

ORDINANCE NO. 712

**ORDINANCE OF THE CITY COUNCIL
OF THE CITY OF ROCKLIN APPROVING
A GENERAL DEVELOPMENT PLAN
STENSEN ESTATES: PDG-94-04**

The City Council of the City of Rocklin does ordain as follows:

Section 1. The City Council of the City of Rocklin finds and determines that:

A. A negative declaration of environmental impacts for this project is has been recommended for certification.

B. The proposed general development plan amendment is consistent with the City of Rocklin's General Plan land use element which designates the site as Medium Density Residential.

C. The proposed general development plan amendment is consistent with and implements the policies of the City of Rocklin's General Plan, including the Housing Element.

D. The proposed area is physically suited to the uses authorized by the general development plan amendment.

E. The general development plan amendment is compatible with the land uses existing and permitted on the properties in the vicinity.

F. The land uses, and their density and intensity, allowed by the proposed general development plan amendment are not likely to create serious health problems or create nuisances on properties in the vicinity.

G. City has considered the effect of the proposed general development plan amendment on the housing needs of the region and has balanced those needs against the public service needs of its residents and available fiscal and environmental resources.

Section 2. The City Council of the City of Rocklin hereby approves the general development plan for Stensen Estates, as shown on Exhibit 1, attached hereto and incorporated by reference herein, subject to the following conditions:

A. The development standards for the subdivision shall be those of the R1-6 zone (Chapter 17.14 of the Rocklin Municipal Code), with the following exceptions: The setbacks established by the General Development Plan shall be as indicated on Exhibit 1.

B. The maximum building height for primary residences shall be thirty feet and for accessory structures fourteen feet as required by Section 17.124.030 of the Rocklin Municipal Code.

Section 3. Within fifteen days of passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Councilmembers voting for and against the ordinance, to be published in the Placer Herald. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within fifteen days, shall cause a summary of the ordinance, prepared by the City Attorney and with the names of the City Councilmembers voting for and against the ordinance, to be published in the Placer Herald, and shall post in the office of the City Clerk a certified copy of the City Councilmembers voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code section 36993 (c) (1) are met.

PASSED AND ADOPTED this 28th day of March, 1995, by the following roll call vote:

AYES: Councilmembers: Dominguez, Magnuson, Yorde, Huson, Lund
NOES: Councilmembers: None
ABSENT: Councilmembers: None
ABSTAIN: Councilmembers: None



Mayor

ATTEST:



City Clerk

The foregoing instrument is a correct copy of the original document on file in this office.

Attest: 

City Clerk, City of Rocklin

First Reading: 3-15-95
Second Reading: 3-28-95
Effective Date: 4-28-95

EXHIBIT 1
GENERAL DEVELOPMENT PLAN
FOR STENSEN ESTATES
PDG-94-04

1. The site plan for this general development plan is contained in Exhibit A (SD-94-03, SPU-94-11).
2. The proposed land use is eight single family residences.
3. The proposed circulation system includes a cul de sac opening off El Don Drive (Stensen Court, as shown on Exhibit A of SD-94-03 and SPU-94-11, attached), to be dedicated to the City.
4. There are no public uses within Stensen Estates.
5. There are eight two story structures to be located on the eight lots of Stensen Estates as shown on Exhibit A, attached.
6. The setbacks for the structures shall be as indicated on Exhibit A.
7. The project shall be built in one phase.
9. The intensity of land uses on the property shall not exceed 8 single family dwelling units (PD-6) each located on a lot not less than 6,000 square feet..

KHB:11s2

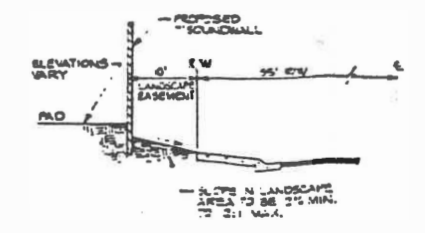
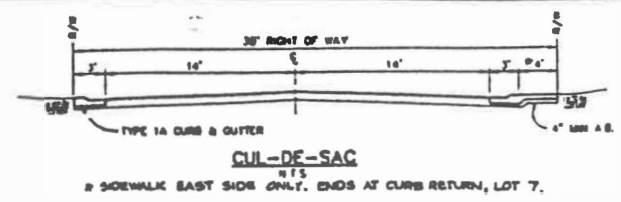
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TENTATIVE SUBDIVISION MAP STENSEN ESTATES

CITY OF ROCKLIN CALIFORNIA

POR. SEC. 21, T.11N., R.7E., M.D.B.S.M.



SECTION
SIERRA COLLEGE BOULEVARD

GENERAL NOTES

ASSESSORS PARCEL NUMBER 45-160-78

EXISTING ZONING PD-6
EXISTING USE VACANT
PROPOSED ZONING PD-6
PROPOSED USE SINGLE FAMILY RESIDENTIAL
OWNER RICHARD CHUM
1133 COLOMA WAY
ROSEVILLE, CA 95661

ENGINEER BURRELL ENGINEERING GROUP
6938 SHARPE BLVD., SUITE 121
CITRUS HEIGHTS, CA 95616

DEVELOPER RICHARD CHUM
1133 COLOMA WAY
ROSEVILLE, CA 95661

UTILITIES
WATER PLACER COUNTY WATER AGENCY
SEWER SO. PLACER MUD.
ELECTRIC P.G.&E.
GAS P.G.&E.
TELEPHONE PACIFIC BELL
CABLE STARSTREAM COMMUNICATIONS

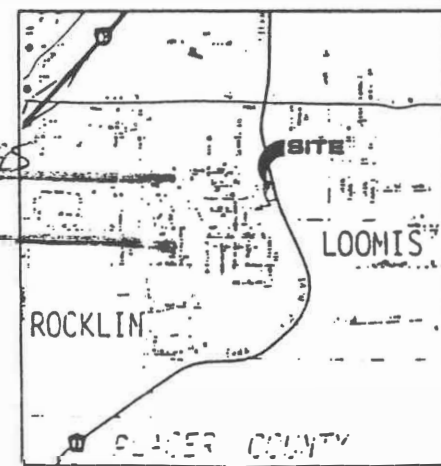
PUBLIC SERVICES
SCHOOL DISTRICT ROCKLIN MUNICIPAL SCHOOL DISTRICT
PARK DISTRICT ROCKLIN PARK DISTRICT
FIRE DISTRICT CITY OF ROCKLIN

GROSS ACREAGE 1.4
NUMBER OF LOTS 8
SIZE OF LOTS SEE MAP

LOT DENSITY			
	CORNER	INTERIOR	
MAX. LOT SIZE	6,000	6,000	
MIN. LOT SIZE	6,000	6,000	
AVER. LOT SIZE	6,000	6,000	
DWELLING UNITS	AREA	PROPOSED DENSITY	ALLOWABLE DENSITY
8	1.4	37 DU/AC	60 DU/AC

HOUSE MATRIX			
LOT #	1764 SQ.FT. 1826 SQ.FT.	LOT SQ. FT.	
1	X	X	6,000
2	X	X	6,000
3	X	X	6,000
4	X	X	6,000
5	X	X	6,000
6	X	X	6,000
7	X	X	6,000
8	X	X	6,000

FLOOR PLAN NO. 1 IS 1744 SQ. FT.
AND FLOOR PLAN NO. 2 IS 1826 SQ. FT.
THE HOUSE MATRIX CHART SHOWS
WHICH FLOOR PLAN WILL FIT ON WHICH
LOTS.



LOCATION MAP

EXISTING APARTMENTS
PD-14
LEASCO SIERRA GROVE
45-160-067

WOOD
45-302-018

SKULLS
45-302-018

ARR
45-302-017

LEA
45-160-000

R1-10
RECOMMENDED BY PLANNING COMMISSION
FOR APPROVAL ON 2/7/95

APPROVED BY CITY COUNCIL ON 2/5/95

XHIBIT A
FILE NO. PD-94-04

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
SCALE: [Signature]
DATE: [Signature]

REVISIONS:

NO.	DATE	DESCRIPTION
1	1/15/95	PRELIMINARY
2	2/1/95	FINAL

BURRELL ENGINEERING GROUP, INC.
1133 COLLEGE BLVD., SUITE 121, CITRUS HEIGHTS, CA 95616
TEL: (916) 444-1111 FAX: (916) 444-1112

TENTATIVE SUBDIVISION MAP FOR
STENSEN ESTATES
CITY OF ROCKLIN, CALIFORNIA

1 OF 1 SHEETS