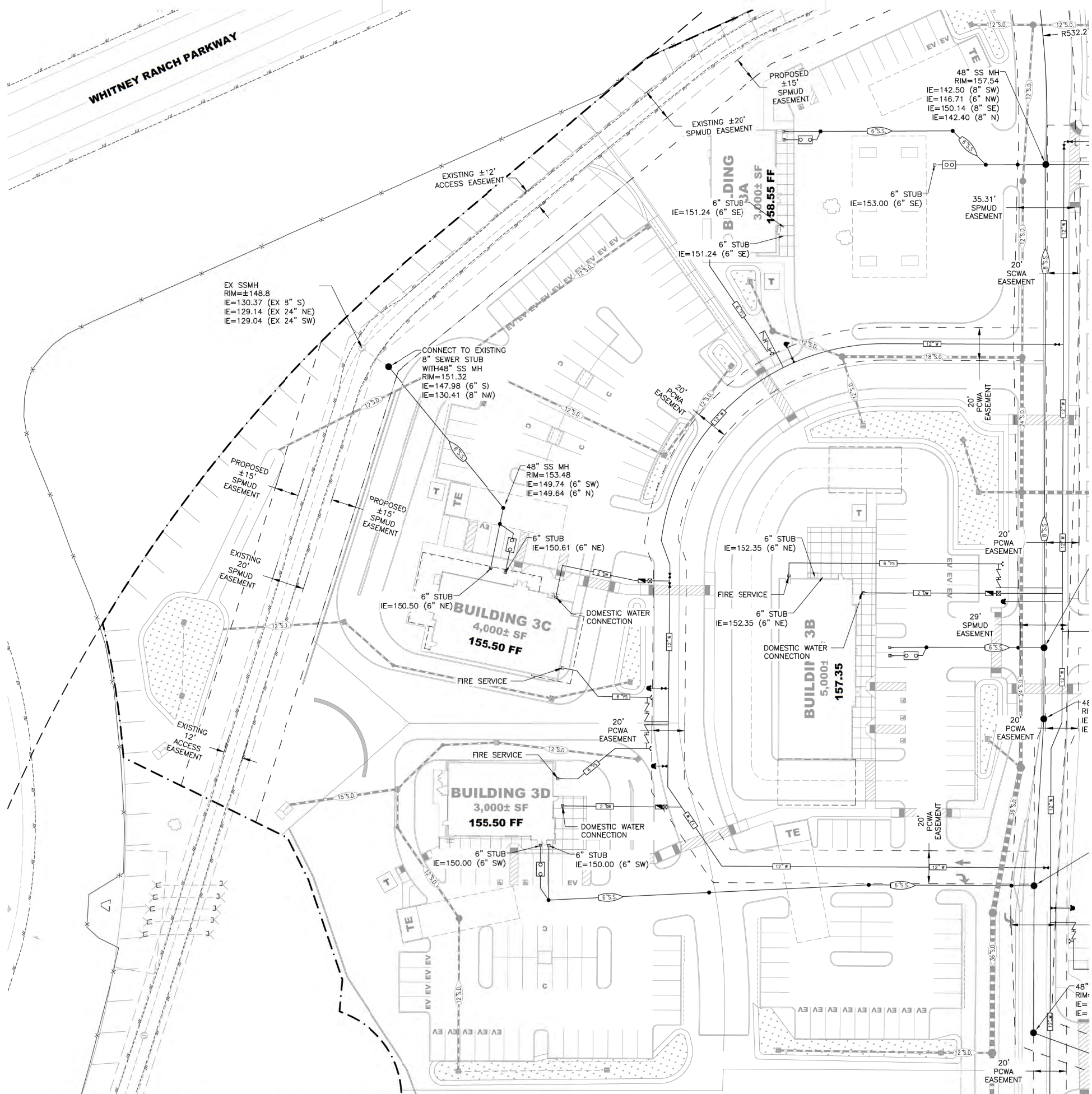
OVERALL PRELIMINARY UTILITY PLAN



SHEET  
UT

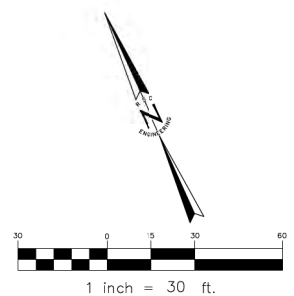
DATE:  
PROJECT:

04.12.2023  
247-005



**LEGEND**

	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
	EXISTING WATER LINE
	PROPOSED BACKFLOW PREVENTER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN CLEANOUT
	EXISTING STORM DRAIN CLEANOUT
	PROPOSED STORM DRAIN INLET
	EXISTING STORM DRAIN INLET
	EXISTING RIGHT-OF-WAY LINE



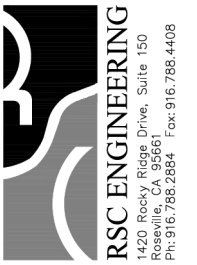
WHITNEY RANCH RETAIL  
ROCKLIN, CA

PRELIMINARY UTILITY PLAN

UT1



COLE PARTNERS  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



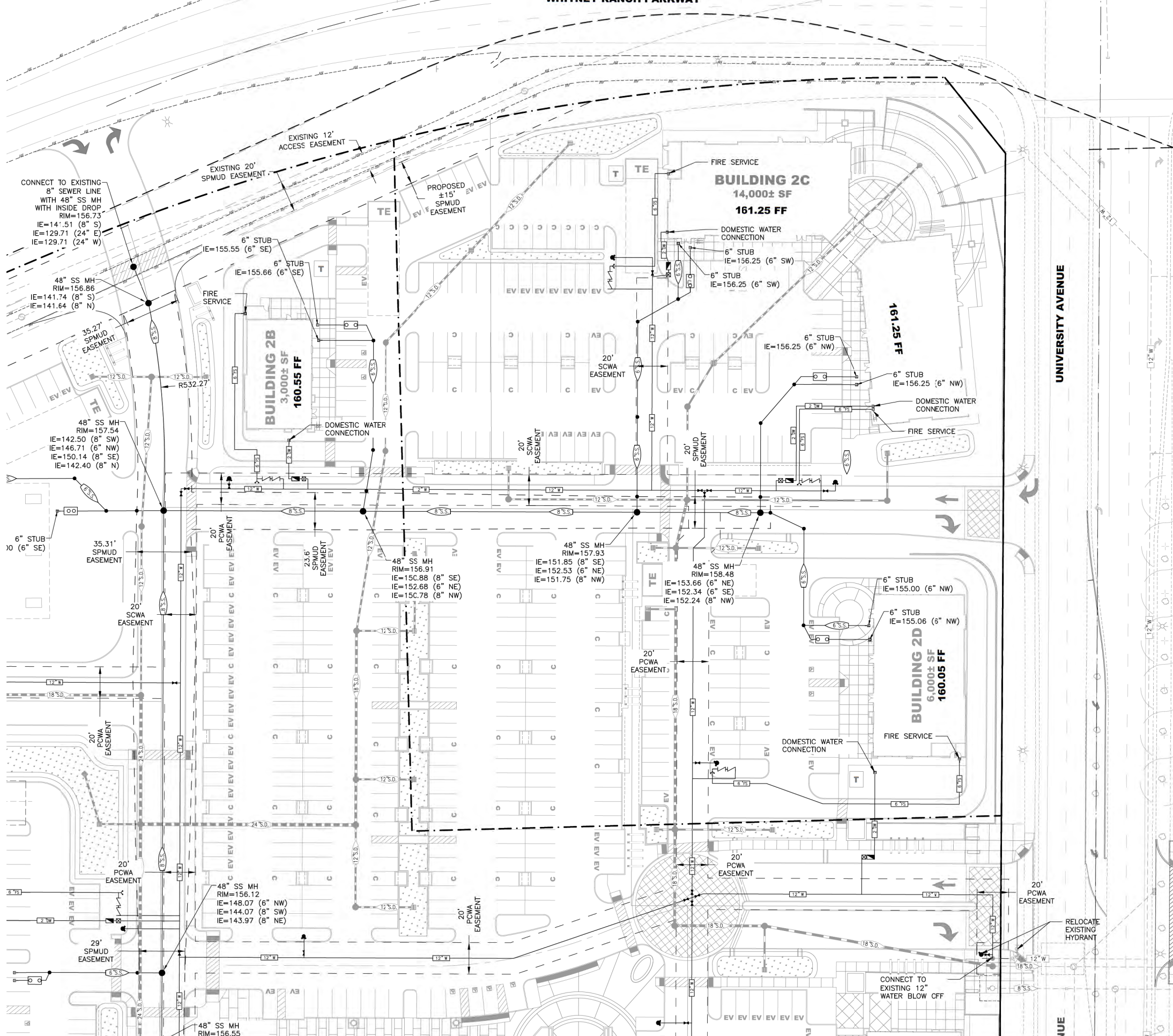
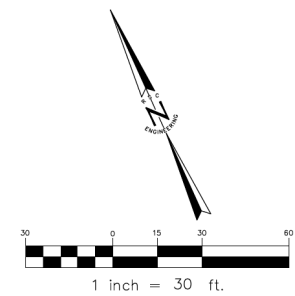
RSC ENGINEERING  
1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661  
Ph: 916.788.2884 Fax: 916.788.4408

DATE:  
PROJECT:

04.12.2023  
247-005

**LEGEND**

- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- EXISTING WATER LINE
- PROPOSED BACKFLOW PREVENTER
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN CLEANOUT
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN INLET
- EXISTING RIGHT-OF-WAY LINE



**WHITNEY RANCH RETAIL  
ROCKLIN, CA**

**PRELIMINARY UTILITY PLAN**

**UT2**

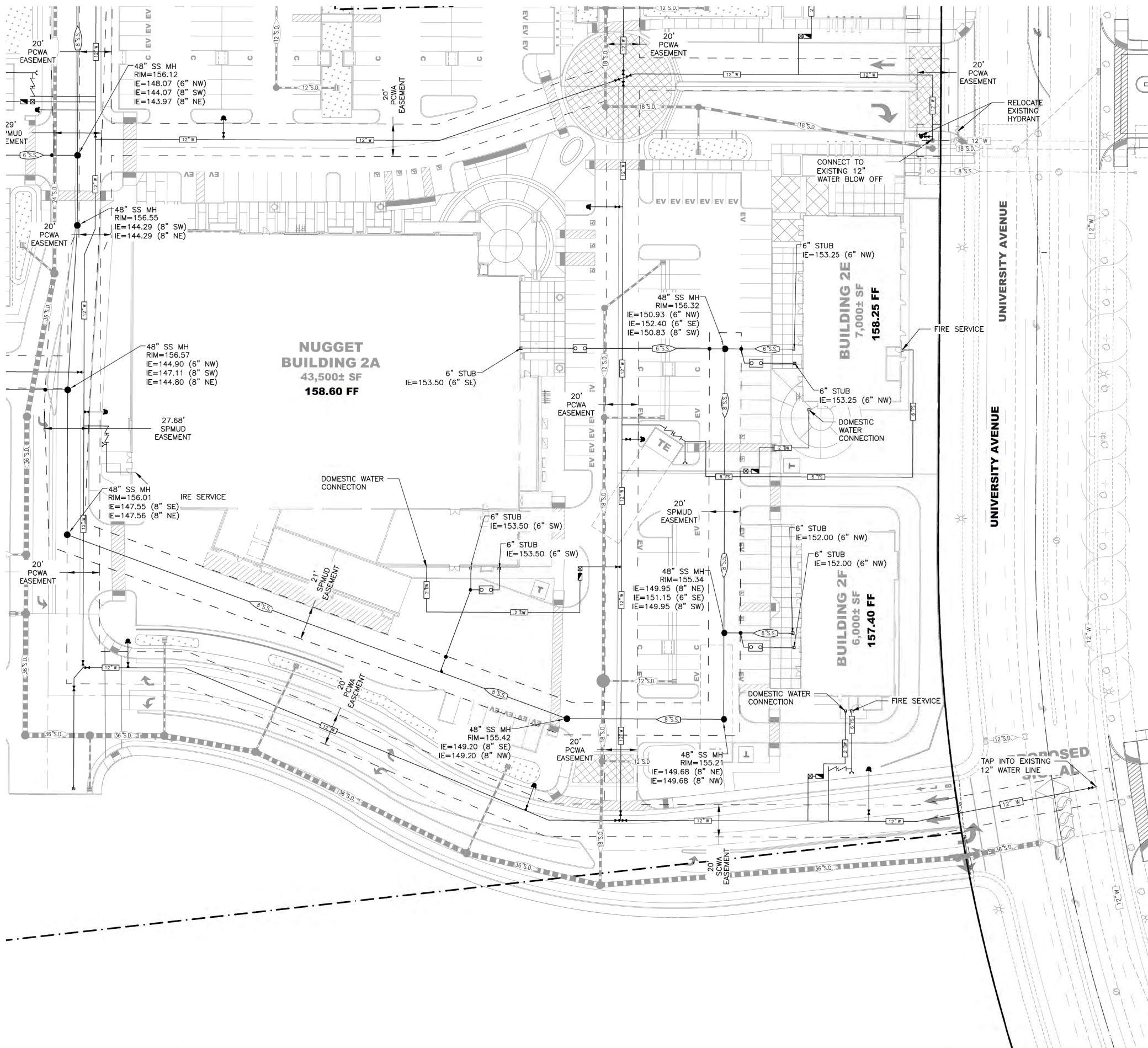
**COLE PARTNERS  
DEVELOPMENT COMPANY**  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT

**RSC ENGINEERING**  
1420 Rocky Ridge Drive, Suite 150  
Roseville, CA 95661  
Ph: 916.788.2884 Fax: 916.788.4408

DATE:  
PROJECT:

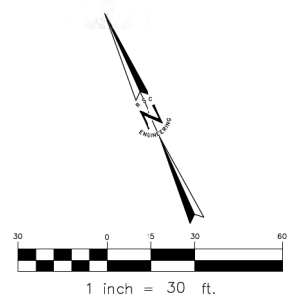
04.12.2023  
247-005





**LEGEND**

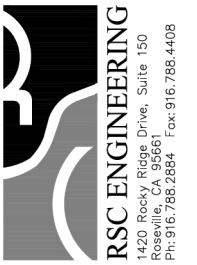
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
	EXISTING WATER LINE
	PROPOSED BACKFLOW PREVENTER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN CLEANOUT
	EXISTING STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	EXISTING STORM DRAIN INLET
	EXISTING RIGHT-OF-WAY LINE



WHITNEY RANCH RETAIL  
ROCKLIN, CA

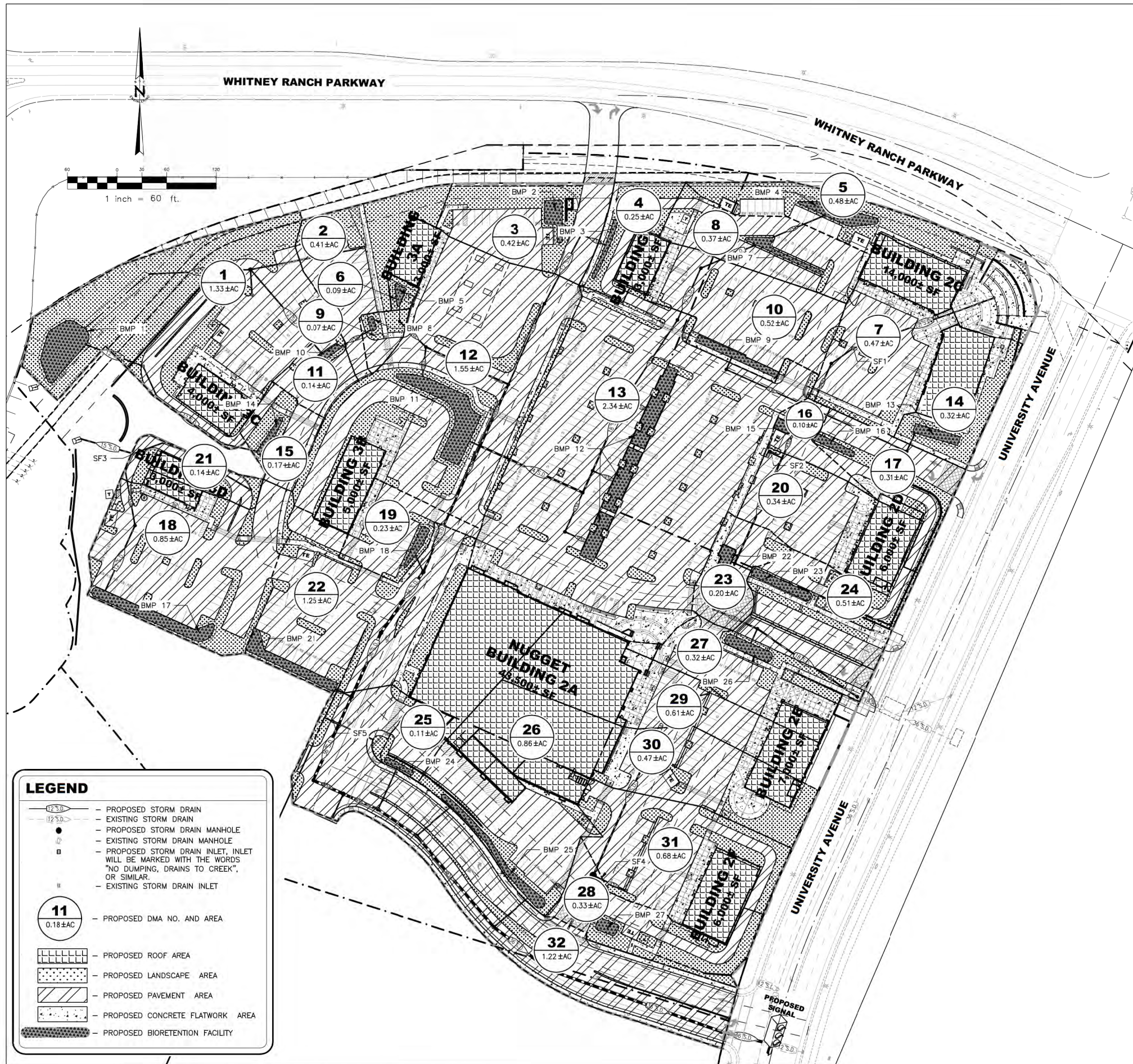
PRELIMINARY UTILITY PLAN

UT3



DATE:  
PROJECT:

04.12.2023  
247-005



**LEGEND**

- 12" SD - PROPOSED STORM DRAIN
- 12" SD - EXISTING STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET, INLET WILL BE MARKED WITH THE WORDS "NO DUMPING, DRAINS TO CREEK", OR SIMILAR.
- EXISTING STORM DRAIN INLET

**11**  
0.18±AC - PROPOSED DMA NO. AND AREA

- PROPOSED ROOF AREA
- PROPOSED LANDSCAPE AREA
- PROPOSED PAVEMENT AREA
- PROPOSED CONCRETE FLATWORK AREA
- PROPOSED BIORETENTION FACILITY

### DRAINAGE MANAGEMENT AREAS DRAINING CONTECH STORMFILTER UNITS

DMA NUMBER	BMP NUMBER	TOTAL DMA AREA (SF)	WQF REQUIRED (CFS)	WQF PER CARTRIDGE (CFS) (18" CARTRIDGE)	NUMBER OF CARTRIDGES REQUIRED	NUMBER OF CARTRIDGES PROVIDED	WQF PROVIDED (C.F.)	UNIT NUMBER
7	SF1	20,411	0.080	0.033	2,428	3	0.099	SFMH48
20	SF2	14,810	0.058	0.033	1,762	2	0.066	SFCB2
21	SF3	6,298	0.025	0.033	0,749	2	0.066	SFCB2
EQ2	SF4	77,361	0.304	0.033	9,203	10	0.330	SFMH96
32	SF5	52,940	0.208	0.033	6,298	7	0.231	SFMH72
		118,880						

WQF=CIA, WHERE:  
 C=RUNOFF COEFFICIENT = .75  
 I=INTENSITY= .2 FOR SACRAMENTO COUNTY  
 A=AREA DMA (ACRES)

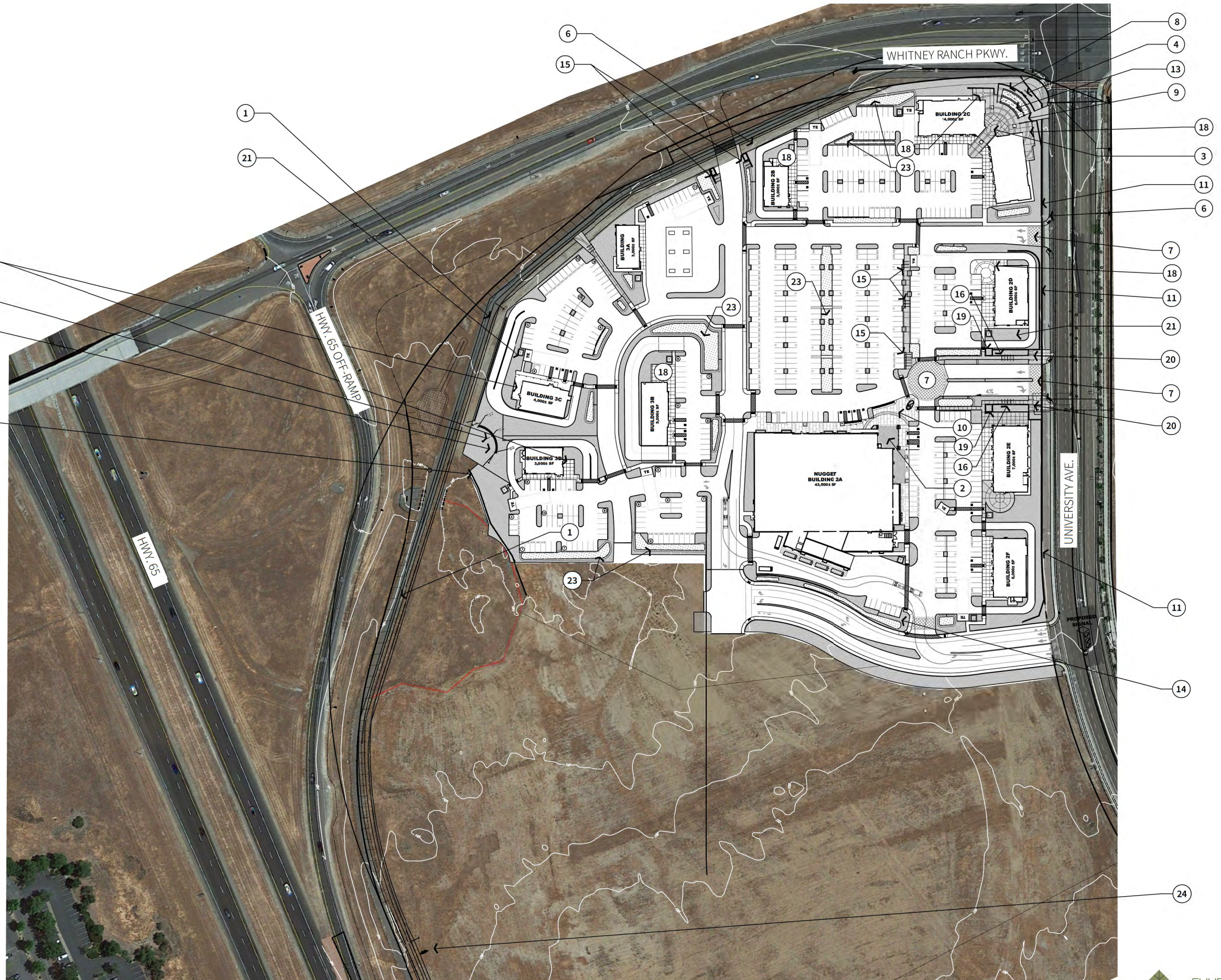
EQ2=DMA 29, DMA 30 AND DMA 31 COMBINED TREATMENT

#### DMA'S DRAINING TO BIO-RETENTION AREAS

DMA	Name	Area (sf)	Surface Type	Run-Off Factor	Area x Run-Off Factor	BMP
1	1A	26,562	Landscaping or Turf	0.1	2,656.20	BMP
1	1B	26,954	Sidewalk (Concrete)	0.1	2,695.40	BMP
1	1C	841	Driveway/Parking Lot (AC)	0.1	84.10	BMP
1	1D	2,000	Building (Roof)	0.1	200.00	BMP
Total		31,857			3,165.70	

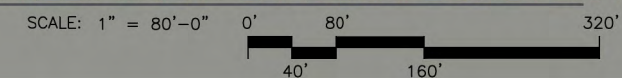
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	EXISTING GRAVEL ACCESS ROAD TO REMAIN.
2	PROPOSED NUGGET PLAZA WITH RAISED PLANTER, SCULPTURE, SPHERICAL BOLLARDS, PLANTERS, AND ART MURAL ON BUILDING BAN - SEE ENLARGEMENT PL3.
3	PROPOSED CONCRETE PLAZA - SEE ENLARGEMENT PL2.
4	PROPOSED PROJECT "WR" BRAND LOGO SIGNAGE
5	PROPOSED PROJECT WAYFINDING SIGNAGE WITH "WR" BRAND LOGO SIGNAGE ON LOW STEM WALL - SEE ENLARGEMENT PL2.
6	PROPOSED WAYFINDING SIGNAGE.
7	PROPOSED ENHANCED PAVING.
8	PROPOSED PEDESTRIAN ACCESS RAMP.
9	PROPOSED CONCRETE STEPS.
10	PROPOSED SAFETY BOLLARDS.
11	PROPOSED RETAINING WALLS. HEIGHT VARIES. 5' 0" MAXIMUM WHERE NOTED.
12	PROPOSED RETAINING WALL, SEE CIVIL PLAN.
13	PROPOSED TERRACED AMPHITHEATER WITH ARTIFICIAL TURF SEATING - SEE ENLARGEMENT PL2.
14	PROPOSED 72" MASONRY SCREEN WALL
15	PROPOSED MAIN ENTRY STEEL ARBOR ART, AND PALMS - SEE PL3.
16	PROPOSED STEEL ARBOR BEAMS WITH VINE - SEE ENLARGEMENT PL3.
17	PROPOSED TRACTOR SCULPTURE.
18	PROPOSED OUTDOOR DINING PATIO.
19	PROPOSED RAISED PLANTER WITH SPECIMEN ACCENT TREE.
20	PROPOSED RAISED PLANTER WITH ACCENT COLOR.
21	PROPOSED LANDSCAPED AREAS, TYPICAL.
22	PROPOSED PALM PLANTING BEHIND PROJECT SIGNAGE.
23	PROPOSED STORM WATER FEATURE BASINS, TYPICAL.
24	PROPOSED FREEWAY PYLON SIGN



WHITNEY RANCH RETAIL  
Rocklin, Ca

PRELIMINARY LANDSCAPE SITE PLAN



PL1

SHEET



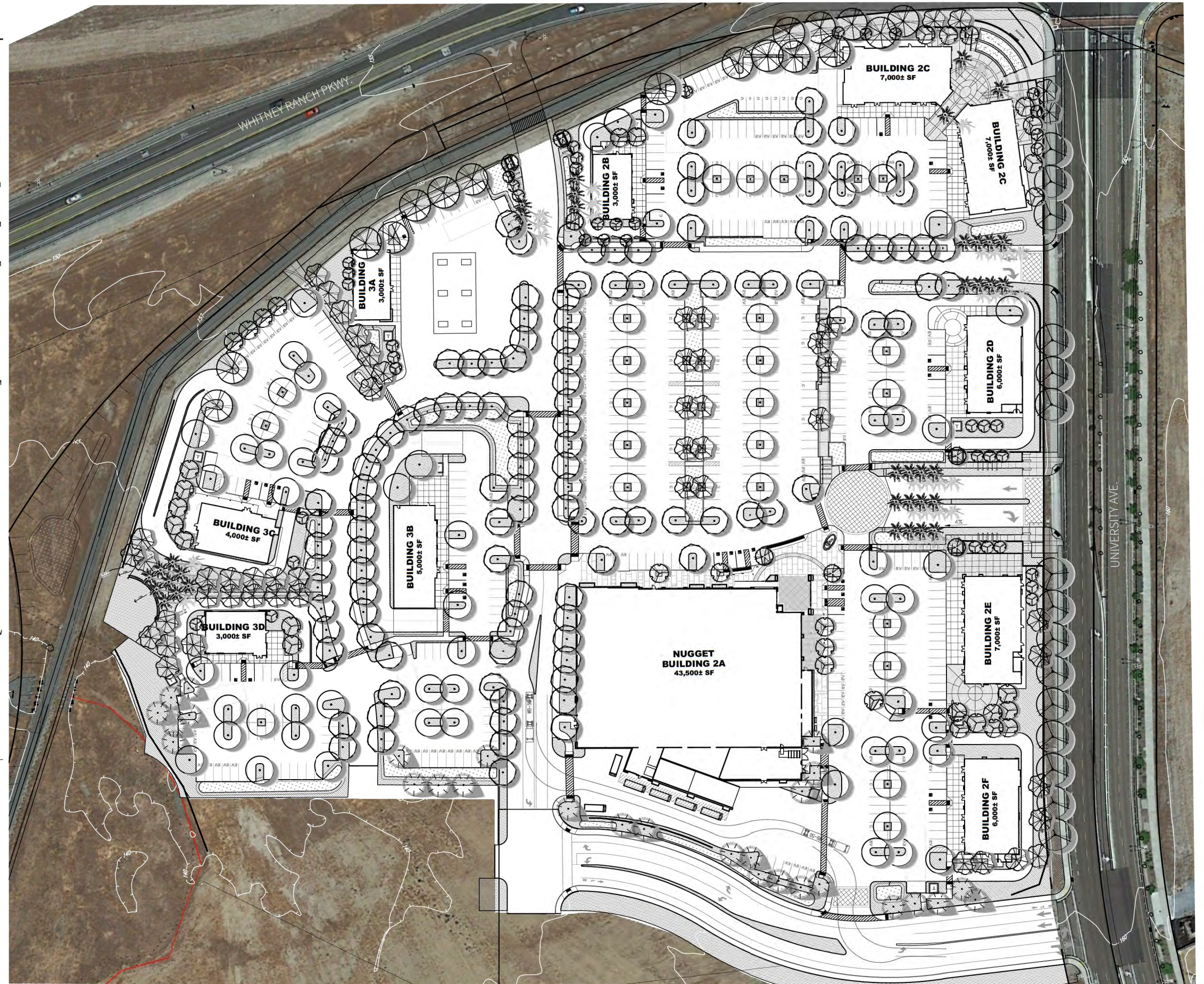
DATE: 03.06.2023  
PROJECT: CDC:21058

CONCEPT PLANT SCHEDULE










	STREET TREE-UNIVERSITY AVE. ZELKOVA SERRATA / JAPANESE ZELKOVA AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 40-65FT.	15	15 GAL., MEDIUM
	SPECIMEN ACCENT TREE PHOENIX DACTYLIFERA / DATE PALM AVERAGE HEIGHT: 25-40FT. AVERAGE WIDTH: 25-40FT.	38	20 BTF., LOW
	PARKING LOT TREE PISTACIA CHINENSIS / CHINESE PISTACHE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	74	15 GAL., LOW
	INTERNAL STREET TREE TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	122	24" BOX, MEDIUM
	VERTICAL ACCENT TREE ACER RUBRUM 'BOWHALL' / BOWHALL RED MAPLE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 10-15FT.	54	24" BOX, MEDIUM
	STREET TREE-WHITNEY RANCH PKWY. ULMUS PARVIFOLIA 'TRUE GREEN' / TRUE GREEN LACEBARK ELM AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	17	24" BOX, MEDIUM
	PLANTER SPECIMEN TREE OLEA EUROPAEA 'SWAN HILL' / SWAN HILL OLIVE AVERAGE HEIGHT: 15-25FT. AVERAGE WIDTH: 15-25FT.	7	36" BOX, LOW
	EVERGREEN SCREEN PINUS ELДАРICA / AFGHAN PINE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 15-25FT.	29	24" BOX, LOW
	FLOWERING ACCENT TREE LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE AVERAGE HEIGHT: 15-25FT. AVERAGE WIDTH: 15-25FT. LAGERSTROEMIA INDICA X FAURIEI 'PECOS' / PECOS CRAPE MYRTLE MULTI-TRUNK AVERAGE HEIGHT: 10-15FT. AVERAGE WIDTH: 3-6FT.	70	24" BOX, MEDIUM 24" BOX, LOW
	FOUNDATION SHRUBS CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS COTINUS COGGYGRIA 'ROYAL PURPLE' / MULTI TRUNK ROYAL PURPLE SMOKE TREE CUPRESSUS SEMPERVIRENS 'TOTEM' / TOTEM ITALIAN CYPRESS ELAEOCARPUS DECIPiens 'LITTLE EMPEROR' / DWARF JAPANESE BLUEBERRY TREE JUNIPERUS VIRGINIANA 'SKYROCKET' / SKYROCKET JUNIPER RHAPHIOLEPIS UMBELLATA 'MINOR' / YEDDA HAWTHORN	21,493 SF	1 GAL., LOW 5 GAL., LOW 15 GAL., LOW 5 GAL., LOW 5 GAL., LOW 5 GAL., LOW
	ACCENT SHRUBS AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE ELONIA JAPONICA 'MICROPHYLLA VARIEGATA' / VARIEGATED BOXLEAF EUONYMUS KNIPHOFIA UVARIA 'ECHO MANGO' / REBLOOMING TORCHLILY MUEHLENBERGIA CAPILLARIS / PINK MUHLY MYRTUS COMMUNIS 'COMPACTA' / DWARF MYRTLE ROSA X 'RED' / RED CARPET ROSE	17,093 SF	3 GAL., LOW 2 GAL., LOW 1 GAL., LOW 1 GAL., LOW 5 GAL., LOW 2 GAL., MEDIUM
	FILLER SHRUBS CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH DIANELLA TASMANICA 'VARIEGATA' / VARIEGATED FLAX LILY DIETES BICOLOR / FORTNIGHT LILY GREVILLEA X 'NOELLII' / GREVILLEA LIGUSTRUM SINENSE 'SUNSHINE' / SUNSHINE LIGUSTRUM LCMANDRA LONGIFOLIA PLATINUM BEAUTY / PLATINUM BEAUTY LOMANDRA NANDINA DOMESTICA 'FIREPOWER' / FIREPOWER HEAVENLY BAMBOO RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY SALVIA GREGGII 'HOT LIPS' / AUTUMN SAGE	54,017 SF	5 GAL., LOW 1 GAL., LOW 1 GAL., LOW 1 GAL., LOW 5 GAL., LOW 1 GAL., LOW, LOW 5 GAL., LOW 5 GAL., LOW 1 GAL., LOW
	GROUNDCOVERS COPROSMIA KIRKII 'VERDE VISTA' / VERDE VISTA CREEPING MIRROR PLANT COTONEASTER DAMMERI 'LOWFAST' / LOWFAST BEARBERRY COTONEASTER DIANELLA REVOLUTA 'LITTLE REV' / LITTLE REV FLAX LILY TEUCRIUM CHAMAEDRY'S 'PROSTRATUM' / PROSTRATE GERMANDER	52,063 SF	1 GAL., LOW 1 GAL., LOW 1 GAL., LOW 1 GAL., LOW
	BIOFILTRATION TURF SOD BIOFILTRATION SOD / DELTA BLUEGRASS BIOFILTRATION SOD	24,819 SF	SOD, M
TOTAL LANDSCAPED AREA		169,485 SF	

LANDSCAPE CALCULATIONS

CITY REQUIREMENT FOR LANDSCAPE	
TOTAL SITE AREA	= 732,360 S.F.
TOTAL LANDSCAPE REQUIRED (20%)	= 146,472 S.F.
TOTAL LANDSCAPE PROVIDED (23%)	= 169,485 S.F.



CONCEPT PLANT SCHEDULE

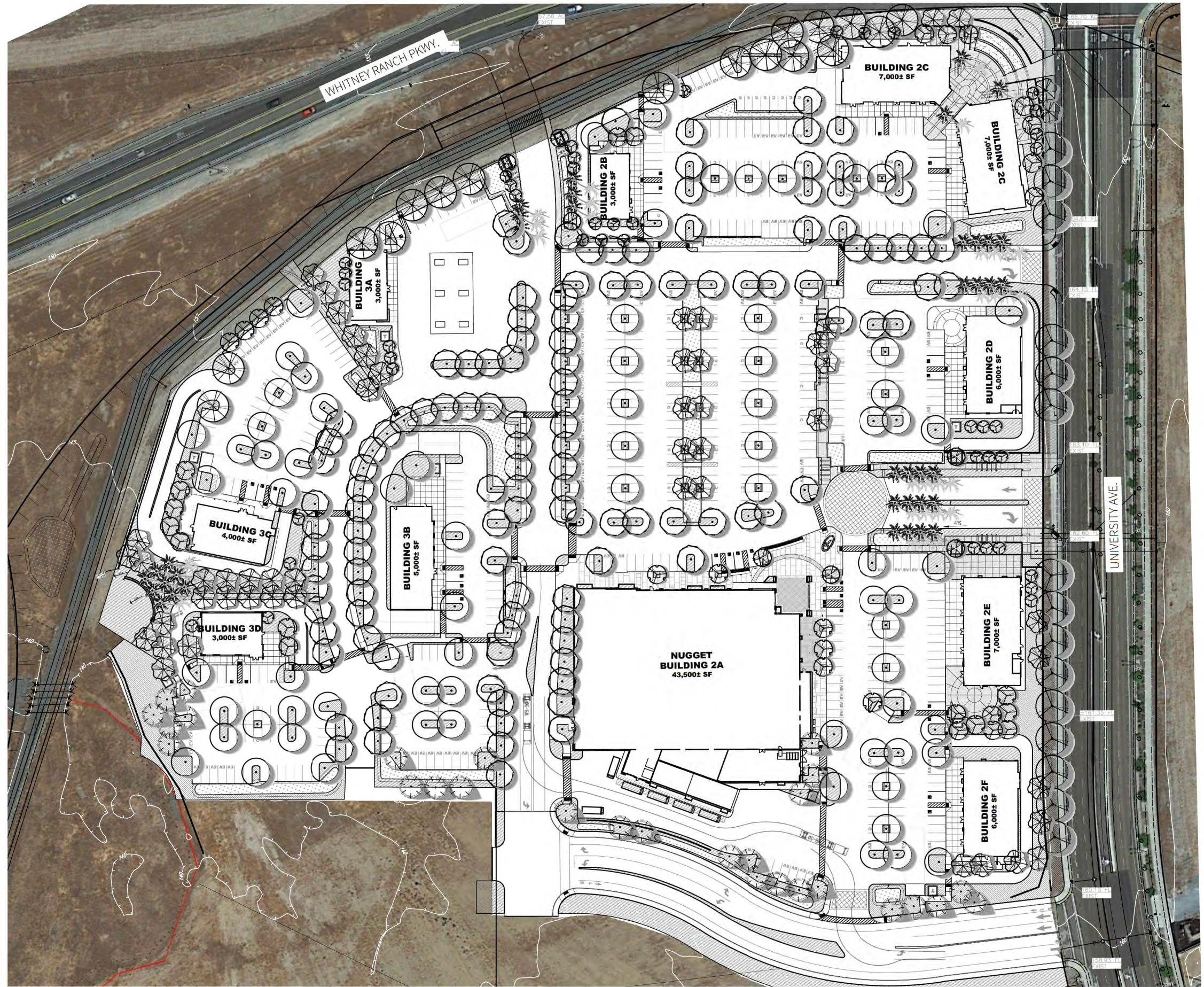
	STREET TREE-UNIVERSITY AVE. ZELKOVA SERRATA / JAPANESE ZELKOVA AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 40-65FT.	15 GAL., MEDIUM
	SPECIMEN ACCENT TREE PHOENIX DACTYLIFERA / DATE PALM AVERAGE HEIGHT: 25-40FT. AVERAGE WIDTH: 25-40FT.	20 BTF., LOW
	PARKING LOT TREE PISTACIA CHINENSIS / CHINESE PISTACHE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	15 GAL., LOW
	INTERNAL STREET TREE TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	24" BOX, MEDIUM
	VERTICAL ACCENT TREE ACER RUBRUM 'BOWHALL' / BOWHALL RED MAPLE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 10-15FT.	24" BOX, MEDIUM
	STREET TREE-WHITNEY RANCH PKWY. ULMUS PARVIFOLIA 'TRUE GREEN' / TRUE GREEN LACEBARK ELM AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 25-40FT.	24" BOX, MEDIUM
	PLANTER SPECIMEN TREE OLEA EUROPAEA 'SWAN HILL' / SWAN HILL OLIVE AVERAGE HEIGHT: 15-25FT. AVERAGE WIDTH: 15-25FT.	36" BOX, LOW
	EVERGREEN SCREEN PINUS ELДАРICA / AFGHAN PINE AVERAGE HEIGHT: 40-65FT. AVERAGE WIDTH: 15-25FT.	24" BOX, LOW
	FLOWERING ACCENT TREE LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE AVERAGE HEIGHT: 15-25FT. AVERAGE WIDTH: 15-25FT. LAGERSTROEMIA INDICA X FAURIEI 'PECOS' / PECOS CRAPE MYRTLE MULTI-TRUNK AVERAGE HEIGHT: 10-15FT. AVERAGE WIDTH: 3-6FT.	24" BOX, MEDIUM 24" BOX, LOW

SHADE STUDY CALCULATIONS

PROJECT: WHITNEY RANCH RETAIL 03.06.2023

OVERALL SITE	QTY.	SQ. FT. AREA
STANDARD STALLS	422	113,940
EV STALLS	133	35,910
COMPACT STALLS	78	19,656
HANDICAP STALLS	26	6,552
TOTAL PAVED PARKING AREA:		176,058
TOTAL SHADE REQUIRED:	50%	88,029
TOTAL SHADE PROVIDED:		89,025
TOTAL SHADE PERCENTAGE		50.6%

SYMBOL	DIA.	QTY.	UNIT		TOTAL S.F.
			IN S.F.	TOTAL S.F.	
<b>35' TREES</b>					
Zelkova Green, Pistacia Chinensis,	100%	25	X	962	24,050
Tilia Green, Ulmus T.G.,	75%	6	X	722	4,332
	50%	103	X	481	49,543
	25%	16	X	240	3,840
<b>25' TREES</b>					
Olea S.H., Pinus Eularica,	100%	0	X	491	0
Lagerstroemia Natchez	75%	2	X	369	738
	50%	15	X	246	3,690
	25%	4	X	123	492
<b>20' TREES</b>					
Acer Bowhall, Lagerstroemia Pecos	100%	0	X	314	0
	75%	0	X	236	0
	50%	5	X	157	785
	25%	1	X	79	79
<b>TOTAL</b>					<b>89,025</b>



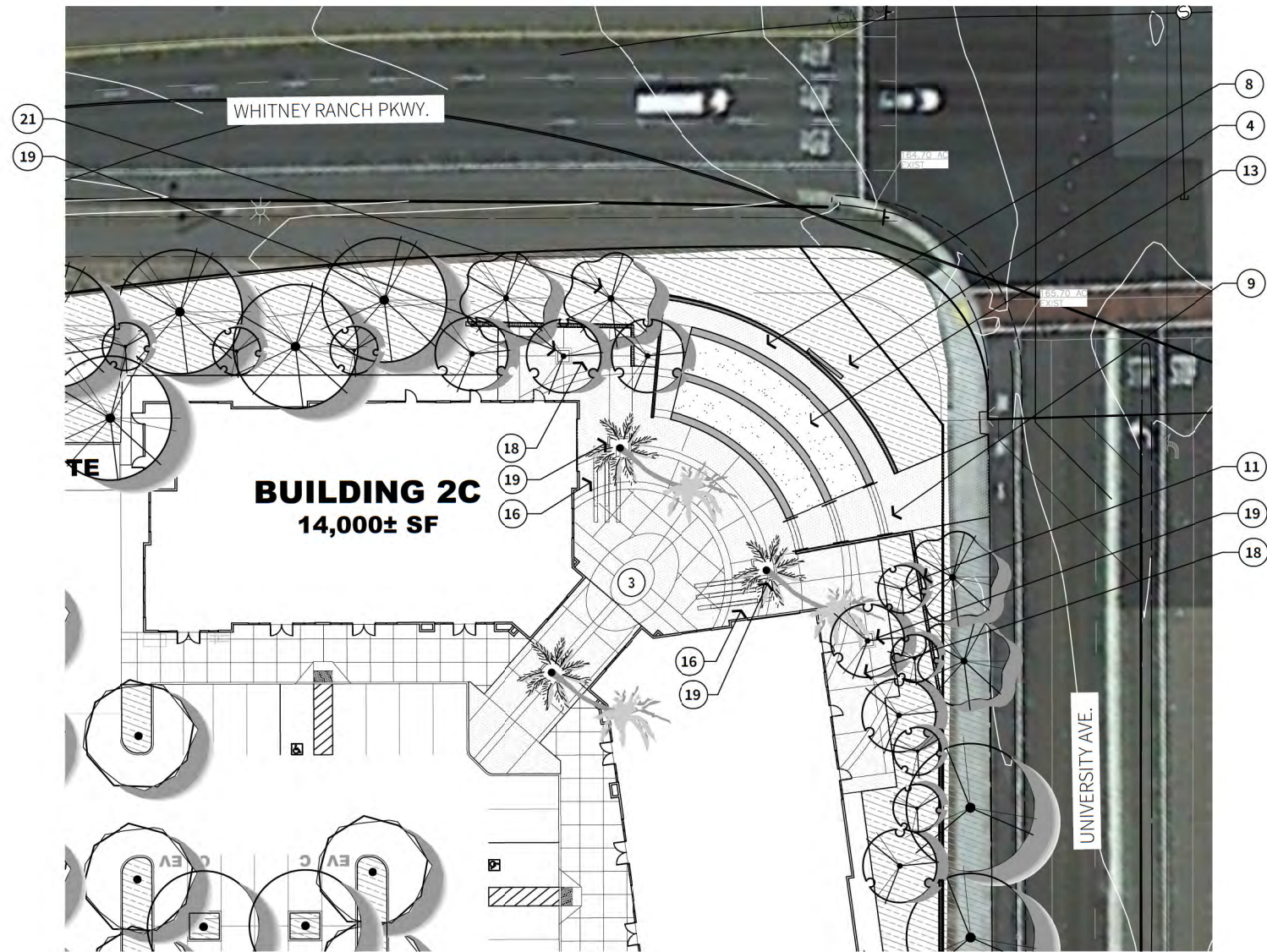
WHITNEY RANCH RETAIL  
Rocklin, Ca

PARKING LOT SHADING PLAN  
SCALE: 1" = 50'-0" 0' 50' 200'  
25' 100'

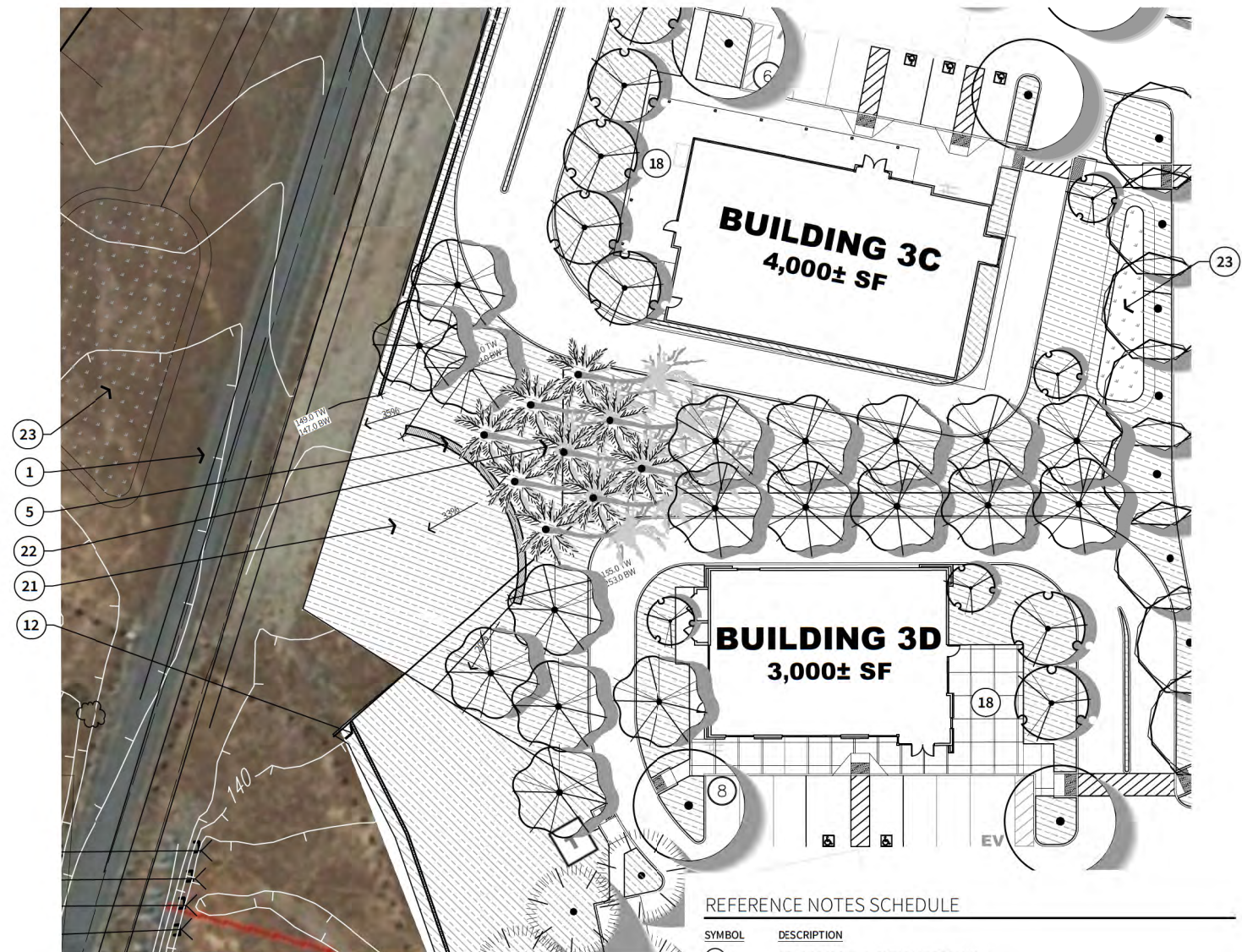


DATE: 03.06.2023  
PROJECT: CDC:21058

SHEET  
PL3



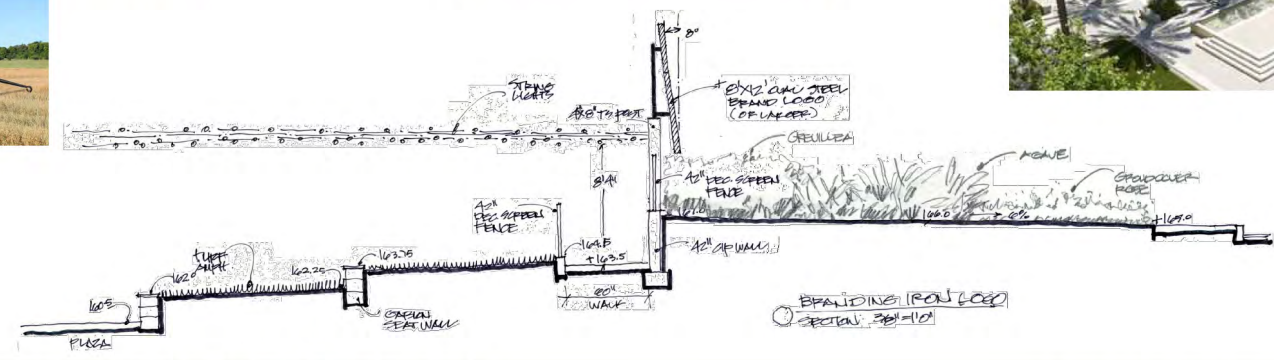
**A** NORTHEAST PLAZA



**B** SOUTHWEST EDGE SIGNAGE

**REFERENCE NOTES SCHEDULE**

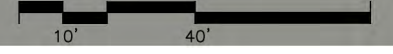
SYMBOL	DESCRIPTION
1	EXISTING GRAVEL ACCESS ROAD TO REMAIN.
2	PROPOSED NUGGET PLAZA WITH RAISED PLANTER, SCULPTURE, SPHERICAL BOLLARDS, PLANTERS, AND ART MURAL ON BUILDING BAN - SEE ENLARGEMENT PL3.
3	PROPOSED CONCRETE PLAZA - SEE ENLARGEMENT PL2.
4	PROPOSED PROJECT WAYFINDING SIGNAGE (BRAND LOGO).
5	PROPOSED PROJECT WAYFINDING SIGNAGE ON LOW STEM WALL - SEE ENLARGEMENT PL2.
6	PROPOSED WAYFINDING SIGNAGE.
7	PROPOSED ENHANCED PAVING.
8	PROPOSED PEDESTRIAN ACCESS RAMP.
9	PROPOSED CONCRETE STEPS.
10	PROPOSED SAFETY BOLLARDS.
11	PROPOSED RETAINING WALLS. HEIGHT VARIES. 5' 0" MAXIMUM WHERE NOTED.
12	PROPOSED RETAINING WALL, SEE CIVIL PLAN.
13	PROPOSED TERRACED AMPHITHEATER WITH ARTIFICIAL TURF SEATING - SEE ENLARGEMENT PL2.
14	PROPOSED 72" MASONRY SCREEN WALL
15	PROPOSED MAIN ENTRY STEEL ARBOR ART, AND PALMS - SEE PL3.
16	PROPOSED STEEL ARBOR BEAMS WITH VINE - SEE ENLARGEMENT PL3.
17	PROPOSED TRACTOR SCULPTURE.
18	PROPOSED OUTDOOR DINING PATIO.
19	PROPOSED RAISED PLANTER WITH SPECIMEN ACCENT TREE.
20	PROPOSED RAISED PLANTER WITH ACCENT COLOR.
21	PROPOSED LANDSCAPED AREAS, TYPICAL.
22	PROPOSED PALM PLANTING BEHIND PROJECT SIGNAGE.
23	PROPOSED STORM WATER FEATURE BASINS, TYPICAL.
24	PROPOSED FREEWAY PYLON SIGN



**WHITNEY RANCH RETAIL**  
Rocklin, Ca

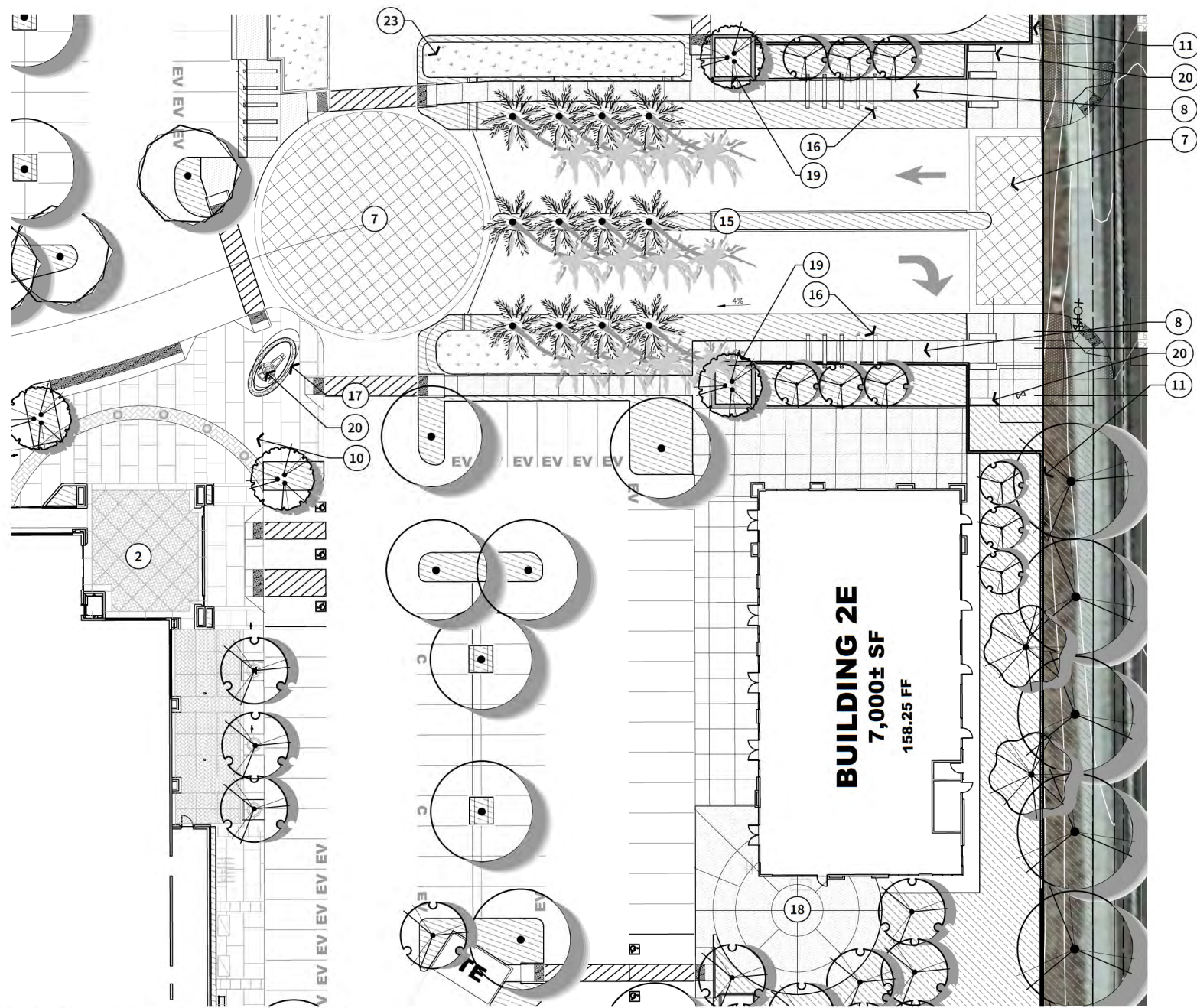
ENLARGEMENTS-PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-0" 0' 20' 80'

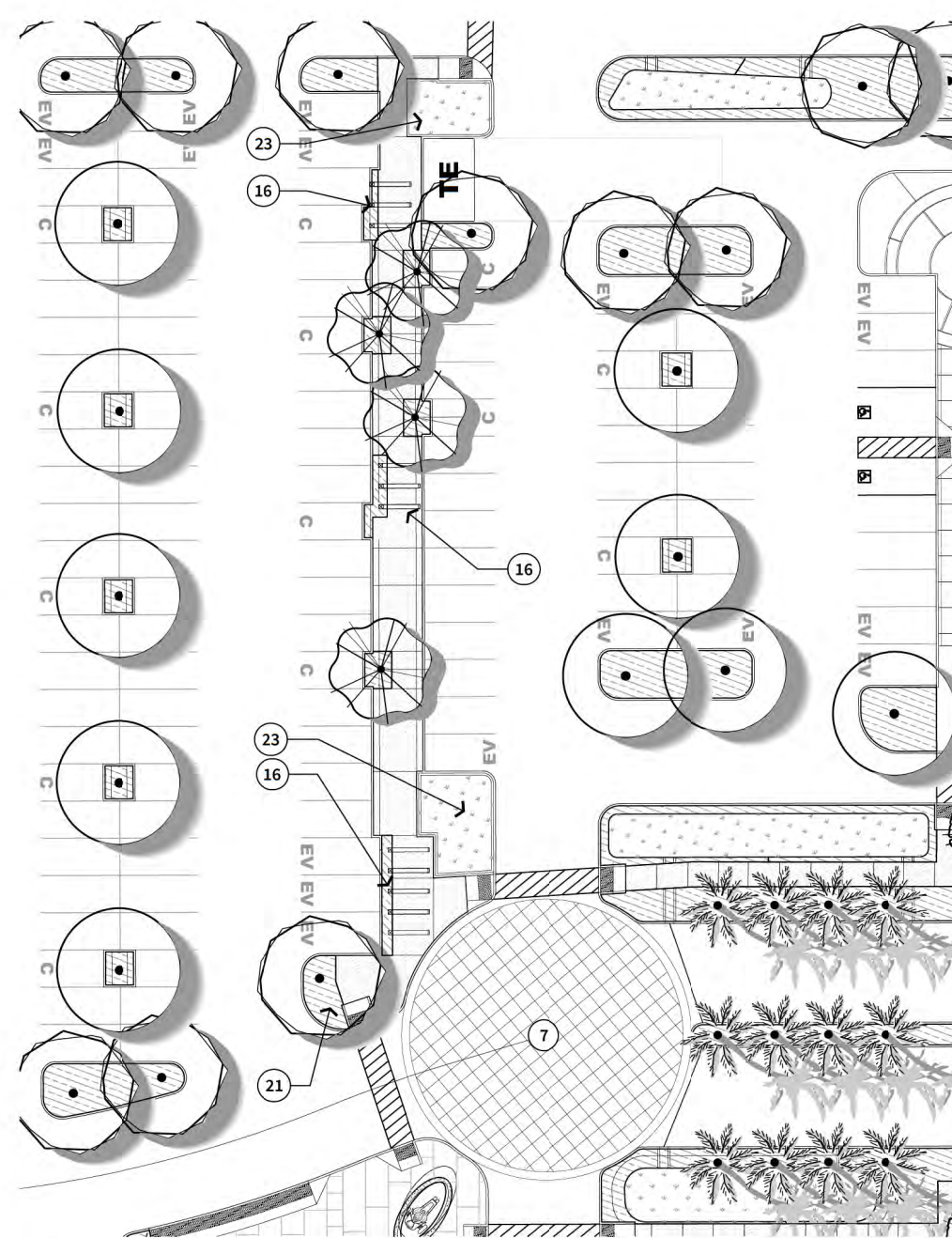


SHEET  
**PL4**

DATE: 03.06.2023  
PROJECT: CDC:21058

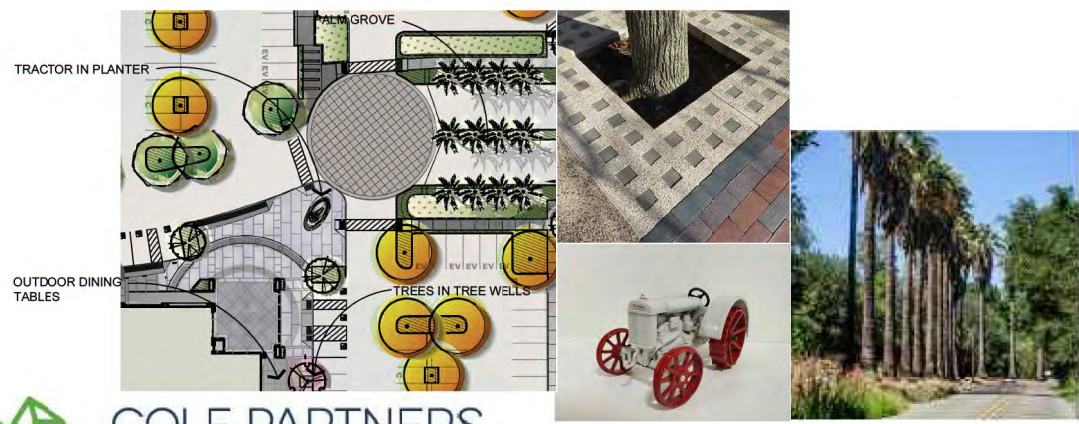


**C EAST MAIN ENTRY AND NUGGET PLAZA**



**D NORTH / SOUTH PEDESTRIAN CONNECTION**

REFERENCE NOTES SCHEDULE	
SYMBOL	DESCRIPTION
1	EXISTING GRAVEL ACCESS ROAD TO REMAIN.
2	PROPOSED NUGGET PLAZA WITH RAISED PLANTER, SCULPTURE, SPHERICAL BOLLARDS, PLANTERS, AND ART MURAL ON BUILDING BAN - SEE ENLARGEMENT PL3.
3	PROPOSED CONCRETE PLAZA - SEE ENLARGEMENT PL2.
4	PROPOSED PROJECT WAYFINDING SIGNAGE (BRAND LOGO).
5	PROPOSED PROJECT WAYFINDING SIGNAGE ON LOW STEM WALL - SEE ENLARGEMENT PL2.
6	PROPOSED WAYFINDING SIGNAGE.
7	PROPOSED ENHANCED PAVING.
8	PROPOSED PEDESTRIAN ACCESS RAMP.
9	PROPOSED CONCRETE STEPS.
10	PROPOSED SAFETY BOLLARDS.
11	PROPOSED RETAINING WALLS. HEIGHT VARIES. 5' 0" MAXIMUM WHERE NOTED.
12	PROPOSED RETAINING WALL, SEE CIVIL PLAN.
13	PROPOSED TERRACED AMPHITHEATER WITH ARTIFICIAL TURF SEATING - SEE ENLARGEMENT PL2.
14	PROPOSED 72" MASONRY SCREEN WALL
15	PROPOSED MAIN ENTRY STEEL ARBOR ART, AND PALMS - SEE PL3.
16	PROPOSED STEEL ARBOR BEAMS WITH VINE - SEE ENLARGEMENT PL3.
17	PROPOSED TRACTOR SCULPTURE.
18	PROPOSED OUTDOOR DINING PATIO.
19	PROPOSED RAISED PLANTER WITH SPECIMEN ACCENT TREE.
20	PROPOSED RAISED PLANTER WITH ACCENT COLOR.
21	PROPOSED LANDSCAPED AREAS, TYPICAL.
22	PROPOSED PALM PLANTING BEHIND PROJECT SIGNAGE.
23	PROPOSED STORM WATER FEATURE BASINS, TYPICAL.
24	PROPOSED FREEWAY PYLON SIGN

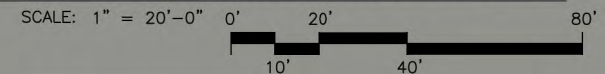


**COLE PARTNERS**  
DEVELOPMENT COMPANY  
REAL ESTATE INVESTMENT, DEVELOPMENT & MANAGEMENT



**WHITNEY RANCH RETAIL**  
Rocklin, Ca

ENLARGEMENTS-PRELIMINARY LANDSCAPE PLAN



SHEET  
**PL5**

**FUHRMAN LEAMY**  
LAND GROUP  
DESIGN • SERVICE • SOLUTIONS  
2140 Professional Dr., Ste.115, Roseville, CA 95661 916.78.5263  
www.flrlandgroup.com

DATE: 03.06.2023  
PROJECT: CDC:21058

## Index

Introduction   <b>Section A:</b> Submittal Approval Process   <b>Section B:</b> General Specifications	Pg. 2
<b>Section C:</b> Signage	Pg. 3
<b>Section D:</b> General Conditions   <b>Section E:</b> Prohibited Signs   <b>Section F:</b> Maintenance	Pg. 4
Typical Sign Area Calculation	Pg. 5
Typical Tenant Sign Type Exhibits	Pgs. 6.1 - 6.3
Typical Tenant Window Graphics Guidelines	Pg. 7
Pylon & Monument Sign Exhibits	Pgs. 8.1 - 8.4
<b>Pad 2 &amp; 3</b> Series Building Elevations with Possible Sign Locations	Pg. 9.1 - 9.10
Site Plan / Sign Locations	Pg. 10

### Sign Vendor / Designer

**Pacific Neon Co.**  
2939 Accademy Way  
Sacramento, CA 95815  
916.927.0527  
Contact: Ralph Cundiff  
www.pacificneon.com

### Property Address

State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA



# Whitney Ranch | Tenant/Occupant Sign Criteria

## Whitney Ranch

State Hwy. 65 at Whitney Ranch Parkway  
Rocklin, CA

## GRAPHICS AND BUILDING SIGNAGE CRITERIA

Spring 2023

## PROJECT DIRECTORY

Sign Company

### Pacific Neon Co.

Attn: Ralph Cundiff  
2939 Academy Way  
Sacramento, CA 95815  
Phone (916) 927-0527  
Email: ralph.cundiff@pacificneon.com

Owner/Developer

### UKI Rocklin, LLC

c/o Cole Partners Development Company  
2484 Natomas Park Dr. Suite 101  
Sacramento, CA 95833

Contact:

Pat Coppin, Rob Cole  
Ph.: 916.273.4019  
pcoppin@colepartners.com, rcollection@colepartners.com

## Introduction:

This document establishes guidelines and criteria for the design, implementation and regulation of Tenant/Occupant signage for Whitney Ranch in Rocklin California. The objectives are to encourage high quality and unique signage, which is an integral part of the architecture of the building using a consistent and uniform sign standard, and to maintain the aesthetic quality of the property along with the community standards of Rocklin, California. The intent of these criteria is to insure that Tenant/Occupant signage is designed and executed in a manner consistent with the property's architectural aesthetic while providing appropriate identification of Tenant/Occupant's businesses. Tenant signage will be carefully considered in relation to the site architecture, design, construction and content.

This document is to provide guidance to design, fabrication, installation and maintenance of all signs, including but not limited to style and placement of lettering, size, color, materials and methods of illumination.

Accordingly, the Landlord will retain full rights of approval for any sign located within the property at the Landlord's sole discretion. No sign shall be installed without written Landlord approval or required City permits. Violation of these conditions will result with the removal of nonconforming signs and repairs of property as a result of their removal at Tenant's own expense.

## SECTION A: SUBMITTAL & APPROVAL PROCESSES

### 1. Submittal to Landlord.

Prior to sign fabrication and application for City approval of permits, each Tenant/Occupant shall submit to the Landlord for approval (1) set of detailed design and shop drawings via email including the following:

- a. Elevation of storefront illustrating the proposed sign design and all dimensions as they relate to the storefront elevation of Tenant/Occupant's premises including fully dimensioned Tenant frontages and dimensioned site plan with Tenant and building frontages; Fully dimensioned and scaled sign shop drawings. Sign elevation must be rendered in color and must specify exact dimensions (including line spacing), copy, layout, materials, colors, method of attachment, illumination, electrical and all other details pertinent to the sign construction, as well as all sign area square footage calculation(s) in compliance with their criteria.
- b. Approval or disapproval of sign submittals shall remain the sole right of the Landlord or their chosen representative. If submittals are disapproved, then Tenant/Occupants must submit revised plans until Landlord's approval is obtained.

### 2. City Submittal

A full set of final plans must be approved and signed by the Landlord prior to permit application or sign fabrication. Following

Landlord's approval of the proposed signage, Tenant/Occupant or their agent must submit an application to the City of Rocklin for all permits for fabrication and installation.

- a. All City coordination with respect to approvals and permits for signs and their installation shall be obtained by the Tenant/Occupant or their Representative, at their sole expense.
- b. Any changes requested by the City of Rocklin regarding design or intent must be also cleared by Landlord before resubmittal to City.
- c. The Landlord reserves the right to revise the Criteria in accordance with the City of Rocklin Sign Code Ordinance.

### 3. Approval and Commencement

Tenant/Occupant and their sign contractor shall not be permitted to commence installation of the exterior sign unless all of the following conditions have been met:

- a. A stamped set of final drawings reflecting the Landlord's and the City's approval shall be obtained from each party.
- b. The Landlord must receive the sign installer's and/or sign manufacturer's Certificate of Insurance and Business License.
- c. The Landlord must receive and approve the sign installer's and/or sign company's schedule for installation of signage.

### 4. Modifications

In the event Tenant/Occupant wishes to change its exterior sign anytime during the term of its lease, then Tenant/Occupant must comply with the requirements set forth herein and obtain written Landlord approval of drawings and all necessary permits before commencement of any existing sign modifications.

## SECTION B: GENERAL SPECIFICATIONS & REQUIREMENTS

1. All signs shall be reviewed for conformance with these guidelines and overall design quality. Approval or disapproval of sign submittals shall remain the right of the Landlord and/or the City of Rocklin.
2. All electrical signs will be fabricated by a U.L. approved sign vendor, according to U.L. specifications and shall bear the U.L. label to be visible at street level. All signs and their installation shall comply with local building and electrical codes. Per City of Rocklin, a sign permit issued by the city shall be obtained prior to sign installation.
3. All sign fabrication work shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Painted surfaces to be smooth and free of visible flaws and imperfections. Landlord reserves the right to reject any fabrication work deemed to be below standard.
4. Internal illumination to be specified as to type and installed and

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815

Tel 916.927.0527

Fax 916. 927.2414

[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:

**Whitney Ranch**  
Master Sign Program

Address:

State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

### U.L. Listed

Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

### Electrical Circuits

Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

### Copyright ©2022

All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

**2**

# Whitney Ranch | Tenant/Occupant Sign Criteria

labeled in accordance with UL specifications. All lighting must meet title 24 specifications. No exposed conduit will be allowed.

5. No cabinet signs shall be permitted except for logos and graphics.
6. Temporary banners eg. : "Grand Opening" may be allowed, but are subject to Landlord and City approval prior to installation. Temporary banners are to be removed no later than 30 days or sooner. Any time extensions will require Landlord and City approval.
7. Power for the Tenant/Occupant signage shall be provided by the House electrical panel to a junction box at all sign locations. Power hookup shall be the responsibility of the Tenant/Occupant.
8. Tenant/Occupant signs will be no larger than the specifications outlined in their criteria.
9. All signs are to comply with the square footage limitations. They should also be centered at the appropriate location on the elevation and to be balanced with the buildings as a whole. The appropriate location for all signage shall be coordinated with the Landlord.
10. No signs shall extend above the roofline.
11. Fasteners, anchors or other securing elements shall not be visible. All fasteners shall be resistant to corrosion.
12. Installation shall be weather-tight with appropriate use of flashings, sealants and other building materials, as may be required.
13. Tenant/Occupant shall perform installation and other work required herein at Tenant/Occupant's sole cost and expense.
14. No other signage except that described herein is permitted.
15. Tenant/Occupant will be responsible for patching and repairing (depending on inspection of damage by Landlord) of canopy to original condition upon removal of any signage installed by Tenant/Occupant.

## SECTION C: SIGNAGE

### SIGN AREA MEASUREMENT

Total Tenant/Occupant sign area to be calculated by creating rectangles to encapsulate similar sign graphic elements such as word groupings and logos, calculating the areas of those rectangular elements and adding those areas together. Please refer to section "**Tenant/Occupant Sign Area Calculation Method**" for additional specifications and example. Any exceptions or deviations to the standard method of calculation shall be subject to the review by the Landlord and the City of Rocklin.

### SIGN AREA ALLOTMENT

Total allowed signage for each Tenant/Occupant is based upon the lineal building frontages facing parking lot or street of each Tenant/Occupant's longest elevation at business entry(s).

#### Building Sign Allowances

Pad Buildings will be allowed 2 sq.ft. per 1' of building frontage up to a maximum of 100 sq.ft. per building for signage. Tenant buildings which exceed 100 lineal feet will be allowed an additional 1 sq.ft. sign area for each lineal foot of frontage exceeding 100 ft. Regardless of tenant building frontage, tenants will be allowed a minimum of no less than 16 sq.ft. for building signage. Overall size of tenant signs must not exceed 75% of the Tenant's building fascia height nor 75% of the Tenant's building fascia width or Tenant's leased space width

#### Fuel Tenant Kiosk Building & Fuel Canopy

Tenant fuel kiosk building will be allowed 2 sq.ft. per 1' of building frontage up to a maximum of 100 sq.ft. of signage. Additionally, a fuel canopy will be allowed 1 sq.ft. per 1' of building frontage up to a maximum of 100 sq.ft. of signage. Overall size of tenant signs must not exceed 75% of the Tenant's building fascia height (exception for fuel canopy signage) nor 75% of the Tenant's building fascia width or Tenant's leased space width. Fuel tenant will also be allowed (1) freestanding price-point sign (see below).

#### Freestanding Sign Allowances

Whitney Ranch retail property will provide:

(1) freestanding multi-tenant pylon sign not to exceed 70 ft. in height nor exceed 500 sq.ft. for tenant panel / project I.D. signage. Panels may be subdivided, depending on Tenant occupancy and lease agreements.

(3) freestanding multi-tenant medium monument signs not to exceed 15 ft. in height nor exceed 70 sq.ft. for tenant panel(s) / project I.D. signage. Panels may be subdivided, depending on Tenant occupancy and lease agreements.

Freestanding multi-tenant low profile monument signs not to exceed 6 ft. in height nor exceed 40 sq.ft. for tenant panel(s) signage. Panels may be subdivided, depending on Tenant occupancy and lease agreements (quantity T.B.D.).

(1) freestanding price point sign for Fuel Tenant not to exceed 8 ft. in height, nor exceed 60 sq. ft. for tenant panel sign area. Sign may contain electronic price-point panel elements and any other associated fuel branding or services.

Landlord reserves the right for tenant panel placement and leasing privileges associated with all freestanding signs.

### BUILDING SIGNS

All Tenant building signs must be illuminated letters/logos and may include non-illuminated secondary copy. Additionally, signs may be face and halo illuminated per construction and design guidelines listed below. Illuminated signs must conform to City of Rocklin building and electrical codes. Construction and installation of signs must be executed by licensed U.L. certified and bonded sign contractors only.

#### Tenant Sign Construction & Design Guidelines:

1. Pan channel letters and logos must be fabricated aluminum pan channel construction with interior illumination provided by LEDs. Faces can be translucent, decorated to Tenant's logo color specifications.
2. Returns to have painted or architectural brushed metal finishes. Painted finishes to have professional application with automotive quality paints.
3. LEDs to be sufficiently spaced to prevent uneven or light source segmentation of modules when viewed at night.
4. Logos and secondary capsule shaped cabinet may be face and/or halo illuminated. No exposed LED modules through face will be allowed.
5. All housing structures and electrical connections to be weatherproof and compliant with State, City and U.L. electrical standards and manufacturing / installation methodology.
6. If signs require raceways mounted to the face of the building structure, those raceways will be painted to match building fascia color and obscured as much as possible by pan channel letters.  
**NOTE: This construction method will require Landlord's permission as well as design approval prior to manufacturing or installation.**

#### Non-Illuminated Letters

Tenants may be allowed non-illuminated secondary letters if size restricts the letter characters from internal illumination. Non-Illuminated copy must be dimensional with a depth no less than 1/2".

#### TENANT PANELS ON FREESTANDING SIGNS

Landlord reserves the right for tenant sign placement on shared tenant freestanding signs according to tenant lease agreements, which includes location of sign(s), design, content and size. Tenant panels will be assigned to Tenants by Landlord who has final right as to tenant reconfiguration and tenant panel assignment.

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815

Tel 916.927.0527

Fax 916. 927.2414

[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

**3**

# Whitney Ranch | Tenant/Occupant Sign Criteria

## WINDOW SIGNS/GRAPHICS

1. Window graphics are permitted for sidelights, side windows and doors if they pertain to business name (on door), business hours or address numerals.
2. All other window graphics and signs require written approval of the Landlord. These graphics shall not exceed 10% of the window area unless a special written request is submitted and approved in writing from the Landlord.
3. Graphics should contain imagery or copy pertaining to business. Hand-painted, permanent signs may be acceptable, but design must be authorized and contractor's qualification may be subject to review by Landlord prior to execution.
4. Graphics that are perceived as abusive, inflammatory, or obscene by community standards are strictly prohibited, and are subject to immediate removal at Tenant/Occupant's expense.
5. All window graphics are subject to review and approval at Landlord's discretion. Violation of guidelines will require removal of window graphics at Tenant/Occupant's own expense.
6. Electric (neon) or L.E.D. "OPEN" signs are allowed but limited area of 2 Sqft. Sign area total.
7. Upon termination of lease, all window signs must be removed at Tenant/Occupant's expense and returned to original condition or will be charged at Tenant/Occupant's own expense to restore.

## DOOR GRAPHICS/HOURS/ADDRESS

1. All Tenant/Occupants should have business name/logo located on single door or right side of double doors (or both doors). Graphics are preferred to be White vinyl film applied first surface to glazing. Graphics must not exceed 20% of total door glazing area.
2. All Tenant/Occupants should have hours of operation clearly displayed either on door or sidelight glazing. Lettering should be White vinyl film applied first surface to glazing.
3. Graphics should contain imagery or copy pertaining to business and are subject to design review by Landlord.

## SECTION D: GENERAL CONDITIONS

1. The sign contractor shall be responsible for the fulfillment of all the requirements and specifications, completing the installation in a workman-like manner, and cleaning up, patching and painting any surfaces damaged by the installation to original building specifications.
2. All sign fabrication work shall be of excellent quality. All logo images and type styles shall be accurately reproduced. Lettering

that approximates typestyles shall not be acceptable. Landlord reserves the right to reject any fabrication work deemed to be below standard.

3. Signs must be made of durable rust-inhibited materials that are appropriate and complimentary to the building.
4. Finished surfaces of metal shall be free from oil canning and warping. All sign finishes shall be free of dust, ripples, weld marks, orange peel, drips and runs, and shall have uniform surfaces conforming to the highest standards of the industry.
5. All signage with light leaks will not be permitted and is subject to immediate repair or removal at Tenant's expense.

## SECTION E: PROHIBITED SIGNS & RESTRICTIONS

The following instances are provided as examples of prohibited signage applications and may not exhibit all possible conditions. Signs prohibited by Landlord that do not conform to the Master Sign Program are not limited to those set forth below.

1. Signs which move, swing, rotate, flash, blink, scintillate, fluctuate or have animated light areas.
2. Off-Premises signage.
3. "A" frame signs are not permitted under any conditions.
4. Signs using exposed fastenings.
5. Paper, cardboard, cloth, form core, gatorboard, inflatable or styrofoam signs, stickers or decals, painted lettering or decals hung on or behind storefronts.
6. Flying signs such as blimps or kites designed to be kept aloft by mechanical, chemical or hot air means.
7. No Tenant shall exhibit, post or display anything obscene, indecent or immoral nature or unlawful, as determined in the sole discretion of Landlord.
8. No sign shall be installed, or located so as to prevent free ingress to or egress from any door.
9. Signs displaying pricing of any kind.
10. Temporary signs of any nature used or installed without Landlord's approval in writing, and in accordance with City regulations.
11. Unprofessional hand-lettered sign in public view from the storefront are prohibited.

12. Any sign type that is not in conformance with their criteria.
13. No simulated materials (i.e., wood grained plastic laminates) or wall coverings.
14. Excessively bright or garish signs

## SECTION F: MAINTENANCE

1. Tenant/Occupant shall maintain their sign in good working order to include replacement of damaged or burned out LED lighting at Tenant/Occupant's sole cost and expense. In the event Landlord notifies Tenant/Occupant of an existing defect and Tenant/Occupant fails to repair defect within thirty (30) days after notification, Landlord reserves the right to execute repairs at Tenant's expense. Tenant/Occupant hereby agrees to reimburse Landlord for the cost of any such repairs within thirty (30) days after the receipt of an invoice setting forth those costs incurred by Landlord, plus an overhead charge of 10% minimum plus any damages if incurred.
2. Upon termination or expiration of the lease, Tenant/Occupant hereby agrees to remove their sign and repair any holes or damage to the fascia and restore the fascia to its original condition at Tenant/Occupant's cost and expense to Landlord's sole satisfaction within fourteen (14) days of expiration of term or early termination of Tenant/Occupant's lease. If Tenant/Occupant does not repair the wall surface to Landlord's sole satisfaction, then Landlord reserves the right to perform the repairs at Tenant/Occupant's expense.
3. Landlord reserves the right to periodically hire an independent electrical engineer at Tenant/Occupant's sole expense, to inspect the installation of all Tenant/Occupant's signs. Tenant/Occupant will be required to have any discrepancies and/or code violations corrected at Tenant/Occupant's expense. Landlord may correct any code violations, requests for sign removals, or discrepancies not corrected within fourteen (14) days of notice, at Tenant/Occupant's sole expense, including an overhead charge of 10%.
4. Contractors installing signs are to be U.L. certified, insured and licensed by the State of California and are to have a current City business license.

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815

Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account  
Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

**4**

# Whitney Ranch | Tenant/Occupant Sign Area Calculation Methods



2939 Academy Way  
 Sacramento, California 95815  
 Tel 916.927.0527  
 Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
 Master Sign Program

Address:  
 State Hwy. 65 @  
 Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
 Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
 Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
 All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.



## Sign Area Calculation Method

### Sign Configurations

All signs to be pan channel construction. Rectangular cabinet signs will not be allowed unless it is part of a logo design, but still must conform to pan channel construction.

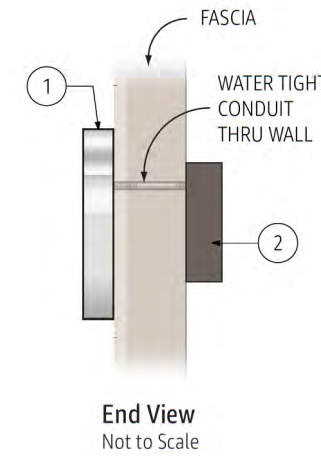
Sign may consist of logo or letters or a combination of both. A secondary line of copy may be permitted only if copy is describing services provided by tenant or description of business. Secondary copy can be no larger than 75% of vertical height of main copy. Secondary copy may be contained within a shaped, capsule pan channel cabinet, with the condition it is part of the Tenant logo design. Secondary letters may be non-illuminated, but should be dimensional.

### Height & Sign Area Calculations / Limitations

Maximum sign height for signs not to exceed 75% of fascia height and not to exceed 75% of tenant's horizontal open fascia area. Tenant name may be stacked if necessary, however secondary descriptive copy (if applicable) shall not exceed 75% height of main copy.

Sign area is determined by boxing individual copy lines and logo elements, then calculating those boxed areas in square feet (see illustration). The sum of those areas will then be added together to determine total sign area.

# Whitney Ranch | Accepted Tenant Sign Configurations



## Material Schedule

### 1 Letters / Logo

FACE LIT: Letters to be fabricated aluminum pan channel construction method only. Faces to be acrylic with or without vinyl film overlays. Trimcap to be painted to match letter return color. Letters to be internally illuminated with LEDs.

Power supplies to be located inside hidden raceway. Letter construction methods to comply with U.L. Electrical and local/state code standards.

### 2 Raceway (Hidden)

Fabricated aluminum construction with painted finish. Raceway to house all electrical jumps and transformer / low power supply units. Construction methods to comply with U.L. electrical standards.

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

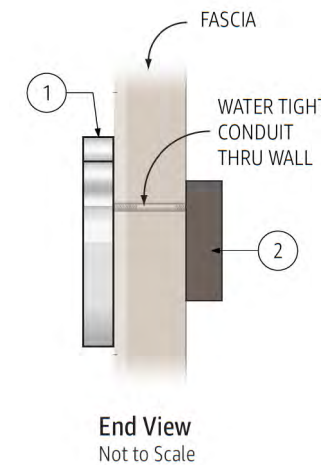
Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

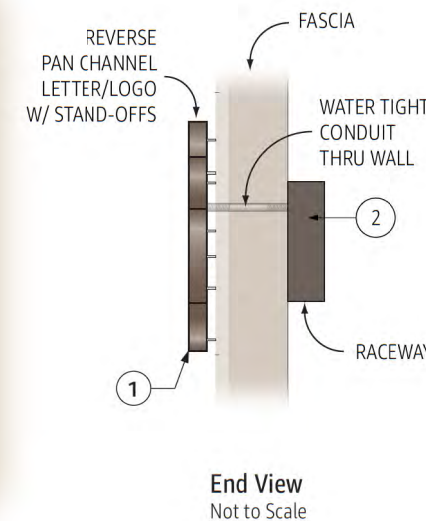
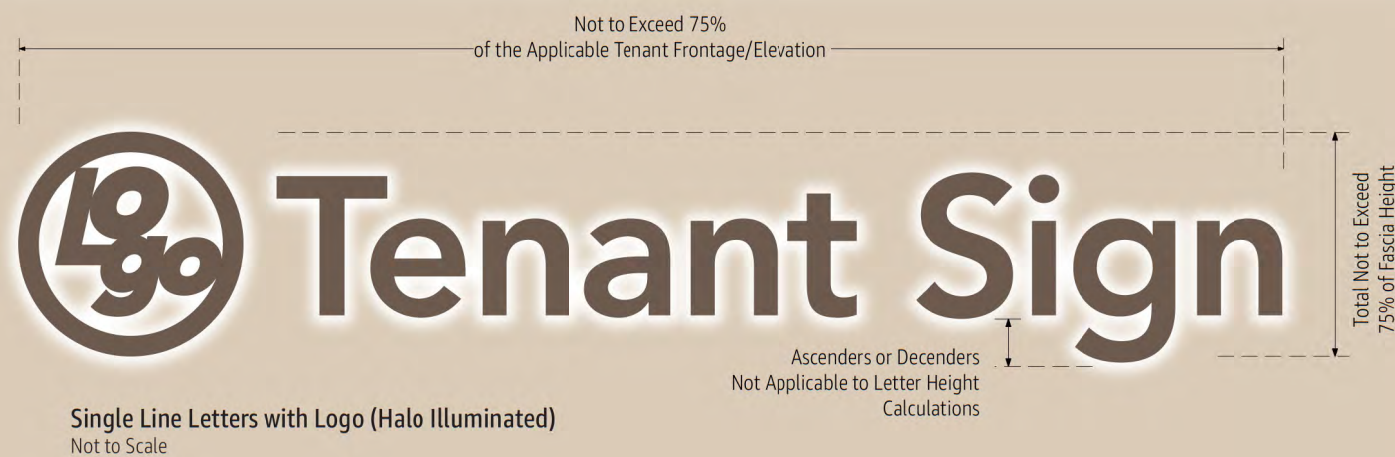
**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **6.1**



### NOTE:

All sign content, design and color scheme are subject to written approval from landlord. Tenants must submit color renderings with complete construction details and material specifications to landlord prior to securing permits from city for approval. Any sign manufactured and installed without landlord approval is subject to removal at tenants' expense.



### 1 Halo Illuminated Pan Channel Letters / Logo

Letters to be fabricated aluminum, reverse pan channel construction. Aluminum faces and returns to have painted or anodized finishes. Backs to be Clear Lexan with min. 1-1/2" stand-offs. Letters / logo to be internally illuminated with either LEDs or neon.

Power supplies / transformers to be located inside hidden raceway. Letter / logo construction methods to comply with U.L. Electrical and local/state building code standards.

### 2 Raceway (Hidden)

Fabricated aluminum construction with painted finish. Raceway to house all electrical jumps and transformer / power supply units. Construction methods to comply with U.L. electrical standards.



2939 Academy Way  
 Sacramento, California 95815  
 Tel 916.927.0527  
 Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
 Master Sign Program

Address:  
 State Hwy. 65 @  
 Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
 Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
 Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

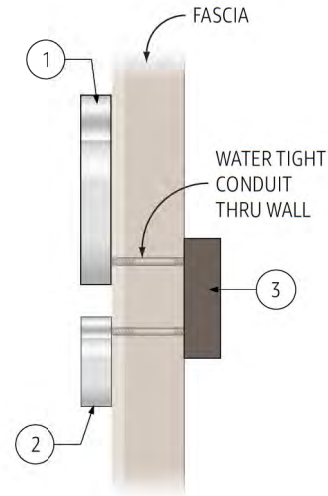
**Copyright ©2022**  
 All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.



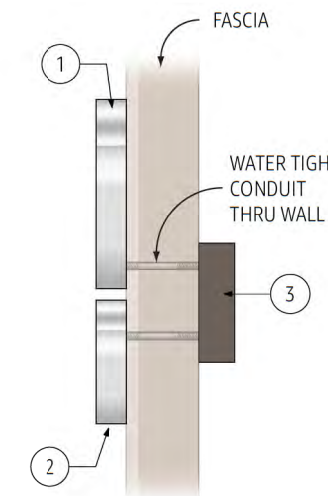
Single Line Letters with Shaped Cabinet Sign for Secondary Copy  
 Not to Scale



Single Line Letters With Secondary Copy  
 Not to Scale



End View  
 Not to Scale



End View  
 Not to Scale

**Material Schedule**

1 Letters / Logo

FACE LIT: Letters to be fabricated aluminum pan channel construction method only. Faces to be acrylic with or without vinyl film overlays. Trimcap to be painted to match letter return color. Letters to be internally illuminated with LEDs.

Power supplies to be located inside hidden raceway. Letter construction methods to comply with U.L. Electrical and local/state code standards.

2 Secondary Copy / Shaped Logo Cabinet

Letters/cabinet can either be illuminated pan channel construction (see above for specifications) or non-illuminated dimensional. If non-illuminated, copy must be no less than 1/2" deep with finished and painted returns. Secondary copy may be contained within a shaped logo cabinet and may be either illuminated or non-illuminated dimensional).

3 Raceway (Hidden)

Fabricated aluminum construction with painted finish. Raceway to house all electrical jumps and transformer / low power supply units. Construction methods to comply with U.L. electrical standards.

**NOTE:**

All sign content, design and color scheme are subject to written approval from landlord. Tenants must submit color renderings with complete construction details and material specifications to landlord prior to securing permits from city for approval. Any sign manufactured and installed without landlord approval is subject to removal at tenants' expense.



Illuminated Pan Channel Letters/Logo with F.C.O. Offset Outline Backer Panel

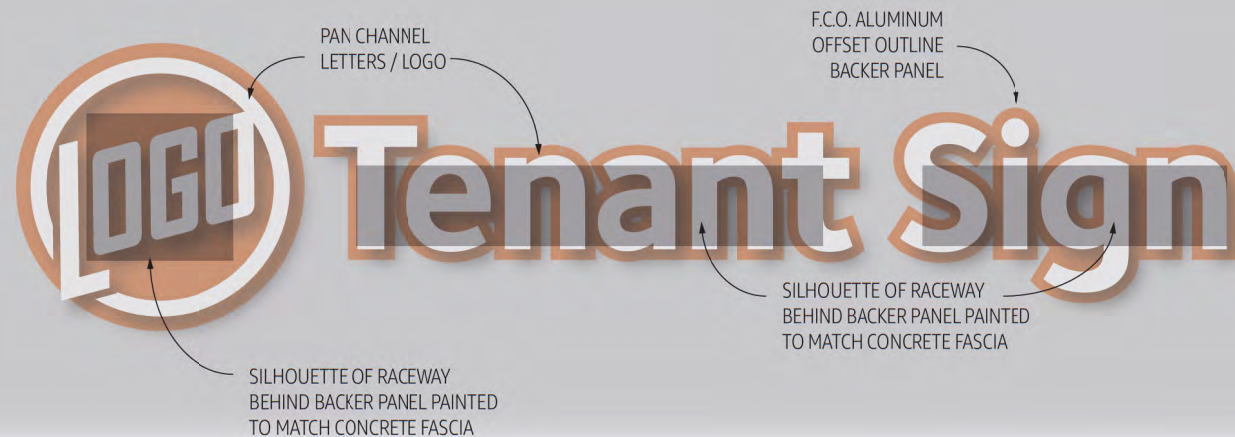
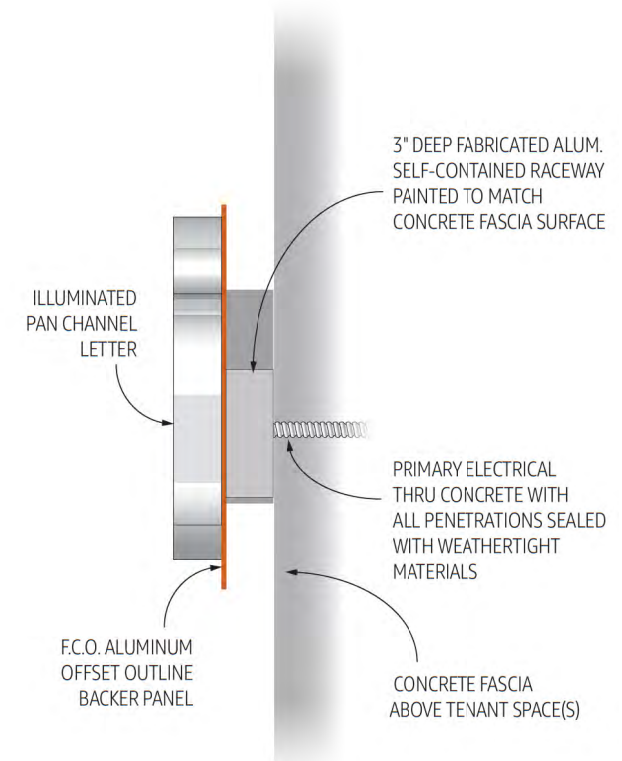


Illustration of Raceway Locations Behind Letters / Logo (Ghosted for Clarity of Position)

**NOTE:**  
NO ELECTRICAL BRIDGING BETWEEN RACEWAYS ARE ALLOWED ON CONCRETE FAÇADES. EACH RACEWAY TO HAVE SEPARATE ELECTRICAL FEEDS THRU CONCRETE STRUCTURE. ELECTRICAL FEEDS TO BE LOCATED ABOVE ROOF LINE. ALL FEEDS BEHIND PARAPET WALL & INTO ROOF MEMBRANE TO BE WEATHER SEALED.



End View

**NOTE:**  
SIGNS TO BE CONSTRUCTED & INSTALLED BY LICENCED/BONDED SIGN CONTRACTOR ONLY. ALL SIGNS TO BE CERTIFIED U.L. COMPLIANT & BEAR VISIBLE APPROPRIATE LABELING AS SUCH.



2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

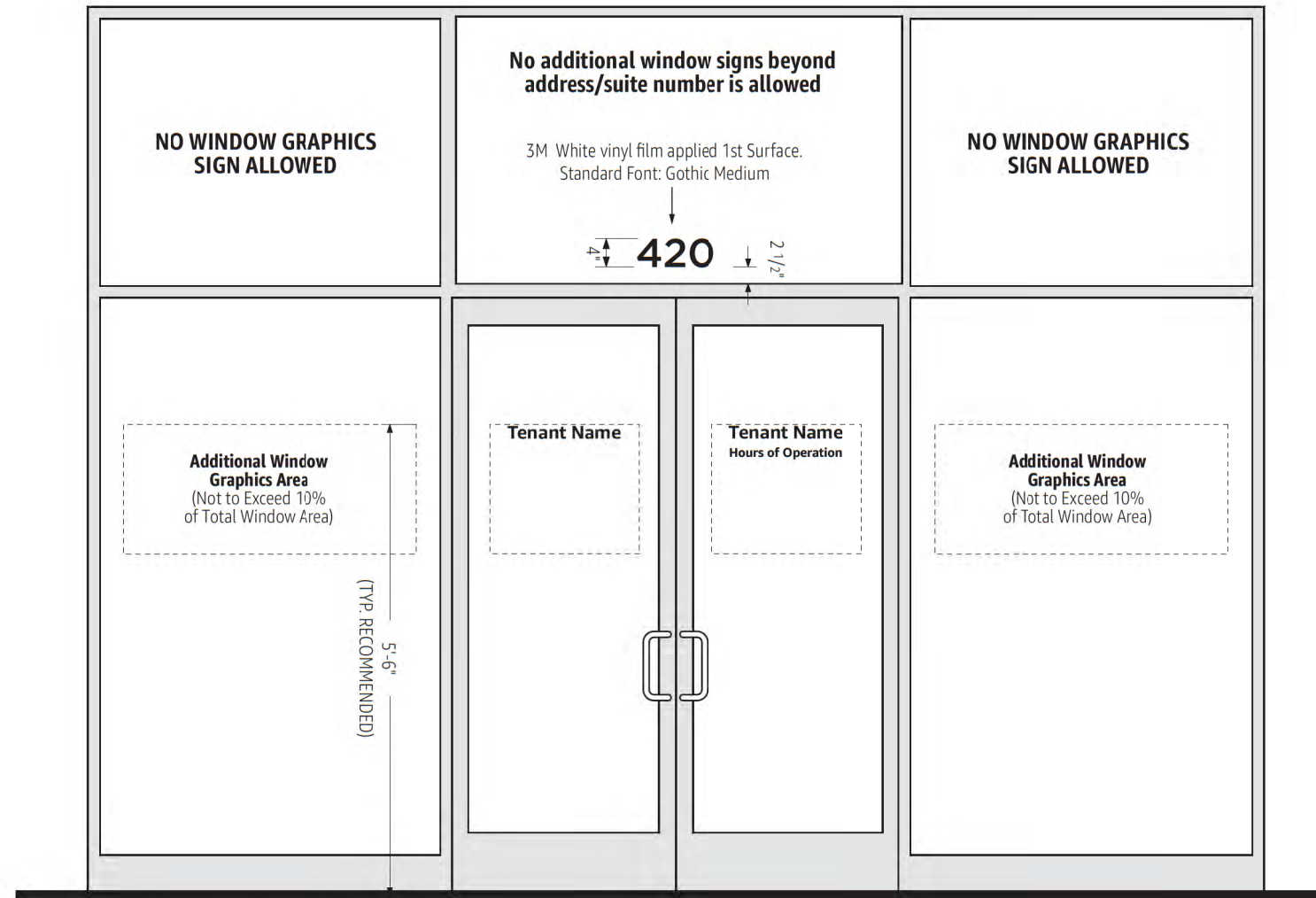
Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

# Whitney Ranch | Typical Door & Window Graphics Guidelines



Door & Window Graphics Guidelines

Scale 1/2"=1'-0"

## TENANT DOOR & WINDOW GRAPHICS

1. Door graphics are limited to tenant name, logo, hours of operation or graphics related to business identity.
2. Window graphics must not exceed 10% of the glazed area of the individual window panes.
3. All tenants are required to have address numerals applied in transom area, over entrance doors as shown. Address numerals shall be 4" copy, centered over entrance door(s).
4. All tenants are required to have hours of operation as part of their window graphics package and should be located either on entrance door or adjacent sidelight window. Hours should be displayed at an appropriate height and visibility.

5. Graphics/copy on doors, address numerals and hours of operation shall be white vinyl film.
6. No limitation on design or color for secondary graphics located on sidelight window(s) provided that window graphics relate to tenant business or services.
7. Paper, hand painted holiday signs or temporary signs are strictly prohibited.
8. No graphics of any kind are allowed on the upper windows and door transom (except address numerals).
9. Graphics that are perceived as abusive, inflammatory or obscene by community standards are strictly prohibited and are subject to immediate removal at tenant's expense.
10. No block-out film to obscure or hide occupying tenant space will be allowed.

11. All window graphics are subject to review and approval at Landlord's discretion. Violation of guidelines will require removal of window graphics at tenant's own expense.
12. Upon termination of lease, all window signs must be removed at tenant's expense. Glazing must be returned to original condition. If glazing cannot be returned to original condition, tenant is required to provide replacement at tenant's own expense.

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

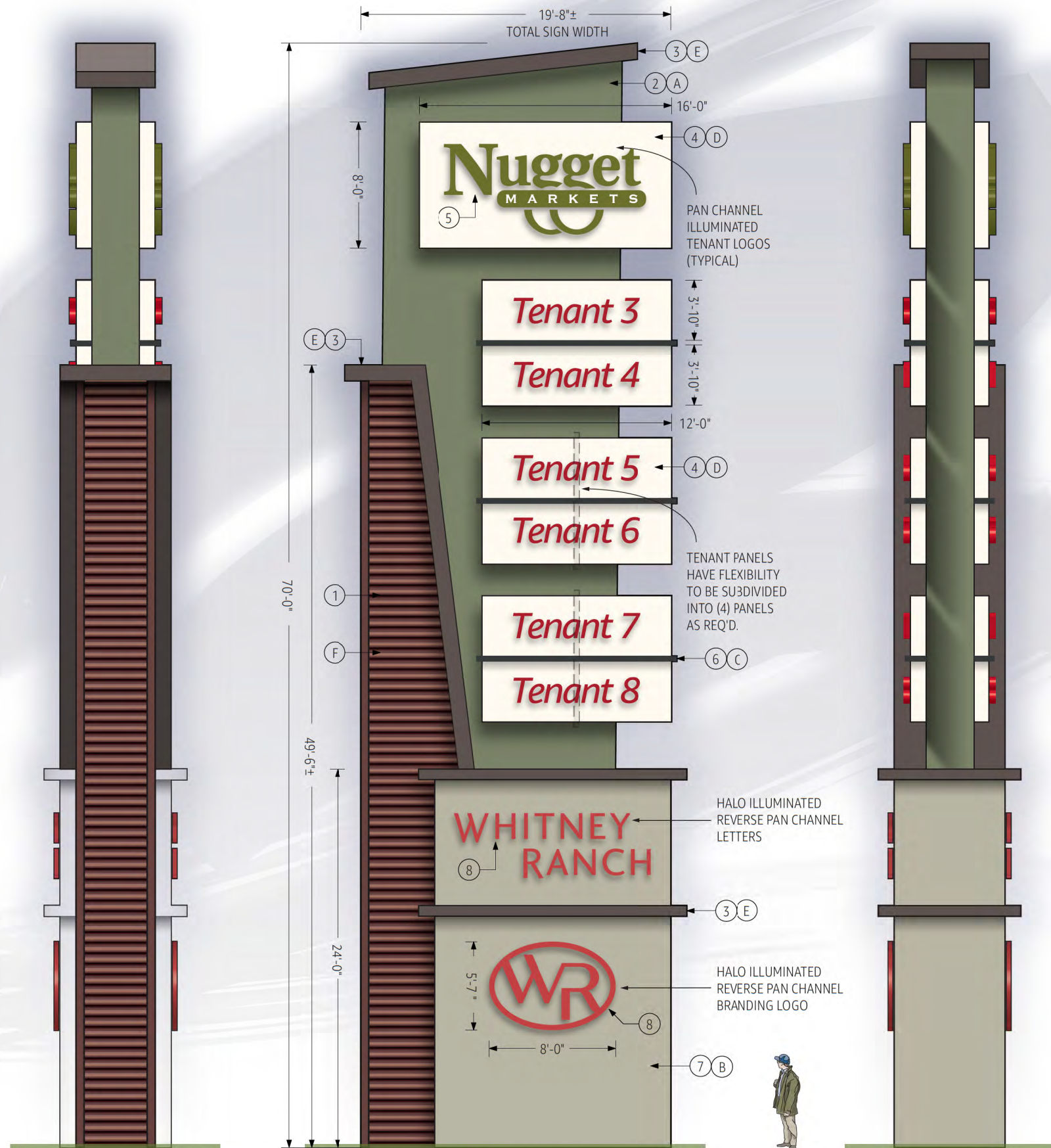
**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

**7**



# Whitney Ranch | D/F Illuminated Pylon Sign **A**



**A** End View (Parking Lot Side)  
Scale 1/8" = 1'-0"

**A** D/F Pylon Sign  
Scale 1/8" = 1'-0"

**A** End View (Street Side)  
Scale 1/8" = 1'-0"

## Material Schedule

- 1 **Architectural Spine**  
AEP span "Natural Rust" corrugated siding with matching corner caps.
- 2 **Main Vertical Cabinet**  
Fabricated aluminum, with texcoted and painted finish (see color schedule) on all exposed surfaces.
- 3 **Cornice & Roof Elements**  
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces.
- 4 **Tenant Panel Cabinets**  
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces.
- 5 **Tenant Graphics**  
All tenant graphics to be fabricated aluminum, pan channel cabinet construction. Faces to be acrylic, either colored or with 3M color vinyl film overlays. Returns and trimcap to be painted or prepainted. All graphic cabinets to be internally illuminated with low voltage LED modules with power supplies located within tenant panel cabinet structure.
- 6 **Tenant Panel Divider Bars**  
4" sq. tube aluminum plant-ons to be painted with flat finish (see color schedule).
- 7 **Base**  
Fabricated aluminum, with texcoted and painted finish (see color schedule) on all exposed surfaces.
- 8 **Identity Copy & Logo**  
Fabricated aluminum, reverse pan channel construction. Cabinets to be pegged off of base background with 1 1/2" tube spacers. Backs to be clear acrylic. Cabinets to be halo illuminated with internal low voltage White LED modules. Power supplies to be located within base cabinet structure. Faces and returns to be painted Red (color TBD), with flat finish.

## Color Schedule

<b>(A)</b>	<b>(B)</b>	<b>(C)</b>
AEP Span Sage Green (match)	DE6242 Wells Gray	SW 6994 Greenblack
<b>(D)</b>	<b>(E)</b>	<b>(F)</b>
DEW340 Whisper	DE6391 Black Russian	AEP Span Natural Rust



2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

# Whitney Ranch | D/F Illuminated Large Monument Sign **B**

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

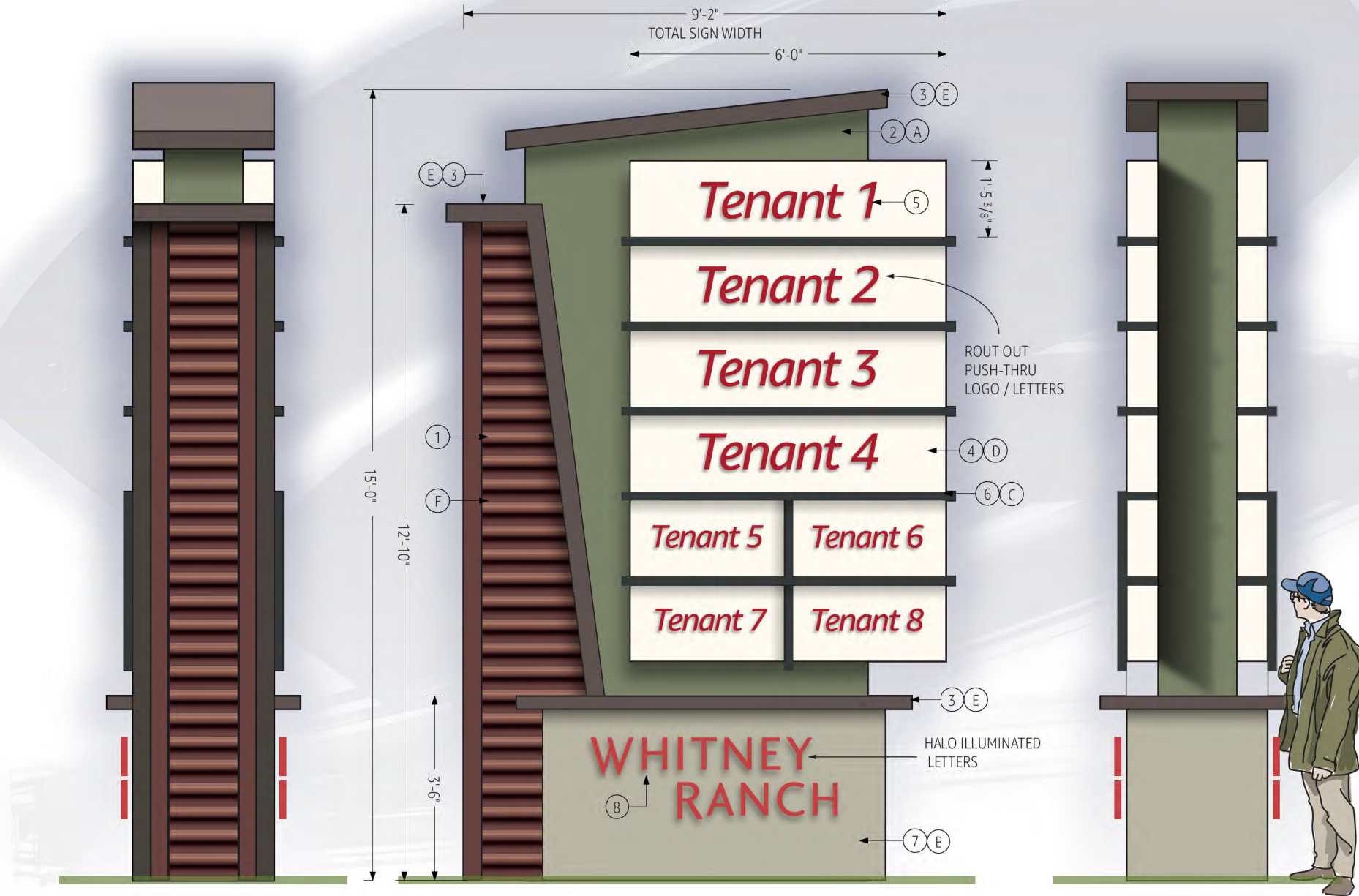
**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

## Material Schedule

- 1 **Architectural Spine**  
AEP span "Natural Rust" corrugated siding with matching corner caps.
- 2 **Main Vertical Cabinet**  
Fabricated aluminum, with textcoated and painted finish (see color schedule) on all exposed surfaces.
- 3 **Cornice & Roof Elements**  
Fabricated aluminum, with light (sand) textcoated and painted finish (see color schedule) on all exposed surfaces.
- 4 **Tenant Panel Cabinets**  
Fabricated aluminum, with light (sand) textcoated and painted finish (see color schedule) on all exposed surfaces. Tenant graphics to be routed out of face. Cabinets to be internally illuminated with White LED modules and low voltage power supplies.
- 5 **Tenant Graphics**  
All tenant graphics to be routed out, push-thru clear acrylic with 3M Translucent White vinyl film applied to face and 3M Translucent color vinyl film overlays per Tenant logo specifications.
- 6 **Tenant Panel Divider Bars**  
2" sq. tube aluminum plant-ons to be painted with flat finish (see color schedule).
- 7 **Base**  
Fabricated aluminum, with textcoated and painted finish (see color schedule) on all exposed surfaces.
- 8 **Identity Copy**  
Fabricated aluminum, reverse pan channel construction. Cabinets to be pegged off of base background with 1 1/2" tube spacers. Backs to be clear acrylic. Cabinets to be halo illuminated with internal low voltage White LED modules. Power supplies to be located within base cabinet structure. Faces and returns to be painted Red (color TBD), with flat finish.

## Color Schedule

<b>AEP Span Sage Green (match)</b>	<b>DE6242 Wells Gray</b>	<b>SW 6994 Greenblack</b>
<b>DEW340 Whisper</b>	<b>DE6391 Black Russian</b>	<b>AEP Span Natural Rust</b>



**B** End View (Parking Lot Side)  
Scale 3/8" = 1'-0"

**B** D/F Large Monument Sign  
Scale 3/8" = 1'-0"

**B** End View (Street Side)  
Scale 3/8" = 1'-0"

Sheet No.

**8.2**

# Whitney Ranch | D/F Illuminated Low Profile Monument Sign C

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

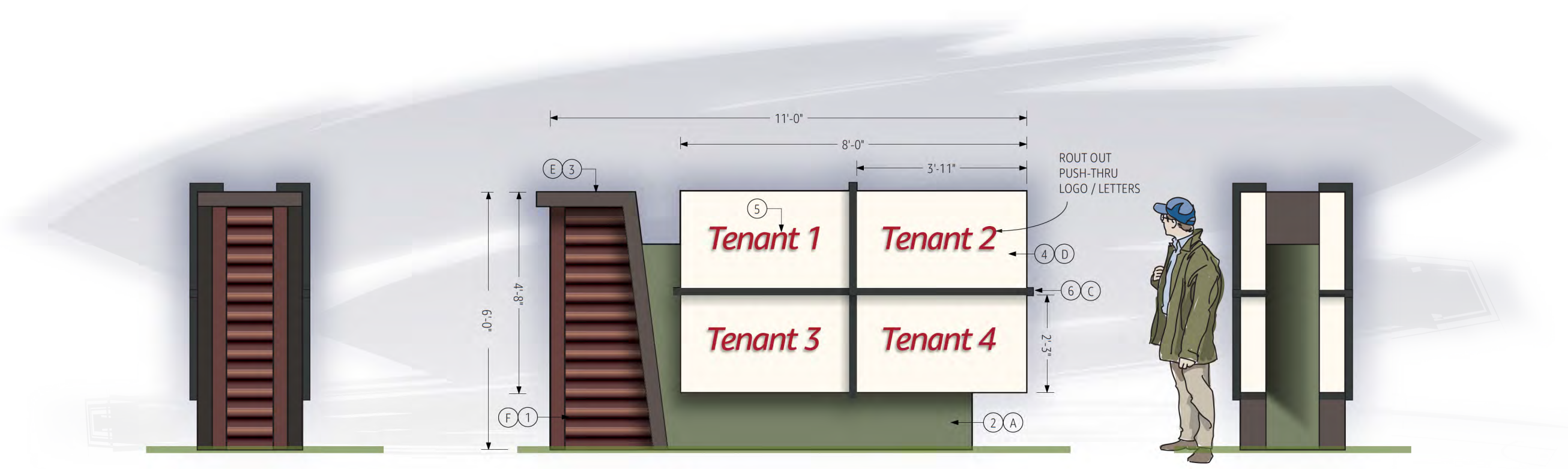
Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **8.3**



C End View (Parking Lot Side)  
Scale 3/8" = 1'-0"

C D/F Small Monument Sign  
Scale 3/8" = 1'-0"

C End View (Street Side)  
Scale 3/8" = 1'-0"

## Material Schedule

- 1 **Architectural Spine**  
AEP span "Natural Rust" corrugated siding with matching corner caps.
  - 2 **Main Vertical Cabinet**  
Fabricated aluminum, with texcoted and painted finish (see color schedule) on all exposed surfaces.
  - 3 **Cornice**  
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces.
  - 4 **Tenant Panel Cabinets**  
Fabricated aluminum, with light (sand) texcoted and painted finish (see color schedule) on all exposed surfaces. Tenant graphics to be routed out of face.
  - 5 **Tenant Graphics**  
All tenant graphics to be routed out, push-thru clear acrylic with 3M Translucent White vinyl film applied to face and 3M Translucent color vinyl film overlays per Tenant logo specifications.
  - 6 **Tenant Panel Divider Bars**  
2" sq. tube aluminum plant-ons to be painted with flat finish (see color schedule).
- Cabinets to be internally illuminated with White LED modules and low voltage power supplies.

## Color Schedule

A	B	C
AEP Span Sage Green (match)	DE6242 Wells Gray	SW 6994 Greenblack
D	E	F
DEW340 Whisper	DE6391 Black Russian	AEP Span Natural Rust

Sheet No. **8.3**

# Whitney Ranch | D/F Illuminated Price Point Fuel Monument Sign D

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

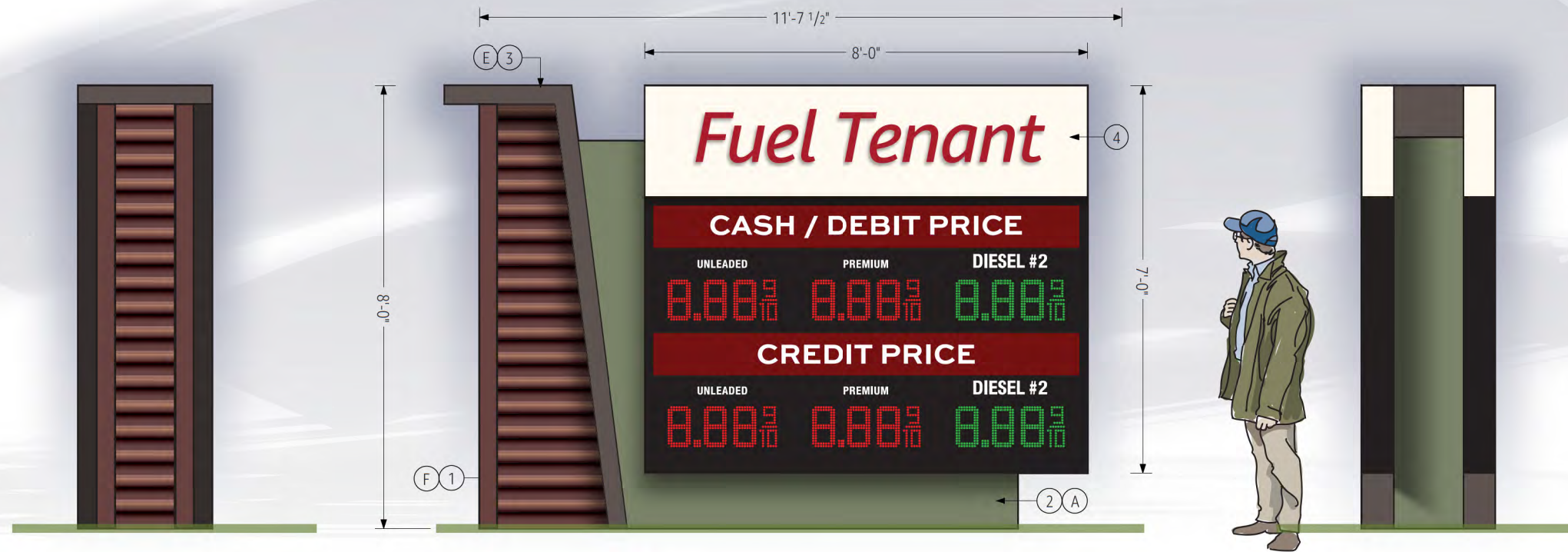
Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **8.4**



D End View (Parking Lot Side)  
Scale 3/8" = 1'-0"

D D/F Price Point Fuel Monument Sign  
Scale 3/8" = 1'-0"

D End View (Street Side)  
Scale 3/8" = 1'-0"

**NOTE:**  
ILLUSTRATION AS SHOWN IS FOR GENERAL DESIGN DIRECTION & REPRESENTATION OF CONFORMING ARCHITECTURAL THEME ONLY. ACTUAL FINAL DESIGN AND LAYOUT PER TENANT CORPORATE SIGN STANDARDS & DESIGN.

## Material Schedule

- ① **Architectural Spine**  
AEP span "Natural Rus:" corrugated siding with matching corner caps.
- ② **Main Vertical Cabinet**  
Fabricated aluminum, with texcot and painted finish (see color schedule) on all exposed surfaces.
- ③ **Comice**  
Fabricated aluminum, with light (sand) texcot and painted finish (see color schedule) on all exposed surfaces.
- ④ **Tenant Price Point: Cabinets**  
Fabricated aluminum construction. All exposed aluminum surfaces to have painted finishes. Cabinet to be internally illuminated with LED modules and low voltage power supplies. All pricing graphics to be programmable LEDs only. All graphics and construction details must be approved by Landlord and City before construction / installation.

## Color Schedule

<span style="border: 1px solid black; border-radius: 50%; padding: 2px;">A</span>	<span style="border: 1px solid black; border-radius: 50%; padding: 2px;">B</span>	<span style="border: 1px solid black; border-radius: 50%; padding: 2px;">C</span>
AEP Span Sage Green (match)	DE6242 Wells Gray	SW 6994 Greenblack
<span style="border: 1px solid black; border-radius: 50%; padding: 2px;">D</span>	<span style="border: 1px solid black; border-radius: 50%; padding: 2px;">E</span>	<span style="border: 1px solid black; border-radius: 50%; padding: 2px;">F</span>
DEW340 Whisper	DE6391 Black Russian	AEP Span Natural Rust

# Whitney Ranch | Typical Building Elevations | Pad 2A Example

NOTE:  
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.  
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 2A | North Elevation - Scale: 1" = 30'-0"



Pad 2A | West Elevation - Scale: 1" = 30'-0"



Pad 2A | South Elevation - Scale: 1" = 30'-0"



Pad 2A | East Elevation - Scale: 1" = 30'-0"

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.1**

# Whitney Ranch | Typical Building Elevations | Pad 2B Example

NOTE:  
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.  
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 2B | East Elevation - Scale: 1/16" = 1'-0"



Pad 2B | North Elevation - Scale: 1/16" = 1'-0"



Pad 2B | South Elevation - Scale: 1/16" = 1'-0"



Pad 2B | West Elevation - Scale: 1/16" = 1'-0"

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.2**

# Whitney Ranch | Typical Building Elevations | Pad 2C Example

NOTE:  
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.  
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 2C | West Elevation - Scale: 1" = 20'-0"



Pad 2C | North Elevation - Scale: 1" = 20'-0"



Pad 2C | South Elevation - Scale: 1" = 20'-0"



Pad 2C | East Elevation - Scale: 1" = 20'-0"



2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

# Whitney Ranch | Typical Building Elevations | Pad 2D Example

NOTE:  
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.  
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 2D | West Elevation - Scale: 1/16" = 1'-0"



Pad 2D | North Elevation - Scale: 1/16" = 1'-0"



Pad 2D | South Elevation - Scale: 1/16" = 1'-0"



Pad 2D | East Elevation - Scale: 1/16" = 1'-0"



2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.



# Whitney Ranch | Typical Building Elevations | Pad 2E Example

NOTE:  
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.  
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 2E | East Elevation - Scale: 1/16" = 1'-0"



Pad 2E | South Elevation - Scale: 1/16" = 1'-0"



Pad 2E | North Elevation - Scale: 1/16" = 1'-0"



Pad 2E | Wests Elevation - Scale: 1/16" = 1'-0"

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.5**

# Whitney Ranch | Typical Building Elevations | Pad 2F Example

NOTE:  
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.  
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



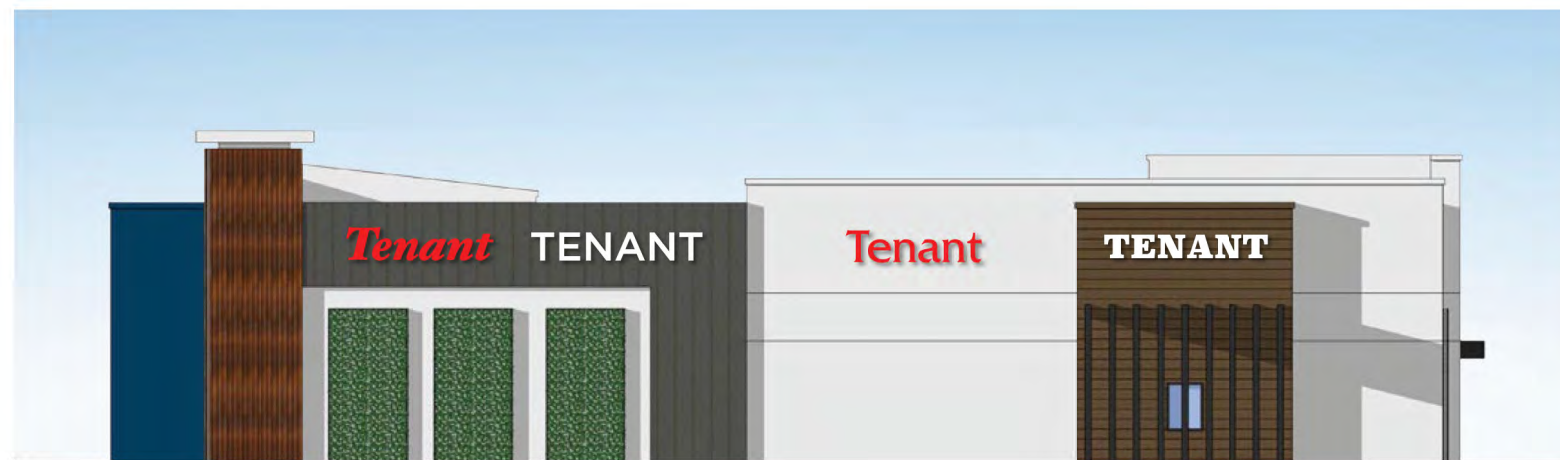
Pad 2F | West Elevation - Scale: 1/16" = 1'-0"



Pad 2F | North Elevation - Scale: 1/16" = 1'-0"



Pad 2F | South Elevation - Scale: 1/16" = 1'-0"



Pad 2F | East Elevation - Scale: 1/16" = 1'-0"

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.6**

# Whitney Ranch | Typical Building Elevations | Pad 3A | Fuel Tenant | Building & Pump Canopy Example

NOTE:  
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.  
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



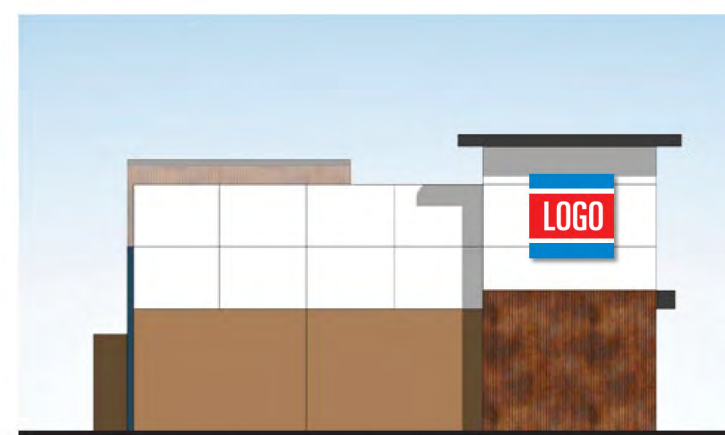
Pad 3A | East Elevation - Scale: 1/16" =1'-0"



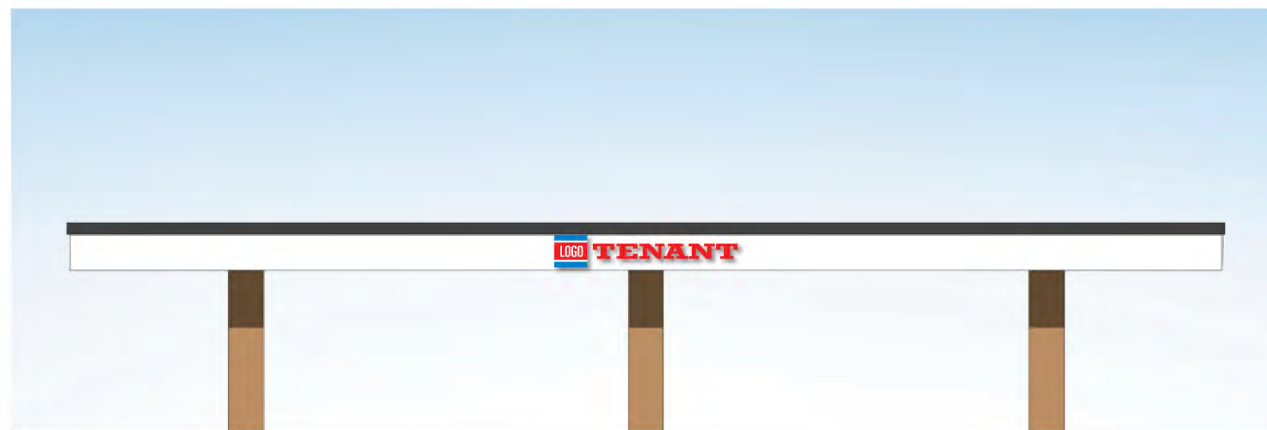
Pad 3A | North Elevation - Scale: 1/16" =1'-0"



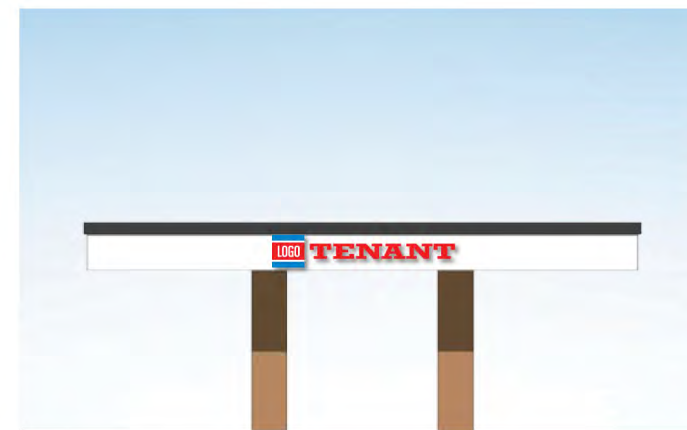
Pad 3A | West Elevation - Scale: 1/16" =1'-0"



Pad 3A | South Elevation - Scale: 1/16" =1'-0"



Pad 3A | Canopy | East Elevation - Scale: 1/16" =1'-0'



Pad 3A | Canopy | South Elevation - Scale: 1/16" =1'-0'

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

**9.7**

# Whitney Ranch | Typical Building Elevations | Pad 3B Example

NOTE:  
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.  
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 3B | East Elevation - Scale: 1/16" = 1'-0"



Pad 3B | North Elevation - Scale: 1/16" = 1'-0"



Pad 3B | South Elevation - Scale: 1/16" = 1'-0"



Pad 3B | West Elevation - Scale: 1/16" = 1'-0"

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

**9.8**

# Whitney Ranch | Typical Building Elevations | Pad 3C Example

NOTE:  
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.  
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 3C | North Elevation - Scale: 1/16" = 1'-0"



Pad 3C | West Elevation - Scale: 1/16" = 1'-0"



Pad 3C | East Elevation - Scale: 1/16" = 1'-0"



Pad 3C | South Elevation - Scale: 1/16" = 1'-0"

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account  
Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

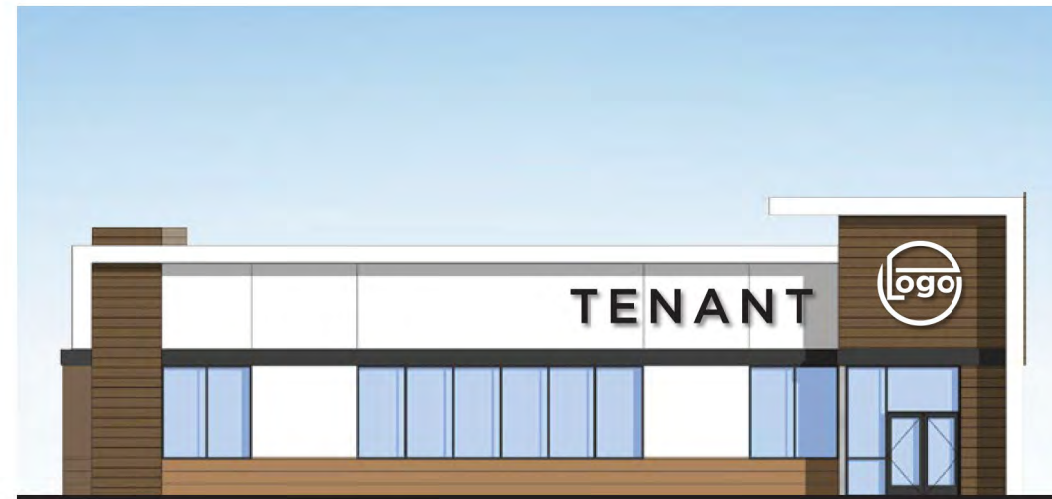
**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.9**

# Whitney Ranch | Typical Building Elevations | Pad 3D Example

NOTE:  
ALL SIGNAGE SHOWN IS FOR DEMONSTRATION PURPOSES.  
FINAL SIZING AND LOCATIONS TO BE DETERMINED.



Pad 3D | South Elevation - Scale: 1/16" = 1'-0"



Pad 3D | East Elevation - Scale: 1/16" = 1'-0"



Pad 3D | West Elevation - Scale: 1/16" = 1'-0"



Pad 3D | North Elevation - Scale: 1/16" = 1'-0"

**PACIFIC  
NEON**

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**

Date: **3.5.23**

Revision:

Customer Approval:

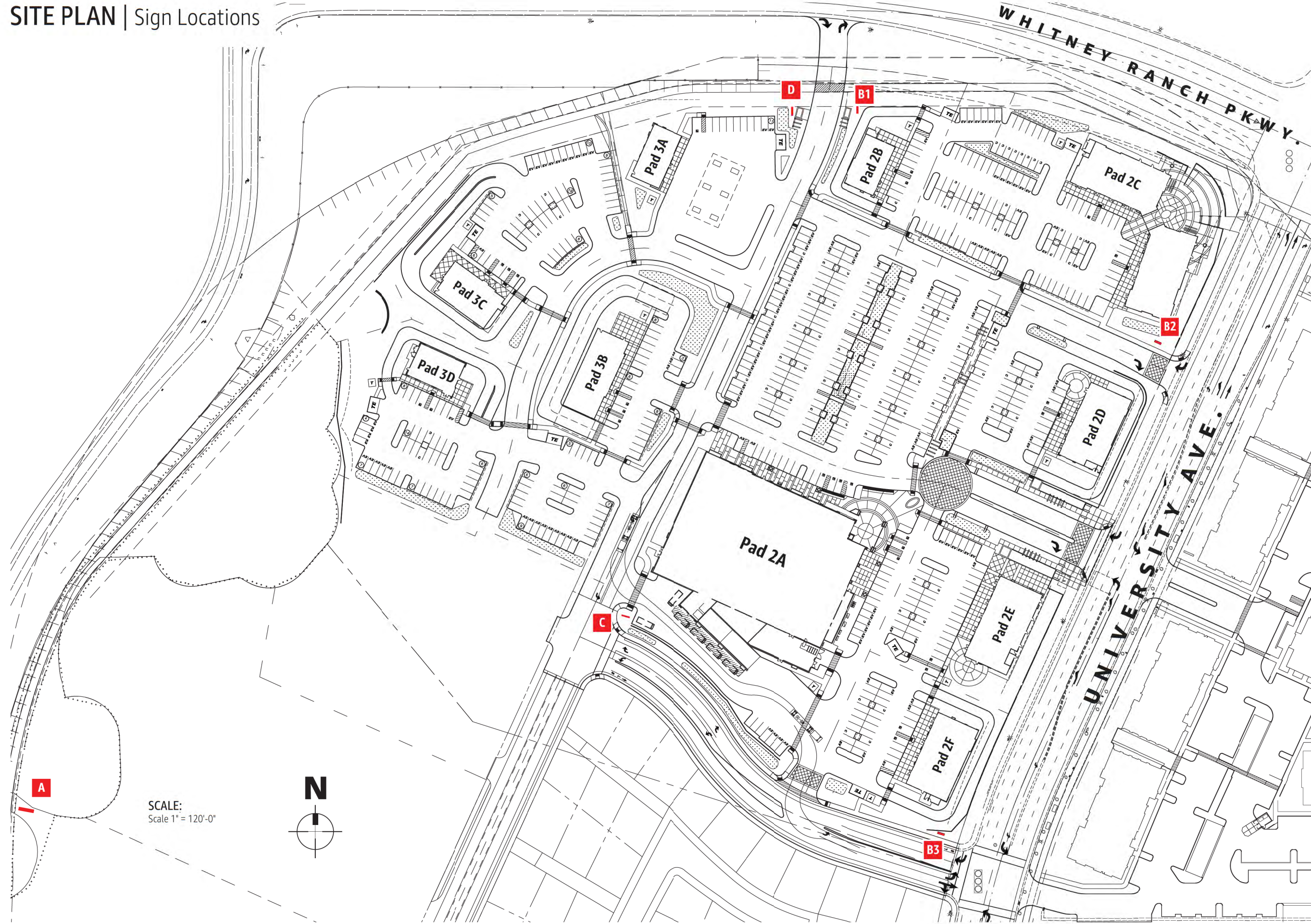
**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No. **9.10**

# SITE PLAN | Sign Locations



# PACIFIC NEON

2939 Academy Way  
Sacramento, California 95815  
Tel 916.927.0527  
Fax 916. 927.2414  
[www.pacificneon.com](http://www.pacificneon.com)

Project No: **22-0854-03**

Account Executive: **Ralph Cundiff**

Project:  
**Whitney Ranch**  
Master Sign Program

Address:  
State Hwy. 65 @  
Whitney Ranch Pkwy Rocklin, CA

Drawn By: **William Dickson**  
Date: **3.5.23**  
Revision: **4.24.23**

Customer Approval:

**U.L. Listed**  
Signs to be manufactured to U.L. Specifications and will bear the U.L. Label(s). The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**Electrical Circuits**  
Customer to provide primary dedicated electrical circuit(s) with a separate ground to the electrical panel. **L.E.D. Electronics** to have a separate dedicated 120V complete circuit (No shared neutral). Common ground to electrical panel acceptable.

**Copyright ©2022**  
All print and electronic art remains the sole, copyrighted property of Pacific Neon Company and are not to be distributed, copied, e-mailed or transferred in any way without prior written release from Pacific Neon Company.

Sheet No.

# 11