

ORDINANCE NO. 691

**ORDINANCE OF THE CITY COUNCIL
OF THE CITY OF ROCKLIN
APPROVING A REZONING
FROM C-1/D.R. (Neighborhood Commercial/Design Review Combining Zone)
TO C-2/D.R. (Retail Business Commercial/Design Review Combining Zone)
FOR CERTAIN PROPERTIES LOCATED AT THE CORNER OF
SUNSET BOULEVARD AND WHITNEY BOULEVARD
(Z-92-03)**

The City Council the City of Rocklin does ordain as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

- A. A negative declaration of environmental impacts for this project has been certified.
- B. The proposed zoning is consistent with the City of Rocklin's General Plan land use element which designates the site as Business Professional and Retail Commercial.
- C. The proposed zoning is consistent with and implements the policies of the City of Rocklin's General Plan, including the Housing Element.
- D. The area is physically suited to the uses authorized in the proposed zone.
- E. The proposed zoning is compatible with the land use/uses existing and permitted on the properties in the vicinity.
- F. The land use/uses, and their density and intensity, allowed in the proposed zone are not likely to create serious health problems or create nuisances on properties in the vicinity.
- G. The City Council has considered the effect of the proposed zoning on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

Section 2. The City Council of the City of Rocklin hereby approves the rezoning of the properties located at the corners of Sunset Boulevard and Whitney Boulevard (Z-92-03) as shown on Exhibit A, attached hereto and incorporated by reference herein, from C-1/D.R. (Neighborhood Commercial/Design Review Combining Zone) to C-2/D.R.(Retail Business Commercial/Design Review Combining Zone).

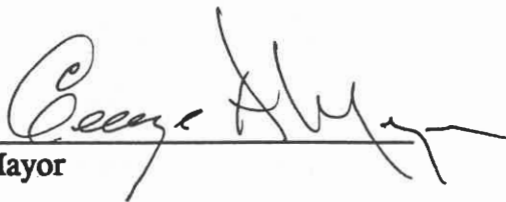
PASSED AND ADOPTED this 14th day December, 1993 by the following roll call vote:

AYE: Councilmembers: Lund, Dominguez, Huson, Magnuson

NOES: Councilmembers: Yorde

ABSENT: Councilmembers: None

ABSTAIN: Councilmembers: None



Mayor

Attest:



City Clerk

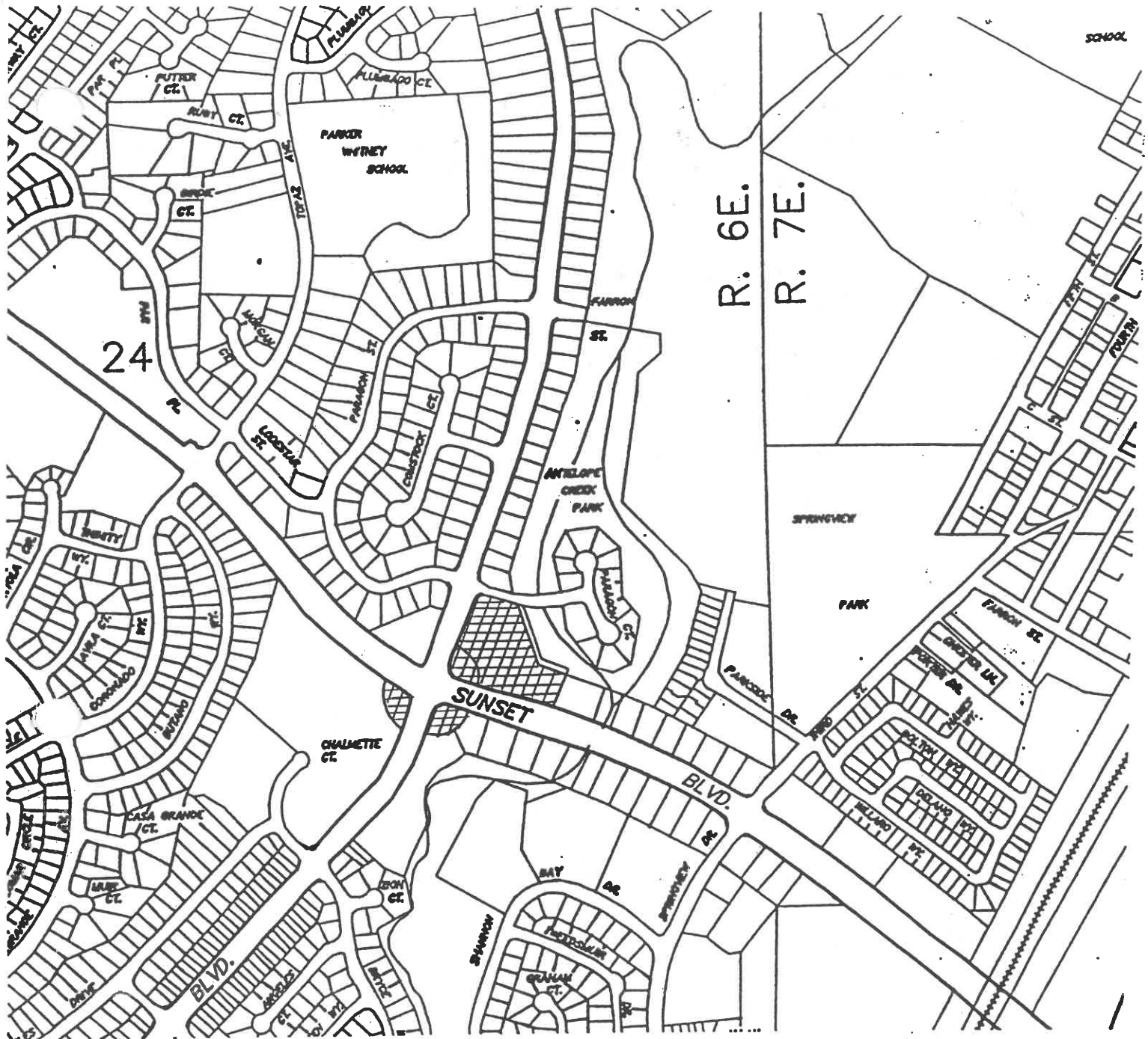
The foregoing instrument is a correct copy of the original document on file in this office.

Attest: 

City Clerk, City of Rocklin

SGA:smh
11129303

First Reading: 11-23-93
Second Reading: 12-14-93
Effective Date: 1-14-94



Proposed Rezoning
(Z-92-03)

From C-1/D.R. to C-2/D.R.



ORDINANCE NO. 692

**ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKLIN
AMENDING SECTIONS 17.44.010, 17.44.020, 17.46.010 AND 17.46.020
OF THE ROCKLIN MUNICIPAL CODE
RELATING TO USES IN THE C-1 ZONE AND THE C-2 ZONE
(ZOA-93-01)**

The City Council of the City of Rocklin does ordain as follows:

Section 1. Section 17.44.010 of the Rocklin Municipal Code is amended to read as follows:

17.44.010 Permitted uses

Permitted uses in the C-1 zone:

A. Retail business establishments: All uses to be conducted entirely within a building with no outside storage or display permitted:

1. Book store and periodical store;
2. Record store;
3. Drug store;
4. Stationery store;
5. Gift shop;
6. Flower shop;
7. Toy store;
8. Business or professional office;
9. Banks;
10. Soda fountain/ice cream parlor;
11. Restaurant-bar combination, restaurant, coffee shop;
12. Arts and crafts store, hobby shop;
13. Jewelry store;
14. Confectionery store;
15. Church;
16. Bakery/donut shop;
17. Video store.

B. Personal service establishments: All uses to be conducted entirely within a building with no outside storage or display permitted:

1. Barber shop;
2. Beauty shop;
3. Photographic studio, photo shop;
4. Radio and/or television repair;
5. Shoe repair;
6. Pick-up station for laundry or dry cleaners.

Section 2. Section 17.44.020 of the Rocklin Municipal Code is amended to read as follows:

17.44.020 Conditional uses.

The following uses are permitted in the C-1 zone subject to the issuance of a conditional use permit

- A. Public utility buildings and uses, not excluding equipment or storage yards, warehouses, or repair shops;
- B. Exercise or athletic club; figure salon;
- C. Commercial cluster complex;
- D. Day care centers;
- E. Schools;
- F. Hardware stores;
- G. Mobile pushcart vending facility.

Section 3. Section 17.46.010 of the Rocklin Municipal Code is amended to read as follows:

17.46.010 Permitted uses.

Permitted uses in the C-2 zone:

A. Retail business establishments: All uses to be conducted entirely within a building with no outside storage or display permitted:

1. All uses as permitted in the C-1 zone;
2. Coin operated laundry or dry cleaners;
3. Furniture store;
4. General merchandise store, department store;
5. Hardware store;
6. Household appliance store;
7. Liquor store;
8. Retail food store;
9. Sex oriented entertainment businesses, subject to the provisions of Chapter 17.79;

10. Variety store.

B. Personal service establishments: All uses to be conducted entirely within a building with no outside storage or display permitted:

1. All uses as permitted in the C-1 zone;
2. Theaters, except sex oriented motion picture theaters as defined in Section 17.79.020;
3. Exercise or athletic club; figure salon;
4. Public utility uses, but not including equipment yards, storage yards, warehouses, or repair shops.

Section 4. Section 17.46.020 of the Rocklin Municipal Code is amended to read as follows:

17.46.020 Conditional uses

The following uses are permitted in the C-2 zone subject to the issuance of a conditional use permit:

- A. Commercial parking lot;
- B. Retail plant nursery;
- C. Billiard room;
- D. Bowling alley;
- E. Indoor skating rink;
- F. Antique store;
- G. Second-hand goods store;
- H. Gasoline station;
- I. Motel and hotel;
- J. Shopping center;
- K. Convenience store;
- L. Commercial cluster complex;
- M. Day care facility for children under twelve years of age;
- N. Temporary business establishments for the collection of aluminum beverage containers and other ferrous materials. Such use may be authorized by use permit also in any commercial or industrial district which allows uses permitted in the C-2 zone;
- O. Massage parlor;
- P. Day care center;
- Q. Schools;
- R. Automobile service station;
- S. Automobile repair shops (light), as a part of a complex, on a minimum of two acres, with two or more businesses on one or more parcels. The other businesses in the complex shall not be limited to automobile repair shops (light), provided they are determined to be compatible as determined by the Planning Commission. If more

than one parcel is involved, reciprocal parking and access easements shall be required between all parcels involved;

- T. Veterinary clinic;
- U. Mobile pushcart vending facility.

Section 5. Within 15 days of the passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Council members voting for and against the ordinance, to be published in the Placer Herald. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within 15 days, shall cause a summary of the ordinance, to be published in the Placer Herald, and shall post in the office of the City Clerk a certified copy of the full text of the ordinance, along with the names of those City Council members voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code section 36993(c)(1) are met.

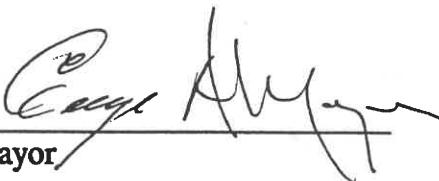
PASSED AND ADOPTED this 14th day of December, 1993, by the following roll call vote:

AYES: Councilmembers: Lund, Dominguez, Yorde, Huson, Magnuson

NOES: Councilmembers: None

ABSENT: Councilmembers: None

ABSTAIN: Councilmembers: None



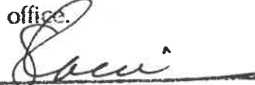
Mayor

Attest:



City Clerk

The foregoing instrument is a correct copy of the original document on file in this office.

Attest: 

City Clerk, City of Rocklin

SGA:smh
11129302

First Reading: 11-23-93
Second Reading: 12-14-93
Effective Date: 1-14-94

RESOLUTION NO. 93- 299

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN
ADOPTING DESIGN GUIDELINES FOR
THE C-1/D.R. ZONE ALONG
SUNSET BOULEVARD, GENERALLY FROM WHITNEY BOULEVARD
TO SPRINGVIEW DRIVE/THIRD STREET
(Z-92-03)**

The City Council of the City of Rocklin does resolve as follows:

Section 1. The City Council finds and determines that:

1. A negative declaration of environmental impacts for this project has been certified.
2. The proposed Design Guidelines will not be detrimental to the health, safety or general welfare of persons residing or working in Rocklin.
3. The proposed Design Guidelines will not be detrimental or injurious to property and improvements in Rocklin.
4. The proposed Design Guidelines will not be detrimental or injurious to the general welfare of the City.
5. The size, bulk, and height of many commercial developments makes it necessary to ensure that the designs thereof make the most efficient use of available resources, and harmonize with existing and proposed development as well as with existing development of like character.
6. The properties regulated by these additional design guidelines are zoned C-1/D.R. (Neighborhood Commercial/Design Review Combining Zone)
7. The City of Rocklin General Plan states that professional office uses will be centered along Sunset Boulevard near Third Street, although offices may be developed within other commercial zones.

Section 4. The City Council of the City of Rocklin hereby approves the Design Guidelines (Z-92-03) as shown on Exhibit A, attached hereto and incorporated by reference herein. These Guidelines shall apply only in the C-1/D.R. zone along Sunset Boulevard, generally from Whitney Boulevard to Springview Drive/Third Street as shown on Exhibit B attached hereto and incorporated by reference herein. These Guidelines shall apply in addition to the Guidelines adopted by Rocklin Ordinance No. 564.

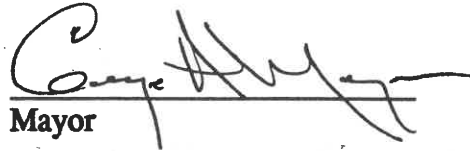
Passed and adopted this 23rd day of November, 1993, by the following roll call vote:

AYES: COUNCIL MEMBERS: Lund, Huson, Dominguez, Yorde, Magnuson

NOES: COUNCIL MEMBERS: None

ABSENT: COUNCIL MEMBERS: None

ABSTAIN: COUNCIL MEMBERS: None



Mayor

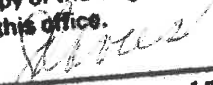
Attest:



City Clerk

SGAsmh
11129301

The foregoing instrument is a
correct copy of the original document
on file in this office.

Attest: 

City Clerk, City of Rocklin

EXHIBIT A

C-1/D.R. DESIGN GUIDELINES

THESE DESIGN GUIDELINES ARE AN ADDITION TO THOSE INCLUDED IN CITY OF ROCKLIN ORDINANCE 87-564 ESTABLISHING THE DESIGN REVIEW (D.R.) CRITERIA FOR STRUCTURES ALONG MAJOR STREETS IN ROCKLIN. THIS ADDITION IS FOR THE C-1/D.R. AREA ALONG SUNSET BOULEVARD GENERALLY FROM WHITNEY BOULEVARD TO SPRINGVIEW DRIVE/THIRD STREET, SPECIFICALLY FOR THE PROPERTIES AS SHOWN ON THE ATTACHED EXHIBIT B

The exterior building design, materials, colors and site layout associated with all proposed development should contribute to an overall business professional design theme within the C-1/D.R. zone. All development within the C-1/D.R. zone shall be evaluated to determine compliance with the following specific design guidelines.

- A. Landscaping should take advantage of the use of ornamental trees and shrubs in order to provide an attractive streetscape as well as provide for shade to the buildings and parking. Berming should be incorporated in the landscaping wherever possible to screen cars and add interest to the landscape. A coordinated and compatible landscaping design should be used throughout the plan area.
- B. All monument signs in the plan area should be setback a minimum of five feet from the property line. The materials of the monument signs should be similar to those used for the construction of the building.

All wall signs should be located on the building so as to provide identification but not to overwhelm the design of the building. Wall signs should be designed and scaled to compliment the overall development.

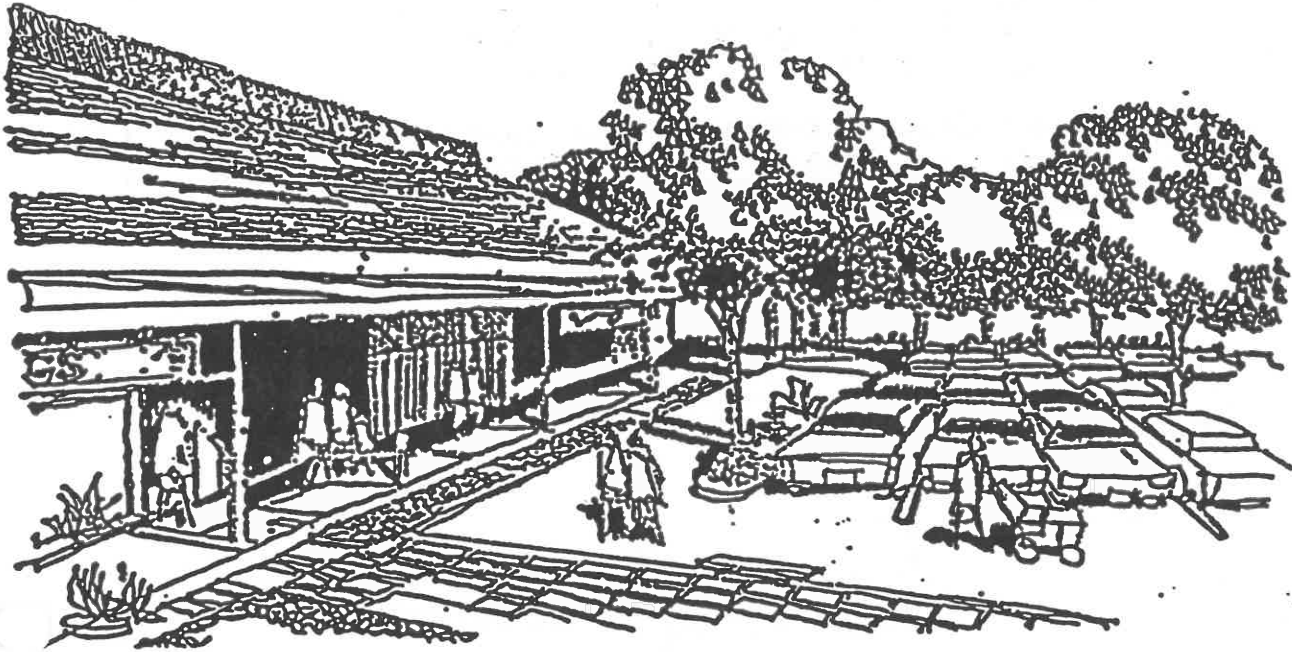
- C. Parking should be located to the rear or the sides of the building so as to provide for maximum potential to locate the building near the street.
- D. Fencing should be constructed of decorative materials wherever possible. Developers are encouraged to use wrought iron, masonry, or masonry with limited wood accents. Where a proposed development abuts a residential zone, the plan shall include a solid masonry or concrete wall along the common property line. Chain-link or wire fencing shall be prohibited.
- E. Lot consolidation (through either a lot merger or a joint venture between two properties thereby designing two projects together), is encouraged in order to give the maximum potential to provide all amenities and to meet all requirements for the project. Larger lot area provides for flexibility in design and building orientation. Additionally, larger land areas by consolidation or joint venture reduce the need for additional driveways by eliminating individual small lot access.

- F. Building design will be evaluated with each new project. Architectural style, building materials, screening of mechanical equipment, roof line configuration, special elements such as balconies or arcades, fenestrations and articulation shall be considered with each application. "Box-like" structural design shall be avoided. The height and bulk of the buildings should be compatible with the surrounding developments. Pleasing combinations of materials should be used on all exteriors while "storefront" elevation designs using expansive amounts of glazing for the purpose of window displays, should be avoided. (See Exhibits 1 & 2)
- G. Driveways should be combined and reciprocal access and parking agreements should be granted between adjacent property owners when feasible.

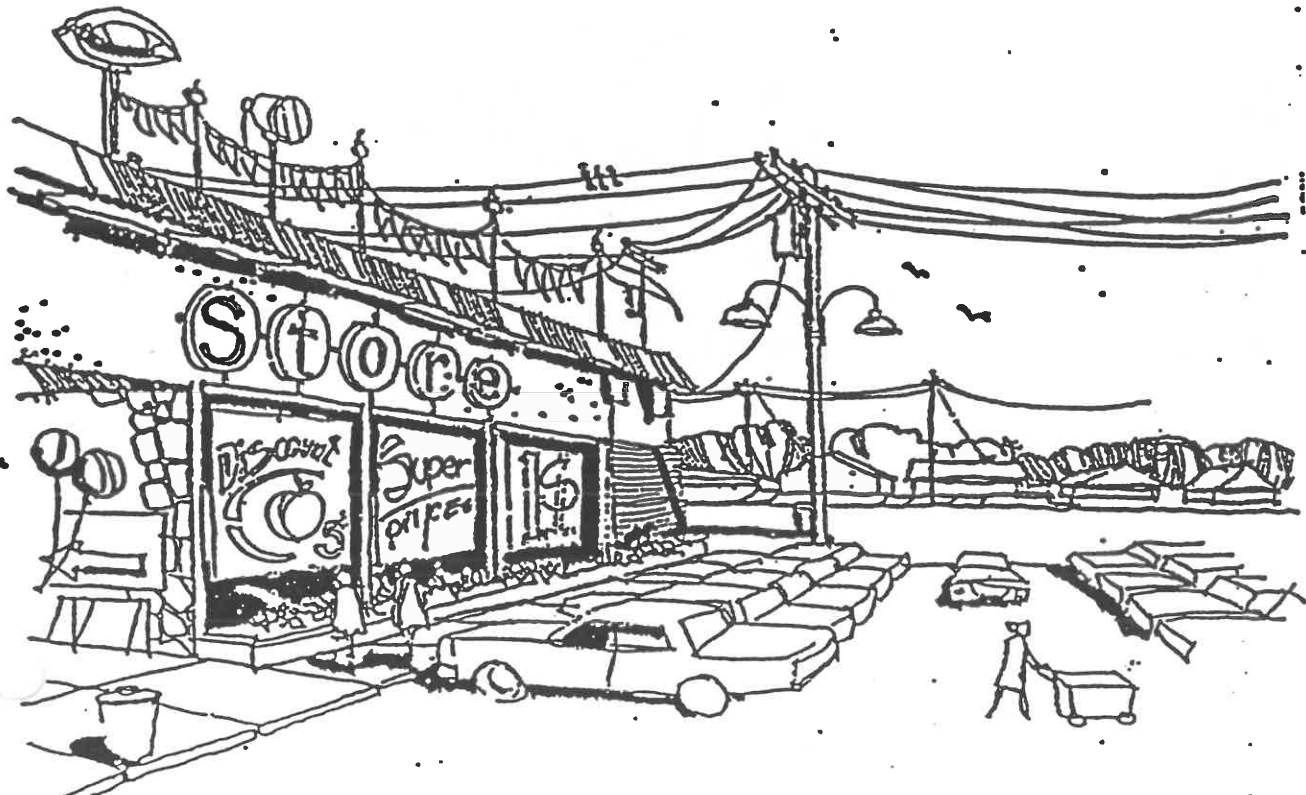
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EXHIBIT 1



THIS

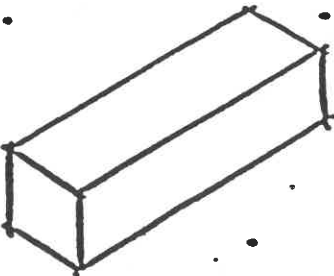


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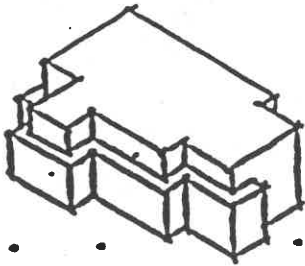
EXHIBIT 2

- **Buildings shall be designed to avoid a simple "boxlike" structure. Horizontal or vertical wall articulation shall be expressed through the use of full roofs, projecting wing walls, wall offsets, recessed entries, awnings, roof overhangs, second floor set backs, or covered arcades.**

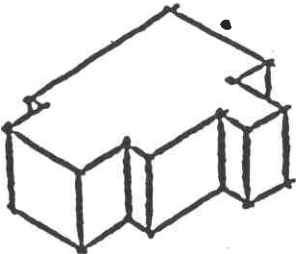
Wall articulation is required for design approval.



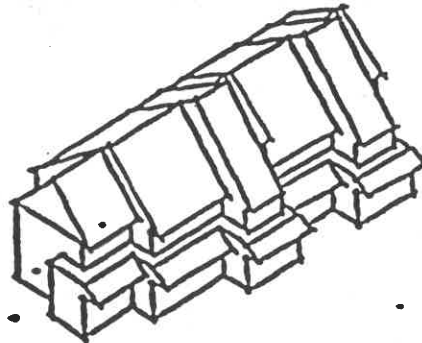
**UNACCEPTABLE/
WITHOUT ANY ARTICULATION**



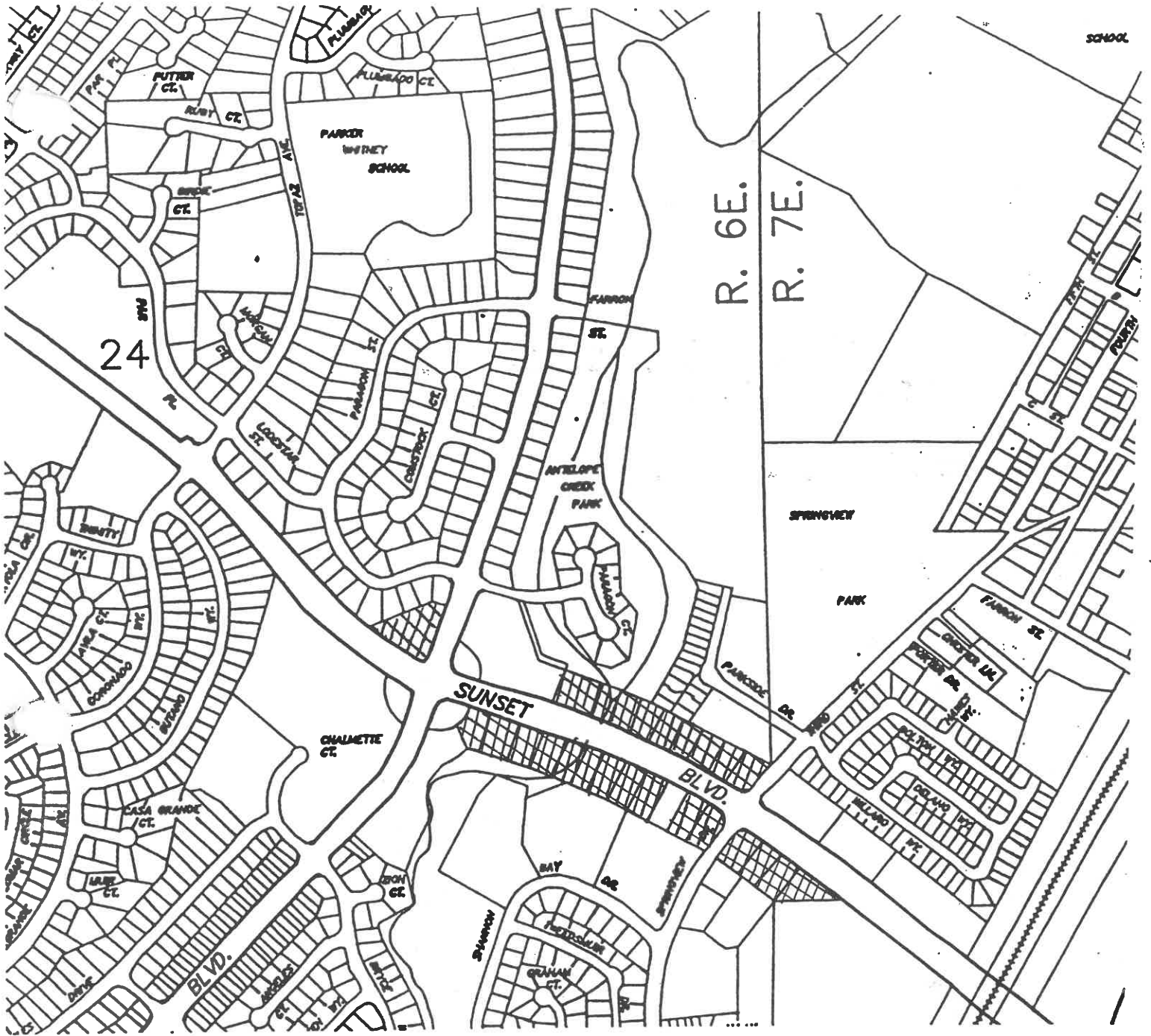
**HORIZONTAL
ARTICULATION ADDED**



**VERTICAL
ARTICULATION ADDED**



**MULTI-PLANED ROOFS AND WALLS
ADD DESIRABLE ARTICULATION**



(Z -92-03)

Area Affected by Amended Design Guidelines



EXHIBIT B