

RESOLUTION 87-34

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKLIN
APPROVING THE TENTATIVE SUBDIVISION MAP SD-86-09
AND SPECIFIC PLAN USE PERMIT SP(U)86-13: SPRINGVIEW MEADOWS**

The City Council of the City of Rocklin does resolve as follows:

Section 1. The City Council finds and determines that:

1. The City Council has considered the effect of the approval of this subdivision on housing needs of the region, and balanced those needs against the public service needs of its residents and available fiscal and environmental resources.
2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan of the City of Rocklin.
3. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the zoning classification of the property.
4. The site is physically suitable for the proposed type and density of development.
5. The design of the subdivision is not likely to cause substantial environmental damage, nor will it substantially and avoidably injure fish and wildlife or their habitat.
6. The design of the subdivider and the type of improvements will not cause serious public health problems.
7. The design of the subdivision and the type of improvements will not conflict with easements acquired by the public-at-large for access through or use of the property within the proposed subdivision.
8. The design of the subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities

Section 2. The Tentative Subdivision SD-86-09, and Specific Plan Use Permit SP(U) 86-13, together with Exhibits A and B

respectively, attached hereto and incorporated herein, is hereby approved, subject to the following conditions.

1. All interior streets shall be designed and improved to City standards, including but not limited to curb, gutter, sidewalks, street lights and fire hydrants, to the satisfaction of the City Engineer. The sidewalk along the easterly portion of Meadowdale Court need not be installed.

2. The subdivider shall provide a striping plan demonstrating left-turn movements from Springview Drive, to the satisfaction of the City Engineer.

3. The name of Meadowdale "Court" shall be changed adjacent to Lots 12 through 20, 33 and 34. The "Court" shall only be designated adjacent to Lots 115 through 123.

4. The subdivider shall provide such calculations as are necessary to detain off-site drainage at predevelopment levels as are required by the City Engineer. Such calculations shall be implemented concurrently with the first phase of development, to the satisfaction of the City Engineer. Improvements constructed within the pond area shall be to the satisfaction of the City Engineer.

5. Prior to the Final Map the subdivider shall execute an Agreement of Non-Protest to a future assessment district or similar measure to finance the design and implementation of a Citywide Master Drainage Plan for the project and surrounding properties. Non-Protest Agreements shall be included in the titles of each property for the entire project.

6. The subdivider shall dedicate and agree to annexation of the property into the lighting and landscape maintenance district or similar measure to finance the maintenance of the storm detention area (shown on the site plan) prior to the Final Map.

7. The developer shall meet the requirements of Placer County Water Agency and the City of Rocklin Fire Chief to achieve and maintain required water pressure and flow for domestic use and fire protection. All fire hydrants shall be installed and located to the satisfaction of the Fire Chief.

8. The subdivider shall cause the Landscaped Area along Springview Drive to be included within the City's Landscaping and Lighting Assessment District prior to the recording of the Final Map.

9. Typical landscaping and irrigation plans, including sizes of plants and scheduling of installation shall be submitted to the Community Development Director for approval prior to the issuance of any building permits. The plan shall include front and rear yards area and the landscaped strip along Springview Drive. This plan shall include the installation of trees along Springview Drive.

10. At the time of each building permit, the developer shall install front yard landscaping.

11. The subdivider shall conform to the setback standards as established in the typicals illustrated for Lots 20-27 on Exhibit A.

12. The subdivider shall provide, on final improvement plans and during the time of construction, provisions for dust control, revegetation of disturbed areas, and erosion control, to the satisfaction of the City Engineer.

13. Prior to filing a Final Map with the City, the subdivider shall meet with the local postal official to determine location of mailboxes. If special locations are required, easements or other map provisions shall be included on the Final Map and Final Improvement Plans. If no special provisions are required, subdivider shall provide a letter form the local U. S. Postmaster.

14. The subdivider shall pay all applicable park fees for the single-family lots, which is current \$581 per single-family lot.

15. The subdivider shall meet with the Rocklin School District and submit proof to the City that the impact of additional students has been mitigated prior to issuance of any building permit.

16. The developer shall prior to recording any Final Map, meet with the City Manager and negotiate an agreement for the mitigation of fiscal impacts on the City caused by the project. The basis for the mitigation shall be the Fiscal Impact Analysis, prepared by the City dated December 15, 1986, which identifies a deficit of \$285 per dwelling unit. In the event an updated analysis is prepared, then the impact fees shall not be increased by more than 50% of the original analysis.

17. All on-site, as well as off-site, improvements relating to streets, utilities, drainage and grading shall be approved by the City Engineer prior to any Final Map approval.

18. The General Plan Amendment and Amendment to the General Development Plan must be approved by City Council and in effect prior to the recording of the Final Map.

19. The subdivider shall include in the subdivision improvement plans the design and installation of a six foot high fence along Springview Drive. The fence shall be located a minimum of ten feet back from the property line and shall be constructed of masonry pilasters with wooden slats in between and be of a design which is similar to and consistent with other fencing in the Sunset East Subdivision. An adequate sight distance shall be maintained at all corners.

20. This Tentative Subdivision Map and Specific Plan Use Permit shall expire in two years from the effective date of this resolution unless the Final Map is recorded or the subdivider is issued an extension in accordance with the Rocklin Municipal Code.

Passed and adopted this 27th day of January, 1987, by the following roll call vote:

AYES: Councilmembers: Hill, Lund, Huson, Ainsworth

NOES: Councilmembers: None

ABSENT: Councilmembers: Dominguez

ABSTAIN: Councilmembers: None



 Mayor

ATTEST:

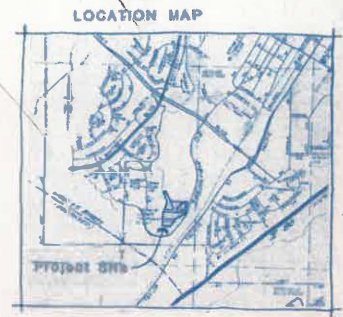
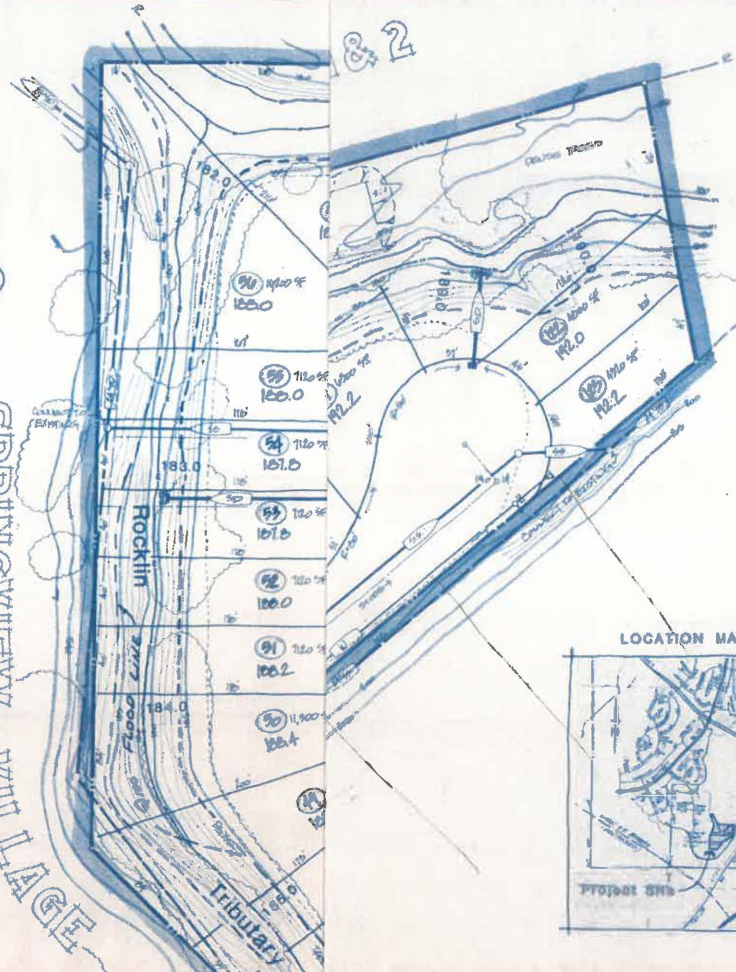


 City Clerk

01228701.#14.smh



SPRINGVIEW VILLAGE



ASSESSOR'S PARCEL NUMBER
10-410-10

GENERAL PLAN DESIGNATION
HIGH DENSITY RESIDENTIAL

EXISTING ZONING
PLANNED UNIT DEVELOPMENT
20 du./Acre

PROPOSED DENSITY
RESIDENTIAL - 40 du./Acre (6000)
R.O. du./Acre (1000)

TOTAL ACREAGE
20.10 Acres
SUBDIVISION = 19.0 Acres ±
OPEN SPACE = 2.1 Acres ±

UNIT SUMMARY

TOTAL UNITS -	30 60' WIDE LOTS = 4 UNITS	4%
	40 60' WIDE LOTS = 20 UNITS	20%
	30 60' WIDE LOTS = 95 UNITS	70%
	TOTAL = 125 UNITS	

PHASING -

unit no. 1 - 4 UNITS	} PHASES INDICATED ALSO REPRESENT TENTATIVE MAP PARCELS.
unit no. 2 - 20 UNITS	
unit no. 3 - 20 UNITS	
remainder - 81 UNITS	

**GENERAL PLAN AMMENDMENT
and
TENTATIVE SUBDIVISION MAP
SPRINGVIEW
MEADOWS**

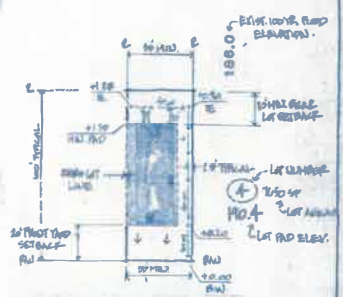
OFFICIALLY APPROVED
APPROVED BY *[Signature]*
ON *12/16/94*

City of Rocklin, California
BEING PORTIONS OF THE NORTHEAST QUARTER
SECTION 25, T.11N., R.6E., M.D.8.8.M.

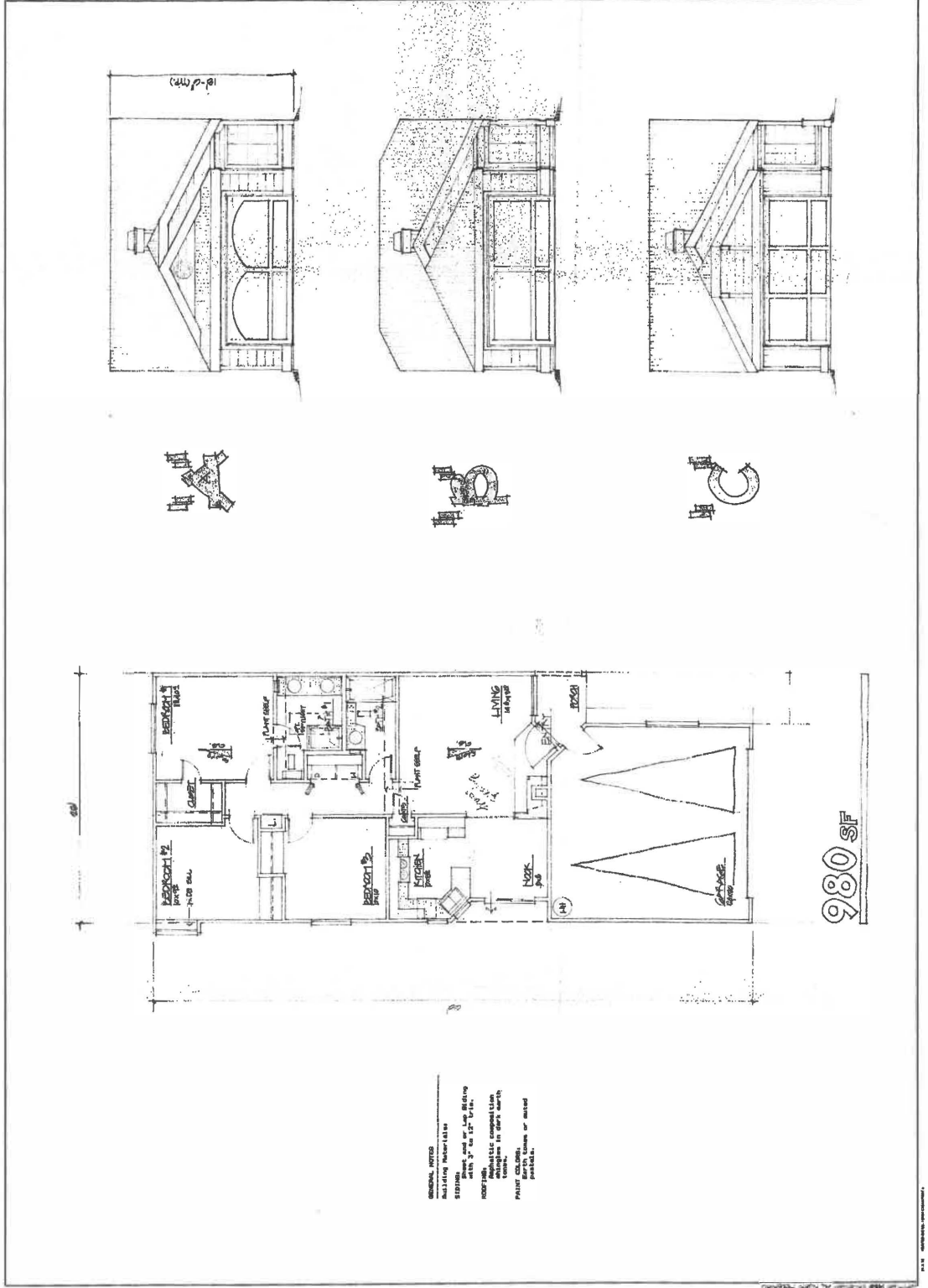
DEVELOPER
AS M. HAUZLICK
1110 STREET
CALIFORNIA 95077
126-8904

DEVELOPER
DOMINION ENTERPRISES, INC.
2075 PACIFIC STREET
ROCKLIN, CALIFORNIA 95077
P.O. BOX 104 - 4904

ENGINEER
DEVELOPMENT SERVICES INC.
1110 STREET
CALIFORNIA 95077

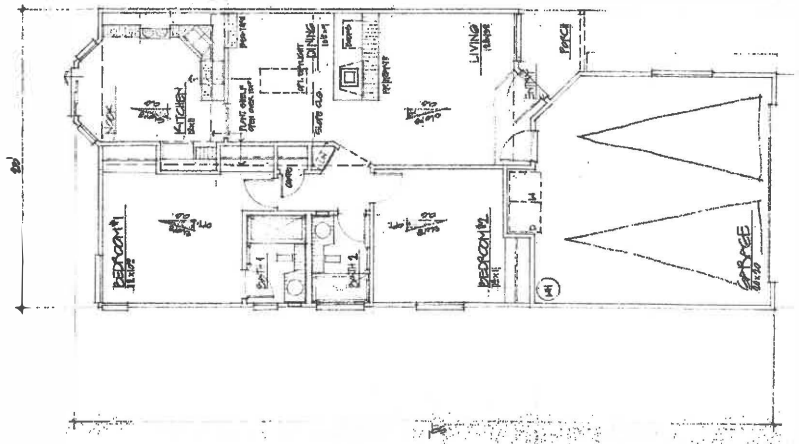
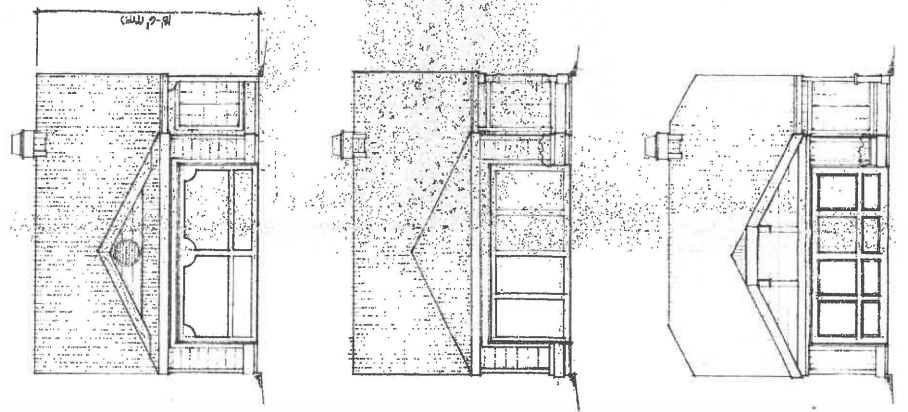


Typical Lot Grading
SCALE: 1/4" = 1'-0"



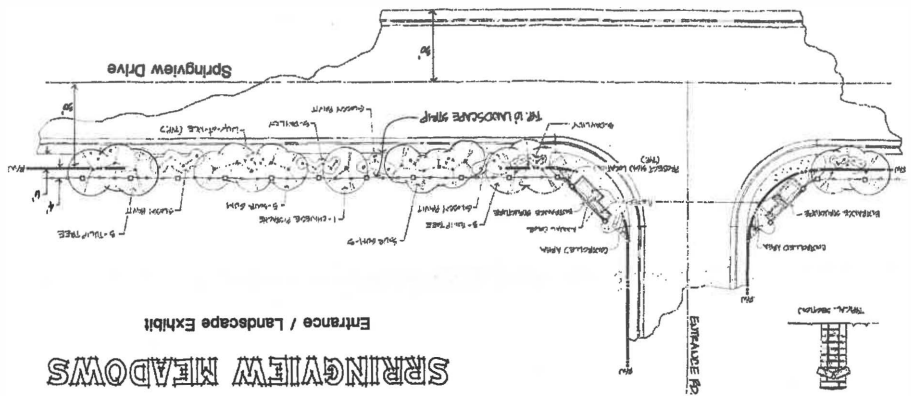
980 SF

EXHIBIT: **B**
 DRAWING NO. **254-88-B**
 REVISION NO. **10/27/10**

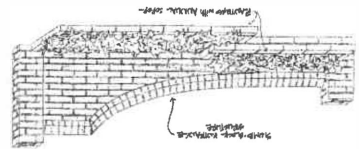
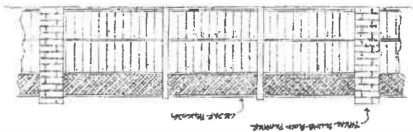


920 SF

GENERAL NOTES:
 1. BUILDING FOOTPRINTS
 2. WALLS 12" THICK
 3. FLOORING 3/4" OSB
 4. ROOFING 1/2" OSB
 5. PAINT COLOR: EXTERIOR: WHITE
 INTERIOR: WHITE



Springview Meadows Entrance / Landscape Exhibit



City Council Resolution No. 87-34

File No. SPU-86-13, SD-86-09

Exhibit A LARGE MAP can be found in archives. See the City Clerk for location.

Map located in Archive Box
5100, Record Series 04-08